

Table of Contents

File 1982-0065
Date 7/25/02

Project Name: Houston Heights Subdivision – Rezone PR8 to PR 13.1

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the in some instances, not all entries designated to be scanned by the department are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been provided.</p> <p>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</p> <p>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</p>				
		X	X	*Summary Sheet – Table of Contents		
X	X		Review Sheet Summary			
			Application form			
			Review Sheets			
			Receipts for fees paid for anything			
			*Submittal checklist			
			*General project report			
			Reduced copy of final plans or drawings			
			Reduction of assessor's map			
			Evidence of title, deeds			
X	X		*Mailing list to adjacent property owners			
			Public notice cards			
			Record of certified mail			
X			Legal description			
			Appraisal of raw land			
			Reduction of any maps – final copy			
X	X		*Final reports for drainage and soils (geotechnical reports)			
			Other bound or nonbound reports			
			Traffic studies			
			Individual review comments from agencies			
			*Consolidated review comments list			
X	X		*Petitioner's response to comments			
			*Staff Reports			
			*Planning Commission staff report and exhibits			
			*City Council staff report and exhibits			
			*Summary sheet of final conditions			
			*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)			
DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:						
X	X	X	Action Sheet	X	Request for Treasurer's Certificate	
X	X		Review Sheet Summary	X	X	Ordinance No. 2092 - **
X			Review Sheets	X		Petition to form district – 10/18/82 and 11/5/ 82
X	X		Memo from Planning Commission to All Petitioners re: enforcement of development schedule – 2/13/84	X		Photos of site
X			Progress Report received 3/6/84	X		Domestic Water Details
X			Daily Sentinel article "GJ Council hopes to bridge the gap for development" – 11/2/82	X	X	Final Development Plan
X			Public Notice Posting – 10/15/82	X		Utility Composite
X	X		Planning Commission Minutes - ** - 10/26/82			Roadway & Sewer Profiles
X			Development Application – 9/28/82	X		Index & Location Map
X			Subdivision Summary Form – 9/30/82	X		Replat of Lot 2
X			Improvements Agreement – not signed	X		Sanitary Sewer Details
X			Gamma radiation survey from ARIX re: no tailings indicated – 9/22/82	X		Sewer & Water Plan
X	X		Drainage Report – 9/82	X		Traffic Circulation Plan
X	X		Letter from Carl Hochmuth, Carl Hochmuth I.C.A. to First Security Savings & Loan Assoc. re: appraisal – 7/20/82			

2945-122-00-002 & 003
A. L. Brodak
2741 F Road
Grand Junction, CO 81501

#65-82

2945-122-00-008
Charles Forney
1631 Wellington Avenue
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#65-82

2945-122-00-009
Gerlad Hayes
P. O. Box 967
Rangely, CO 81648

#65-82

2945-122-00-043
Walter Waymeyer
c/o Wakefield Mgnt. Co.
P. O. Box 2206
Grand Junction, CO 81502

#65-82

2945-122-00-002
Tony Whittle
Rachel L. Ponce
1434 Wellington Avenue
Grand Junction, CO 81501

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2945-122-10-021
Jeanice Swank
1441 Patterson, #601
Grand Junction, CO 81501

#65-82

2945-122-10-022
David & Arthur F. Brandt
1441 Patterson, #602
Grand Junction, CO 81501

#65-82

2945-122-10-023
Peter James Fregetto
1441 Patterson, #603
Grand Junction, CO 81501

#65-82

2945-122-10-024
Michael R. Gallegos
1441 Patterson, #604
Grand Junction, CO 81501

#65-82

Houston Heights
Project No. 722-002

Y

rior entrance to proposed
development is located on this
hill.



Intersection of Wellington & 15th
1 making N.W. 1/4

1 Pictures Taken
10-22-82



Wellington just before it
intersects with 17th St.
note: One lane bridge at
Center right. Speed limit
15 MPH

Route traveled up and
around blind curve from
intersection of 15th and



GEOTECHNICAL INVESTIGATION

PROPOSED APARTMENTS
1556 WELLINGTON AVENUE
GRAND JUNCTION, COLORADO

Prepared for: Mr. Ken Shrum
P.O. Box 363
Grand Junction, CO 81502

AEA Job # 824006

September, 1982

INTRODUCTION

This Geotechnical Study was undertaken to assist Mr. Ken Shrum in determining the best types and depths of foundations to support the proposed structures and design criteria for them.

Location of the proposed apartments is shown on Figures #1 and #2. Data from the field and laboratory work is summarized on Figures #3 through #12.

PROPOSED CONSTRUCTION

We understand that the proposed structures will be two story concrete block apartment buildings without basements.

For the purpose of our analyses, we assumed maximum column loads on the order of 8 KIPS and wall loads of 3 KIPS per linear foot.

If final designs vary from these assumptions we should be advised to permit re-evaluation of our recommendations and conclusions.

SITE CONDITIONS

The site is located at 1556 Wellington Avenue in Grand Junction, Colorado as shown on Figures #1 and #2. The 2.5 acre site borders Wellington Avenue to the south and 15th Street to the west. The area of the site is relatively level and drains to the south. The site is sparsely covered with arid, hardy vegetation. The surface soils were moist and well drained at the time of the investigation.

SUBSOILS

Our test borings showed there to be 1 to 5 feet of surface soils over the Mancos Formation of Cretaceous age. The surface soils consisted of a light brown clayey silt. Blow counts in the silts ranged from 8 to 13 blows for 6 inches of penetration. Laboratory testing of the silts indicate that they are not expansive. The underlying Mancos Formation consists of a firm to hard black marine shale. Laboratory testing of the shale showed that the shale will swell when wet with pressure on the order of 700 PSF to 2400 PSF.

Ground water was not encountered in any of our test borings.

FOUNDATIONS

We have considered several types of foundation systems for the two proposed buildings (north and south buildings), including spread footings, structural mat, driven piling, and drilled piers. Founding the two buildings on spread footings on the near surface soils or underlying shale involves substantial risk of foundation movement due to the swell potential of the shale. Founding the buildings on drilled piers would reduce the risk of foundation movement. We believe, considering safety, economy and the ever present risk of foundation movement involved in any type of foundation, drilled piers would be the most practical.

Drilled piers should extend a minimum of 15 feet below the existing grade and at least 5 feet into firm shale. Using the above criteria, a bearing capacity of 25 ksf may be used for the tip of the pier. The piers and the voided stem walls acting as grade beams, must be tied together by continuous reinforcement to assure continuity of load distribution and to

prevent individual punching shears. It is suggested that a ring collar be placed around the upper 6" to 1 foot perimeter of each drilled pier. Due to the frost conditions present all stem walls must be placed at a minimum depth of 3 feet below the finished grade. It is recommended that the foundation stem walls around the structure be balanced as closely as possible in order that the supporting piers are uniformly loaded. The minimum dead load applied to the supporting soil shall not be less than 8,000 psf. It is recommended that the structural engineer be requested to incorporate appropriate form voids. We recommend that the piers be reinforced for their full length.

Due to the possibility of erratic soil conditions not encountered during our field work, we recommend that we be asked to inspect the pier holes prior to the pouring of the concrete for the piers.

FLOOR SLABS

We believe the most practical type of floor used in conjunction with drilled pier and grade beam foundations would be a floating slab-on-grade. In this aspect, interior walls supported by the floating floor slabs must be allowed room for vertical movements. Interior columns should not be anchored to the floor slabs but be constructed independent of movements of the floor slab. For slab-on-grade construction, we suggest the following.

1. Place a minimum of 4" of gravel beneath the slab compacted to a minimum of 70% relative density as determined by ASTM D-2049, or a minimum of 95% of maximum dry density as determined by ASTM D-698.

2. Provide moderate slab reinforcement and carry the reinforcement through the interior slab joints, but not to foundation walls, load bearing walls, or load bearing columns.
3. Omit under slab plumbing. Where such plumbing is unavoidable, pressure test it during construction to minimize the possibility of leaks that result in foundation wetting. Utility trenches should be compacted to a minimum of 95% of maximum dry density as determined by ASTM D-698.

SITE GRADING

We anticipate excavation of the natural overburden soils can be done with normal earth moving equipment. We also believe the overburden soils could be used for site grading fills. We estimate the overburden soils will stand on temporary construction slopes on the order of 1:1. Deep excavations in the soils to depths in excess of 4 feet should be adequately braced as recommended by local ordinances and building codes. We suggest permanent cut and fill slopes should be on the order of 2:1, or flatter.

WETTING OF FOUNDATION SOILS

Wetting of foundation soils always causes some degree of volume change in the soils and should be prevented during and after construction. Methods of doing this include compaction of "impervious" or low permeability backfill around the structure, provision of an adequate grade for rapid runoff of surface water away from the structure, and discharge of roof downspouts and other water collection systems well beyond the limits of the backfill.

GENERAL INFORMATION

Our exploratory borings were placed at strategic locations in order to obtain a relatively comprehensive picture of the subsoil conditions; however, erratic soil conditions may occur between test borings. If such conditions are found in exposed excavations, it is advisable that we be notified to inspect the foundation excavation. The site investigation and the writing of this report were conducted by Jeff Husband, Engineering Geologist.

ARMSTRONG & ASSOCIATES, INC.

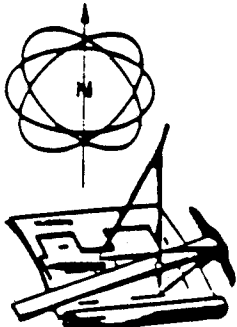
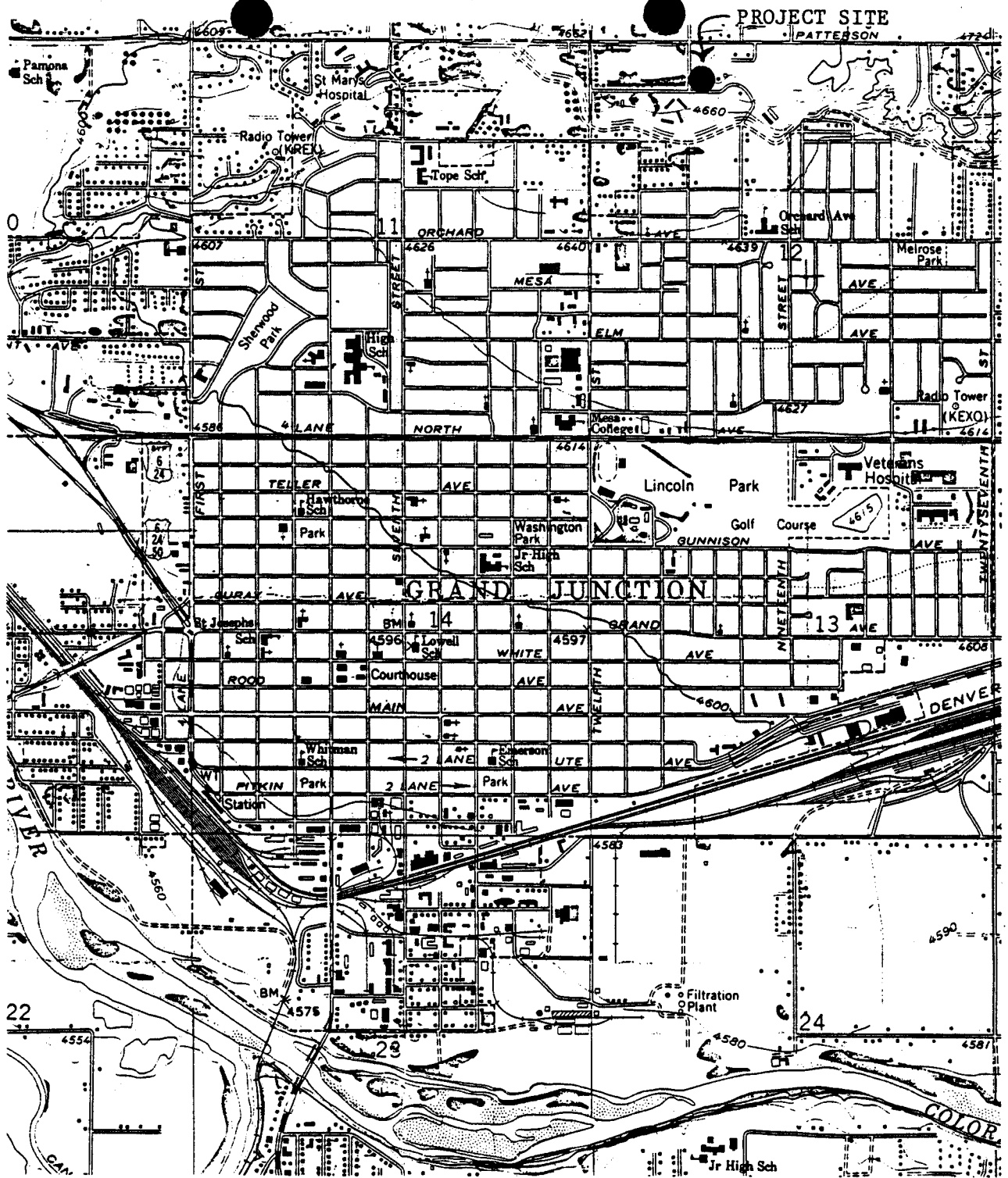


Raymond Hansen, PE
Chief Geotechnical Division

Approved By:



Edward A. Armstrong, PE-LS
President

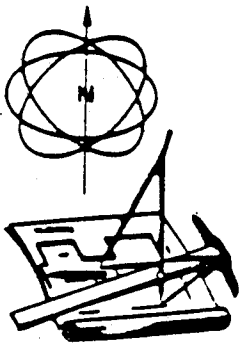
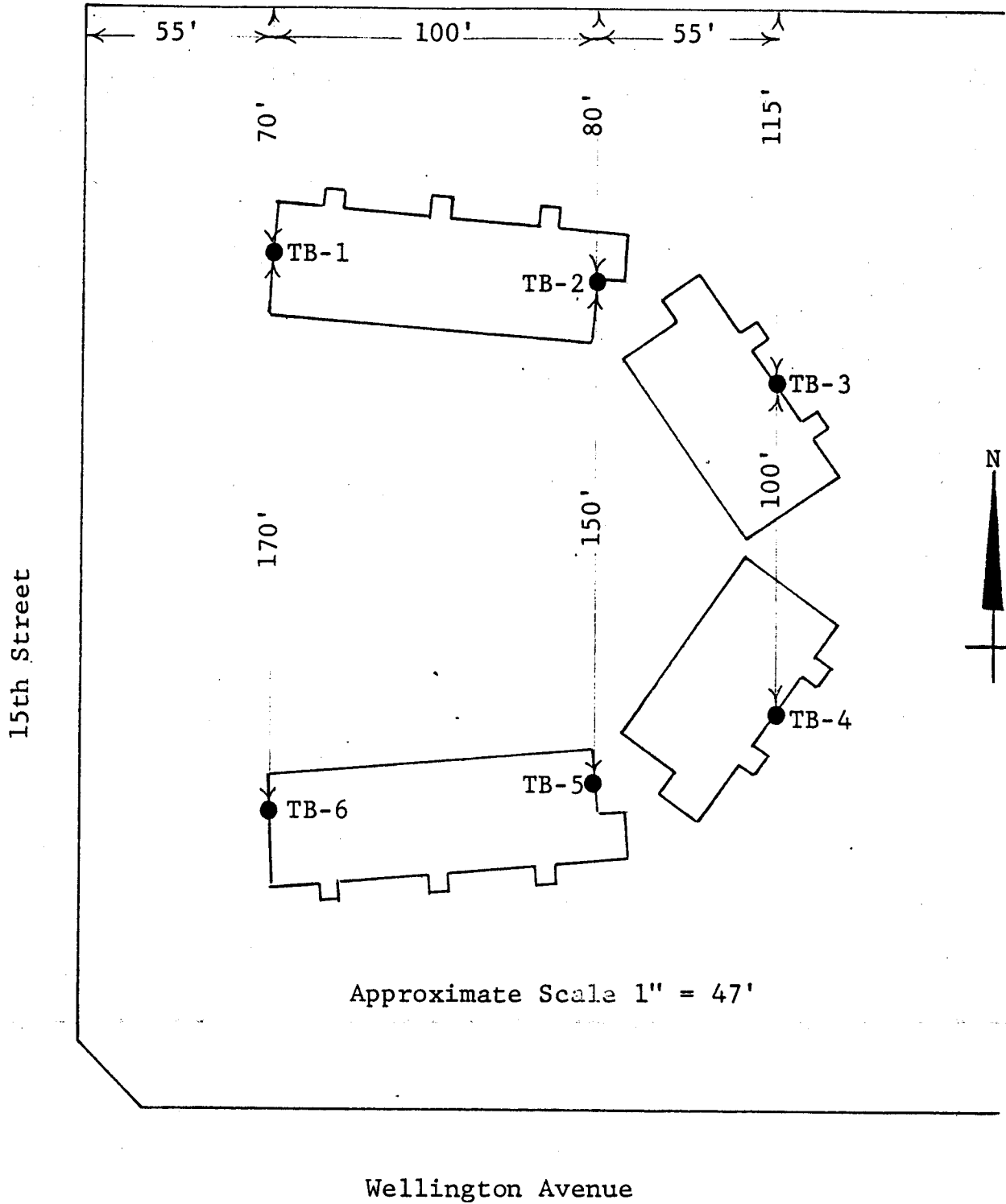


ARMSTRONG ENGINEERS and ASSOCIATES, INC.

JOB # 824006
 APPR. *[Signature]*
 DATE 9/16/82
 FIGURE 1

VICINITY MAP
 PROPOSED APARTMENTS
 1556 WELLINGTON
 GRAND JUNCTION, COLORADO

Property Line



ARMSTRONG ENGINEERS and ASSOCIATES, INC.

JOB # 824006

APPR. *[Signature]*

DATE 9/16/82

FIGURE 2

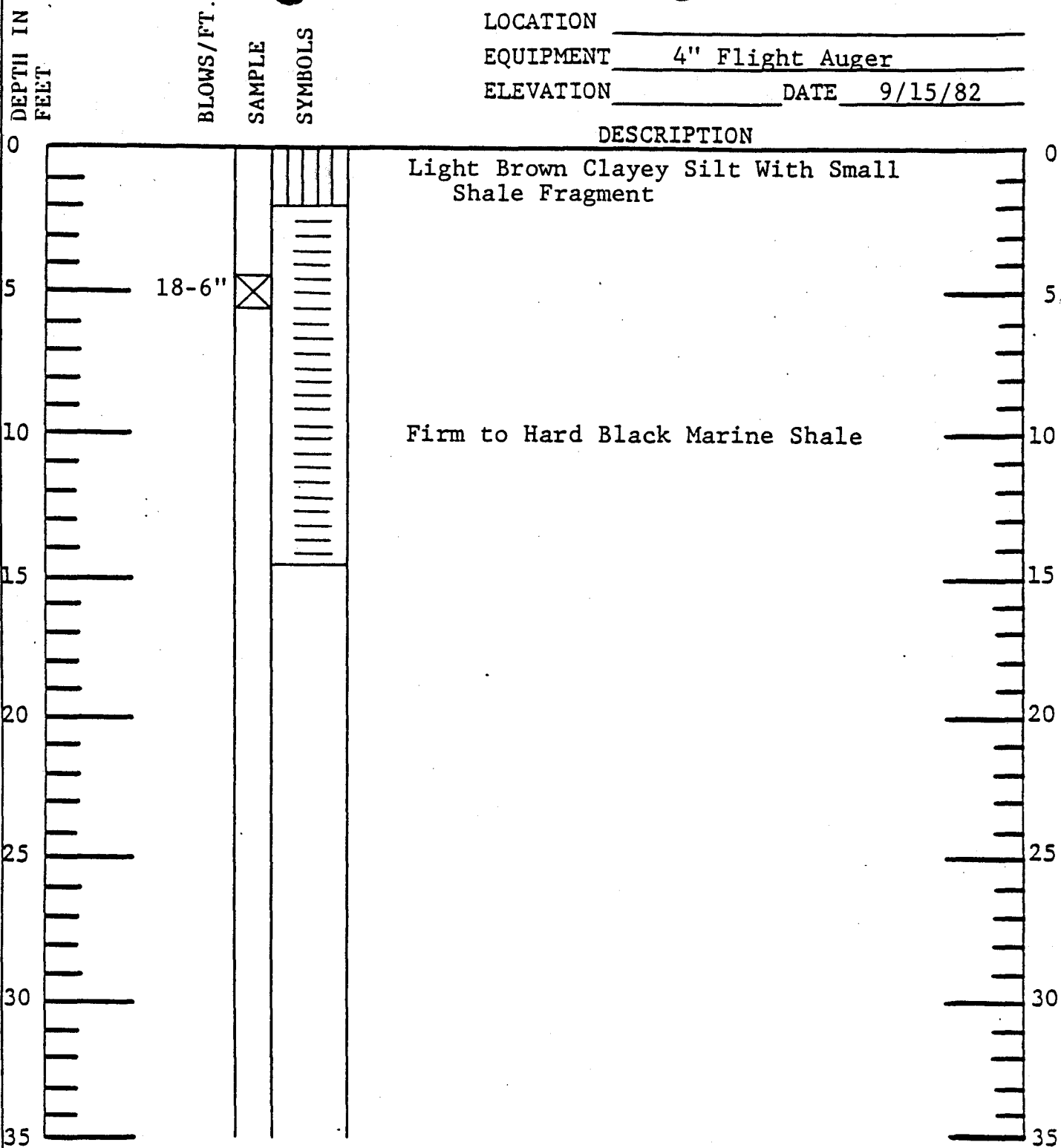
BORING PLAN

PROPOSED APARTMENTS

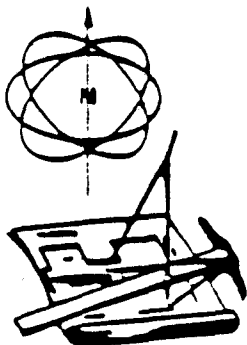
1556 WELLINGTON

GRAND JUNCTION, COLORADO

LOCATION _____
 EQUIPMENT 4" Flight Auger
 ELEVATION _____ DATE 9/15/82



ARMSTRONG ENGINEERS and ASSOCIATES, INC.



JOB # 824006
 APPR. [Signature]
 DATE 9/16/82
 FIGURE 3

GEOTECHNICAL INVESTIGATION
 PROPOSED APARTMENTS
 1556 WELLINGTON
 GRAND JUNCTION, COLORADO

LOCATION _____

EQUIPMENT 4" Flight Auger

ELEVATION _____ DATE 9/15/82

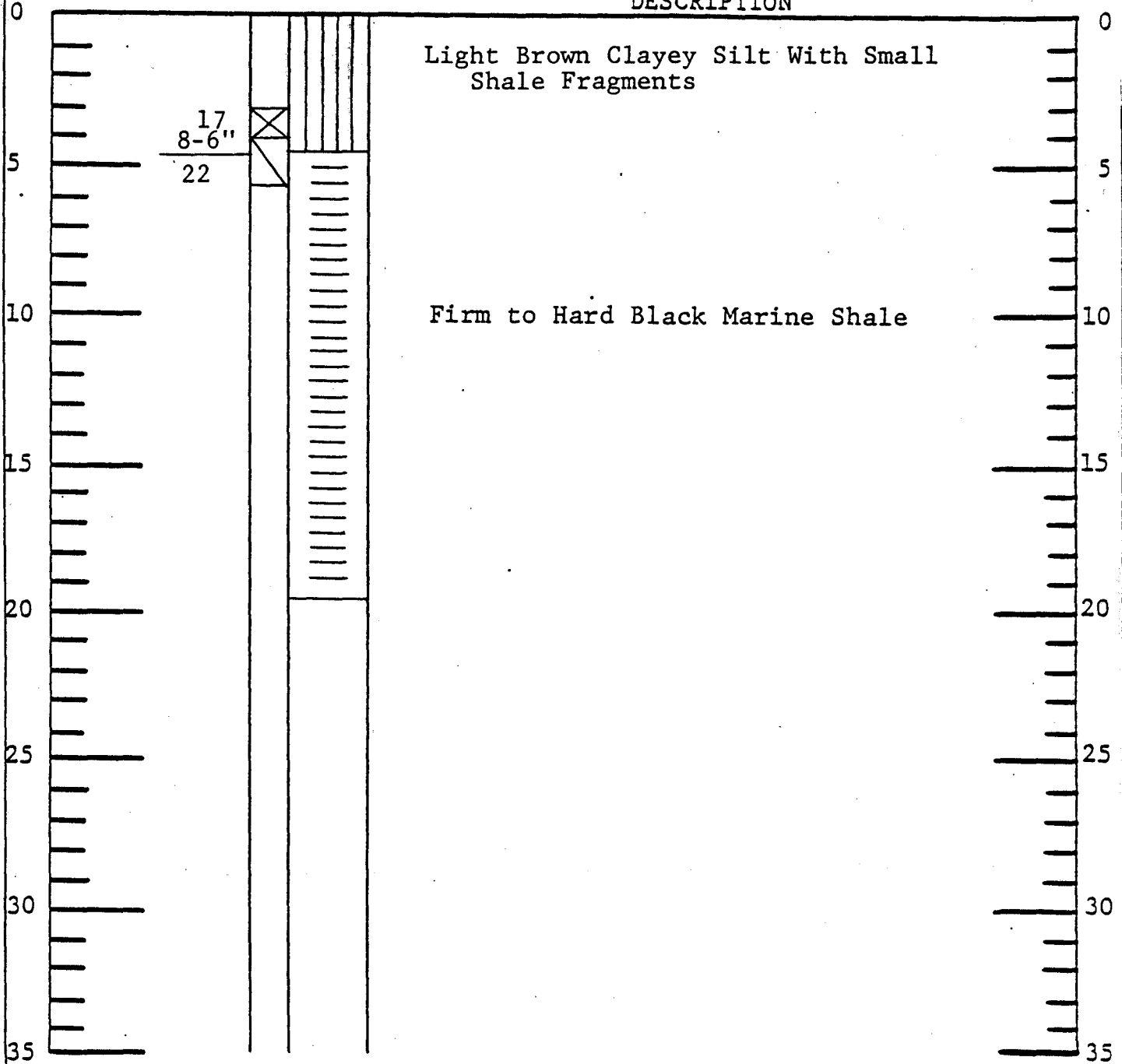
DEPTH IN FEET

BLOWS/FT.

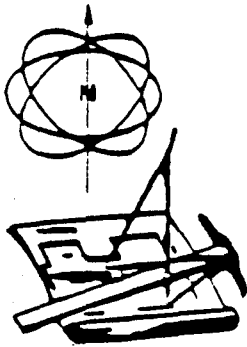
SAMPLE

SYMBOLS

DESCRIPTION



ARMSTRONG ENGINEERS and ASSOCIATES, INC.



JOB # 824006

APPR. [Signature]

DATE 9/16/82

FIGURE 4

GEOTECHNICAL INVESTIGATION

PROPOSED APARTMENTS

1556 WELLINGTON

GRAND JUNCTION, COLORADO

LOCATION _____
 EQUIPMENT 4" Flight Auger
 ELEVATION _____ DATE 9/15/82

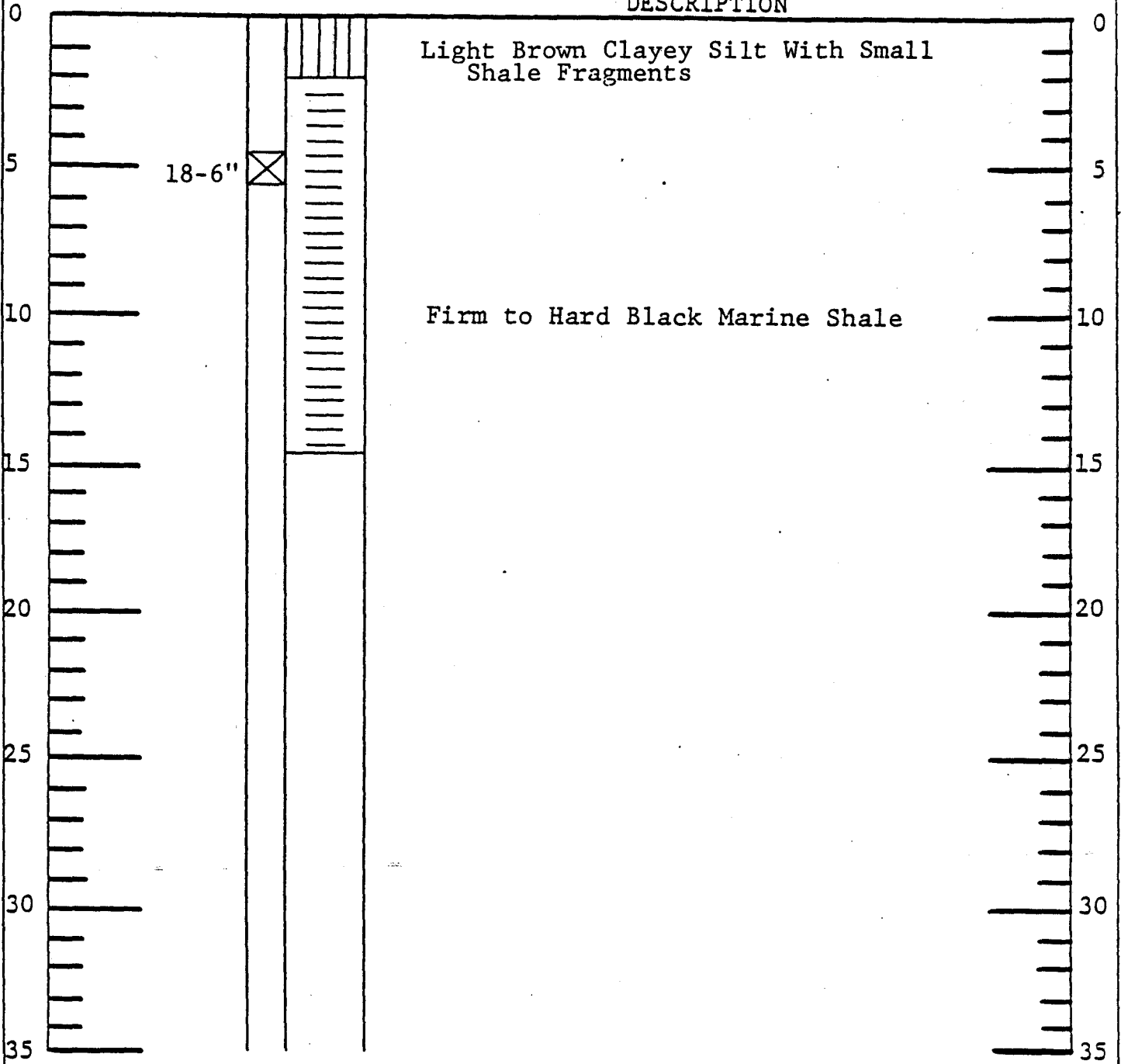
DEPTH IN FEET

BLOWS/FT.

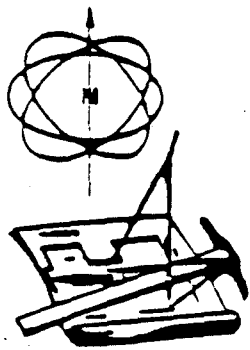
SAMPLE

SYMBOLS

DESCRIPTION

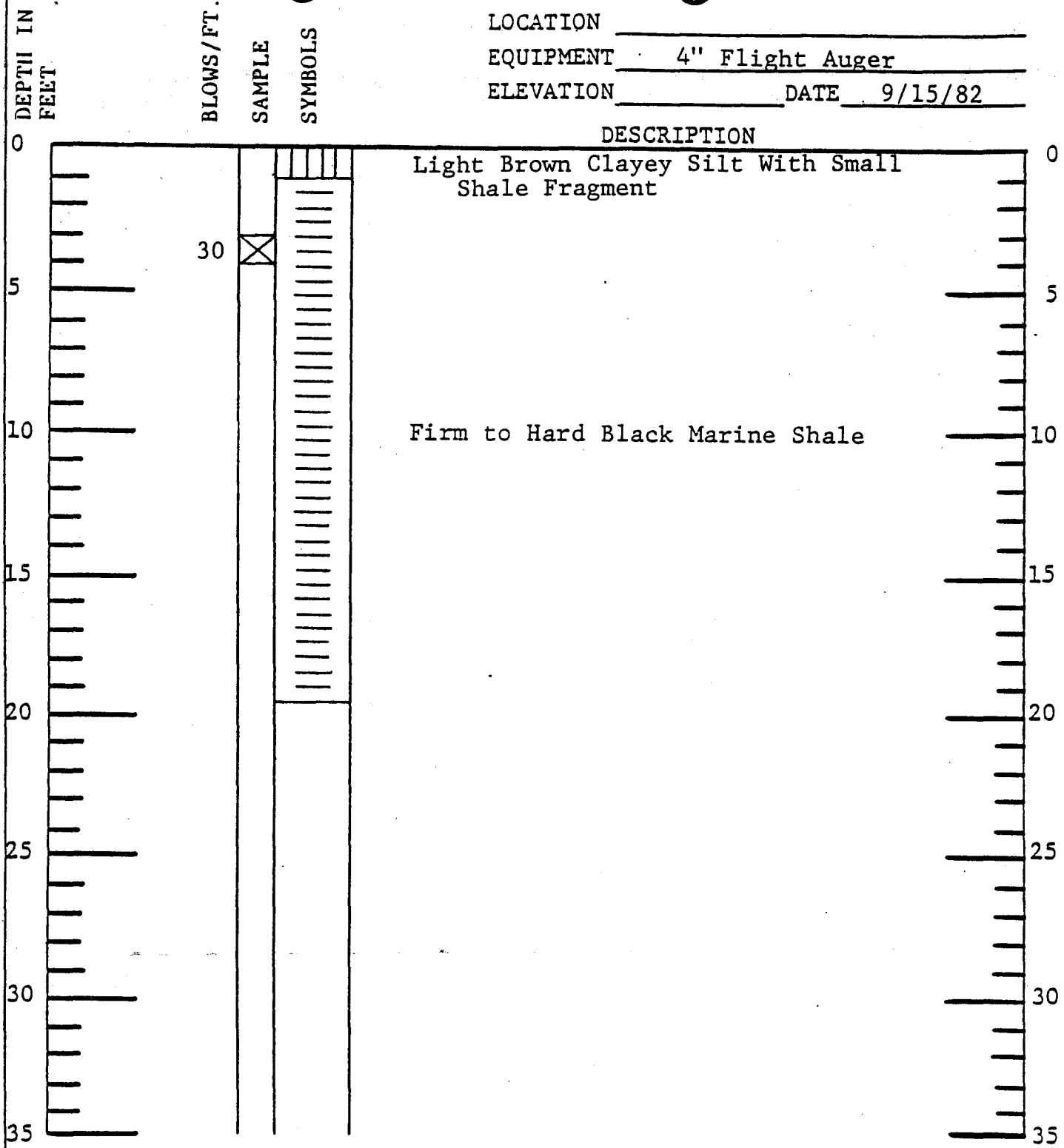


ARMSTRONG ENGINEERS and ASSOCIATES, INC.

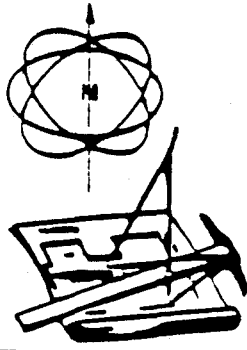


JOB # 824006
 APPR. [Signature]
 DATE 9/16/82
 FIGURE 5

GEOTECHNICAL INVESTIGATION
 PROPOSED APARTMENTS
 1556 WELLINGTON
 GRAND JUNCTION, COLORADO



ARMSTRONG ENGINEERS and ASSOCIATES, INC.



JOB # 824006
 APPR. *[Signature]*
 DATE 9/16/82
 FIGURE 6

GEOTECHNICAL INVESTIGATION
 PROPOSED APARTMENTS
 1556 WELLINGTON
 GRAND JUNCTION, COLORADO

LOCATION _____
 EQUIPMENT 4" Flight Auger
 ELEVATION _____ DATE 9/15/82

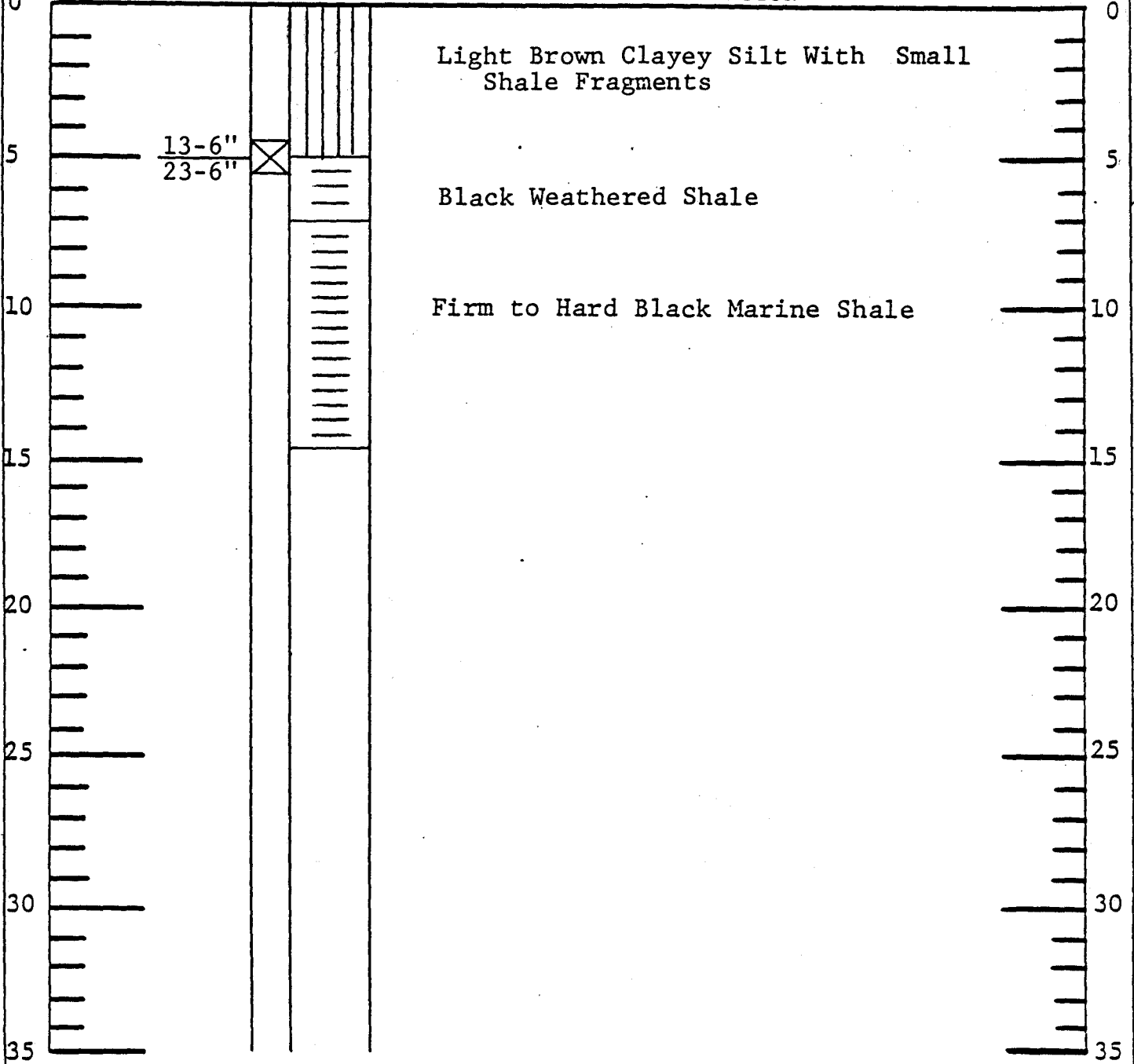
DEPTH IN FEET

BLOWS/FT.

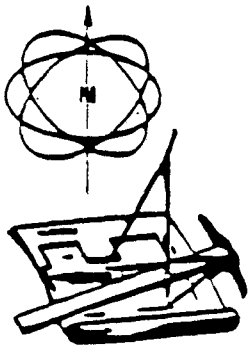
SAMPLE

SYMBOLS

DESCRIPTION



ARMSTRONG ENGINEERS and ASSOCIATES, INC.



JOB # 824006
 APPR. [Signature]
 DATE 9/16/82
 FIGURE 7

GEOTECHNICAL INVESTIGATION
 PROPOSED APARTMENTS
 1556 WELLINGTON
 GRAND JUNCTION, COLORADO

LOCATION _____

EQUIPMENT 4" Flight Auger

ELEVATION _____ DATE 9/15/82

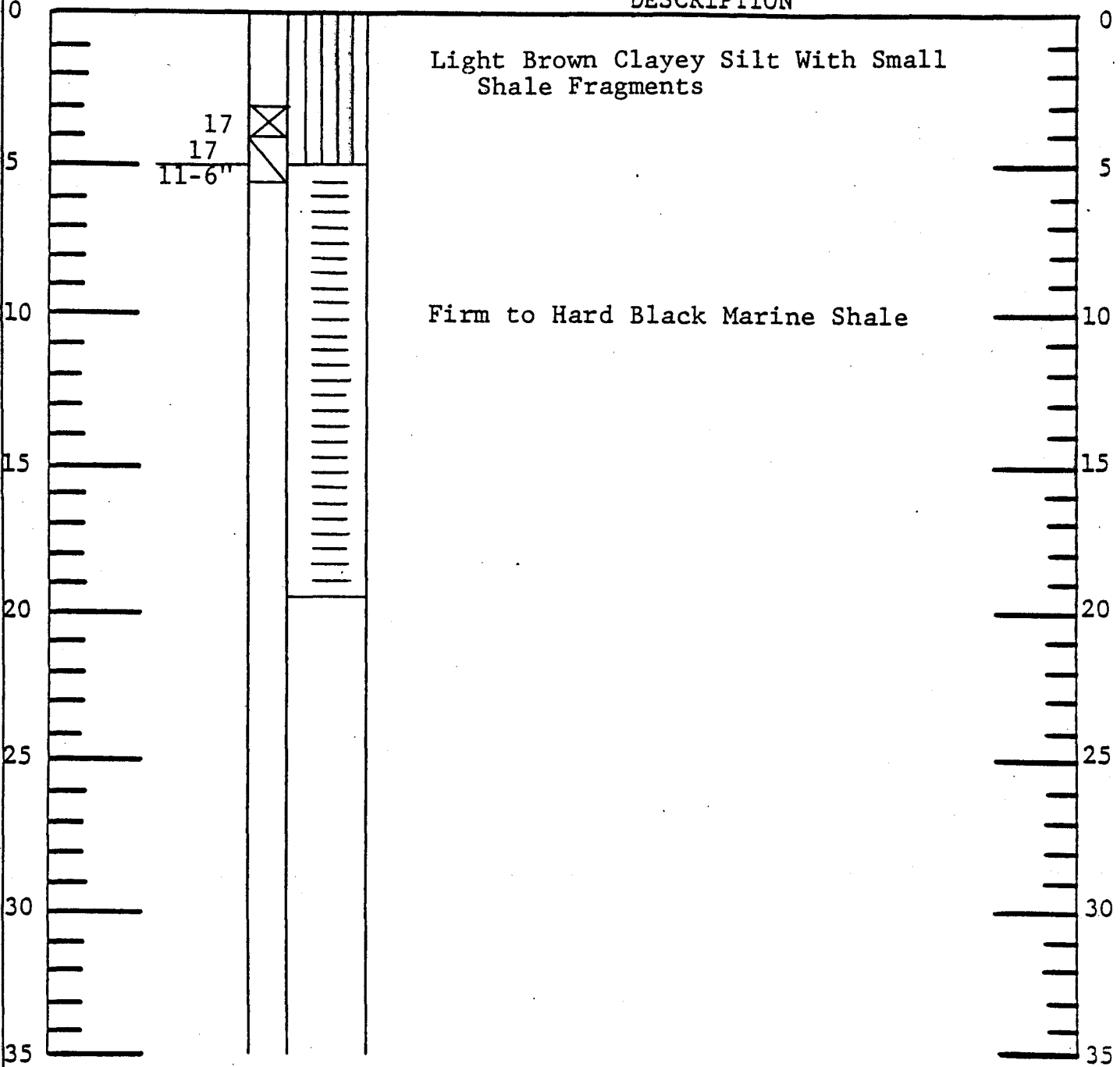
DEPTH IN FEET

BLOWS/FT.

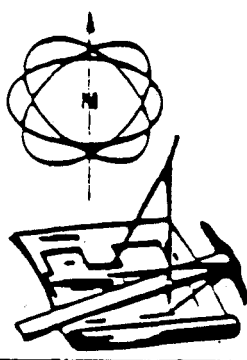
SAMPLE

SYMBOLS

DESCRIPTION



ARMSTRONG ENGINEERS and ASSOCIATES, INC.



JOB # 824006

APPR. [Signature]

DATE 9/16/82

FIGURE 8

GEOTECHNICAL INVESTIGATION

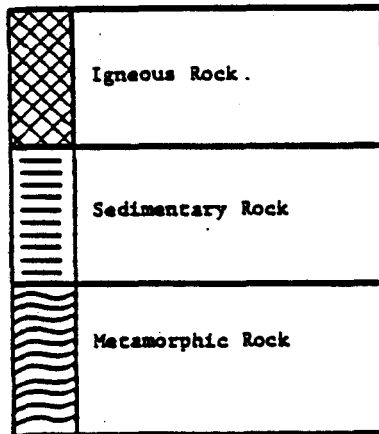
PROPOSED APARTMENTS

1556 WELLINGTON

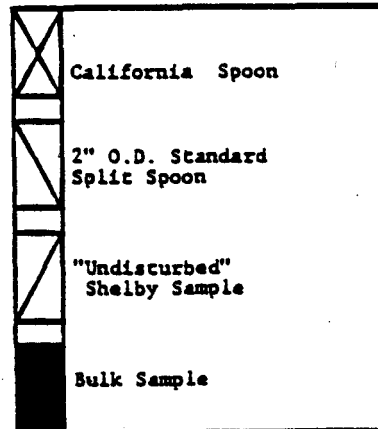
GRAND JUNCTION, COLORADO

GW		Well Graded Gravels, Gravel - Sand Mixtures	ML		Inorganic Silts and Very Fine Sands, Rock Flour, Silty or Clayey Fine Sands, or Clayey Silts with Slight Plasticity
GP		Poorly Graded Gravels, Gravel - Sand Mixtures	CL		Inorganic Clays of Low to Medium Plasticity, Gravelly Clays, Sandy Clays, Silty Clays, Lean Clays
GM		Silty Gravels, Poorly Graded Gravel - Sand - Silt Mixtures	OL		Organic Clays and Organic Silty Clays of Low Plasticity
GC		Clayey Gravels, Poorly Graded Gravel - Sand - Clay Mixtures	MH		Inorganic Silts, Micaceous or Diatomaceous Fine Sandy or Silty Soils, Elastic Silts
SW		Well Graded Sands, Gravelly Sands	CH		Inorganic Clays of High Plasticity, Fat Clays
SP		Poorly Graded Sands, Gravelly Sands	OH		Organic Clays of Medium to High Plasticity, Organic Silts
SM		Silty Sands, Poorly Graded Sand - Silt Mixtures	PT		Peat and Other Highly Organic Soils
SC		Clayey Sands, Poorly Graded Sand - Clay Mixtures	NOTE: Classification of Earth Material Shown on the Boring Logs is Based On Field Inspection Unless Otherwise Determined By Laboratory Testing		

UNIFIED SOIL CLASSIFICATION SYSTEM



ROCK TYPE



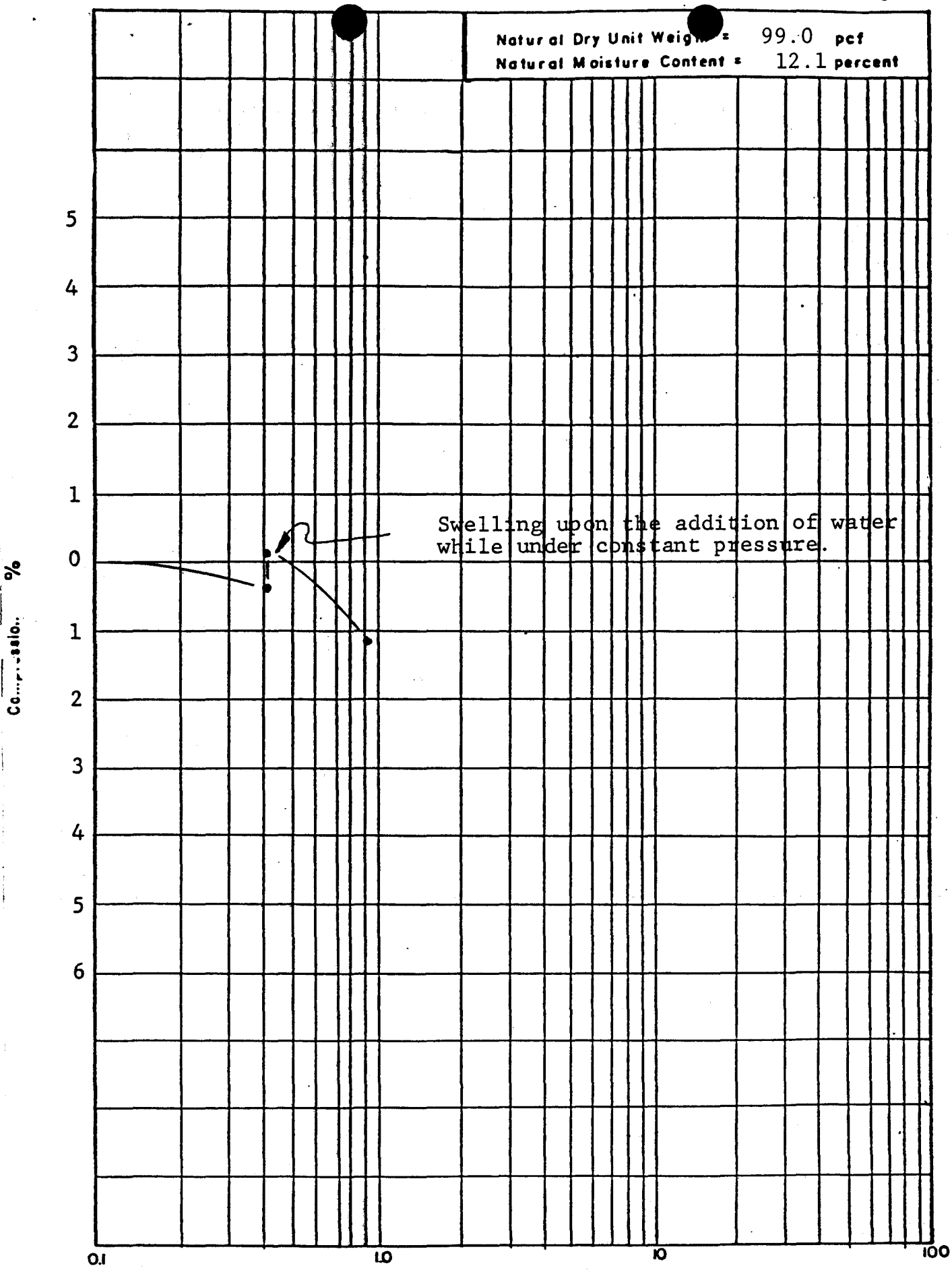
SAMPLE TYPE

WATER TABLE

NOTE: All blow counts are determined by the 30" free fall of A 140 pound hammer

	ARMSTRONG ENGINEERS and ASSOCIATES, INC.	
	JOB # <u>824006</u>	BORING LOG LEGEND AND NOTES PROPOSED APARTMENTS 1556 WELLINGTON GRAND JUNCTION, COLORADO
	APPR.	
	DATE <u>9/16/82</u>	
FIGURE <u>9</u>		

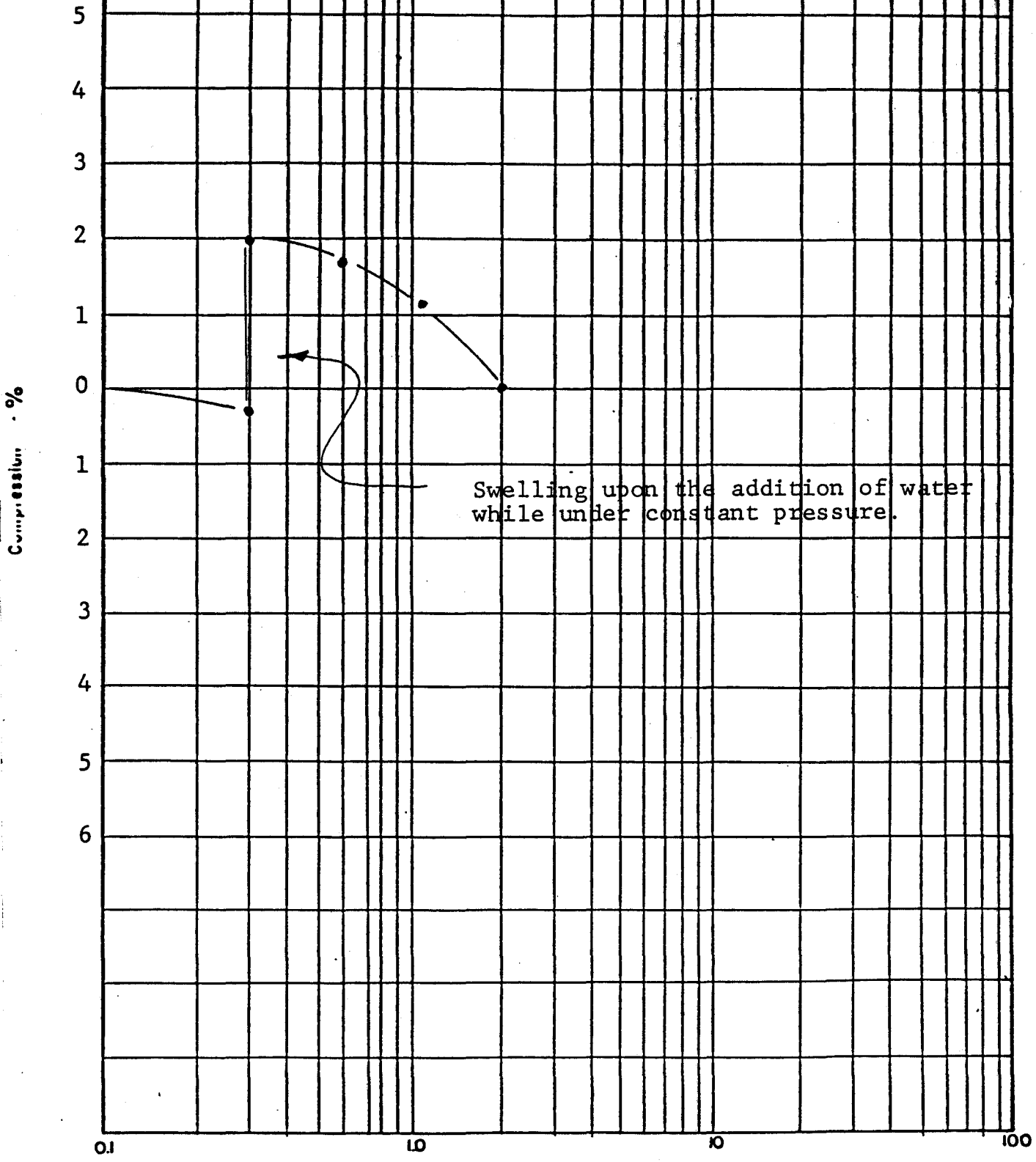
Natural Dry Unit Weight = 99.0 pcf
Natural Moisture Content = 12.1 percent



APPLIED PRESSURE - ksf
Swell-Consolidation Test Results

Figure 10

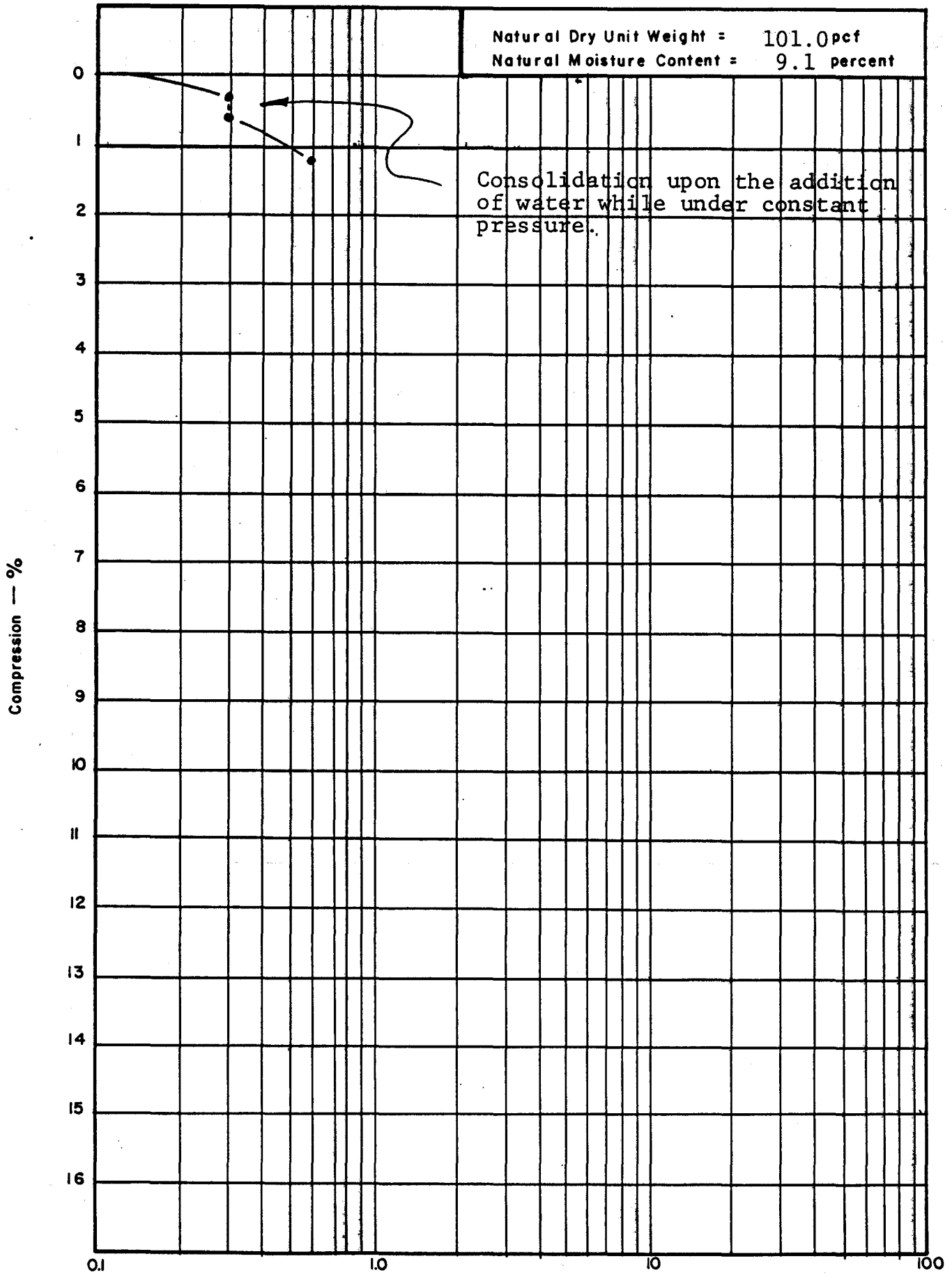
Natural Dry Unit Weight = 111.3 pcf
Natural Moisture Content = 8.5 percent



APPLIED PRESSURE - ksf
Swell-Consolidation Test Results

Figure 11

ARMSTRONG & ASSOCIATES, INC.



APPLIED PRESSURE - ksf
Swell-Consolidation Test Results

Figure 12

18

Irrigation water is available to this development and shall be provided to all lots through a watertight conveyance.

DRAINAGE REPORT

FOR

HOUSTON HEIGHTS

SEPTEMBER, 1982

Prepared By:

PARAGON ENGINEERING, INC.
2784 Crossroads Blvd., Suite 104
Grand Junction, Colorado 81501

PROJECT INFORMATION

LOCATION

Houston Heights lies in the NW 1/4 NE 1/4 NW 1/4 Section 12, Township 1 South, Range 1 West of the Ute Meridian. More generally, it is on the northeast corner of the intersection of 15th Street and Wellington Avenue in the City of Grand Junction, Colorado.

GENERAL

This proposed development contains approximately 3.1 acres with 1.4 offsite acres contributing drainage all of which flow to the southwest corner of the site (See Grading and Drainage Plan). Houston Heights will be a high density development covering about one acre with buildings, asphalt, or concrete. The remaining ground will be for the most part landscaped and seeded. The present state of the area is hard packed top soil with little vegetation to slow storm runoff and help absorption. Currently, the site is not under any obvious agricultural utilization.

As mentioned, the lowest elevations are located in the southwest corner of the site. At this time, water has no means, other than evapotranspiration or ground absorption, to leave this location. Water will pond in this corner until reaching an elevation high enough to overtop the low point in Wellington Avenue (located some 200 feet east of 15th Street). The proposed drainage facilities will include a catch basin in the southwest corner draining south down 15th Street in a storm sewer to the Grand Valley Highline Canal. The storm sewer will be installed as shallow and short as possible in that it will be a temporary measure due to the uncertainty of later 15th Street improvements. Pipe will be installed at 0.30% grade ending approximately 130 feet south of Wellington Avenue where runoff will then be carried by open channel to the canal.

Historic runoff has been overland sheet flow from the northeast corner to the southwest corner. The longest path of developed runoff will be from the tops of buildings to the ground (assume 10 minutes) and across the centrally located open space by sheet flow to the catch basin.

RUNOFF CALCULATIONS

GENERAL

Assume Existing $C = 0.35$ $A = 4.5$ Acres

Composite C (C_c) = $(1 \text{ Ac.} \times 0.95 + 3.5 \text{ Ac.} \times 0.35) / 4.5 \text{ Ac.}$
 = 0.48, Use 0.50 = C_c

$Q = C_f C_i A$, $t_c = 1.87 (1.1 - C)(D)^{1/2} / (S\%)^{1/3}$, $C_{f100} = 1.25$, $C_{f2} = 1.00$

HISTORIC

500' overland flow @ $S = 4\%$ and $C = 0.35$

$t_c = 1.87 (1.1 - 0.35)(500)^{1/2} / 4^{1/3} = 20$ minutes

Intensity-Duration Curves show: $I_2 = 1.2$ in/hr. $I_{100} = 2.8$ in/hr.

$Q_2 = 1.0 (0.35)(1.2)(4.5) = 1.9$ cfs

$Q_{100} = 1.25 (0.35)(2.8)(4.5) = 5.9$ cfs

DEVELOPED

10 minutes off of rooftops + 280' overland flow through central open space to catch basin @ $S = 1.43\%$, $C = 0.35$

$t_c = 10 + 1.87 (1.1 - 0.35)(280)^{1/2} / 1.43^{1/3} = 21$ minutes

$I_2 = 1.1$ in/hr. $I_{100} = 2.7$ in/hr.

$Q_2 = 1.0 (0.50)(1.1)(4.5) = 2.5$ cfs

$Q_{100} = 1.25 (0.50)(2.7)(4.5) = 7.6$ cfs

INCREASES

	Q_2 (cfs)	Q_{100} (cfs)
Historic	1.9	5.9
Developed	<u>2.5</u>	<u>7.6</u>
Q Increase	0.6	1.7
% Increase	<u>32%</u>	<u>29%</u>

CONCLUSIONS

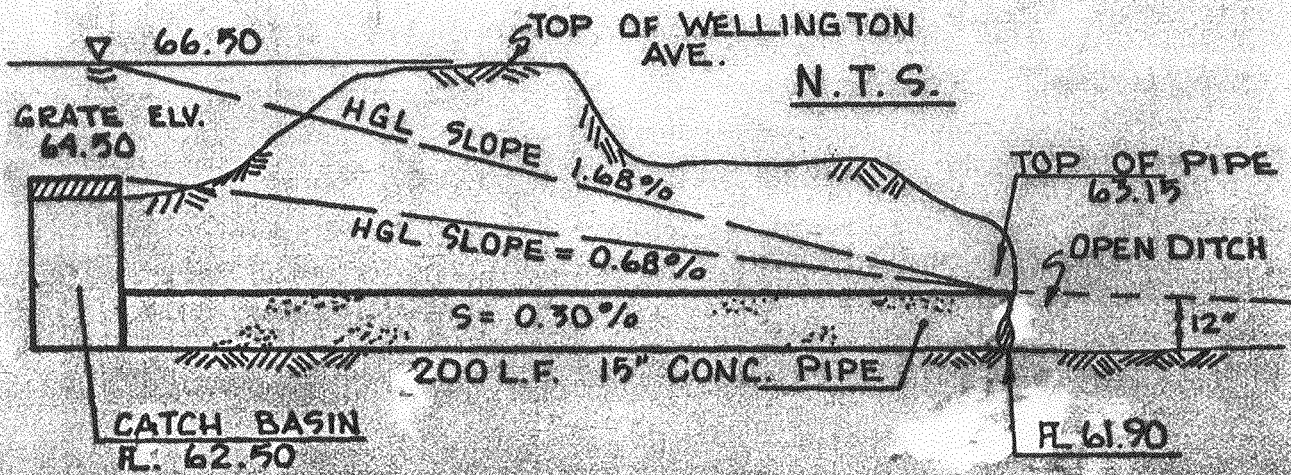
Due to the relatively insignificant increase in runoff produced and to the short distance to a major drainage point, no stormwater detention has been incorporated for this project. The storm sewer system has been sized to accommodate frequent storms with no ponding. Larger infrequent storms may be carried with some ponding at the catch basin area. Building floor elevations have been set to be above all ponding even in the event of a storm sewer clog. This is assuming that Wellington Avenue would not be raised by more than six inches (6") above its present elevation of 4,666.50 at the intersection of 15th Street. Minimum finished floor elevations have been set at 4,667.50 for the development. Storm sewer capacities may be seen in the Appendix.

APPENDIX

Storm Sewer Capacities i

Site and Basin Boundaries ii

Intensity-Duration Curves - Grand Junction iii



$$Q = \frac{1.49}{N} R^{2/3} S^{1/2} A \text{ (MANNING)}$$

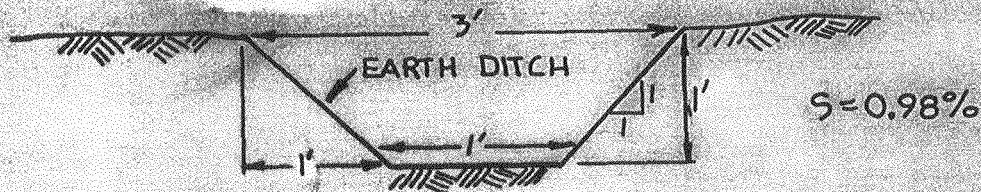
N = 0.013 (CONCRETE)

PIPE CAPACITY:

- NO PONDING: Q = 3.6 C.F.S.
- PONDING TO GRATE: Q = 5.3 C.F.S.
- PONDING TO ROAD TOP: Q = 8.4 C.F.S.

CHANNEL CAPACITY:

CROSS-SECTION
N.T.S.



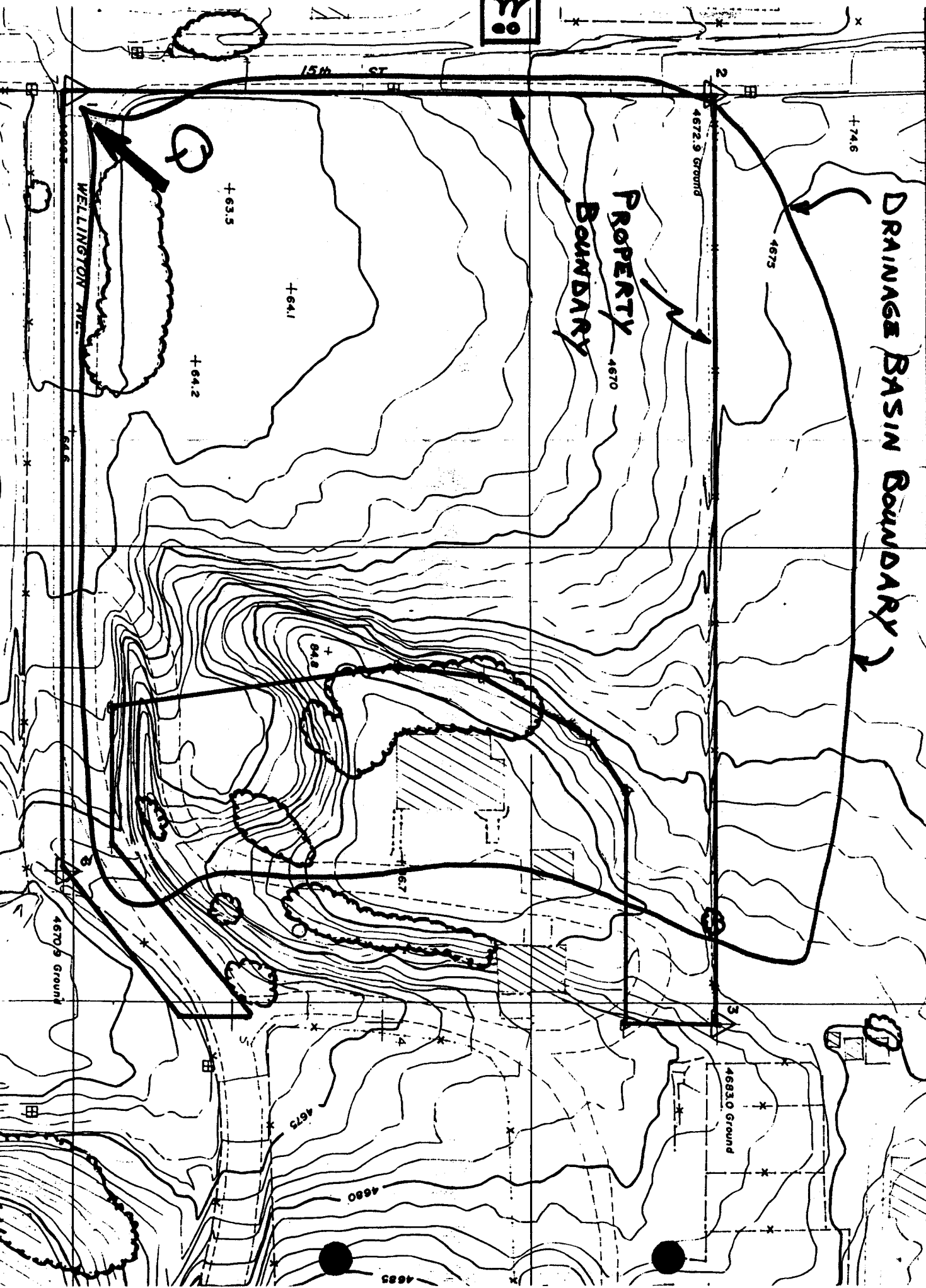
A = 2 FT² P = 3.83' R = 0.52' N = 0.020 (EARTH)

$$Q = \frac{1.49}{0.020} (0.52)^{2/3} (0.0098)^{1/2} (2) = 9.6 \text{ C.F.S.}$$



DRAINAGE BASIN BOUNDARY

PROPERTY BOUNDARY



WELLINGTON AVE.

15th ST

4672.9 Ground

+74.6

+63.5

+64.1

+64.2

+64.8

+65.7

4675

4680

4685

4683.0 Ground

4670's Ground

64.6

3

2

3

4

4675

4

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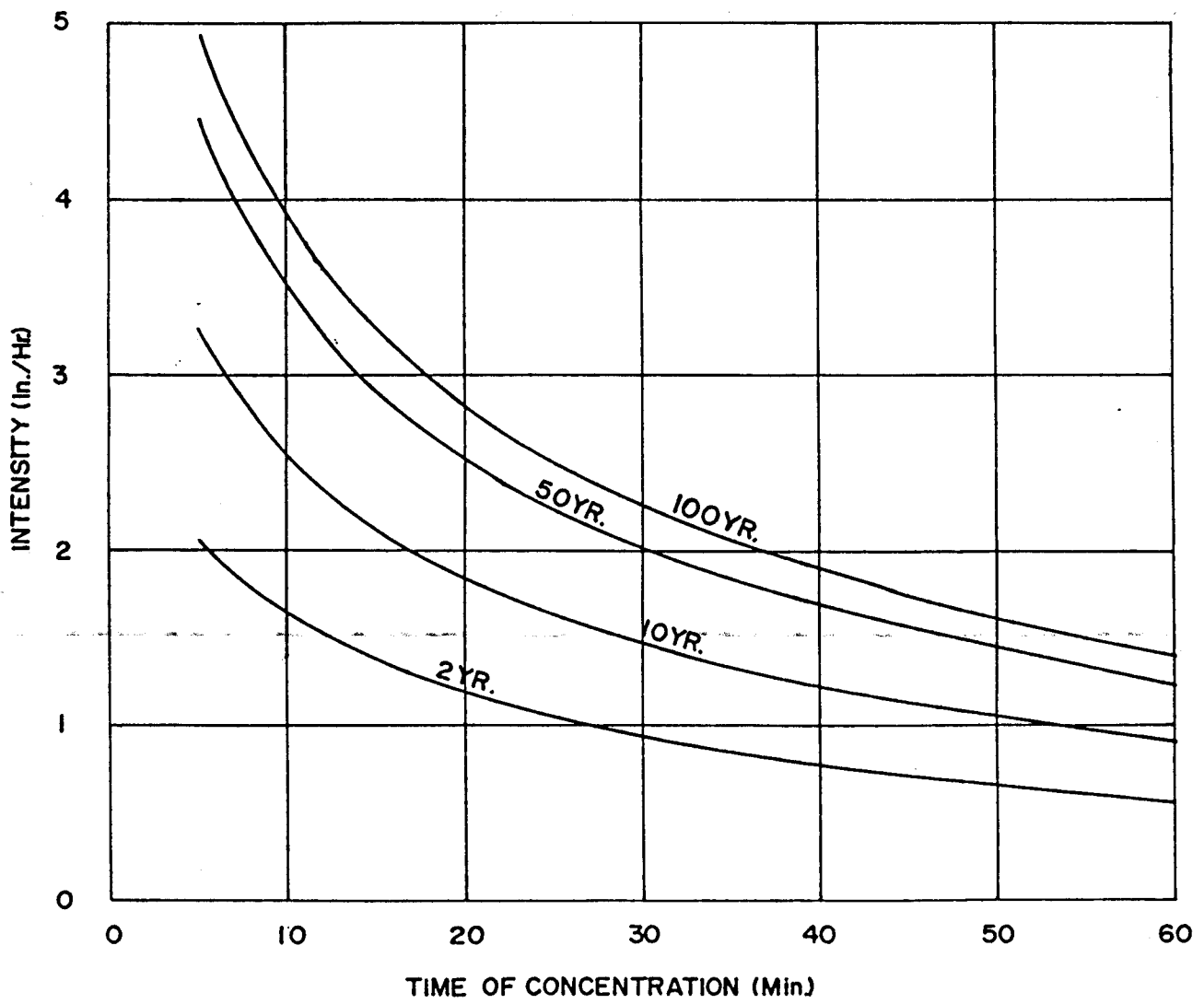
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INTENSITY DURATION CURVES
 GRAND JUNCTION, COLORADO

REC. 10/26/82

Oct. 18, 1982

Grand Junction City Council
Grand Junction,
Colorado

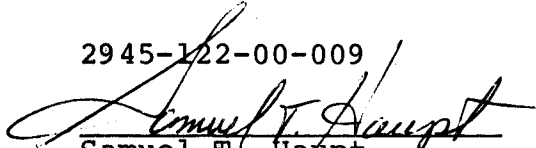
We the undersigned, that own property along 15th. Street between "F" Road and Wellington Avenue, are wanting to form an improvement district for 15th Street.

We have instructed Mr. Darrell Lowder (Employee of City of Grand Junction, Engineering Department) for a petition to form this district. We shall sign the petition when completed by Mr. Lowder and return to you for final approval.

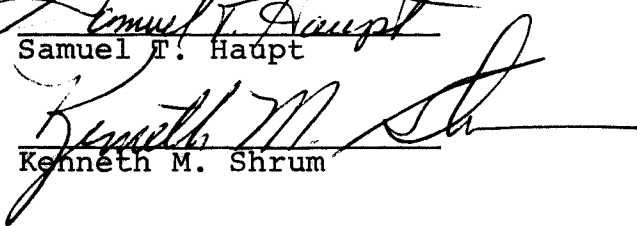
We are attaching a plat of that area showing that the petitioners will comprise of 68% of the district at this time. It is our understanding that you may, at your discretion, approve a district with only 51% request.

Thank you.

2945-122-00-009



Samuel T. Haupt



Kenneth M. Shrum

2945-122-00-002



A.L. Brodak



Shirley Kelley



Gerald L. Kelley

2945-122-00-031



Tony Whittle



Rachel L. Ponce

Dec 11/11/82

November 5, 1982

Grand Junction City Council
Grand Junction,
Colorado

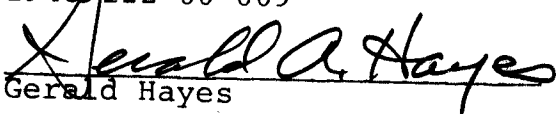
I the undersigned, that owns property along 15th Street between Wellington Ave. and the Grand Valley Canal, want to join with the property owners that own property between "F" Road and Wellington Ave. in forming an improvement district from "F" Road South to the Grand Valley Canal.

We have instructed Mr. Darrell Lowder (Employee of City of Grand Junction, Engineering Department) for a petition to form this Street improvement district. I shall sign the petition when completed by Mr. Lowder and return to you for final approval.

I am attaching a copy of the plat of that area showing that with my property added to the property owners to the North will comprise of about 60% of the district at this time. It is my understanding that you may, at your discretion, approve a district with only 51%.

Thank you.

2945-122-00-009


Gerald Hayes

REVIEW SHEET SUMMARY

FILE NO. 65-82 TITLE HEADING Rezone PR-8 to PR 13.1 DUE DATE 10/14/82

ACTIVITY - PETITIONER - LOCATION - PHASE - ACRES Petitioner: Ken Shrum/CoLex Ltd. Location: Northeast corner of 15th Street and Wellington. A request to change from planned residential uses at 8 units per acre to planned residential uses at 13.1 units per acre and a final plat and final plan of 40 units on approximately 3 acres. a. Consideration of rezone. b. Consideration of final plat. c. Consideration of final plan.

PETITIONER ADDRESS P.O. Box 363

ENGINEER Paragon Engineering

<u>DATE REC.</u>	<u>AGENCY</u>	<u>COMMENTS</u>
10/7/82	Trans. Eng.	No comments.
10/8/82	City Fire	This office has no objection to the rezone and final plan as shown. Adequate room for emergency access must be maintained through the private drives.
10/8/82	City Utilities	Water main should be located 10 ft. from concrete walk. If Wellington Ave. is improved, water and sewer mains should be installed prior to improvements to street.
10/13/82	GV Irrigation	These people should check with the Grand Valley Irrigation Company to be assured water can be delivered to this property through existing facilities or if some other arrangements must be made.
10/13/82	Public Service	Gas & Electric: No objections.
10/14/82	Planning Staff Comments	<p>Overall Concerns: Both 15th Street and Wellington are currently unimproved. There was strong neighborhood concern of other projects on Wellington regarding additional traffic impact and compatibility in the area (i.e. Wellington Townhomes). This specific area is currently undeveloped both to the north and south due in part to street conditions and lack of services. Without the formation of an improvement district, at least from Wellington north to Patterson along 15th St., this project would be less than desirable. Through various discussions with the owner and representatives, the formation of a street improvement district is feasible. A specific provision should be considered with this in mind, as to timeframe and extent of improvements for 15th and Wellington. Consideration for future extensions of ROW and sewer and water should to the east need to be discussed.</p> <p>The use itself is not unreasonable, however without these concerns resolved, the plan is still in question. The phasing looks ok as long as all improvements go in as per impact statement (9/29/82). Neighborhood concerns should also be addressed since there is no guarantee that the majority of traffic anticipated (5.4 average vehicle trips per day X 40 units = 216 total UTD, Source ITE Trip Generation 221) will use 15th St. solely, even if improved.</p> <p>Site Plan:</p> <ol style="list-style-type: none"> 1) Buffering/screening look adequate. 2) Good to see bike racks. 3) Landscape plan: low profile bushes/growies at ingress/egress. Irrigation system needs to be reviewed. Water rights? 4) 2 story - what is max. height? 5) Parking looks OK except for parallel spaces on east side 90° would be preferred or none at all (loading/fire lanes etc.) 6) Trash P/U location coordinated with Reeves. 7) Signage detail needed (dimensions need to be ok'd by Don). 8) Improvements Agreements need to be signed & public ROW improvements stipulated.

- 9) Appraisal paid prior to recording of final plat.
- 10) Would like more specific timeframe on Phase II construction.
- 11) Overall looks good.
- 12) Resolve other review agency concerns.
- 13) Show setbacks on plat.

14/82 City Parks

It would be preferable to not have the Russian Olive trees on City ROW. The same is true with the Cottonwoods. Both of those trees are fast growing and tend to be brittle. The Russian Olive has the thorns and pruning is a problem because of their irregular growth. All Cottonwoods if used should be seedless and cottonless. Keep tree spacing at least 30-35 feet.

Lake Mountain Bell

/82 GJPC MINUTES OF 10/26/82

ON: (COMMISSIONER O'DWYER) "MR. CHAIRMAN, BASED ON OUR AWARENESS OF THE OVERALL COST OF THIS DEVELOPMENT IN THIS AREA AND THAT MORE REQUESTS WILL BE COMING IN AND ADDITIONAL TRAFFIC CANNOT BE HANDLED, I MAKE A MOTION WE FORWARD THIS REZONE REQUEST #65-82 TO CITY COUNCIL WITH THE RECOMMENDATION OF DENIAL AND THAT THE STREET IMPROVEMENT DISTRICT BE FORMED BY THESE PEOPLE ALONG WITH THOSE TO THE SOUTH AND PETITION THE CITY COUNCIL TO PUT THE BRIDGE IN AND WE CAN RE-ENTERTAIN THIS PROPOSAL."

COND TO THE MOTION WAS NOT HEARD.

MR. TRANSMERER ASKED FOR A SECOND. NO ONE SECONDED THE MOTION SO THE MOTION DIED FOR LACK OF A SECOND.

ON: (DICK LITTLE) "IN CASE OF FILE #56-82, HOUSTON HEIGHTS SUBDIVISION REZONE PR-8 R-13.1, I MOVE WE FORWARD IT TO CITY COUNCIL WITH THE RECOMMENDATION OF APPROVAL, INCLUDING THE RESOLUTION OF REVIEW AGENCY COMMENTS."

COMMISSIONER QUIMBY SECONDED THE MOTION.

DISCUSSION FOLLOWED.

MR. TRANSMERER REPEATED THE MOTION, CALLED FOR A VOTE AND THE MOTION CARRIED 5-1 (COMMISSIONER O'DWYER VOTED IN OPPOSITION).

ON: (COMMISSIONER O'DWYER) "BASED ON THE DISCUSSION WE'VE HAD ON CASE #65-82, CONSIDERATION OF THE PRELIMINARY PLAT AND FINAL PLAN, HOUSTON HEIGHTS SUBDIVISION, I MOVE WE FORWARD THIS TO CITY COUNCIL WITH THE RECOMMENDATION OF DENIAL BASED ON THE EXISTING STREETS, ROADS AND TRAFFIC CONDITIONS AT PRESENT, AND OTHER REVIEW AGENCY COMMENTS, AND RECOMMEND THAT IT BE RECONSIDERED AT A LATER DATE. THE IMPROVEMENTS DISTRICT FOR 15th STREET INCLUDING THE BRIDGE ACROSS THE RIVER AT 15th STREET ARE IMMINENT."

COMMISSIONER LITTLE SECONDED THE MOTION.

MR. TRANSMERER REPEATED THE MOTION, CALLED FOR A VOTE, AND THE MOTION CARRIED 5-1 (COMMISSIONER QUIMBY VOTING AGAINST).

RESPONSE TO REVIEW SHEET COMMENTS

Received
10/22/82

HOUSTON HEIGHTS
Phase: Rezone PR8 to PR13.1
Final Plat and Final Plan
File#: 65-82

October 22, 1982

<u>Agency</u>	<u>Response</u>
Transportation Engineer	Indicated no comments.
City Fire	Indicated no objection to rezone and final plan as shown.
City Utilities	The water main is located 10' from the concrete walk as specified. Utility mains shall be installed in Wellington Ave. prior to the roadway improvements.
Grand Valley Irrigation	This project is irrigated from the Highline system.
Public Service Company	Gas & Electric: Indicated no objections.
City Parks	Russian Olive and Cottonwood trees will not be planted in city R.O.W. Spacing on shade trees shall be 30-35'. Seedless and cottonless cottonwood trees shall be planted.
Planning Staff	This petition is divided into two phases. Phase I, or construction of 24 units, corresponds to the existing PR8 density. Phase I construction would begin immediately. When Houston Heights is approved by the City Council, the petitioner shall submit a letter to the City Council asking for the creation of an Improvement District for 15th St. The letter is signed by persons owning 68% of the property abutting 15th St. between Wellington Ave. and Patterson Rd. When the upgrading of 15th St. is physically begun, Phase II development of Houston Heights shall begin.

Phase II consists of construction of an additional 16 units, or the difference between the requested PR13.1 and existing PR8 zones. It must be emphasized that this shall not occur until 15th St. construction is assured.

The developer of Houston Heights has already given a power of attorney for Wellington Ave. improvements adjacent to his property. The existing gravel road does not lie in a right-of-way save where it is dedicated on Houston Heights. Property owners to the south and east shall have to deed right-of-way and participate in road upgrading.

Regarding the specific site plan comments, we would respond:

1. Stated the buffering and screening looked adequate.
2. Stated bike racks looked adequate.
3. Low-profile landscaping shall be used at ingress and egress points. The irrigation system shall be submitted to the appropriate agencies for their review. Water rights run covenant with the land as part of the Highline System.
4. The two-story units proposed are 24' in height.
5. The developer feels that providing the four parallel parking spaces on the east side provides for the "quick-trip" type of access into these units. This type of access might otherwise be blocking driveways, and these parallel parking spaces are a benefit to the site plan.
6. Trash pickup location is as suggested by the refuse department.
7. Dimensions shall be shown on the sign.
8. The improvements agreement shall be signed when the proposals for the method of making the necessary improvements in the adjacent public R.O.W.'s are approved by the City Council.
9. The open space fee shall be paid at the time of recording the final plat.
10. As stated above, Phase II construction shall commence when and not before 15th St. is improved to City of Grand Junction standards from Patterson Rd. to Wellington Ave.
11. Commented that the overall plan looks good.
12. Commented that other review agency concerns must be resolved.
13. The building envelopes have been shown on the plat and have been tied down to the various property lines and private drives.

FF **ACTION SHEET**

Acres 3
 Units 40
 Density _____

File No. #65-82

rezone & final plan / plat

Zone PR8
 Tax Parcel Number 2945-122-00-031

Activity HOUSTON HEIGHTS Rezone PR8 to PR13.1

Phase & final Plan

Common Location NE Corner of 15th & Wellington St.

Date Submitted 10/1/82 Date Mailed Out 10/4/82 Date Posted 10/15/82
 10 day Review Period Return by 10/4/82 MCC Information Sent _____

Date Adjacent Property Owners Notified of MCPC/GJPC _____ Date Adjacent Property Owners Notified of MCC/CIC _____

review agencies

	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	AA	BB	CC	DD	EE	FF	GG
Development Dept.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•
County Road	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
County Health	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
County Surveyor	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
County Parks/Recreation	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
County Engineer	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Transportation Engineer	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
City Engineer <u>2 sets</u>	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
City Utilities	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
City Parks/Recreation	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
City Police Dept.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
County Sheriff	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Floodplain Administration	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Comprehensive Planning	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
G.J. Dept. of Energy	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Fire <u>City</u>	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Irrigation <u>GU</u>	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Drainage	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Water (Use, Clifton)	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Sewer	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
G.V. Rural Power	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Mountain Bell	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Public Service <u>(2 sets)</u>	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Soil Conservation	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
State Highway Dept.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
State Geological	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
State Health Dept.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Transamerica	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Water & Power Resources	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
Mack, Loma, Mesa, Colbran, Fruta, Palisade, Grand Jct.	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
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PLANNING COMMISSION <u>(7)</u> <u>(12)</u>	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
CIC/MS	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
client	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	•	
totals	31	31	14	14	14	14	24	52	10	6	3	37	34	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2	2		

BOARDS

DATE 11/24/82 Approved rezone 6-1. Denied plat/plan 6-1 until traffic on 15th St. ID is approved by CC for 15th St & Bridge from canal to F rd.

CIC 11/17/82 Fact-funding

CIC 12/1/82 Approved SUBJECT TO: 1) NO B.P. ISSUED UNTIL I.D. FORMED, 2) IMPROVEMENT OF 15th ST. & DEVELOPMENT OF PROPERTY MUST BE COORDINATED, 3) DEVELOPMENT LIMITED TO

STAFF

See related file #30-81 NO. OF UNITS APPROVED UNDER

GPC 8/20/84 Rec. ext to 4/1/85 PR-8 UNTIL 15th ST. BRIDGE

GPC 4/18/84 Appr. " " " " " " HAS BEEN CONSTRUCTED.

GPC 4/30/85 rec. Jyr. ext. full pay at submittal.

Open Space Dedication (acreage) _____ 5% O. S. Fee Required \$ _____ Paid Receipt # _____

Recording Fee Required \$ _____ Paid (Date) _____ Date Recorded _____

City County Development Department _____ Date Resolution Mailed _____

Pre-application Fee Receipt No. _____





CITY - COUNTY PLANNING

grand junction-mesa county 559 white ave. rm. 60 grand jct., colo. 81501

(303) 244-1628

February 13, 1984

TO: All Owners/Petitioners

FROM: Grand Junction Planning Commission
Grand Junction Planning Department

RE: Enforcement of Development Schedules

Enforcement of development schedules of previously approved projects is an on-going concern for the City of Grand Junction. The City Planning Commission will be having their annual Extension/Reversion public hearing on Tuesday, March 20, 1984 at 7:00 p.m. in the City/County Auditorium, 520 Rood Avenue, Grand Junction, Colorado. You or your representative must be present.

By using the timeframes expected for development, the City is able to anticipate the needs for public services and improvements to provide service for these projects and surrounding areas. The City can also schedule those capital improvements required to be completed in conjunction with the project development itself.

The hearing will not be a re-review of the project for technical issues. It will be a discussion of anticipated timeframes for project buildout, and the likelihood of the project itself. Any project discussed without the Owner/Petitioner or representative present at the special hearing will be automatically recommended for reversion.


If an extension is requested by the Owner/Petitioner, the Grand Junction Planning Commission may grant an extension for one year. If the Owner/Petitioner requests a reversion, the Grand Junction Planning Commission will recommend reversion of that project and/or zone.

Enclosed is your project violation of the Grand Junction Zoning and Development Code. Also enclosed is the required submittal information for the Grand Junction Planning Commission to review.

We appreciate your continued cooperation in this process.

If you have any questions, please contact the City Planning Department at 244-1628.

Thank you.

BG/tt 

Enclosures

This is to inform you that your project File # 65-82

Project Name Houston Heights

approved on 12/1/82 by the Grand Junction City Council,

is now in violation of the Grand Junction Zoning and Development Code.

It violates the development schedule process as indicated below:

— Sec. 6-9-2C
(Final Plat)

All final plats shall be recorded within one year from the date of final approval. Failure to record within this time shall require re-review and processing as per the final plat processing procedure.

— Sec. 7-5-7
(Prel. & Final
Plan)

Enforcement of the Development Schedule and Procedures for Reversion. If the owner or owners of property in the PD have failed to meet a mutually-approved development schedule, failed to submit a preliminary or final plan within the agreed-upon period of time, or failed to obtain an extension, the Planning Commission may initiate action to withdraw approval of the Planned Development. This action shall consist of a formal recommendation for reversion to the prior zone, to be deliberated at a public meeting for which the property was signed and abutting property owners notified. This public meeting shall not be an advertised public hearing. The Commission's recommendation shall then be forwarded to the Governing Body. After holding an advertised public hearing, the Governing Body may extend the limits of the development schedule or withdraw the Planned Zone designation; in which case the land will revert to its previous zoning.

The Grand Junction Planning Commission is requiring the following information to be provided to this department a minimum of ten (10) days prior to the Special Public Hearing on March 20, 1984.*

Eight (8) copies of:

- a) Location, current property owner, and representative if applicable.
- b) Brief discussion of current status of the approved project. This should include the feasibility, likelihood of buildout, or anticipated changes to the approved plan.
- c) Development schedule anticipated for completion of next phase or buildout.
- d) Any work completed to date on the project to fulfill the next development process requirements. (i.e. if final approval, when is plat to be recorded, or if preliminary approval, when is final plan to be submitted?)
- e) Extension requested (one year maximum).

* Any packets not received or received after this date may result in automatic reversion.