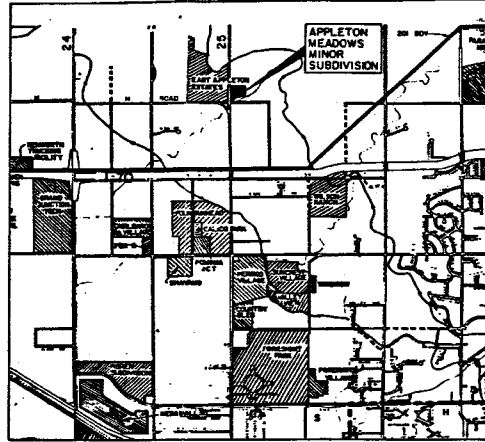
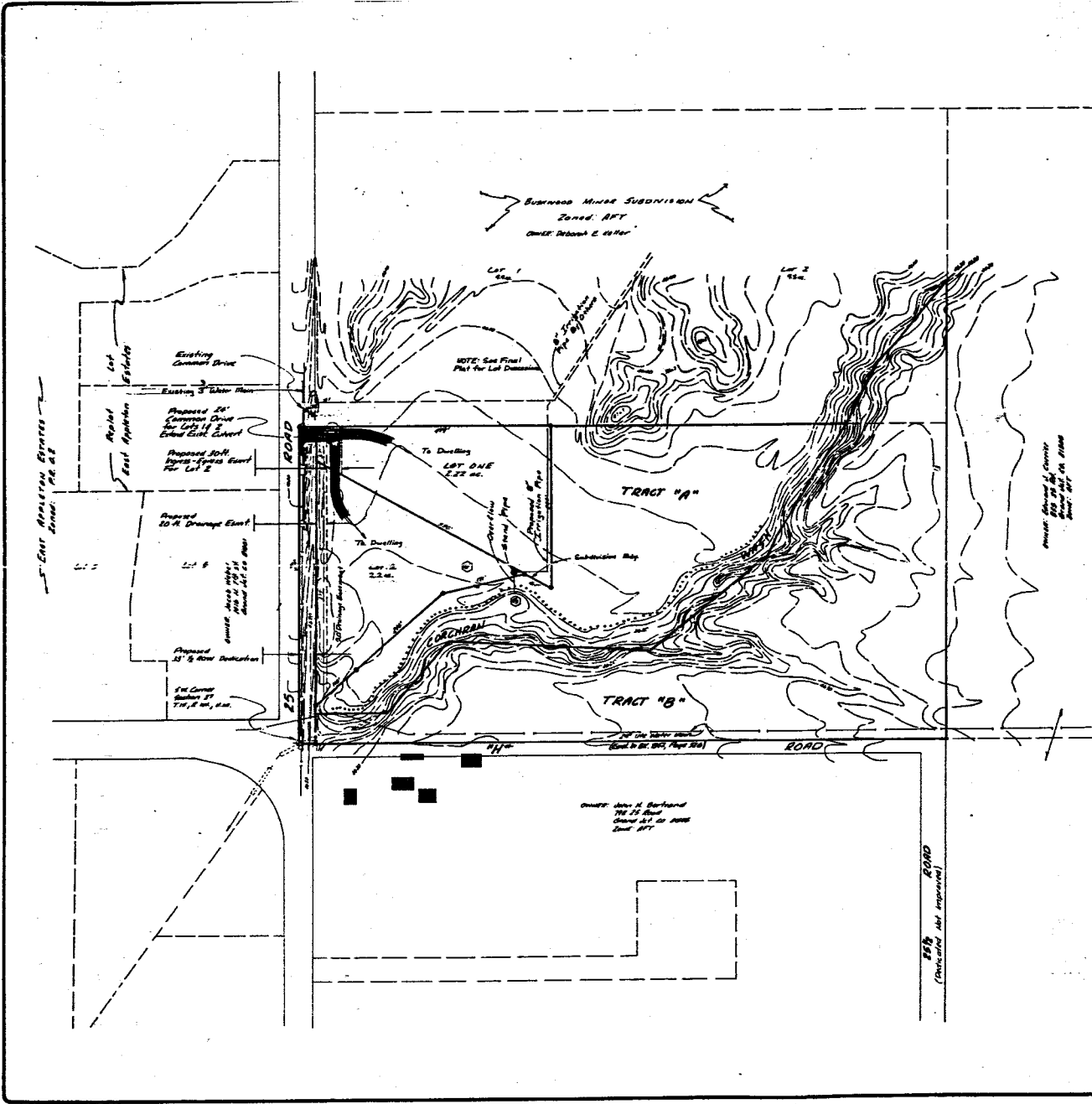


Table of Contents

File 1990-0007

Name Mesa County Reviews - 1990

	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the in some instances, not all entries designated to be scanned by the department are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been provided.</p> <p>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</p> <p>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</p>
X	X	Table of Contents
		Review Sheet Summary
		Application Form
		Review Sheets
		Receipts for fees paid for anything
		*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map.
		Evidence of title, deeds, easements
		*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
		*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions
		*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)
<u>DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:</u>		
		MESA COUNTY REVIEWS FOR:
		X X
		Himes Commercial Park – Reversion and Revocation of Plan and Plat – 12/11/90
X	X	Greenfield Run Subdivision – County Review Sheet – 6/19/90
X	X	Appleton Kennels Subdivision – Project Narrative – 6/21/90
		X X
		El Rio Development Plan – Grading Plan – Roadway Plan – Roadway Profile & Details – Utility Plan – Utility Details – Final – 8/16/90
X	X	Redlands Country Corner – Rezone B to PB & Preliminary / Final – 4/19/90
		X X
		Stonegate Subdivision – Filing No. 2 (A Replat of Mesa Valley Estates) – 10/16/90
X	X	Patterson Parkwest Subdivision – Minor Subdivision
		X X
		Diamond Shamrock – Site Plan - Grading & Drainage Plan – Utility & Piping Plan
X	X	Devries Gravel Pit – Conditional Use Permit – 3/23/90
		X X
		Patterson Parkwest Subdivision – Minor Subdivision – 4/19/90
X	X	Replat for Mesa Valley Estates – renamed Stonegate Subdivision – Prelim/Final
		X X
		Cimarron Subdivision – Preliminary Site Plan
X	X	Seasons at Tiara Rado – Filing # 1 – Revised Final – 3/14/90
		X X
		Appleton Meadows - Minor Subdivision – Final Plat
X	X	Mirage Estates – Development Plan / Preliminary – 1/18/90
		X X
		River Road Auto Salvage Yard – Conditional Use Permit – Conditional Use Permit – 2/28/90
X	X	Appleton Meadows Minor Subdivision
		X X
		Amendments to the Mesa County Land Development Code – 6/21/90
X	X	Various text Amendments – Day Care – 10/19/90
		X X
		Sisson Minor Subdivision – 9/21/90
X	X	Silverado II - Annual Review of Conditional Use Permit - 11/14/90



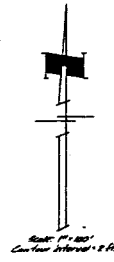
LOCATION MAP
Scale: 1" = 200'

GENERAL NOTES

1. This development is located in part of the SW 1/4, SW 1/4, Section 7, T.16, R.164, U.M.
2. Domestic water service is by Ute Water.
3. Sewage disposal by individual absorption fields.
4. Area quantities:
Area in lots = 4.40
Area in road ROW = 0.40
Total = 4.80

LEGEND

- Existing 2ft contours
- Indicates SCS soil classification
- Indicates SCS soil classification boundary



CHECKED	
DATE	
SCALE	
REVISIONS	BY

ARMSTRONG CONSULTANTS, INC.
1000 N. GARDEN AVENUE, SUITE 1000
 DENVER, COLORADO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112



FINAL DEVELOPMENT PLAN
 APPLETON MEADOWS MINOR SUBDIVISION
 MESA COUNTY, COLORADO

APPLETON MEADOWS MINOR SUBDIVISION

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, WILLIAM L. SHAMAN and RODNEY K. SNYDER are the owners of that real property situated in the County of Mesa, State of Colorado, and is described in Book _____ of Page _____ of the Mesa County Clerk and Recorder's Office, and being situated in the S1/2 SW1/4 SW1/4 Section 27, Township 1 North, Range 1 West, Ute Meridian, Mesa County, Colorado as shown on the accompanying plot, said property being additionally described as follows:

Beginning at a point being 33.00 feet S89°58'30"E and 78.55 feet N00°08'24"E of the SW corner of Section 27, Township 1 North, Range 1 West, Ute Meridian, and considering the South line of the S1/2 SW1/4 SW1/4 Section 27 to the North line of the S1/2 SW1/4 SW1/4 Section 27, thence N00°08'24"E 564.47 feet to the North line of the S1/2 SW1/4 SW1/4 Section 27; thence S89°58'24"E 478.48 feet along the North line of the S1/2 SW1/4 SW1/4 Section 27; thence S00°09'24"W 337.12 feet; thence N60°33'05"W 60.62 feet; thence S78°52'33"W 170.60 feet; thence S46°38'41"W 243.96 feet; thence S46°54'21"W 109.68 feet to the point of beginning, containing 4.403 Acres as described.

That said owners have caused the said real property to be laid out and surveyed as APPLETON MEADOWS MINOR SUBDIVISION a subdivision of a part of Mesa County, State of Colorado.

That said owners do hereby dedicate and set apart all of the streets and roads as shown on the accompanying plot to the use of the public forever, and hereby dedicate to the Public Utilities those portions of said real property which are labeled as utility easements on the accompanying plot as perpetual easements for the installation and maintenance of utilities, irrigation and drainage facilities, including but not limited to electric lines, gas lines, telephone lines, together with the right to trim interfering trees and brush; with perpetual right of ingress and egress for installation and maintenance of such lines. Such easements and rights shall be utilized in a reasonable and prudent manner.

That all expenses for street paving or improvements shall be furnished by the seller or purchaser, not the County of Mesa.

IN WITNESS WHEREOF said owner has caused his name to be hereunto subscribed this _____ day of _____ A.D., 199__.

WILLIAM L. SHAMAN
RODNEY K. SNYDER

STATE OF COLORADO } S.S.
COUNTY OF MESA }

The foregoing instrument was acknowledged before me this _____ day of _____ A.D., 199__, by WILLIAM L. SHAMAN and RODNEY K. SNYDER.

My commission expires: _____
Notary Public
Address: _____

CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO } S.S.
COUNTY OF MESA }

I hereby certify that this instrument was filed in my office of _____ Clerk _____ M. this _____ day of _____ A.D., 199__, and is duly recorded in Plat Book No. _____, Page _____.

COUNTY PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____ A.D., 199__, County Planning Commission of the County of Mesa, Colorado.

Chairman _____

BOARD OF COUNTY COMMISSIONER'S CERTIFICATE

Approved this _____ day of _____ A.D., 199__, Board of County Commissioners of the County of Mesa, Colorado.

Chairman _____

SURVEYOR'S CERTIFICATE

I, Max E. Morris, G.E.D. Surveying Systems Inc. certify that the accompanying plot of APPLETON MEADOWS MINOR SUBDIVISION, a subdivision of a part of the County of Mesa, State of Colorado has been prepared under my direct supervision and accurately represents a field survey of same.

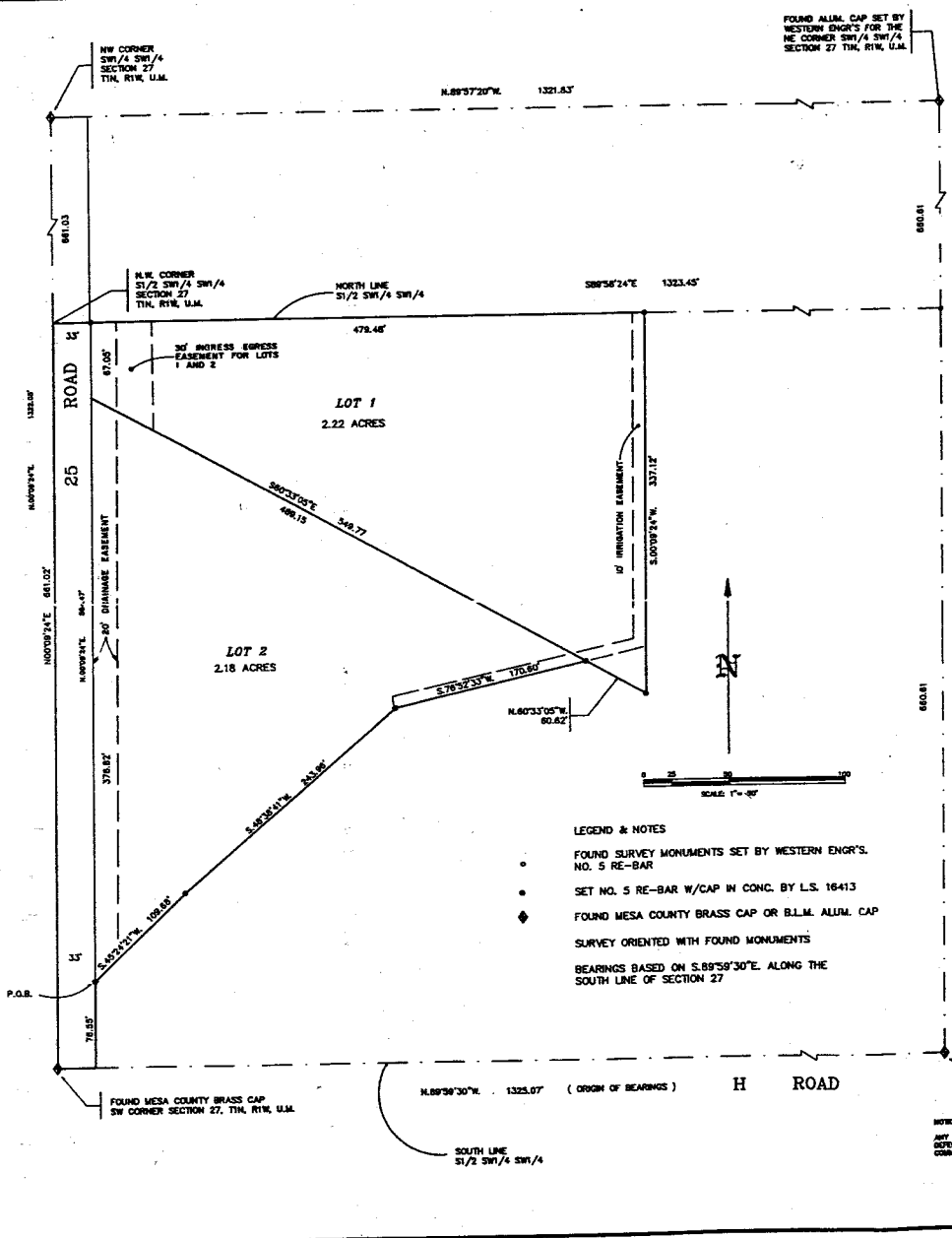
Max E. Morris, G.E.D. Surveying Systems Inc.
Registered Professional Land Surveyor L.S. 16413
Date _____

FOUND B.L.M. ALUM. CAP
SE CORNER SW1/4 SW1/4
SECTION 27, T1N, R1W, U.M.

APPLETON MEADOWS MINOR SUBDIVISION
Located in part of S1/2 SW1/4 SW1/4 Section 27
T1N, R1W, U.M.

ARMSTRONG CONSULTANTS, INC.
 1000 West 10th Avenue, Suite 1000
 Denver, Colorado 80202
 Phone: 303.733.1234
 Fax: 303.733.1235

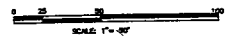
ACI PROJECT NO. 89818



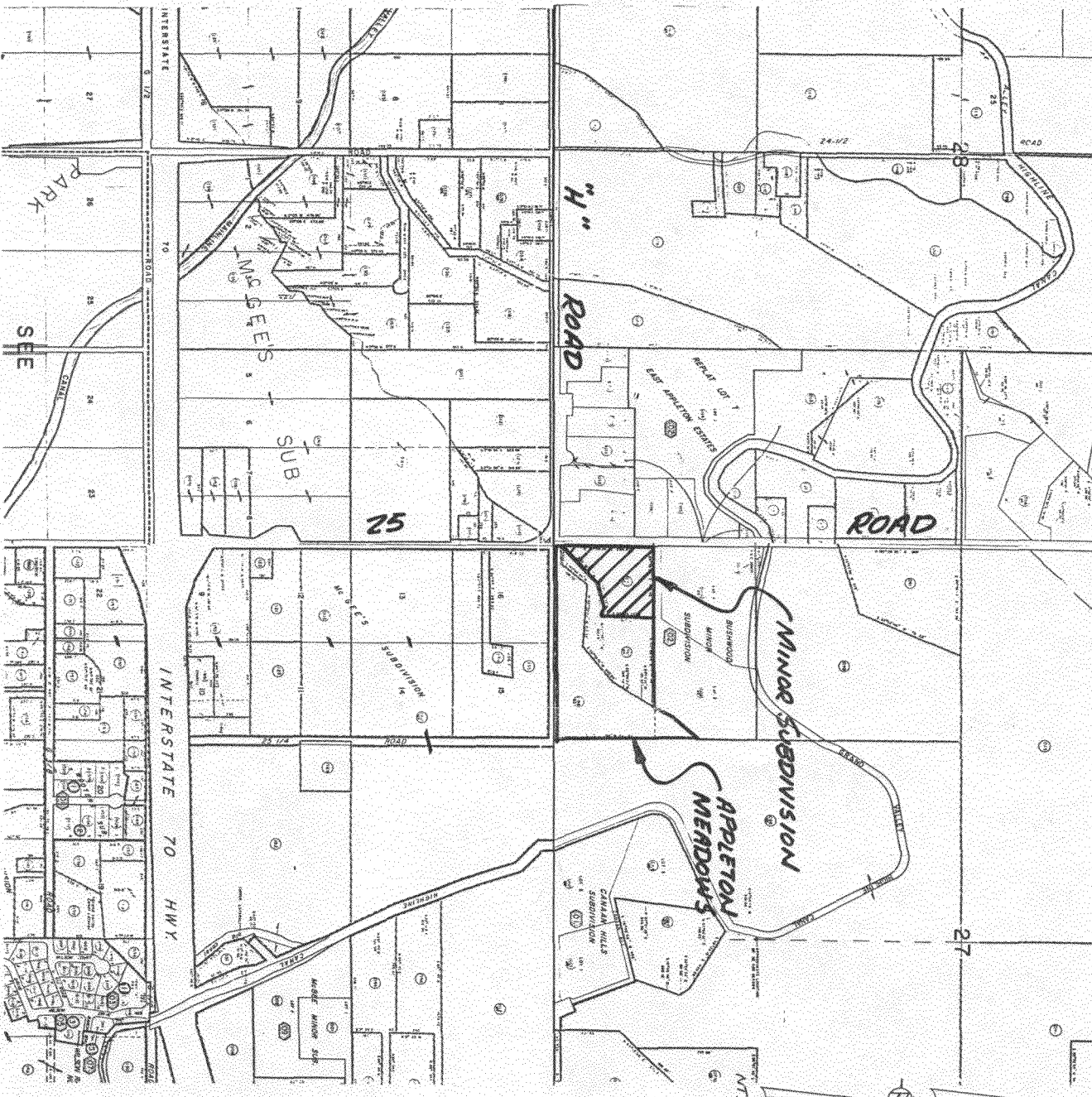
LEGEND & NOTES

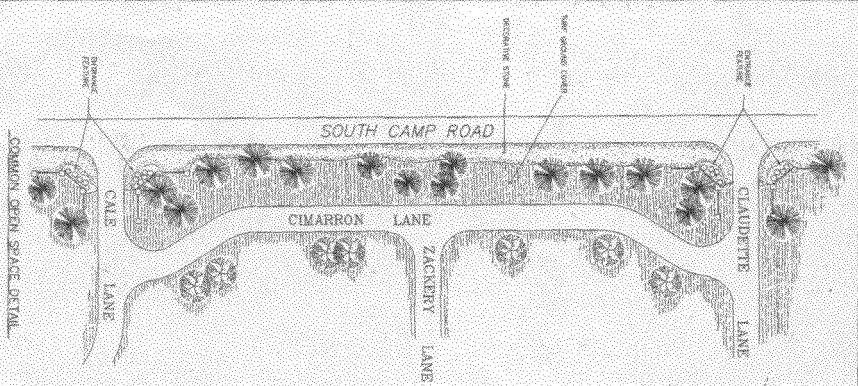
- FOUND SURVEY MONUMENTS SET BY WESTERN ENGR'S. NO. 5 RE-BAR
- SET NO. 5 RE-BAR W/CAP IN CONC. BY L.S. 16413
- ◆ FOUND MESA COUNTY BRASS CAP OR B.L.M. ALUM. CAP

SURVEY ORIENTED WITH FOUND MONUMENTS
 BEARINGS BASED ON S.89°59'30"E. ALONG THE SOUTH LINE OF SECTION 27

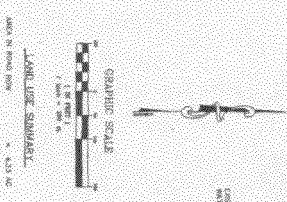
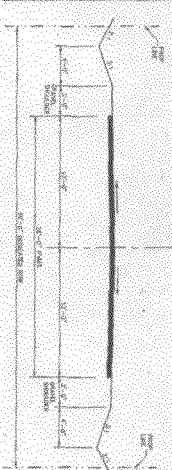


NOTICE:
 ACCORDING TO COLORADO LAW YOU MUST EXERCISE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT SHALL ANY ACTION BE BASED UPON ANY DEFECT IN THIS SURVEY BE CHALLENGED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

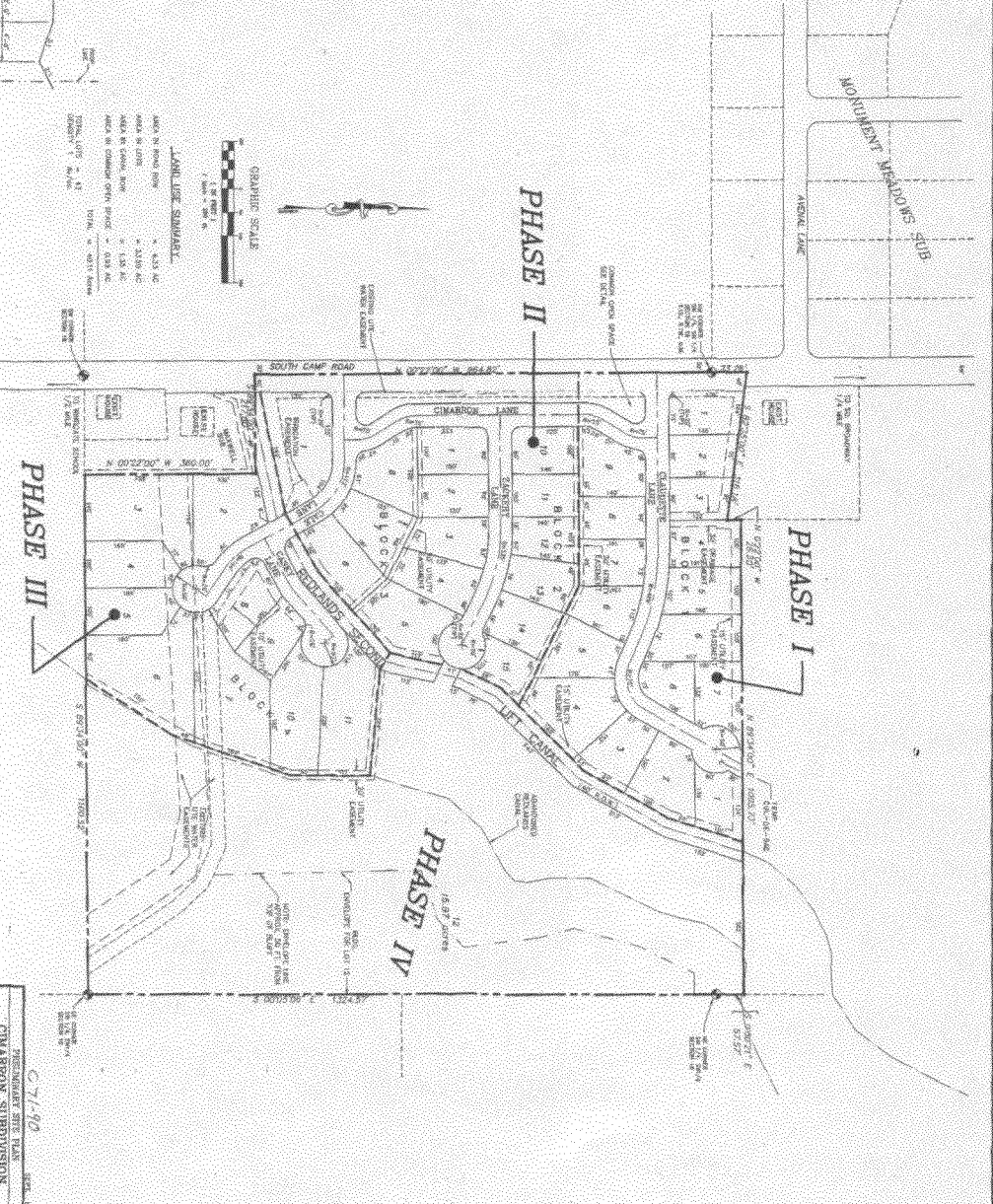




TYPICAL ROAD SECTION



LAND USE SURVEY
 AREA TO BE OPEN SPACE - 1,513.12 AC
 AREA TO BE COMMON OPEN SPACE - 2,128.42 AC
 AREA TO BE COMMON OPEN SPACE - 1,216.80 AC
 AREA TO BE COMMON OPEN SPACE - 1,216.80 AC
 TOTAL LOT AREA - 6,075.14 AC
 TOTAL COMMON OPEN SPACE - 5,075.14 AC

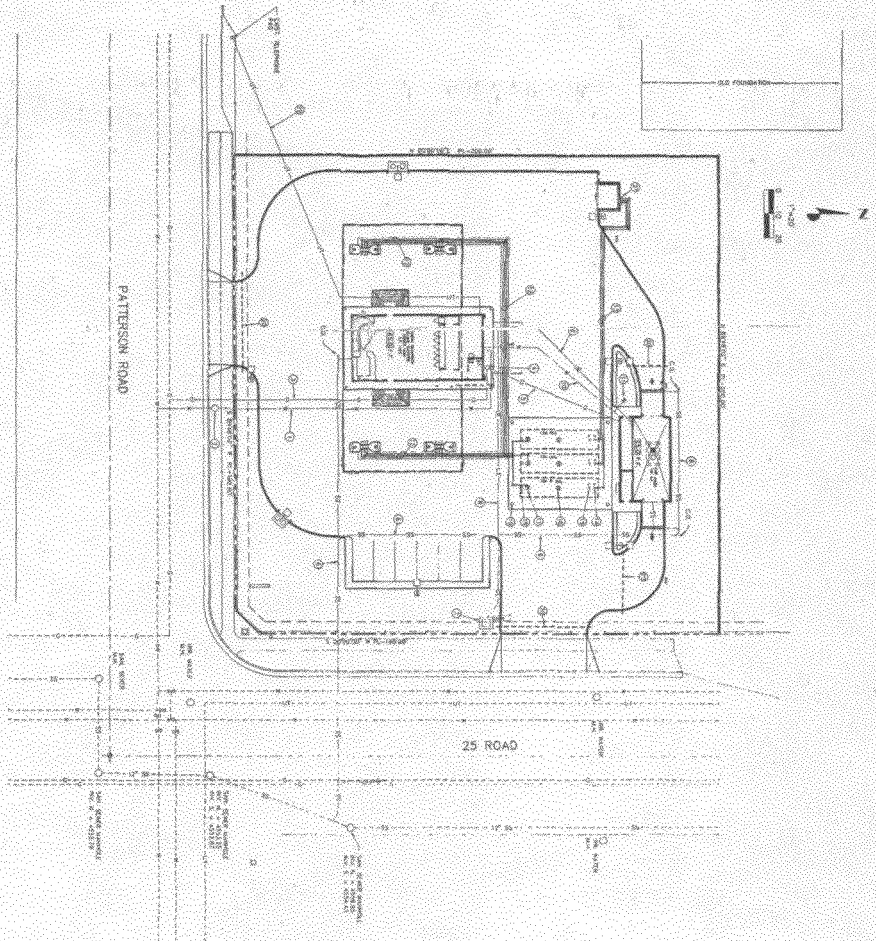


PHASE III

PHASE I

PHASE IV

PRELIMINARY SITE PLAN
 CIMARRON SUBDIVISION
 ARIZONA COUNTY, OREGON
 C-71-90
 ARMSTRONG CONSULTANTS, INC.
 2500 N. GARDNER ST., SUITE 200
 PORTLAND, OREGON 97228



LEGEND

- 1. 1" dia. galvanized steel pipe with 10' length
- 2. 1" dia. gal. steel pipe
- 3. 1" dia. gal. steel pipe
- 4. 1" dia. gal. steel pipe
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- 50. 1" dia. gal. steel pipe

SYMBOLS

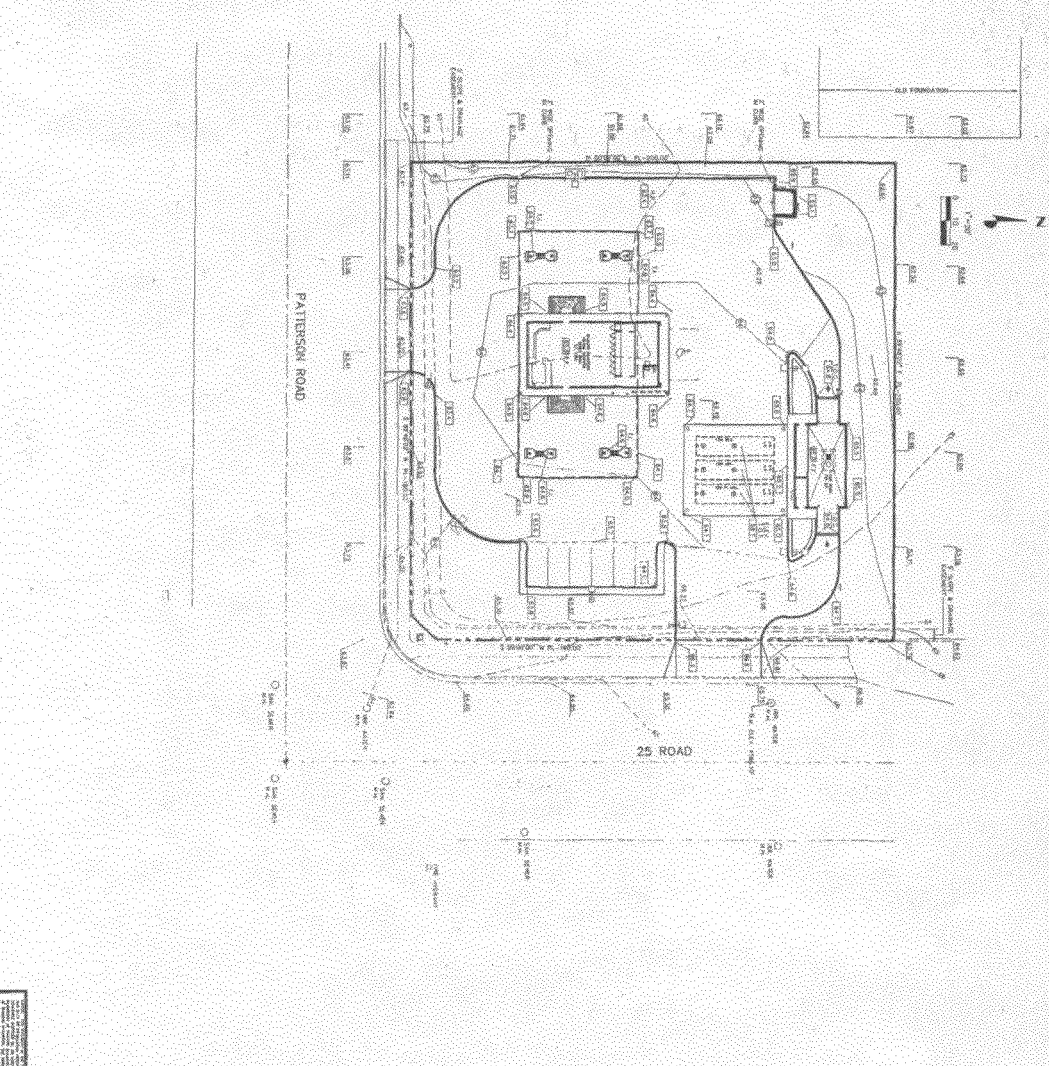
- 1. Existing utility lines
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- 50. Proposed utility lines

DIAMOND SHARROCK
 3800 DUNDAS STREET WEST
 MISSISSAUGA, ONTARIO L4W 3Z7
 TEL: (905) 276-8888
 FAX: (905) 276-8889
 WWW.DIAMONDSHARROCK.COM

UTILITY & PIPING PLAN

DATE: 11/11/2010
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: [Number]
 SHEET NO: SP-32

C1790



BENCHMARK:

See p. 10 of this plan for location of benchmark
 and p. 11 of this plan for location of benchmark

LEGEND:

- 1. Proposed Building
- 2. Existing Building
- 3. Lot
- 4. Lot
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- 7. Lot
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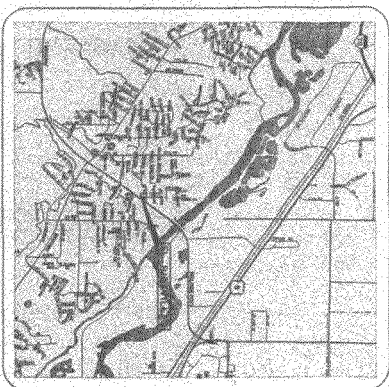
THIS PLAN IS A PRELIMINARY PLAN AND IS SUBJECT TO THE APPROVAL OF THE CITY ENGINEER AND THE BOARD OF SUPERVISORS OF THE COUNTY OF ALAMEDA, CALIFORNIA. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND ARCHITECT.

<p>DIAMOND SHAMROCK 2500 CALIFORNIA STREET SAN ANTONIO, TEXAS 78208</p>		<p>REGISTERED ARCHITECT & ENGINEER 1000 S. MAIN STREET SAN ANTONIO, TEXAS 78205</p>
<p>GRADING & DRAINAGE PLAN</p>		
<p>DATE: 11/10/60 DRAWN BY: J. W. [Name] CHECKED BY: [Name]</p>	<p>DATE: 11/10/60 DRAWN BY: [Name] CHECKED BY: [Name]</p>	<p>DATE: 11/10/60 DRAWN BY: [Name] CHECKED BY: [Name]</p>
<p>SP-3</p>		<p>4</p>

EL RIO VILLAS MESA COUNTY, COLORADO

DEVELOPED BY:

WILCO CONSTRUCTION CO., DENNIS WILTCEN
2115 ZION COURT
GRAND JUNCTION, COLORADO
PHONE: (303) 242-2203



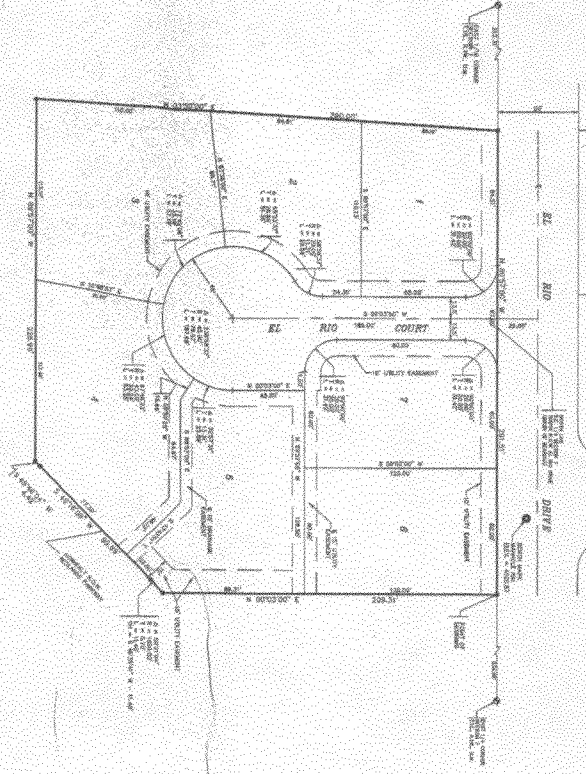
LOCATION MAP

<i>Description</i>	<i>INDEX</i>	<i>Sheet</i>
COVER SHEET		1
FINAL PLAN		2
GRADING PLAN		3
ROADWAY PLAN		4
ROADWAY PROFILE & DETAILS		5
UTILITY PLAN		6
UTILITY DETAILS		7

APPROVED FOR THE CITY OF LOS ANGELES, CALIFORNIA, I HEREBY CERTIFY THAT THE CITY ENGINEER HAS REVIEWED THE PLANS AND SPECIFICATIONS SUBMITTED HEREON FOR THE PURPOSE OF THE CITY ENGINEER'S REVIEW OF THE PLANS AND SPECIFICATIONS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE CITY ENGINEERING DEPARTMENT'S STANDARDS AND PRACTICES AND HAS THEREFORE APPROVED THE SAME FOR THE CITY ENGINEER'S REVIEW AND APPROVAL.

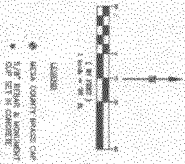
IN WITNESS WHEREOF, I have hereunto set my hand and the seal of the City Engineer of the City of Los Angeles, California, this 10th day of October, 1953.

City Engineer of the City of Los Angeles



AREA AND DISTANCE
 AREA IN SQ. FT. = 108,000
 AREA IN SQ. YD. = 12,333
 TOTAL DISTANCE

LOCAL ADDRESS
 10000 RIO VISTA LANE
 10000 RIO VISTA LANE
 10000 RIO VISTA LANE



REMARKS
 THIS PLAN IS SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLANS AND SPECIFICATIONS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

CONTRACTOR'S CERTIFICATE
 I, the undersigned, being duly qualified and licensed as a contractor under the laws of the State of California, do hereby certify that the above described work has been completed in accordance with the plans and specifications hereto attached, and that the same have been inspected and approved by the City Engineer of the City of Los Angeles, California, and that the same are in accordance with the City Engineering Department's standards and practices.

CITY ENGINEER'S CERTIFICATE
 I, the undersigned, being duly qualified and licensed as a city engineer under the laws of the State of California, do hereby certify that the above described work has been inspected and approved by me, and that the same are in accordance with the City Engineering Department's standards and practices.

CITY ENGINEER'S CERTIFICATE
 I, the undersigned, being duly qualified and licensed as a city engineer under the laws of the State of California, do hereby certify that the above described work has been inspected and approved by me, and that the same are in accordance with the City Engineering Department's standards and practices.

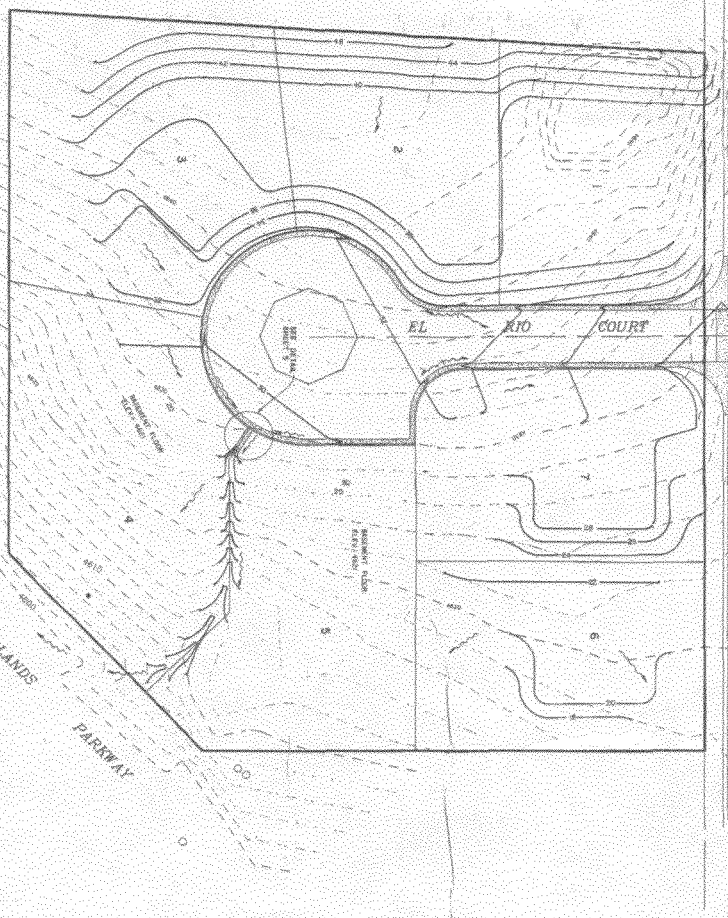
CITY ENGINEER'S CERTIFICATE
 I, the undersigned, being duly qualified and licensed as a city engineer under the laws of the State of California, do hereby certify that the above described work has been inspected and approved by me, and that the same are in accordance with the City Engineering Department's standards and practices.

EL RIO VILLAS SUBDIVISION
 LOCATED IN PART OF SECTION 7, T.15. S. R.1.W. 11A.

EL RIO DRIVE

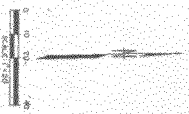
DRIVE

Proposed 10' wide
EL RIO DRIVE
EL RIO DRIVE



NOTES:
 1. ELEVATION OF 100' IS SHOWN AT THE POND.
 2. SEE SHEET 5 FOR DRIVEWAY AND SIDEWALK.
 3. SEE SHEET 6 FOR UTILITY.

LEGEND:
 Dashed line with arrows: Direction of contour
 Solid line with arrows: Existing drainage
 Dotted line: Proposed concrete driveway
 Dashed line: Proposed concrete sidewalk
 Dotted line: Proposed curb



EL RIO VILLAS
 MESA COUNTY, COLORADO

Engineers
 Planners
 Surveyors
 Soil Testing
 Material Testing
 Geotechnical
 Engineers

ARMSTRONG CONSULTANTS, INC.

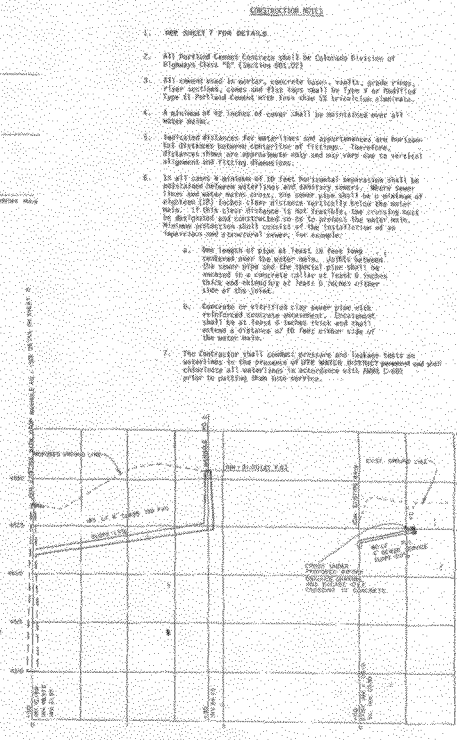
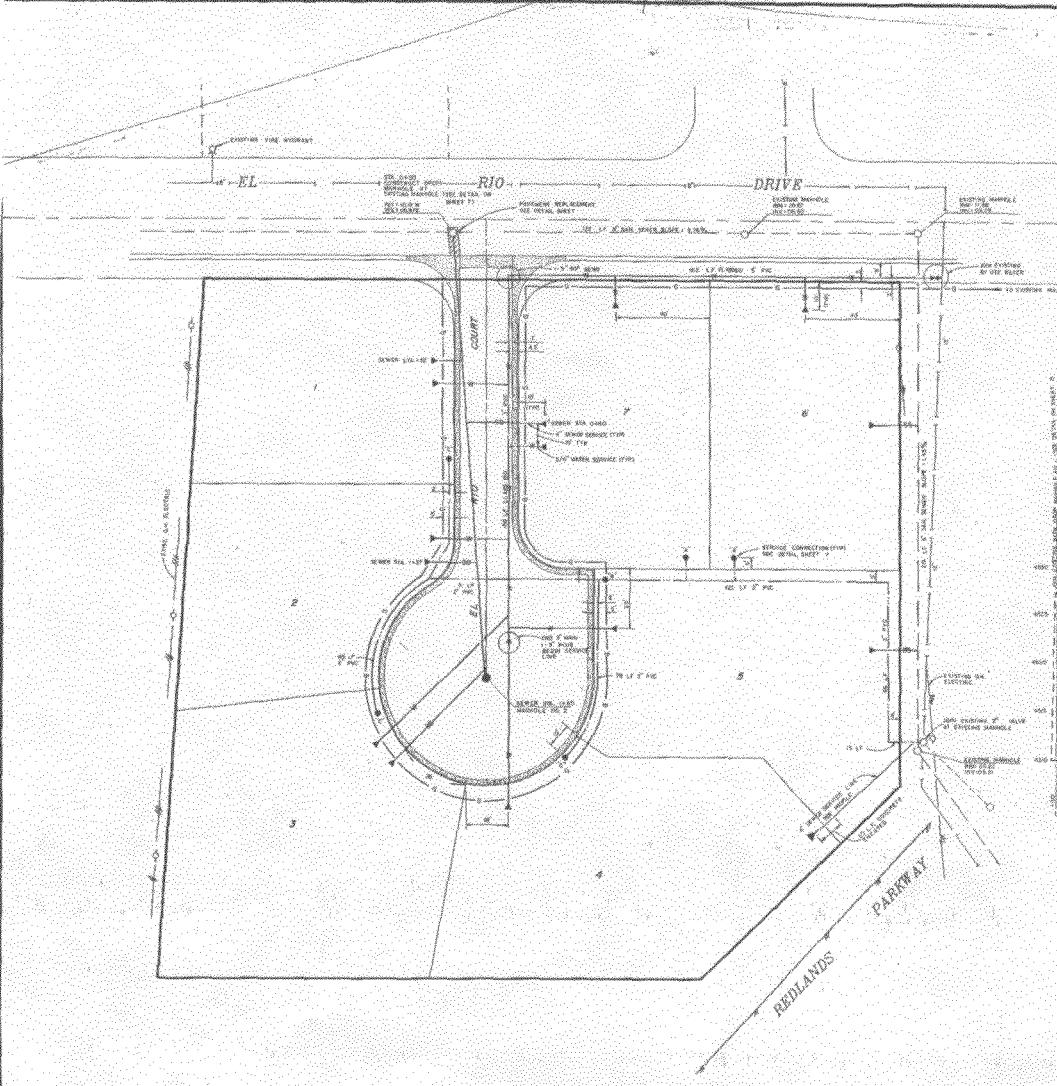
854 Bond Avenue
 Grand Junction, Colorado 81501
 (970) 242-0101

Project No. 80004
 Date: 10/1/78
 Author: J. SMITH
 Checked: J. SMITH
 Approved: J. SMITH

GRADING
 PLAN

Sheet 3 of 7

JUN 23 1978



LEGEND

EXISTING	PROPOSED
—	WATER LINE
—	SEWERY SERVICE
—	INDUSTRIAL PIPE
—	POWER PIPE
—	MANHOLE OR RISE SERVICE
—	INDUSTRIAL ELEC. CON.
—	PIPE HYDRANT
—	PIPE LINE
—	SEWER OR WATER SERVICE LINE

**ARMSTRONG
CONSULTANTS, INC.**

Engineers
Planners
Architects
Civil
Mechanical
Electrical

4814 University, Colorado Springs, CO 80907

(303) 593-5151

EL RIO VILLAS
MESA COUNTY, COLORADO

Project No. 920304
Date: 10/06/1986

Sheet: 3 of 25
Checked: K. H. GIBSON
Approved: S. R. GIBSON

**UTILITY
PLAN**

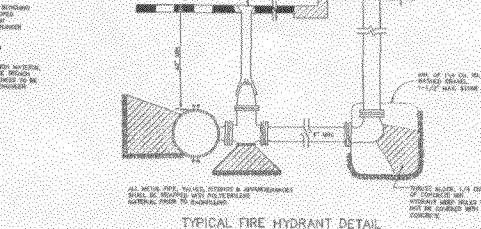
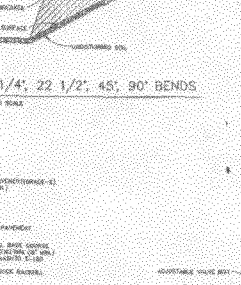
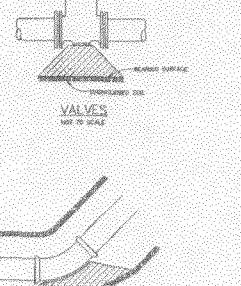
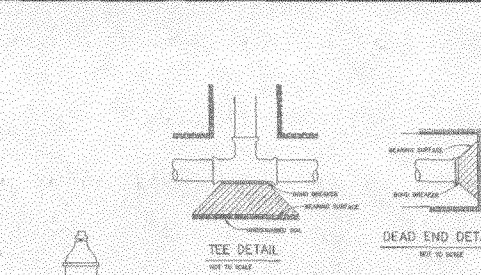
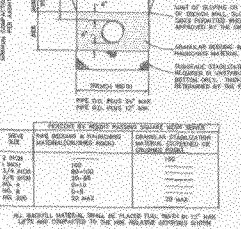
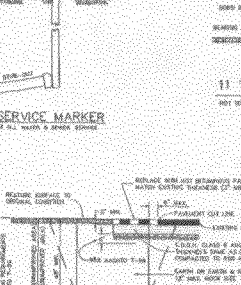
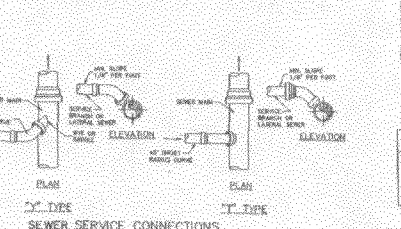
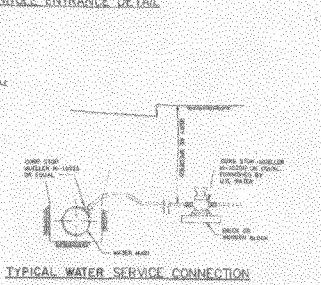
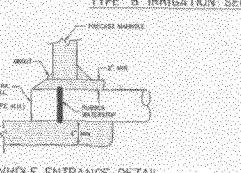
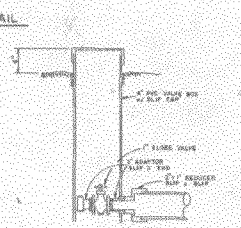
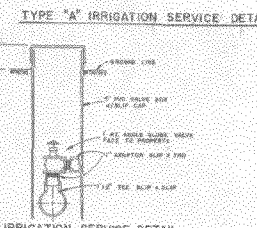
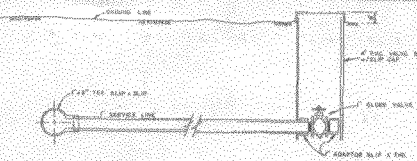
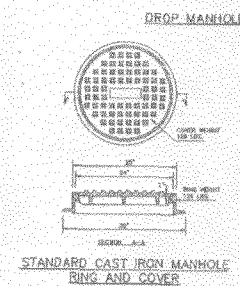
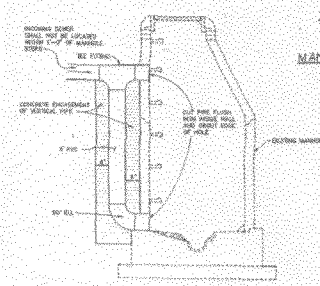
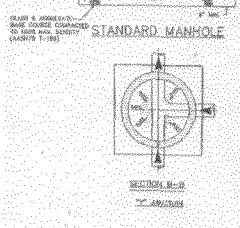
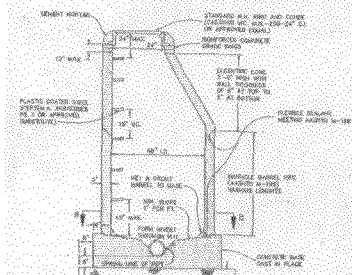


TABLE FOR CONCRETE THRUST BLOCKING BEARING AREAS (IN SQ. FT.)

SIZE	BEARING		NO. OF BARS	NO. OF BARS PER SQ. FT.
	MIN.	MAX.		
2" x 12"	0.2	0.3	2	0.17
4" x 12"	0.5	0.8	4	0.33
6" x 12"	0.8	1.2	6	0.50
8" x 12"	1.2	1.8	8	0.67
10" x 12"	1.6	2.4	10	0.83
12" x 12"	2.0	3.0	12	1.00
14" x 12"	2.4	3.6	14	1.17
16" x 12"	2.8	4.2	16	1.33
18" x 12"	3.2	4.8	18	1.50
20" x 12"	3.6	5.4	20	1.67
22" x 12"	4.0	6.0	22	1.83
24" x 12"	4.4	6.6	24	2.00
26" x 12"	4.8	7.2	26	2.17
28" x 12"	5.2	7.8	28	2.33
30" x 12"	5.6	8.4	30	2.50
32" x 12"	6.0	9.0	32	2.67
34" x 12"	6.4	9.6	34	2.83
36" x 12"	6.8	10.2	36	3.00
38" x 12"	7.2	10.8	38	3.17
40" x 12"	7.6	11.4	40	3.33

NOTE: BEARING SURFACE SHALL BE FINISHED WITH 1/2" MIN. CONCRETE. BEARING SURFACE SHALL BE FINISHED WITH 1/2" MIN. CONCRETE. BEARING SURFACE SHALL BE FINISHED WITH 1/2" MIN. CONCRETE.

ARMSTRONG CONSULTANTS, INC.

1000 North Lincoln Avenue, Suite 100, Denver, Colorado 80202

EL RIO VILLAS, MESA COUNTY, COLORADO

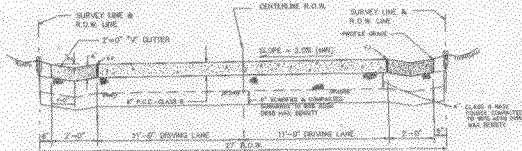
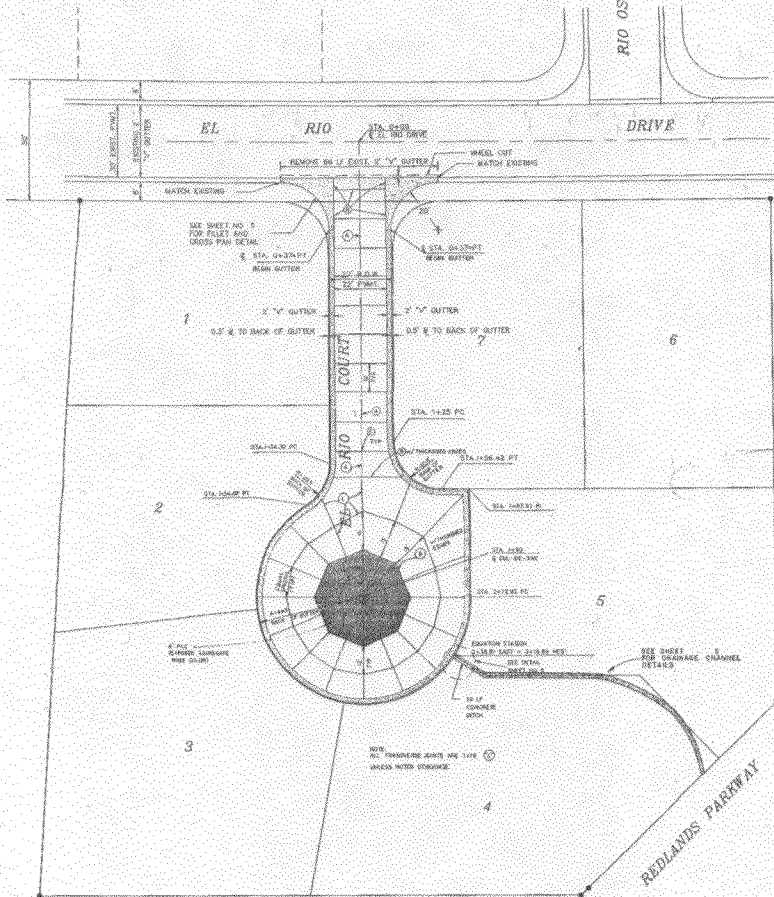
Project No. 90853-A Date: JUNE, 1980 Revision:

Drawn By: ERTZ Checked By: LEAVE Approved:

UTILITY DETAILS

Sheet 7 of 7

RIO OSO LANE



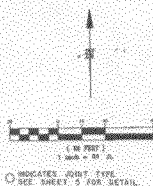
EL RIO COURT TYPICAL SECTION

GENERAL NOTES

1. SEE SHEET 2, FINAL PLAN FOR ALL LOT AND STREET DIMENSIONS AND ALL CURVE DATA.
2. SEE SHEET 4, BENCH-MARK FOR ALL UTILITY LOCATIONS.
3. SEE SHEET 3 FOR OVERLIFT GROUND PLANS.
4. SEE SHEET 5 FOR CONCRETE JOINT DETAILS.

CONSTRUCTION NOTES

1. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH LOCAL COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
2. ALL PORTLAND CEMENT CONCRETE SHALL BE COMPACTED SECTION OF MINIMUM CLASS "B" SPECIFICATION AND TYPE C, MODIFIED PORTLAND CEMENT.
3. ANY EXISTING PORTLAND CONCRETE NOT DESIGNATED FOR REMOVAL SHALL BE REMOVED BY THE CONTRACTOR SHALL BE REPAIRED AT HIS EXPENSE.
4. EXISTING JOINTS SHALL BE FINISHED TO OUTLETS AT EACH END OF STREET INTERSECTION CURBS. CONSTRUCTION JOINTS SHALL BE PROVIDED IN GUTTERS AT A SPACING OF 30 FEET. REMAINING SPACING BETWEEN ANY JOINTS IN CURB, GUTTERS.
5. VEHICULAR TRAFFIC SHALL BE KEPT OFF HIGH CONCRETE FOR A MINIMUM OF 7 DAYS.
6. SAVED PREPARED CURING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES IMMEDIATELY AFTER FINISHING.
7. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED OR FINISHED UNDER.
8. WHEEL CUT EXISTING ASPHALT PAVEMENT AT MATCHING CORNER.
9. CURB SHALL BE FINISHED TO NOT EXCEED 100 HIGHER ANY UTILITIES. DAMAGE TO ANY EXISTING STREET FACILITIES OR UTILITIES SHALL BE REPAIRED PRIOR TO CONTINUING OTHER WORK.
10. SEE MESA COUNTY SPECIFICATIONS FOR QUALITY CONTROL, TESTS REQUIREMENTS.
11. AS CONTRACTOR MAKES DRAWINGS AND QUALITY CONTROL TESTS RESULTS SHALL BE SUBMITTED TO MESA COUNTY AS A REQUIREMENT FOR THE ACCEPTANCE OF ANY PUBLIC IMPROVEMENTS.



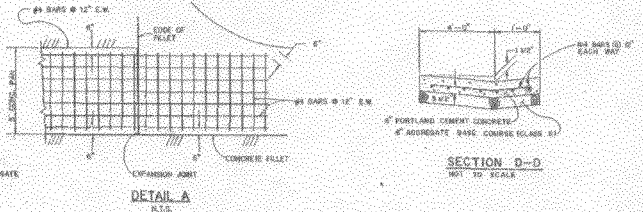
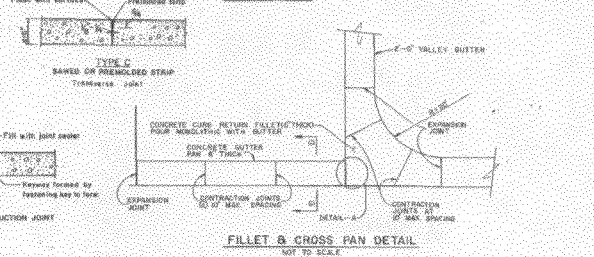
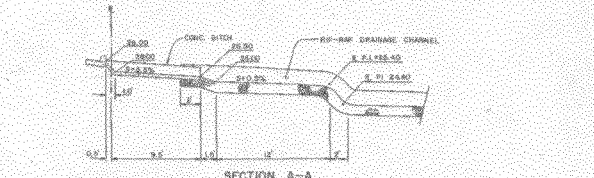
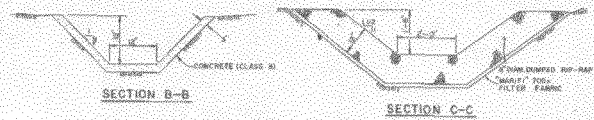
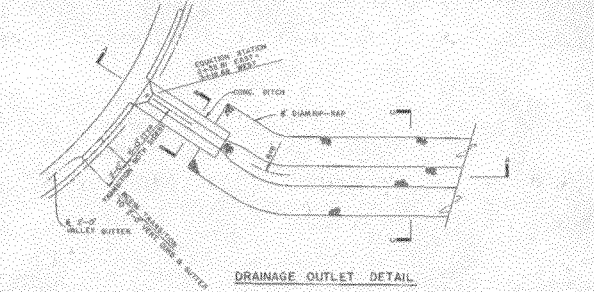
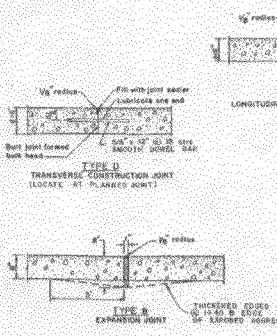
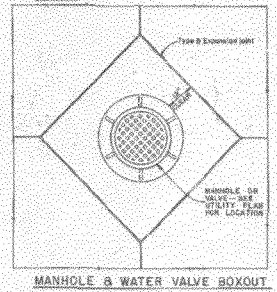
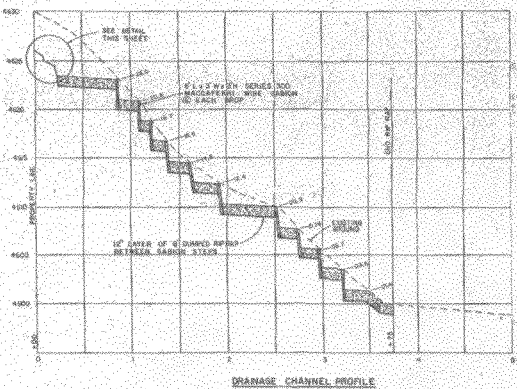
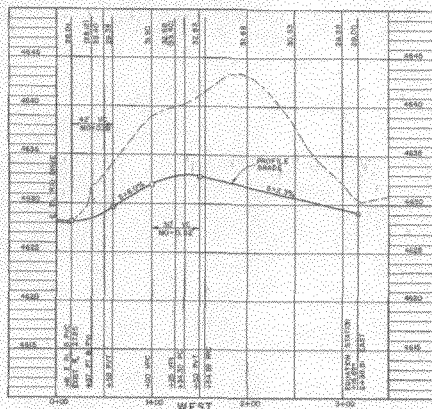
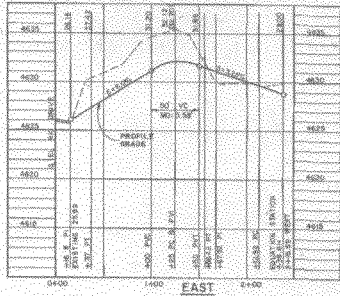
ARMSTRONG CONSULTANTS, INC.
 1811 North 11th Street, Suite 100
 Mesa, Arizona 85201
 Phone: 480-948-0181

EL RIO VILLAS
 MESA COUNTY, COLORADO

Project No: W05304
 Date: June 1990
 Revision:
 Drawn: DMTH
 Checked: LAGOR
 Approved:

ROADWAY
 PLAN

Sheet 4 of 7



ARMSTRONG CONSULTANTS, INC.
 501 West 10th Street, Suite 1000
 Denver, Colorado 80202
 Telephone: (303) 733-1171
 Fax: (303) 733-1172

CL RIO VILLAS
 MESA COUNTY, COLORADO

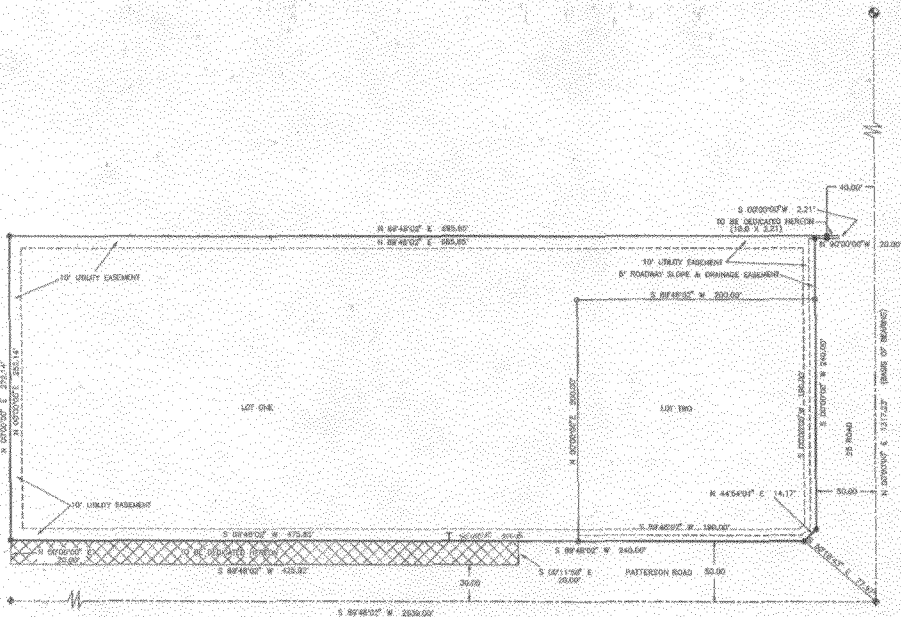
Project No. 96238R
 Date: JUNE, 1996
 Revision:
 Drawn: G. ERTZ
 Checked: T. LOGUE
 Approved:

ROADWAY PROFILE & DETAILS

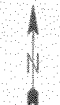
Sheet 5 of 7

PATTERSON PARKWEST SUBDIVISION

FOUND MESA COUNTY SURVEY MONUMENT FOR THE SE CORNER OF SEC. 14, T. 1 S., R. 1 W. 12E MERIDIAN



FOUND CITY OF GRAND JUNCTION SURVEY MONUMENT FOR THE SW CORNER OF THE SE 1/4 OF SECTION 4, T. 1 S., R. 1 W. 12E MERIDIAN



SCALE: 1" = 40'



- = FOUND MESA COUNTY SURVEY MONUMENT
- = SET 24\"/>

RECITATION

KNOW ALL MEN BY THESE PRESENTS,

That the undersigned, S.D. LaBelle, Trustee of the J. Fred Abrahamson Trust in the owner of that certain property situated in the County of Mesa, State of Colorado, and being situated to the SE 1/4 of Section 4, Township 1 South, Range 1 West of the 12th Principal Meridian, and being more particularly described as follows:

Comprising of the Southeast corner of said Section 4 from whence the Northwest corner of the SE 1/4 SE 1/4 of said Section 4 bears N 07°32'00\"/>

That said corner does hereby declare and set apart all of the streets and roads on shown on the accompanying plat to the use of the public, forever, and hereby dedicates to the Public Utilities those portions of said real property which are situated on utility easements on the accompanying plat or easement easements for the installation, and maintenance of wires, pipes and appurtenant facilities including but not limited to electric lines, gas lines, telephone lines, together with the right of any interfering trees and shrubs, with perpetual right of ingress and egress for installation and maintenance of such lines, such easements and rights shall be subject to it reasonable and prudent manner.

That all easements for street paving or improvements shall be furnished by the owner or successors, and the County of Mesa.

In WITNESS WHEREOF, said owner has caused the name to be hereunto subscribed by me
 Day of _____ A.D. 1990.

S.D. LABELLE, TRUSTEE OF THE J. FRED ABRAHAMSON TRUST

STATE OF COLORADO } S.D.
 COUNTY OF MESA }

The foregoing instrument was acknowledged before me this _____ day of _____ A.D. 1990 by S.D. LABELLE, TRUSTEE OF THE J. FRED ABRAHAMSON TRUST

My Commission expires: _____ Notary Public

CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO } S.S.
 COUNTY OF MESA }

I hereby certify that this instrument was filed in my office of _____ o'clock _____ P.M. this _____ day of _____ A.D. 1990 and is duly recorded in Public Book No. _____ Page _____

Clerk and Recorder Deputy Fees \$ _____

COUNTY PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____ A.D. 1990, County Planning Commission of the County of Mesa, State of Colorado.

Chairman BOARD OF COUNTY COMMISSIONERS CERTIFICATE

Approved this _____ day of _____ A.D. 1990, Board of County Commissioners of the County of Mesa, State of Colorado.

Witness

WITNESSED AND RECORDED COMMITTEE

Chairman Date

L. WILLIAM O. ROY DO HEREBY CERTIFY THAT THE ACCOMPANYING PLAT HAS BEEN REVIEWED UNDER MY DIRECT SUPERVISION AND ACCURATELY REPRESENTS A FIELD SURVEY OF SAME.

WILLIAM O. ROY P.L.S. 12891
 DATED THIS _____ DAY OF _____ 19 _____

C17-90

CENTURY SURVEYING
 P.O. BOX 206 GRAND JUNCTION, CO 81509
 TEL: 808-841-8897

PATTERSON PARKWEST SUBDIVISION

SEC. 27, R. 8 & 9, T. 1 S., R. 1 W. 12E MERIDIAN
 SUBD. 208-6000 STREET 1 OF 1

STONEGATE SUBDIVISION FILING NO.2

(A REPLAT OF MESA VALLEY ESTATES)

KNOW ALL MEN THESE PRESENTS:

That the undersigned, J.P. WHITE CONSTRUCTION COMPANY, A COLORADO CORP and the owners of a parcel of land situated in the Southwest 1/4 Section 4, Township 36 North, Range 1 East of the Meridian one here particularly described as follows:

Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

That said Owners have caused the said real property to be laid out and to be SUBDIVIDED SUBSECTORS FILING NO. 2, a replat of MESA VALLEY ESTATES, COUNTY OF GARFIELD.

The said owners on hereto indicate and set apart all streets and make show on the accompanying plat to the use of the public forever, an easement to the public to collect taxes thereon and all such property are to be used as utility easements on the accompanying plat as a part of the subdivision and convenient maintenance of electric, fire and telephone lines, together with the right to use existing telephone lines, with easements of power and access for the installation and maintenance of such lines, said easements and rights, shall be subject to reasonable and prudent repair.

The said easements for street paving or improvements shall be made by order of the Board of Commissioners and the City of Mesa.

IN WITNESS WHEREOF, said owners have caused their names to be hereunto subscribed this 1st day of _____, 1990.

Debbie Broderick (President of J.P. White Construction Company)

J.P. White (Secretary J.P. White Construction Company)

STATE OF COLORADO
COUNTY OF MESA

The foregoing instrument was acknowledged before me this _____ day of _____, A.D. 1990 by persons who are J.P. White and Debbie Broderick, whose names and addresses are as follows:

J.P. White, Secretary J.P. White Construction Company

Debbie Broderick, President J.P. White Construction Company

Notary Public

STATE OF COLORADO
COUNTY OF MESA

I hereby certify that this instrument was filed in my office at _____, Colorado, on this _____ day of _____, A.D. 1990 and is duly recorded as Reception Number _____ in Plat Book _____ at Page _____ of the _____.

MESA COUNTY BOARD OF COMMISSIONERS

Approved this _____ day of _____, 1990.

Commissioner

COMMISSIONER

COUNTY PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____, 1990.

COMMISSIONER

COMMISSIONER

WITNESSES COMMISSIONING CERTIFICATE

COMMISSIONER

COMMISSIONER

I, _____, County Clerk, do hereby certify that the accompanying plat of STONEGATE SUBDIVISION, 2 A replat of Mesa Valley Estates is a subdivision of part of the County, Colorado, has been prepared under my direct supervision and accurately represents a field survey of the same.

CLERK

DATE

CELLI B. CASER
Registered Professional Land Surveyor
P.L.S. Number 24943

APPROVED AND FILED BY MEEDOR

UNITED STATES OF AMERICA

DEPARTMENT OF LAND AND NATURAL RESOURCES

STATE OF COLORADO

COUNTY OF MESA

RECORDS

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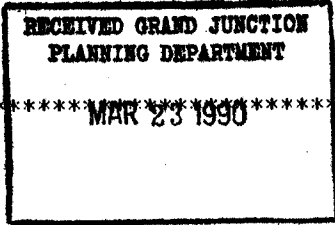
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MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 4-19 90 MCC Hearing Date:
File Number: C-7-90
Project Name: Appleton Meadows Miner Subdivision
Phase: OOP Preliminary
Common Location: N.E. 25th H. Roads
Engineer - Name: Armstrong Consultants Inc., Attn: Tom Logue
Address: 841 Wood Ave., Grand Jct., CO 81501
Phone: 242-0101
Petitioner - Name: William Shuman
Address: 3318 Crestview
Grand Junction, CO 81506
Phone: 245-4266

Table with 3 columns: REVIEW AGENCY (City Planning), REVIEW AGENCY COMMENTS (PLEASE TYPE), and Yes/No columns. Rows include questions about service area, existing services, connection to services, easements, relocation, improvements, as-builts, and financing.

Impact on capacity or supply:
Other concerns and specific requirements:

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++
Reviewing Office:
Reviewed by:
Date:
FAILURE TO OBJECT OR COMMENT BY 4-26-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

PROJECT NARRATIVE
FOR
APPLETON MEADOWS MINOR SUBDIVISION
JANUARY, 1990

Prepared For:

William Shuman
3320 Crestview Way
Grand Junction, CO 81506
303-245-4266

Prepared By:

Armstrong Consultants, Inc.
861 Rood Avenue
Grand Junction, CO 81501
303-242-0101
Project #895191

MISC20

SITE ANALYSIS

Location - The subject property consists of 4.8 acres located North-east of 25 Road and H Road in Mesa County. The property is located in an area Northwest of Grand Junction known as the Appleton area, and lies in part of the SW $\frac{1}{4}$ of Section 27, Township 1 North, Range 1 West of the Ute Meridian.

Existing Land Use - At present the subject property is vacant of structures or dwellings. All of the property has been under cultivation.

Surrounding Land Use - The surrounding land use has traditionally been agricultural in nature. However, in recent years nearby subdivision approvals have changed the character of the neighborhood. The most predominant land use surrounding the site consists of "estate type" single-family homes ranging from 2 to 20 acres in size. Nearby subdivisions include:

<u>NAME</u>	<u>NO. OF LOTS</u>	<u>AREA</u>	<u>DENSITY (D.U./AC.)</u>
East Appleton Estates	10	47.2	0.21
Sage Run	11	73.3	0.15
Bushwood	2	20.0	0.10
Canaan Hills	3	17.06	0.17

Corcoran Wash lies a short distance from the Southerly property boundary. The wash is considered to be a major wash and is tributary to Leach Creek.

Access - Access to the subject property is gained from 25 Road which is currently classified as a collector by Mesa County. H Road which is also classified as a collector road is located less than 100 feet South of the property. H Road is improved to rural standards West of 25 Road, while it remains unimproved East of 25 Road. Interstate 70 is located slightly more than 1 $\frac{1}{2}$ miles south of the site.

Utility Service - The site lies within the following utility service districts:

Sewer:	None (outside 201 sewer service area.)
Domestic Water:	Ute Water Conservancy District.
Gas:	Public Service Company of Colorado.
Electric:	Grand Valley Rural Power Lines
Phone:	U.S. West Communications.
Irrigation:	Grand Valley Irrigation Company.

Because of the lack of centralized sewage collection lines in the area, sewer service is provided by septic tanks and absorption fields to existing dwellings in the area.

Water service to the site is available from two existing water mains adjoining the site. An existing 3" main is in 25 Road and a 24" main is in H Road. Both are maintained and administered by Ute Water.

Electric power, natural gas, and phone services are available and adjoining the site along 25 Road.

Soils and Geologic Considerations - The Soil Conservation Service has identified a single soil type within the property and one soil type which adjoins the property to the South. An Rf, Ravola Very Fine Sandy Loam has been identified by S.C.S. within the site. No severe limitations exist for this soil type, and is considered to be within the Prime Agricultural Lands designation. The Rs, Rough Gullied Land soil type is located a short distance South of the subject property along Corcoran Wash. Soil limitations are classified as severe due to steep slopes and flood potentials found within this type.

Flooding from Corcoran Wash is an identified geologic hazard. Detailed discussion regarding the flood potential are found within the Site Drainage section of this narrative.

Site Drainage - Other than possible influences from Corcoran Wash the subject site is not adversely affected by off-site flows. Storm water generated on site is carried on the surface to Corcoran Wash.

Corcoran Wash is tributary to Leach Creek and has been analyzed in the publication "Drainage in the Grand Valley" May 1981, by Armstrong Engineers and Associates, Inc. According to the report an estimated 100 year flow of approximately 210 cfs can be expected in Corcoran Wash at 25 and H Roads. Also according to the report, the storm runoff is either within the banks or can pass an existing culvert at 25 and H Roads with minimal ponding.

At the time of the 1981 drainage report a five (5) foot diameter culvert was in place under 25 and H Road. Since that time the Ute Water Conservancy District has placed an 81" x 59" corrugated metal arch pipe upstream from 25 and H Roads.

Since the cross-section area of the arch is 26 square feet compared to 19.6 square feet for a 5 foot diameter culvert the arch pipe is not an additional restriction.

"The Grand Junction, Colorado Flood Hazard Information", report of 1976 prepared by the Corps of Engineers does not cover this area. Plate 16 of that report comes adjacent to the property on the south. This plate shows 500 year sheet flow parallel to 25 Road. However, it does not indicate any 100 year flow in the area near 25 and H Roads.

Other offsite drainage is expected to come onto the site from the North. This drainage basin is small (less than 10 acres) and will contribute negligible flows.

Due to the minimal influence of off-site drainage from the North and the small acreage of the subject site, total storm water generated is not considered to be significant.

Irrigation Water - Irrigation water is currently delivered to the property from Headgate 94 of the Grand Valley Highline Canal. It enters the property in an earthen ditch near the Northwest corner of the property which is scheduled for piping in the near future. The land owners currently have 3 shares of Grand Valley water available.

PROPOSED LAND USE

General - The proposal calls for the division of the 4.4 acre tract into two approximately equal sized single-family estate lots. It is anticipated that the property will be sold for homesites with homes being compatible with the new homes recently constructed in the surrounding area.

Access - Both of the proposed lots will utilize a single common private drive to 25 Road. Construction of the new driveway entrance will be done in accordance with current "Mesa County Road and Bridge Specifications" for private drives. The proposed driveway will utilize an existing drive which has provided agricultural access to the property during the past. The lengthening of an existing culvert will be required.

Utility Service - Each lot will require new and separate water, electric, gas and phone services which are proposed to be extended from existing mains and lines adjoining the site.

It is estimated that the total sewage disposal requirement for the new lots will be 1575 gallons per day. The proposal calls for the utilization of individual sewage disposal systems consisting of septic tanks and absorption fields. Results of soil evaluation and percolation tests indicate that the site would be suitable for individual disposal systems on each lot. These results have been transmitted to the Mesa County Planning and Health Departments.

Approximately 1600 gallons per day of domestic water would be required when total development is complete. It is envisioned that both lots will utilize the existing 3" water main in 25 Road.

Fire hydrants will not be provided as part of this proposal. Policy No. 3 of Mesa County's Land Use and Development Policies does not require the installation of fire lines and hydrants due to the low density of the proposal. A fire hydrant is located south of the site along "H" Road.

Grading and Drainage - The only site grading that will occur will be around each individual structure by each individual builder and owner. Care should be taken in adequately grading each building site to provide positive drainage away from each building.

Irrigation Water - Using Table 4-A-3', Fruita Zone 1, for alfalfa and Table 4.15^c for urban lawns in Grand Junction the total irrigation water requirements for Appleton Meadows are as follows.

Lot Assumptions - (Typical for each lot)

Total Area	95,832 sf
House & Garage	2,500 sf
Driveways, Patio, etc.	4,000 sf
Lawn, sod	2,500 sf
Misc. areas	4,890 sf
Alfalfa	81,942 sf

Therefore, there are:

2 x 2,500 sf = 5,000 sf or 0.15 acre of sod, and
 2 x 81,942 sf = 163,884 sf or 3.76 acre of alfalfa

The following tabulation indicates the total acre feet of water required to irrigate 5,000 sf of lawn to maintain a lawn quality of 80% of maximum from Table 4.15².

<u>MONTH</u>	<u>IN/DAY</u>	<u>AC. FT./MONTH FOR 5000 SF</u>
May	0.20	0.06
June	0.28	0.08
July	0.31	0.09
August	0.24	0.07
September	0.17	0.05
October	0.09	0.02

The following tabulation indicates the total acre feet of water to irrigate 3.76 acres of alfalfa using Table 4-A-3¹.

<u>MONTH</u>	<u>IN/MONTH</u>	<u>AC. FT./MONTH FOR 3.76 AC.</u>
May	4.52	1.42
June	6.6	2.07
July	7.94	2.49
August	6.14	1.92
September	3.66	1.15
October	0.87	0.27

According to the Tri-River Area Cooperative Extension Service, one share of Government Highline water equals 1.14 ac. ft./month.

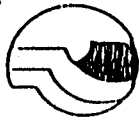
Based on the above assumptions and tabulations the maximum irrigation water requirement for the two lots within Appleton Meadows would occur during the month of July and would be 2.58 acre feet. Therefore the 3 shares of water available to the property would be sufficient in terms of quantity to properly irrigate the building sites.

The proposed irrigation delivery system will consist of the construction of a new eight inch diameter underground pipeline along the east property line of Lot 1 to a standpipe. Overflow will discharge to Corcoran Wash. A two inch diameter riser will be provided at each lot.

¹ U.S.D.A., S.C.S., Colorado Irrigation Guide

² Water Requirements for Urban Lands in Colorado by R.E. Danielson, et al, CSU, Fort Collins, Colorado

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Mesa County

File No. _____
Receipt No. _____
Date Received _____
Received by _____

oooooo Development Application oooooooo

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described on the attached legal description form do hereby petition this:

	ACRES	PHASE	COMMON LOCATION	ZON	TYPE OF USAGE
SUBDIVISION PLAT/PLAN	4.8	<input type="radio"/> DRAFT DEV <input checked="" type="radio"/> PRELIMINARY <input type="radio"/> FINAL	NE 25 Rd. & H Rd		
REZONE				From → To	
CONDITIONAL USE					
BULK DEVELOPMENT					
HIGHWAY ORIENTED DEVELOPMENT					
TEXT AMENDMENT					
SPECIAL USE					
VACATION					

Road
 R.O.V.
 Alley
 Easement

Indicate Primary Contact Person for Correspondence: (Check appropriate)

PROPERTY OWNER	DEVELOPER	REPRESENTATIVE
<i>William Shuman</i>		<i>Armstrong Consultants Inc, Attn: Tom Logue</i>
Name	Name	Name
<i>3320 Crestview Way</i>	<i>801 Road Ave, Grand Jct. CO. 81501</i>	
Address Zip	Address Zip	Address Zip
<i>Grand Junction, CO. 245-4266</i>	<i>242-0101</i>	
Business Phone	Business Phone	Business Phone

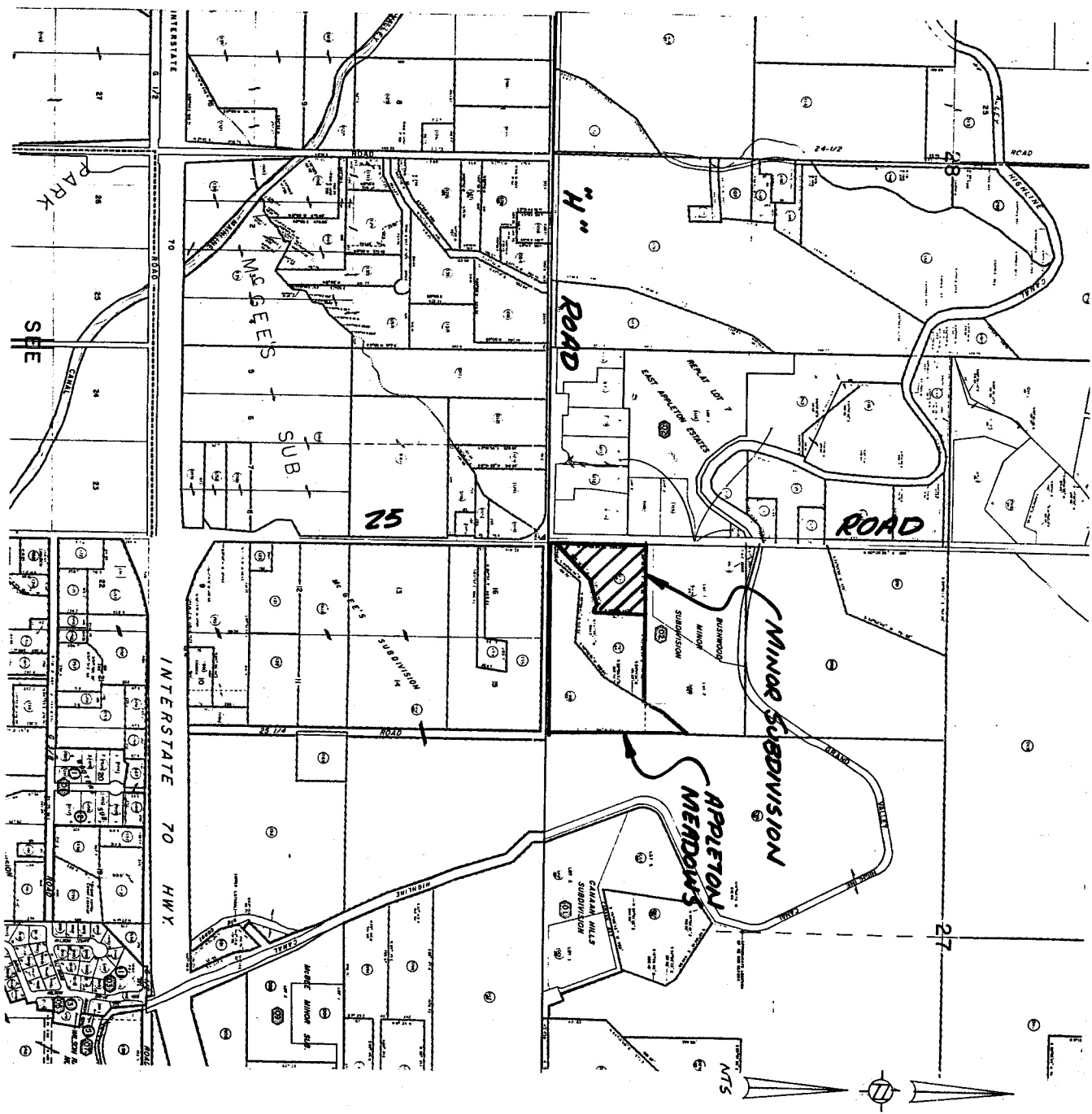
NOTE: Legal property owner is owner of record on date of submittal.

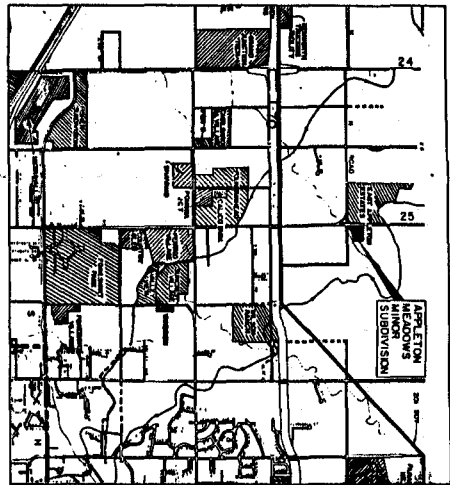
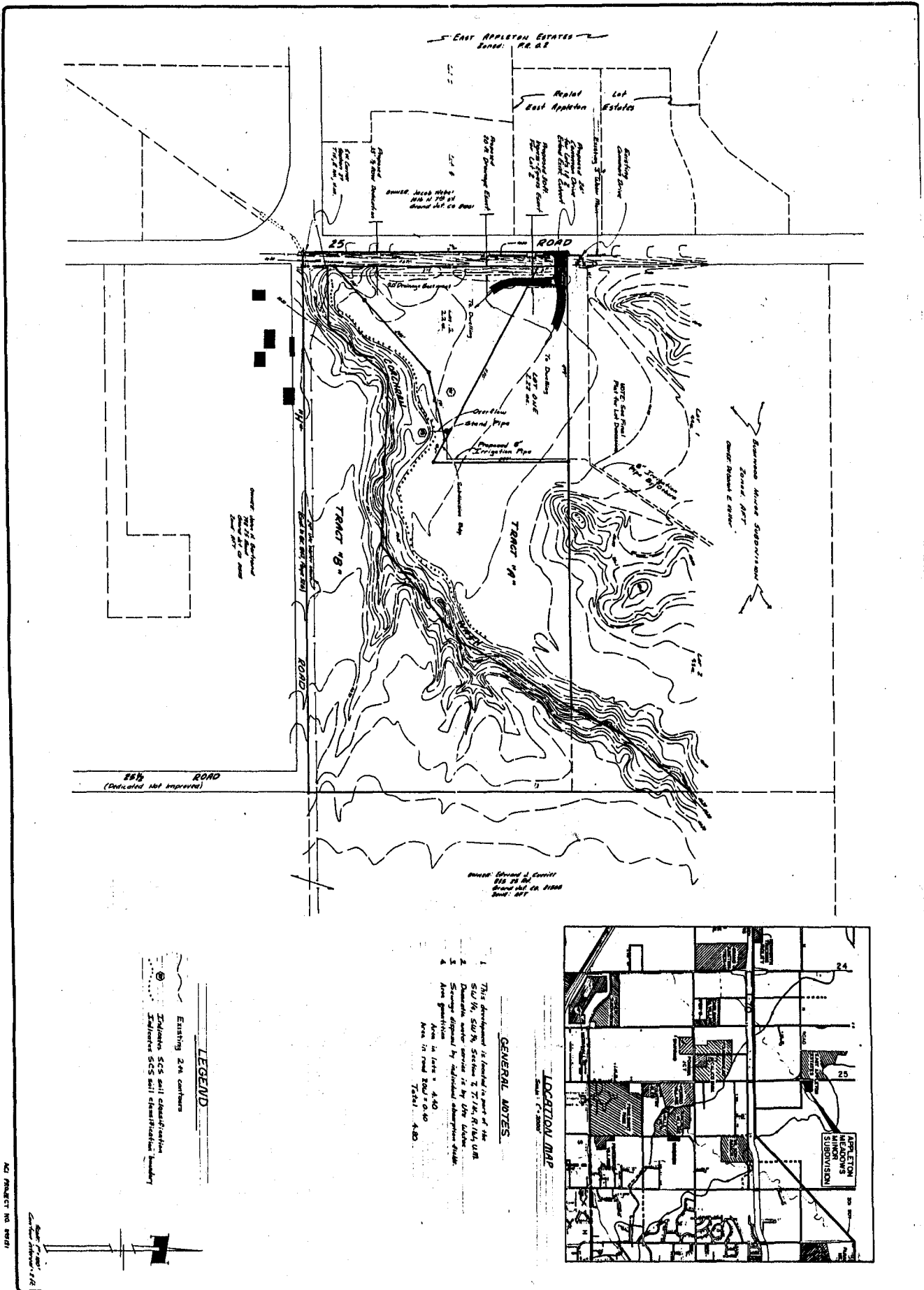
WE HEREBY ACKNOWLEDGE THAT WE HAVE FAMILIARIZED OURSELVES WITH THE RULES AND REGULATIONS WITH RESPECT TO THE PREPARATION OF THIS SUBMITTAL, THAT THE FOREGOING INFORMATION IS TRUE & COMPLETE TO THE BEST OF OUR KNOWLEDGE, AND THAT WE ASSUME THE RESPONSIBILITY TO MONITOR THE STATUS OF THIS APPLICATION AND THE REVIEW SHEET COMMENTS. WE RECOGNIZE THAT WE OURSELVES, OR OUR REPRESENTATIVE(S) MUST BE PRESENT AT ALL HEARINGS. IN THE EVENT THAT THE PETITIONER IS NOT REPRESENTED, THE ITEM WILL BE DROPPED FROM THE AGENDA, AND AN ADDITIONAL FEE CHARGED TO COVER RE-SCHEDULING EXPENSES BEFORE IT CAN AGAIN BE PLACED ON THE AGENDA.

William Shuman
Signature of person completing application. 1/29/90
Date

[Signature] 1/30/90
Date

Signature(s) of property owner(s) Date
(Attach additional sheets if necessary)





GENERAL NOTES

1. This development is located in part of the S41/4, S41/4, Section 7, T16N, R16W, U18R.
2. Delineate water service to be by the Under.
3. Storms disposed by individual absorption system.
4. Area given in lot area = 4.40
Area in road ROW = 0.40
Total = 4.80

LEGEND

- Existing 24\"/>

Scale 1\"/>

SHEET 1 OF ONE SHEETS	FINAL DEVELOPMENT PLAN APPLETON MEADOWS MINOR SUBDIVISION MESA COUNTY, COLORADO		ARMSTRONG CONSULTANTS, INC. <small>961 2nd Avenue Suite 200, Colorado Springs, Colorado 80901 (303) 533-3300</small>		
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MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 6-21-90 MCC Hearing Date: 7-3-90
File Number: C24-90
Project Name: APPLETON KENNELS SUBDIVISION
Phase: MINOR SUBDIVISION - FINAL PLAT
Common Location: NW 24 Road & F Road

Engineer - Name: Armstrong Consultants, Inc. Attn Tom Logue
Address: 861 Road Avenue, Grand Junction CO. 81501
Phone: 242-0101

Petitioner - Name: Charles Doss
Address: 621 24 Road
Phone: Grand Junction, CO. 81505

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	(PLEASE TYPE)	
		Yes	No
<u>GRD. JCT. PLANNING</u>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
Financing required for extensions?	_____	_____	

Impact on capacity or supply:

Other concerns and specific requirements:

Access onto F Road should be limited by means of a frontage road or shared access driveways.

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: City Planning

Reviewed by: Kathy Parker

Date: 6/22/90

FAILURE TO OBJECT OR COMMENT BY 6-22-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 6-21-90 MCC Hearing Date: 7-3-90
File Number: 624-90
Project Name: APPLETON KENNELS SUBDIVISION
Phase: MINOR SUBDIVISION - FINAL PLAT
Common Location: NW 24 Road & F Road

Engineer - Name: Armstrong Consultants, Inc. Attn: Tom Logue
Address: 861 Road Avenue, Grand Junction CO. 81501
Phone: 242-0101

Petitioner - Name: Charles Doss
Address: 621 24 Road
Grand Junction, CO. 81505
Phone:

Table with 3 columns: REVIEW AGENCY, REVIEW AGENCY COMMENTS (PLEASE TYPE), Yes, No. Row 1: GRD. Jct. UTILITIES, Is proposal within service area? (X), Existing services adequate? (X), Connection to services required? (X), Easements required? (), Relocation necessary? (), Improvements agreement adequate? (X), As-builts required for release? (), Financing required for extensions? (X)

Impact on capacity or supply: Area is part of Appleton Sewer CID. The lines were sized to include all development within the boundaries of the District.

Other concerns and specific requirements: What will be done to get sewer service to lots 1 and 4 since the stubs serve only lots 2 and 3? Show size and type of existing sewer.

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Public Works
Reviewed by: Bill Cloney - Utility Engineer Date: 6-6-90

FAILURE TO OBJECT OR COMMENT BY 6-22-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

PROJECT NARRATIVE
FOR
APPLETON KENNELS SUBDIVISION
APRIL, 1990

Prepared For:

Charles Doss
621 24 Road
Grand Junction, CO 81505
(303) 242-1285

Prepared By:

Armstrong Consultants, Inc.
861 Rood Avenue
Grand Junction, CO 81501
(303) 242-0101
ACI #905300

PROJECT NARRATIVE
FOR
APPLETON KENNELS

GENERAL - The enclosed maps and statements are provided as a requirement of the Mesa County Development Regulations for a minor subdivision.

The proposal calls for the ultimate development of 4 commercially zoned lots on 7.4 acres. Lot sizes range from 1.0 acres to 3.7 acres.

Since each vacant lot will be sold separately, it is impossible to determine what future uses will occur when subdivision development is completed.

LOCATION - Appleton Kennels Subdivision consists of 7.4 acres located northwest of 24 Road and F Road. The Grand Junction City limits lie east of the property. The site is located in part of the SE $\frac{1}{4}$, Section 5, Township 1 South, Range 1 East of the Ute Meridian.

EXISTING LAND USE - The property is comprised of a single parcel of land which is zoned C-Commercial by Mesa County. The dominate feature on the property is an existing kennel facility operated by the petitioner. The balance of the land is vacant of structures and is in a fallow state.

SURROUNDING LAND USE - The surrounding land uses are considered to be of high intensity in nature. The predominate land use is non-residential. All of the property surrounding the site is zoned commercial by Mesa County. Established land uses adjacent to Appleton Kennels includes:

NORTH

Delta Implement Sales
Scrap Iron Sales

SOUTH

Pipe Trades Educational Center
Ryder Truck Rental
Himer Drilling Co.
Mesa Mack
F Road
Redlands Parkway Bridge

WEST

Cummings Diesel
Highway 6 & 50

EAST

Mesa Mall
Large Vacant Retail Building
24 Road

ACCESS - The proposal calls for the utilization of F Road and 24 Road as primary access routes to the site. An existing gravel driveway from F Road to the Kennels will remain and is designated as a "common driveway" for the adjacent lot to the east. It is difficult to accurately forecast the number of vehicles that will utilize the site due to the unknown nature of the future commercial uses which may be established on the site. The Colorado Highway Department's Trip Generator for "General Light Industrial" uses indicates 52.4 average weekday vehicle trips per acre. 388 vehicle trips per day would be realized when the site is fully developed.

Roadways and their functional County classification in the area of the proposed subdivision follow:

<u>NAME</u>	<u>FUNCTIONAL CLASSIFICATION</u>
F Road	Urban Major Arterial
24 Road	Urban Major Arterial
Highway 6 & 50	Urban Major Arterial
Redlands Parkway	Urban Major Arterial

UTILITY SERVICE - The proposal calls for the utilization of existing utility mains located within the adjoining roadways for future service. The accompanying utility composite plan depicts the location of utility services in relationship to the subject property.

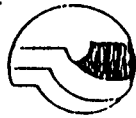
UTILITY SERVICE MATRIX		AVAILABLE	NOT AVAILABLE	OUTSIDE 201
UTILITY	DISTRICT			
SEWER	VALLEY WIDE SEWER	●		
WATER	UTE WATER CONSERVANCY DIST.	●		
GAS	PUBLIC SERVICE CO. OF COLORADO	●		
ELECTRIC	PUBLIC SERVICE CO. OF COLORADO	●		
PHONE	U.S. WEST COMMUNICATIONS	●		
IRRIGATION	GRAND VALLEY IRRIGATION CO.		●	

SOILS AND GEOLOGY - A geologic investigation report prepared by a Colorado Professional Geologist has been transmitted to the Mesa County Planning Department and State Geologist under separate cover. Results within the report did not identify any major geologic hazard existing within the property. The report also did not identify mill tailings deposits within the property.

DRAINAGE - A drainage study has been transmitted to the Mesa County Planning and Engineering Department. Results of the drainage study indicate that the subject property is not prone to flooding in the event of a 100 yr. frequency storm.

DEVELOPMENT SCHEDULE - The rate at which development occurs on the vacant land within Appleton Kennels Subdivision is entirely dependent upon Mesa County's future growth and commercial needs.

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Mesa County

File No. _____
Receipt No. _____
Date Received _____
Received by _____

ooooooo Development Application oooooooo

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described on the attached legal description form do hereby petition this:

	ACRES	PHASE	COMMON LOCATION	ZONING	TYPE OF USAGE
SUBDIVISION PLAT/PLAN	6.4	<input type="radio"/> PRELIMINARY <input type="radio"/> FINAL	NW 24 Rd. & F Road		
REZONE				From → To	
CONDITIONAL USE					
BULK DEVELOPMENT					
HIGHWAY ORIENTED DEVELOPMENT					
TEXT AMENDMENT					
SPECIAL USE					
VACATION					

Road
 R.O.V.
 Alley
 Easement

Indicate Primary Contact Person for Correspondence: (Check appropriate)

PROPERTY OWNER <input checked="" type="radio"/>	DEVELOPER <input type="radio"/>	REPRESENTATIVE <input checked="" type="radio"/>
Name: Charles Ross	Name: Armstrong Consultants, Inc. Attn: Tom Leve	Name: _____
Address: 621 24 Road	Address: 861 Road Avenue, Grand Jct. CO. 81501	Address: _____
Zip: Grand Junction CO. 242-1285	Zip: 242-0101	Zip: _____
Business Phone: _____	Business Phone: _____	Business Phone: _____

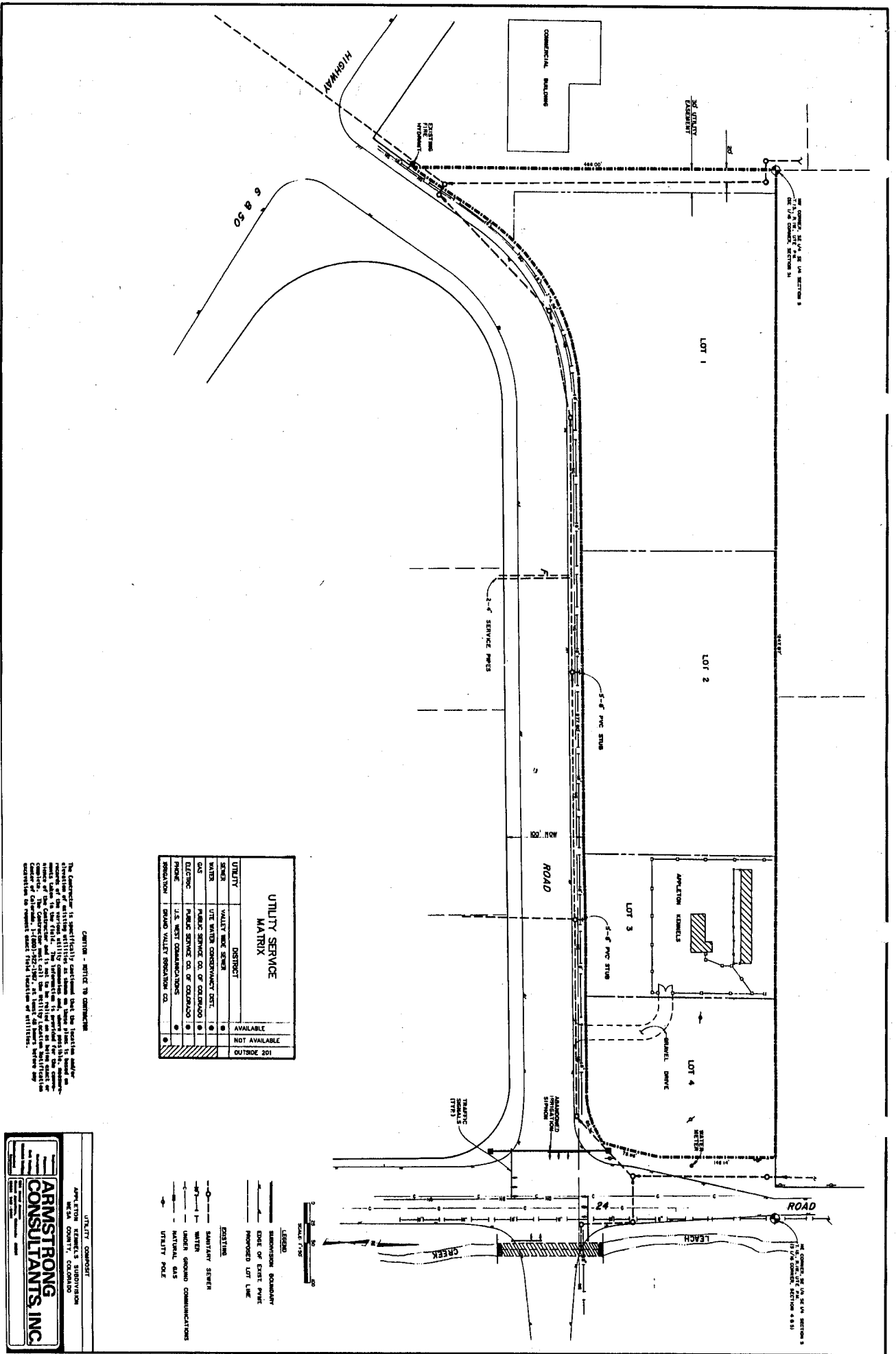
NOTE: Legal property owner is owner of record on date of submittal.

WE HEREBY ACKNOWLEDGE THAT WE HAVE FAMILIARIZED OURSELVES WITH THE RULES AND REGULATIONS WITH RESPECT TO THE PREPARATION OF THIS SUBMITTAL, THAT THE FOREGOING INFORMATION IS TRUE & COMPLETE TO THE BEST OF OUR KNOWLEDGE, AND THAT WE ASSUME THE RESPONSIBILITY TO MONITOR THE STATUS OF THIS APPLICATION AND THE REVIEW SHEET COMMENTS. WE RECOGNIZE THAT WE OURSELVES, OR OUR REPRESENTATIVE(S) MUST BE PRESENT AT ALL HEARINGS. IN THE EVENT THAT THE PETITIONER IS NOT REPRESENTED, THE ITEM WILL BE DROPPED FROM THE AGENDA, AND AN ADDITIONAL FEE CHARGED TO COVER RE-SCHEDULING EXPENSES BEFORE IT CAN AGAIN BE PLACED ON THE AGENDA.

Signature: Charles A. Leve Date: 4/23/90
Name of person completing application.

X

Signature(s) of property owner(s) Date
(Attach additional sheets if necessary)



SEE COMPASS, 24 IN. W. 1/4, SEC. 14, SECTION 9
T. 12 N. R. 22 E. COUNTY, SECTION 31

SEE COMPASS, 24 IN. W. 1/4, SEC. 14, SECTION 9
T. 12 N. R. 22 E. COUNTY, SECTION 4 & 5

UTILITY SERVICE MATRIX		
UTILITY	DISTRICT	
SEWER	VALLEY VIEW SEWER	●
WATER	UTE WATER CONSERVANCY DIST.	●
GAS	PUBLIC SERVICE CO. OF COLORADO	●
ELECTRIC	PUBLIC SERVICE CO. OF COLORADO	●
PHONE	U.S. WEST COMMUNICATIONS	●
PROTECTION	GRAND VALLEY PROTECTION CO.	●
		●

CAUTION - NOTICE TO CONTRACTOR

The Contractor is specifically cautioned that the location and/or direction of existing utilities as shown on these plans is based on records and field verification. The information is provided for the convenience of the Contractor and is not to be relied upon as a guarantee of accuracy. The Contractor shall verify the location and depth of all utilities before any excavation to prevent utility damage or fatalities.

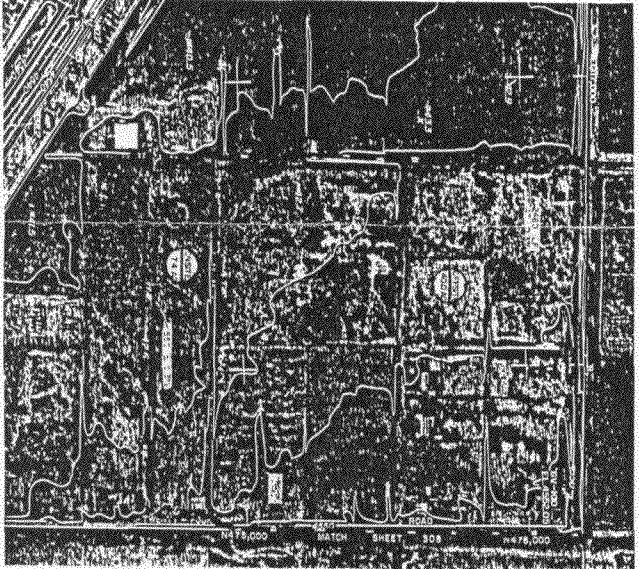
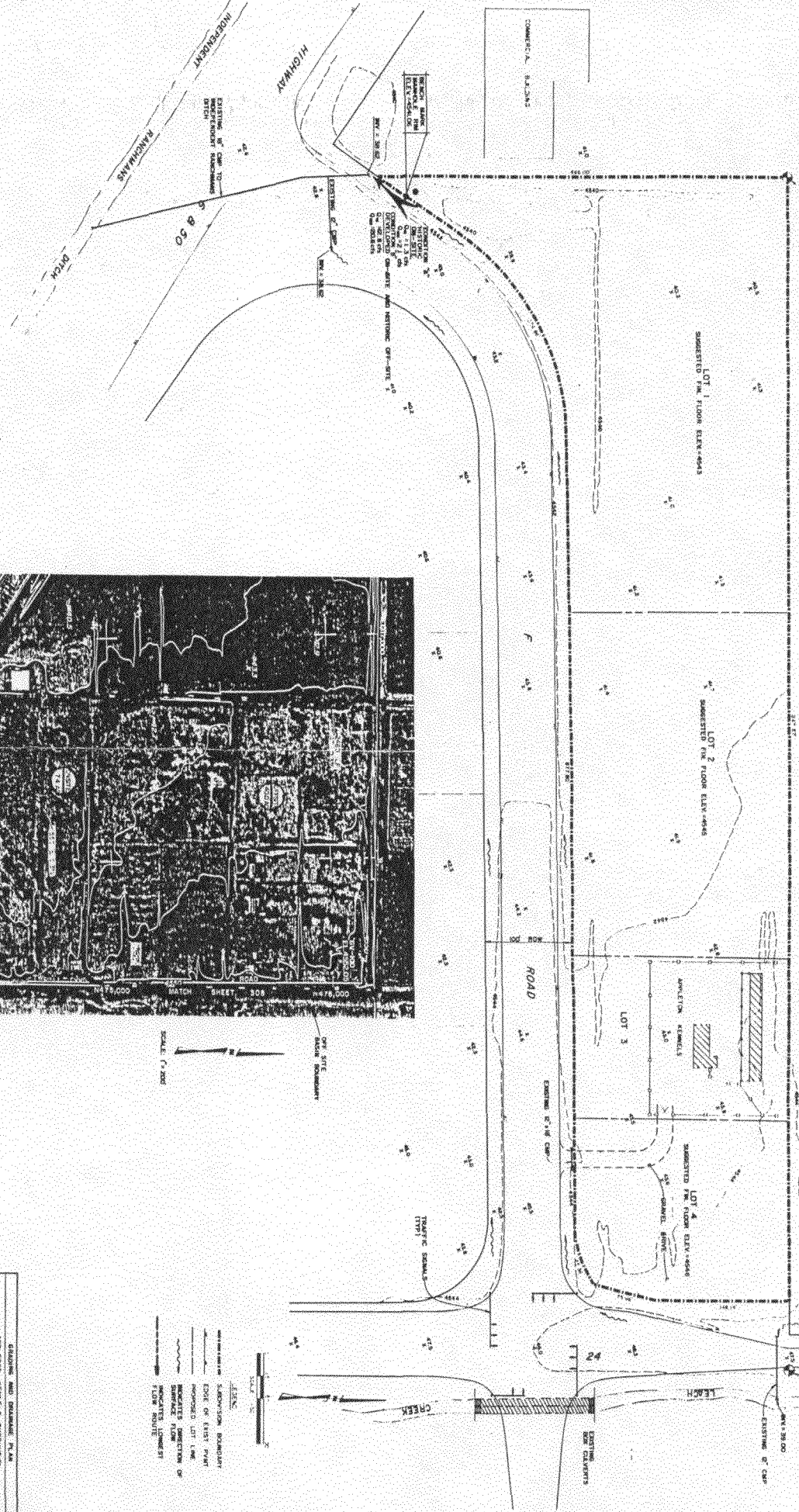
- LEGEND**
- SUBDIVISION BOUNDARY
 - EXIST. OR EXPI. PAVE.
 - PROPOSED LOT LINE
- EXISTING**
- SANITARY SEWER
 - WATER
 - UNDER GROUND COMMUNICATIONS
 - NATURAL GAS
 - UTILITY POLE

UTILITY COMPOST
 APARTMENT KITCHENS SUBDIVISION
 WEAH COUNTY, COLORADO

ARMSTRONG CONSULTANTS, INC.

1000 17th Street, Suite 1000
 Denver, Colorado 80202
 Phone: (303) 733-1111
 Fax: (303) 733-1112

CONDITION "X"
 PROPOSED SITE
 LOT 1 FLOOR ELEVATION
 682.2 ON
 LOT 2 FLOOR ELEVATION
 682.2 ON
 LOT 3 FLOOR ELEVATION
 682.2 ON
 LOT 4 FLOOR ELEVATION
 682.2 ON



SCALE 1" = 50'
 THE SITE BOUNDARY

- LEGEND
- SUBDIVISION BOUNDARY
 - EDGE OF EXIST. PAVT
 - PROPOSED LOT LINE
 - INDICATES DIRECTION OF SURFACE FLOW
 - FLOOR ROUTE



DESIGNED AND DRAWN BY: M.A.S.
 JOHN L. GUNN, ESTABLISHED SURVEYOR
 WESA COUNTY, MISSISSIPPI

ARMSTRONG CONSULTANTS, INC.

1000 W. 10TH ST., SUITE 100
 JACKSON, MISSISSIPPI 39202
 PHONE: (601) 944-1111
 FAX: (601) 944-1112

1000 W. 10TH ST., SUITE 100
 JACKSON, MISSISSIPPI 39202
 PHONE: (601) 944-1111
 FAX: (601) 944-1112

Redlands Country Corner - Review Comments

1. Connection of sewer line in Iris Court to be made by City crews unless approved otherwise by the Public Works Department.
2. Sewer from car wash to main is the responsibility of the property owner and will not be maintained by the 201 system.
3. Water elevations in "sand and grease trap details" between Detail H and Section A-A do not agree. Shouldn't water elevation be as shown in Section A-A?

Bill Cheney - 4-6-90

RECEIVED OR JUNCTION
 PLANNING DEPARTMENT
 MAR 02 1990
Copies have been made & sent - original sent back to County
 RP

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
 P.O. Box 20,000-5022
 Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 3-15-90 MCC Hearing Date: _____
 File Number: C14-90
 Project Name: Replat Mesa Valley Estates rename Stonegate Sub
 Phase: Prel/Final
 Common Location: 3036 F Road (Tracts A, B, & C of Mesa Valley)

Engineer - Name: _____
 Address: _____
 Phone: _____

Petitioner - Name: J. P. White Construction Co., Darlena Moncri
 Address: 1640 Poplar Dr.
Grand Junction, CO 81505
 Phone: 241-8153

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)		
		Yes	No
<i>City Planning</i>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

- See attached -

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 4-2-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

**REPLAT MESA VALLEY ESTATES RENAME STONEGATE SUB.
REVIEW COMMENTS**

**Bill Cheney, Utilities Engineer
March 5, 1990**

Subdivision is located in Central Grand Valley Sanitation District. Any change in density or service will require their approval.

**J. D. Newton, City Engineer
March 2, 1990**

1. How can it not be advantageous to install an irrigation system?
2. Why is the right-of-way width not adequate for a sidewalk? Maybe more should be dedicated.
3. What utilities and street improvements are built?

**Karl Metzner, City Planning
March 5, 1990**

55' right-of-way should be adequate for construction of a sidewalk. This is an urban density development and should provide urban improvements. If more right-of-way is necessary, it should be dedicated by the developer.

MESA COUNTY REVIEW
C14-90-2 STONEGATE SUBDIVISION
FILING 2 - REPLAT OF MESA VALLEY ESTATES

City Utility Engineer 10/16/90

1. Cleamonts will not be allowed at Sta. 2445 Line A or Sta Ho5 Line B.
2. Now line designation does not fit previously approved plans.
3. Water line appears to be too shallow and no encasement details are shown where water crosses over sewer with less than 18" vertical separation.
4. Lines are shown that were not part of original approval, therefore a new "utility composite" will be required.
5. Stationing should be from lower manhole to upper manhole to allow for future extensions on same stationing unless stationing matches street stationing.
6. Stub from M# 17 to north will need to be capped since it is not going to be used for a future extension.

COMMUNITY DEVELOPMENT 10/8/90

The only changes to the original plat, as noted on the attached letter, are cul-de-sac radii and street names, I have no comments.

CITY ENGINEER 10/19/90

What is the plan for storm runoff? No drainage facilities or storm detention areas are shown on the plans. Where does the drainage from this development outlet?

Kathy
Due 10/10/90

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: N/A UCC
File Number: C14-90-2 MCPC Hearing Date: 10/12/90
Project Name: Stonegate Subdivision Filing 2 - Replat of
Phase: Mesa Valley Estates
Common Location: 30 + F Rds

Engineer - Name: _____
Address: _____
Phone: _____

Petitioner - Name: J.P. White Construction Co
Address: 1640 Poplar GJ 81505
Phone: 241-8153

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	PLEASE TYPE	
		Yes	No
<u>G.J. Utilities</u>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

*the only changes to the original plat, as noted on the attached letters, are cul-de-sac names and street names, I have no comments.
KP-10/8/90*

*What is the plan for storm runoff. No drainage facilities or storm detention areas are shown on the plans. where does the drainage from this development outlet?
J.D. Newton
10-19-90*

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY _____ SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



Darlena Moncrief
President

J.P. WHITE CONSTRUCTION CO.

1640 Poplar Dr.
Grand Junction, Colorado 81505
(303) 241-8153

October 2, 1990

Mr. Bennett Boeschstein
Mesa County Planning Dept.
750 Main Street
Grand Junction, CO 81501

Re: Stonegate Subdivision

Dear Bennett:

I hereby make application for the replat of Mesa Valley Estates' 68 previously platted lots into Stonegate Subdivision Filing No. 2. At this time my plans are to develop the 68 lots in four phases as outlined on the enclosed area plat. Of course, future sales will determine the feasibility of this plan. However, I do intend to develop the 17 lots shown as Phase I as soon as possible.


My engineer only made minor changes on this recorded plat, mainly regarding the cul-de-sac radii as you requested. In addition, the street names have been changed to reflect the Stonegate theme.

As with the first filing of Stonegate, my intention is to construct homes in the 1300-1800 square foot range and fence each home with 6' cedar privacy fencing.

My sales' expectations have far surpassed my initial estimate and, in fact, I have 2 homes pre-sold for Filing No. 2. Therefore, I am anxious to get started as soon as possible and would appreciate your expedient action to assist me.

Sincerely yours,

J.P. WHITE CONSTRUCTION CO.


Darlena Moncrief, President

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: n/a UCC
File Number: C14-90-2 MCC Hearing Date: 10/12/90
Project Name: Stonegate Subdivision Filing 2 - Replat of
Phase: Mesa Valley Estates
Common Location: 30 + F Eds

Engineer - Name:
Address:
Phone:

Petitioner - Name: JP White Construction Co
Address: 1640 Poplar GS 81505
Phone: 241-8153

Table with columns: REVIEW AGENCY, REVIEW AGENCY COMMENTS (PLEASE TYPE), Yes, No. Rows include G.J. Utilities and G.J. Planning with various service and connection questions.

Impact on capacity or supply:

Other concerns and specific requirements:

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office:

Reviewed by:

Date:

FAILURE TO OBJECT OR COMMENT BY _____ SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: N/A UCC
File Number: C14-90-2 MCPC Hearing Date: 10/12/90
Project Name: Stonegate Subdivision Filing 2 - Replat of
Phase: Mesa Valley Estates
Common Location: 30 + F Rds

Engineer - Name:
Address:
Phone:

Petitioner - Name: J.P. White Construction Co.
Address: 1640 Poplar GJ 81505
Phone: 241-8153

Table with 3 columns: REVIEW AGENCY, REVIEW AGENCY COMMENTS (PLEASE TYPE), Yes, No. Rows include G.J. Utilities and G.J. Planning with various utility-related comments and checkmarks.

Impact on capacity or supply:
Contact Central Grand Valley.

- Other concerns and specific requirements:
1. Cleanouts will not be allowed at Sta. 2445 Line A or Sta 1405 Line B.
2. New line designation does not fit previously approved plans.
3. Water line appears to be too shallow and no encasement details are shown where water crosses over sewer with less than 18" vertical separation.
4. Lines are shown that were not part of original approval, therefore a new "utility composite" will be required.
5. Stationing should be from lower manhole to upper manhole to allow for future extensions on same stationing unless stationing matches street stationing.
6. Stub from MH 17 to north will need to be capped since it is not going to be used for a future extension.

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: City - Public Works

Reviewed by: Bill Cheney

Date: 10-16-90

FAILURE TO OBJECT OR COMMENT BY _____ SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 5-17-90 MCC Hearing Date: 6-19-90
File Number: C25-90
Project Name: GREENFIELD RUN SUBDIVISION
Phase: ONE STEP ODP/PRELIMINARY
Common Location: 2955 "F" ROAD GRAND JUNCTION, CO. 81504

Engineer - Name: Q.E.D. SURVEYING SYSTEMS; ROBERT S. COBURN, ENGINEER
Address: 1018 COLORADO AVE. GRAND JUNCTION, CO., 81501
Phone: 303 241 2370

Petitioner - Name: HERITAGE ELDER CARE, A COLORADO GENERAL PARTNERSHIP
Address: 2324 SEVILLE CIRCLE, BOX 4411, GRAND JUNCTION, 81502
Phone: 303 243 7224

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)		
		Yes	No
<u>G.J. UTILITY</u>	Is proposal within service area?	_____	<u>X</u>
	Existing services adequate?	_____ ?	_____
	Connection to services required?	<u>X</u>	_____
	Easements required?	<u>X</u>	_____
	Relocation necessary?	_____	<u>X</u>
	Improvements agreement adequate?	_____ ?	_____
	As-builts required for release?	<u>X</u>	_____
	Financing required for extensions?	_____ ?	_____

Impact on capacity or supply:
Not known due to Central Grand Valley's Capacity.

Other concerns and specific requirements:

- 1. Sewer profiles will need to be submitted for approval prior to final acceptance for construction. Profiles should be submitted to both Central Grand Valley and City for approval.*
- Construction of sewer to be in accordance with City of Grand Junction "Standards and Specifications".*

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Public Works

Reviewed by: Bill Cheney

Date: 5-11-90

FAILURE TO OBJECT OR COMMENT BY 6-8-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 5-17-90 MCC Hearing Date: 6-19-90
File Number: 025-90
Project Name: GREENFIELD RUN SUBDIVISION
Phase: ONE STEP ODP/PRELIMINARY
Common Location: 2955 "F" ROAD GRAND JUNCTION, CO. 81504

Engineer - Name: Q.E.D. SURVEYING SYSTEMS; ROBERT S. COBURN, ENGINEER.
Address: 1018 COLORADO AVE. GRAND JUNCTION, CO. 81501
Phone: 303 241 2370

Petitioner - Name: HERITAGE ELDER CARE, A COLORADO GENERAL PARTNERSHIP
Address: 2324 SEVILLE CIRCLE, BOX 4411, GRAND JUNCTION, 81502
Phone: 303 243 7224

Table with columns: REVIEW AGENCY (City of G.J.), REVIEW AGENCY COMMENTS (PLEASE TYPE), Yes, No. Rows include: Is proposal within service area?, Existing services adequate?, Connection to services required?, Easements required?, Relocation necessary?, Improvements agreement adequate?, As-builts required for release?, Financing required for extensions?

Impact on capacity or supply:

Other concerns and specific requirements:

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 6-8-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

**GREENFIELD RUN SUBDIVISION
REVIEW COMMENTS
File # C25-90**

**J. D. Newton, City Engineer
May 11, 1990**

1. To what standard will the streets (Greenfield Circle East and West) be constructed?
2. Where and how will storm drainage be collected and outlet?

**Bill Cheney, Utilities Engineer
May 11, 1990**

1. Sewer plans for the proposed subdivision will require approval of Central Grand Valley Sanitation District and the City of Grand Junction. Sewer will have to be constructed to City "standards and specifications."

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

U.C.C.
MCPC Hearing Date: 3-14-90 MCPC Hearing Date: _____
File Number: C10-90
Project Name: The Seasons at Tiara Road - Filing #1
Phase: Revised Final
Common Location: South Broadway - 21 Road line
Engineer - Name: West Water Engineer
Address: P.O. Box 1470, Palisade, Co 81526
Phone: 464-5134
Petitioner - Name: Roger Lessman, Transmontane Development Corp.
Address: P.O. Box 9090, 1799 Patterson Suite B
Grand Junction, CO 81501
Phone: 242-9520

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	PLEASE TYPE	
		Yes	No
<u>City Planning</u>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____
	Impact on capacity or supply:		

Other concerns and specific requirements:

- See attached -

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 3-12-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

U.C.C.
MCPC Hearing Date: 3-14-90 MCPC Hearing Date: _____
File Number: C10-90
Project Name: The Seasons at Tiara Road - Filing #1
Phase: Revised Final
Common Location: South Broadway - 21 Road line

Engineer - Name: West Water Engineer
Address: P.O. Box 1470, Palisade, Co. 81526
Phone: 464-5134

Petitioner - Name: Roger Lessman, Transmontane Development Corp.
Address: P.O. Box 9090, 1199 Patterson Suite B
Grand Junction, CO 81501
Phone: 242-9520

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	Yes		No	
		Yes	No	Yes	No
<i>J J Sewer</i>	Is proposal within service area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Existing services adequate?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Connection to services required?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Easements required?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Relocation necessary?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Improvements agreement adequate?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	As-builts required for release?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Financing required for extensions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Impact on capacity or supply:

NA

Other concerns and specific requirements:

The Sewer lift Station Has never been Inspected for Final Approval and will need to be before it can be accepted into The sewer system

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Wastewater Superintendent

Reviewed by: Jerry O'Brien

Date: 2-27-90

FAILURE TO OBJECT OR COMMENT BY 3-12-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

THE SEASON AT TIARA RADO, FILING #1
REVIEW COMMENTS

Bill Cheney, Utilities Engineer
March 5, 1990

SEWER

1. The sewer was installed and accepted into the 201 system in 1984. Since there has been no usage for the past 6 years, the line will need to be pressure tested by the developer prior to being placed into service.
2. The lift station at the end of the cul-de-sac has never been accepted. It will need to be tested and made fully operational prior to acceptance.
3. Manholes will need to be thoroughly cleaned by developer prior to acceptance.

J. D. Newton, City Engineer
March 1, 1990

1. Where is the utilities composite referred to in the submittal statement?
2. What kind of landscaping plan is it that doesn't require water? What a shame to abandon an existing irrigation system.
3. There is no room for on street parking on either of the proposed street sections. Will parking be provided elsewhere?
4. Why no sidewalks on proposed streets?

The proposed street section looks o.k. as long as no one has to drive, park or walk on it!!!

Karl Metzner, City Planning
March 5, 1990

With potential shortages of portable water due to the drought, it seems short sighted to abandon an existing irrigation system that uses untreated water.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

U.C.C.
MCPC Hearing Date: 3-14-90 ~~MCPC Hearing Date:~~ _____
File Number: C10-90
Project Name: The Seasons at Tiara Road - Filing #1
Phase: Revised Final
Common Location: South Broadway - 21 Road line

Engineer - Name: West Water Engineer
Address: P.O. Box 1470, Palisade, CO 81326
Phone: 464-5134

Petitioner - Name: Roger Lessman, Transmontane Development Corp.
Address: P.O. Box 9090, 1799 Patterson Suite B
Grand Junction, CO 81501
Phone: 242-9520

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)		
		Yes	No
<i>City Planning</i>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

- See attached -

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 3-12-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

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U.C.C.
MCPC Hearing Date: 3-14-90 MCPC Hearing Date: _____
File Number: C10-90
Project Name: The Seasons at Tiara Road - Filing #1
Phase: Revised Final
Common Location: South Broadway - 21 Road line

Engineer - Name: West Water Engineer
Address: P.O. Box 1470, Palisade, CO 81526
Phone: 464-5134

Petitioner - Name: Roger Jessman, Transmontane Development Corp.
Address: P.O. Box 9090, 1799 Patterson Suite B
Grand Junction, CO 81501
Phone: 242-9520

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	Yes		No	
		Yes	No	Yes	No
<i>J J Sevens</i>	Is proposal within service area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Existing services adequate?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Connection to services required?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Easements required?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Relocation necessary?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Improvements agreement adequate?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	As-builts required for release?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Financing required for extensions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Impact on capacity or supply:

NA

Other concerns and specific requirements:

The Sewer lift station has never been inspected for final approval and will need to be before it can be accepted into the sewer system

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Wastewater Superintendent

Reviewed by: Jerry O'Brien

Date: 2-27-90

FAILURE TO OBJECT OR COMMENT BY 3-12-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

THE SEASON AT TIARA RADO, FILING #1
REVIEW COMMENTS

Bill Cheney, Utilities Engineer
March 5, 1990

SEWER

1. The sewer was installed and accepted into the 201 system in 1984. Since there has been no usage for the past 6 years, the line will need to be pressure tested by the developer prior to being placed into service.
2. The lift station at the end of the cul-de-sac has never been accepted. It will need to be tested and made fully operational prior to acceptance.
3. Manholes will need to be thoroughly cleaned by developer prior to acceptance.

J. D. Newton, City Engineer
March 1, 1990

1. Where is the utilities composite referred to in the submittal statement?
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4. Why no sidewalks on proposed streets?

The proposed street section looks o.k. as long as no one has to drive, park or walk on it!!!

Karl Metzner, City Planning
March 5, 1990

With potential shortages of portable water due to the drought, it seems short sighted to abandon an existing irrigation system that uses untreated water.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 1-18-90 MCC Hearing Date: _____
File Number: C2-90
Project Name: Mirage Estates
Phase: Official Development Plan / Preliminary
Common Location: 201/2 Road and River Road

Engineer - Name: Armstrong Consultants, Inc. Attn: Tom Logue
Address: 861 Rodd Ave., Grand Junction, CO 81501
Phone: 242-0101

Petitioner - Name: Dale R. Reece
Address: P.O. Box 6000-335, Grand Jct., CO 81502
Phone: 241-3838

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	REVIEW AGENCY COMMENTS (PLEASE TYPE)	
		Yes	No
<i>D.J. Planning</i>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

SEE ATTACHED

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 2-13-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 1-18-90 MCC Hearing Date: _____

File Number: C2-90

Project Name: Mirage Estates

Phase: Official Development Plan / Preliminary

Common Location: 2012 Road and River Road

Engineer - Name: Armstrong Consultants, Inc. Attn: Tom Logu

Address: 861 Road Ave., Grand Junction, CO 81501

Phone: 242-0101

Petitioner - Name: Dale R. Reece

Address: P.O. Box 6000-335, Grand Jct., CO 81502

Phone: 241-3838

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	Yes	No
<u>City Public Works</u>	Is proposal within service area?	_____	<input checked="" type="checkbox"/>
	Existing services adequate?	_____	_____
	Connection to services required?	_____	<input checked="" type="checkbox"/>
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	<input checked="" type="checkbox"/>
	Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

Water - Ute Water
Sewer - Location is 1/2 mile west of the Zol Facility boundary and therefore is not required to provide sewer through the Zol system.

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Public Works

Reviewed by: Bill Cheney - Utility Engineer

Date: 1-23-90

FAILURE TO OBJECT OR COMMENT BY 2-13-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



Grand Junction Planning Department
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430

MIRAGE ESTATES REVIEW COMMENTS

January 23, 1990

City Planning Department Comments:

1. Proposed fill may require a Corps of Engineer's permit if the area is defined as wetlands.
2. Any official change to the 100 year flood plain designation requires approval by FEMA.
3. Development should require a flood plain permit to investigate impacts of fill on flooding potential of adjacent properties.
4. We recommend a paved public street to county standards.

January 16, 1990

J. D. Newton, City Engineer Comments:

I see no reason why the streets in this development should not be constructed to county residential standards within dedicated public right-of-way. No longitudinal street profiles or pavement structure/design calculations are shown on plans.

PROJECT NARRATIVE
FOR
MIRAGE ESTATES
MESA COUNTY, COLORADO

DECEMBER, 1989

Prepared for:

Dale Reece
P.O. Box 6000-335
Grand Junction, CO 81506
(303) 241-3838

Prepared by:

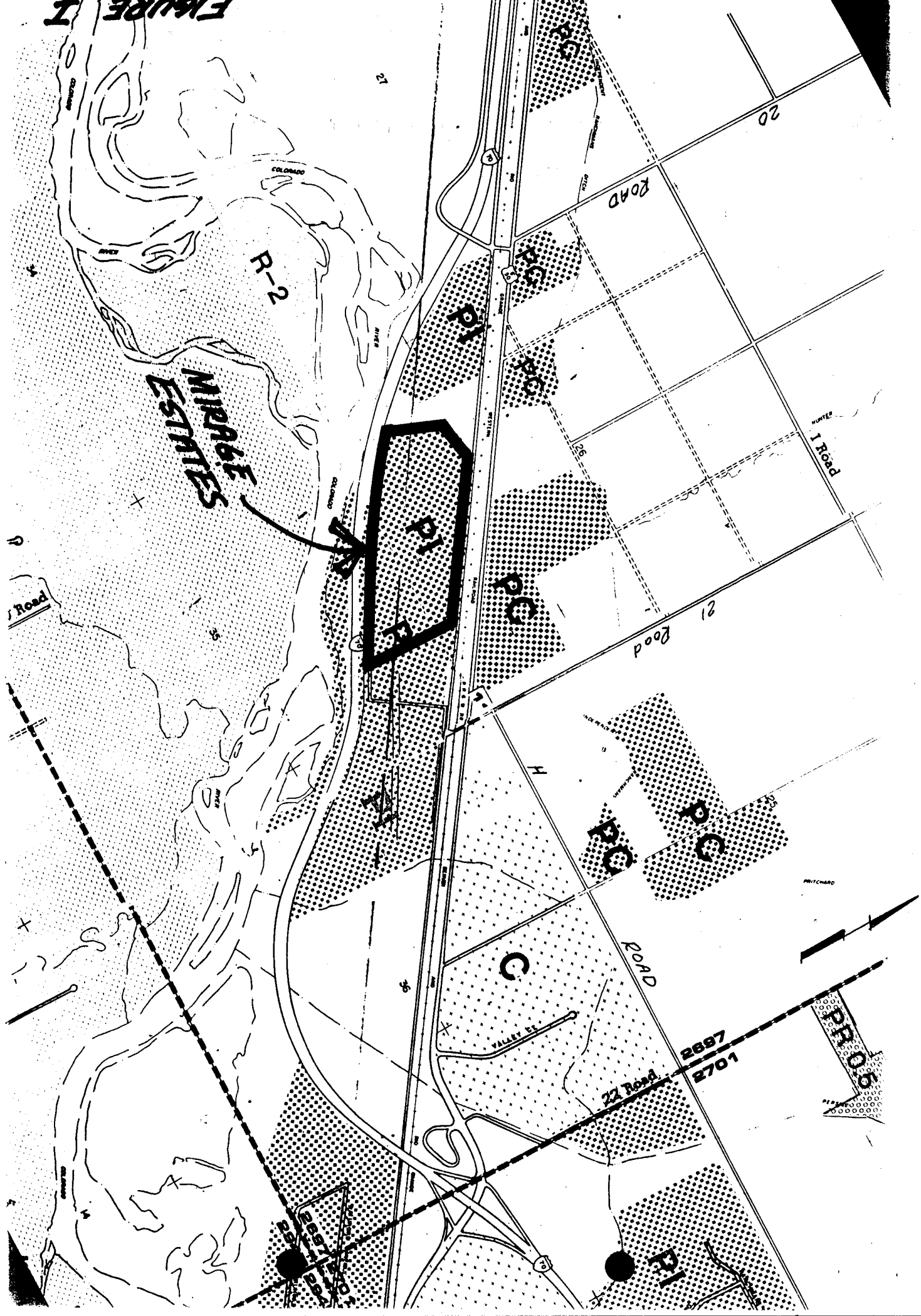
Armstrong Consultants, Inc.
861 Rood Avenue
Grand Junction, CO 81501
(303) 242-0101
ACI Project #885130

MISC18

TABLE OF CONTENTS

<u>Title</u>	<u>Page</u>
Site Analysis - Section I	
Introduction	I-1
Location	I-1
Existing Land Use	I-1
Surrounding Land Use	I-1
Access	I-3
Domestic Water	I-3
Sanitary Sewer	I-3
Natural Gas and Electricity	I-3
Telephone	I-3
Irrigation	I-4
Soils and Geology	I-4
Site Drainage	I-4
Mesa County Land Use Policies	I-5
Emergency Services	I-6
Proposed Land Use - Section II	
General	II-1
Access	II-1
Utility Service	II-2
Grading and Drainage	II-2
Development Schedule	II-3
Land Use Policies	II-3
Appendix	
Application	
Legal Description	
Surrounding Property Owners	

EXHIBIT I



MIRABILIS ESTATES

R-2

20

20 Road

HUNTER I Road

21

21 Road

Road

P2

P3

22 Road

C

VALLEY ST

PRITCHARD

2697

2701

P1

P1

SECTION I

SITE ANALYSIS SECTION

Introduction - The purpose of the site analysis portion of this narrative is to identify the physical and technical characteristics of the subject site for potential future development. The analysis evaluates site assets and constraints.

Location - Mirage Estates consists of 68.5 acres located midway between 20 and 21 Roads south of River Road. The property is not located within a County identified planning district. Mirage Estates is located in part of the North $\frac{1}{2}$ of Section 35, and the South $\frac{1}{2}$ of Section 26, Township 1 north, Range 2 west, of the Ute Meridian.

Existing Land Use - The site is irregular in shape, approximately 3000 feet long east-west and 1200 feet wide north-south. Two single family structures and associated out buildings are located within the boundary of the property.

Two primary land uses have recently occurred, or are presently occurring on the property. The historic use has been grazing of livestock. Most of the property is pasture land. A major gravel extraction and processing facility has utilized about 25% of the site as recently as last year. As a result of the gravel extraction, a small lake of approximately 10.0 surface acres can be found adjacent to the southerly property line.

A major wash known as Hunter Wash forms the easterly boundary of the property. Hunter Wash is approximately 11 to 12 feet deep and averages 30 feet in width.

The topography of the property generally slopes from north to south at a rate of approximately 0.75%. The total change in elevation between the highest point on the property to the lowest point is 16 feet.

Figure I, an excerpt from the Mesa County Zoning Map, indicates that the property is currently zoned P.I., Planned Industrial.

Surrounding Land Use - Surrounding land uses range from moderate to high intensity. The accompanying Surrounding Land Use Map shows surrounding land uses and their location with respect to the subject property. Figure I illustrates surrounding land use zones. A survey of the existing land uses in the area reveal the following land use types:

- Type I Housing - A limited number of dwellings are found in the area. The closest of which is located near the NW property corner on a small non-productive acreage.
- Type II Non-Residential - Two major non-residential uses are identified on the Surrounding Land Use Map. An existing gravel extraction and processing facility is sited on land adjoining the subject property's westerly boundary. The Persigo Waste Water Treatment Plant is located almost 1 mile west of the property along River Road.

Type III Transportation Uses - The Denver and Rio Grande Western Railroad main line and Interstate 70 make up two of the most obvious uses adjoining Mirage Estates.

One surrounding land use does not fall within any of the above types, is a large tract of vacant, non-productive land west of the subject site. Additionally, the Colorado River is located south of the property across Interstate 70.

Access - Public access to Mirage Estates is gained from River Road which is currently classified and constructed as a rural local road by Mesa County. U.S. Highway 6 & 50, accessed by River Road and 20 Road, is currently classified as a principal arterial. Access to Interstate 70 can be gained at the Highway 6 & 50 interchange located approximately 2 miles driving distance from Mirage Estates.

The following table illustrates capacity of major arterials and local roads in the area.

CLASSIFICATION	AVERAGE DAILY TRAFFIC (ADT)	DESIGN HOURLY VOLUME	ROW WIDTH
Principal Arterial	7,800	1501-3000	100'
Rural Local	Max. 500	See ADT	40'-50'

Source: Mesa County Engineering Department

Utility Service

Domestic Water - An existing 2" watermain is located within River Road adjoining the subject property. The existing main is owned and operated by the Ute Water Conservancy District. Water supplies are sufficient in quantity to meet domestic needs. A utility map depicting the location and size of the existing main accompanies this narrative.

Sewage Disposal - Mirage Estates does not lie within an identified sewage service area. The closest point of possible connection for sewer service is at the Persigo Waste Water Treatment Facility located about 1 mile east of the site. Due to the site elevation in relationship to the plant, pumping would be required. As a result of the major expense for construction of a pumping facility, six soil evaluation and percolation tests were conducted on the subject site. Location of each test pit are shown on the accompanying utility map. Individual test results have been transmitted to the Mesa County Health and Planning Departments under separate cover.

Natural Gas and Electricity - Natural gas and electric lines are located within the road right-of-ways adjoining the subject property. According to the Public Service Company of Colorado, the gas supplier and Grand Valley Rural Powerlines, the electric supplier, both have capacity for extensions to the site at such time as development occurs.

Telephone - U.S. West Communications provide telephone service to the area. At this time, underground and overhead phone lines are located within River Road and are available for extension into the property.

Irrigation - Irrigation water is supplied to the property by the Grand Valley Irrigation Co. An existing earthen ditch enters the property near the northwest corner and flows east along River Road to Hunter Wash where it is discharged. With proper irrigation management, sufficient water is available to irrigate the site at such time as development occurs.

Soils and Geology - The Soil Conservation Service has identified two soil types within the property. Ba, Billings Silty Clay and Bc, Billings Silty Clay Loam. Soil limitation within these soil types will require additional geotechnical investigations due to their poor supporting capacity, high shrink-swell potential and slow permeability characteristics. In terms of agricultural suitability S.C.S. has determined the Ba type is a Class IIIs soil and that the Bc soil type is a Class IIs land. The areas of each soil type have been identified on the accompanying Site Analysis Map.

Flooding from the Colorado River is an identified geologic hazard. Detailed discussion regarding the flood plain are found with the Site Drainage section of this narrative.

A Gamma Radon survey was conducted in 1979. Results indicated mill tailings deposits were not evident on the site.

Site Drainage - Other than the influences from the Colorado River the subject site is not adversely affected by off-site flows. Storm water generated on the site is carried on the surface to two points, Hunter Wash and the existing lake. Overflow from the lake is carried thru an existing 24" diameter culvert to an existing slough located immediately west of the property.

As previously stated, portions of the property would be affected as a result of flooding from the Colorado River. Limits of flooding are identified on the accompanying Grading and Drainage Plan. Utilizing plates 35 and 36 from the U.S. Corps. of Engineers Fruita, Colorado, Flood Hazard Information dated November, 1987, it is determined that the maximum flood elevation as a result of a 100 yr. frequency flood would be 4,508 feet above sea level. Flood velocities would be low within the property due to backwater flow conditions which would enter the site from Hunter Wash. Interstate 70 prevents direct flood flows entering the subject property from the rivers main channel.

Mesa County Land Use Policies

In 1982 the Board of County Commissioners adopted Land Use Policies as a portion of their Comprehensive Master Plan. These policies have been updated and amended seven times since their initial adoption. Of the 29 total policies, 20 appear to apply to the subject site. These policies generally address issues such as utility service, vehicular access and other site development standards.

Policies which appear to have direct effect on the future development of the site follow:

<u>Policy Section No.</u>	<u>Title</u>
1	Introduction
2	Availability of drinking water in new subdivisions and other developments.
3	Minimum fire flows.
4	Fire response time.
5	Proximity of new residential development to commercial services.
6	Standards for sewer service.
7	Coordination of long-ranged school planning and development patterns and coordination of development approval and school capacity.
8	Standards of street width.
9	Land use and site planning standards.
10	Public Hearings before the Planning Commission.
11	Policy and cooperation with municipal governments.
12	Time limits for commencement for development following approval.
13	Policy on utilization on irrigation water for non-household uses by developments in the areas which have historically utilized irrigation water.
14	Drainage requirements for new development.
15	Policies and cost sharings by the developers and land owners and parks and other major public improvements.
17	Agricultural land use policies.
18	Energy Policies.
19	Environmental resource and hazards policies.
25	Master plan of schools.
26	Master Plan of parks.

Emergency Services

The following emergency services are available to the subject site:

<u>Service Center Agency</u>	<u>Location</u>
Police	Mesa County Sheriff's Dept. 6th Street & Pitkin Avenue
Fire Protection	Lower Valley Volunteer Fire Dept., Fruita, Colorado
Medical	St. Mary's Hospital (air service), 7th Street & F Road Community Hospital, 12th Street & Walnut Avenue

SECTION II
PROPOSED LAND USE

General The proposal calls for the development of 19 acreage sized estate lots on a 68.5 acre tract of land. Lot sizes range from 1.5 acres to 8.4 acres. The resulting density would be 0.27 dwelling units per acre. Twenty four percent of the total land area, or 16.7 acres, has been reserved as private open space. The primary focal point of the private open space is an existing 10.0 acre lake which would be expanded to 13.5 surface acres. The lake would be available for the private use of the future residents which reside within Mirage Estates. The balance of the open space consist of the Hunter Wash drainage channel and an area of land between the lake and Interstate 70. The private open space adjoining the lake would be utilized as maintenance access and buffering between the development and Interstate 70.

During the site planning process, several design elements are incorporated as part of the proposed land use plan in meeting several goals.

- 1) Achieve a desirable environment for future residents.
- 2) Provide maximum security and safety.
- 3) Compatibility with surrounding land uses.
- 4) Mitigation of potential adverse impacts created by the railroad, Interstate 70, and non-residential land users.
- 5) Maintain a sensitive design in relationship to the existing 100 year Colorado River flood plan.

Key design elements incorporated within the Mirage Estates plan include:

- a) Utilization of the lake and larger lot sizes to provide buffers between the railroad, Interstate 70, and land uses located to the east.
- b) Utilization of private drive to provide adequate accessibility to each lot.
- c) Minimal disturbance to the 100 year flood plan limits.
- d) Two access points provided on River Road.

LAND USE SUMMARY

Area in lots	= 48.9 acres/71.4%.
Area in private open space	= 16.7 acres/24.3%
Area in private drive	= 2.5 acres/3.6%
Area in outlot	= 0.4 acres/0.7%

Total area = 68.5 acres

Density = 0.27 du/ac.

Access

The proposal calls for utilization of River Road as a primary access route to the site. In the interest of safety and proper traffic circulation, the proposal indicates two connecting points along River Road. Due to the low intensity of development, it is proposed that a 40 ft. wide private drive be designated as access to lots within Mirage Estates. Improvements to the private drive includes the

construction of two 11 ft. driving lanes with 4 ft. shoulders and shallow drainage channels lying adjacent to each side of the roadway. According to the Colorado State Highway Department's trip generator, it is estimated that approximately 144 vehicle trips per day could be expected once the site is fully developed. All new vehicle trips would utilize River Road.

Utility Service

Domestic water, gas, electric and communication services is proposed to be extended to each building site from existing service connections located within River Road. Electric and communication lines would be buried underground.

The proposal calls for utilization of individual septic tanks and absorption fields as a means of sewage disposal. Two functioning systems can be found within the development. Six soil evaluation and percolation tests were conducted throughout the property. Test results indicate perc rates within acceptable health department guidelines.

This proposal calls for utilization of the existing irrigation ditch located along River Road and the lake as a source of irrigation water for all lots within the project. It is envisioned that individual irrigation pumps will be installed at the lakes edge for those lots which adjoin the lake. Those lots which do not adjoin the lake will utilize the existing source found along River Road.

Grading and Drainage

The site will be graded in a manner to provide positive drainage away from the buildings foundations. Storm water generated on the site will be carried on the surface to the proposed private drive and the existing lake. The following drainage calculations estimate developed flows based on the accompanying grading and drainage plan, utilizing the rational method.

$$Q = CIA$$

BASIN A	A = 7.2 C = 0.25 Q ₁₀ = 3.6 cfs	L = 1175 I ₁₀ = 2.0	V = 1.25'/sec. I ₁₀₀ = 3.25 Q ₁₀₀ = 5.85 cfs	T = 16 min.
BASIN A, & A ₂	A = 9.2 C = 0.25 Q ₁₀ = 3.7 cfs	L = 1590 I ₁₀ = 1.6	V = 1.0'/sec. I ₁₀₀ = 2.4 Q ₁₀₀ = 5.52 cfs	T = 26.5 min.
BASIN B ₂	A = 6.8 C = 0.25 Q ₁₀ = 3.6 cfs	L = 1115 I ₁₀ = 2.1	V = 1.25'/sec. I ₁₀₀ = 3.25 Q ₁₀₀ = 2.6	T = 15 min.
BASIN B, & B ₂	A = 15.7 C = 0.25 Q ₁₀₀ = 6.5 cfs	L = 1825 I ₁₀ = 1.65	V = 1.25'/sec. I ₁₀₀ = 2.6 Q ₁₀₀ = 10.2 cfs	T = 24 min.

The grading proposal calls for the filling of several areas throughout the site. Embankment is required in order to insure that adequate building sites are created which will not lie within the limits of the 100 year flood plain. Other than a small area located near the westerly property line, typical fill requirements generally fall in the range of 1 to 1½ feet in depth. A major fill is located in existing low lying area on the property which will consist of about 5 ft. of a controlled fill. Fill material will be generated from the proposed lake expansion.

Development Schedule

The rate at which development occurs within Mirage Estates is entirely dependent upon the community's future growth and housing needs. The proposal calls for a phased development. Phase I would consist of 7 building sites. Site construction on Phase I would begin immediately upon acceptance of the final plans by Mesa County which is anticipated to be in the spring of 1990.

Land Use Policies

Of the 22 policies identified within the site analysis section of this narrative affecting development of the site the following require special note;

POLICY 2 - DRINKING WATER

Available and to be provided by Ute Water

POLICY 3 - MINIMUM FIRE FLOWS

Policy does not require minimum fire flows due to the low density of the proposal.

POLICY 4 - FIRE RESPONSE TIME

Development located within existing fire protection district. Response time is 5 to 8 minutes.

POLICY 6 - SEWER STANDARDS

Percolation tests results indicate that the land is suitable for the construction of absorption fields and septic tanks.

POLICY 8 - STREET STANDARDS

The proposed private drive will be constructed in accordance with current County road specifications.

POLICY 9 - LAND USE STANDARDS

The proposal utilizes "Planned Unit Land Development Concept".

POLICY 13 - IRRIGATION WATER

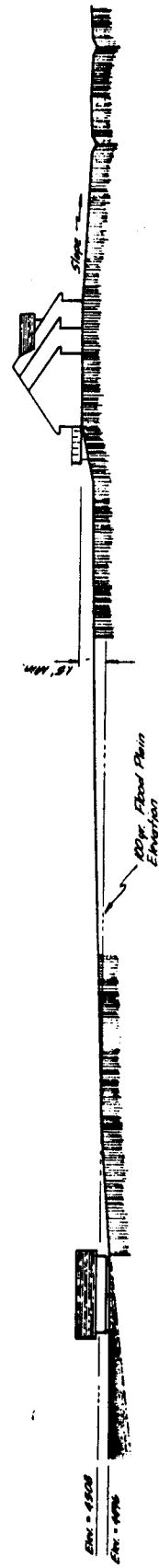
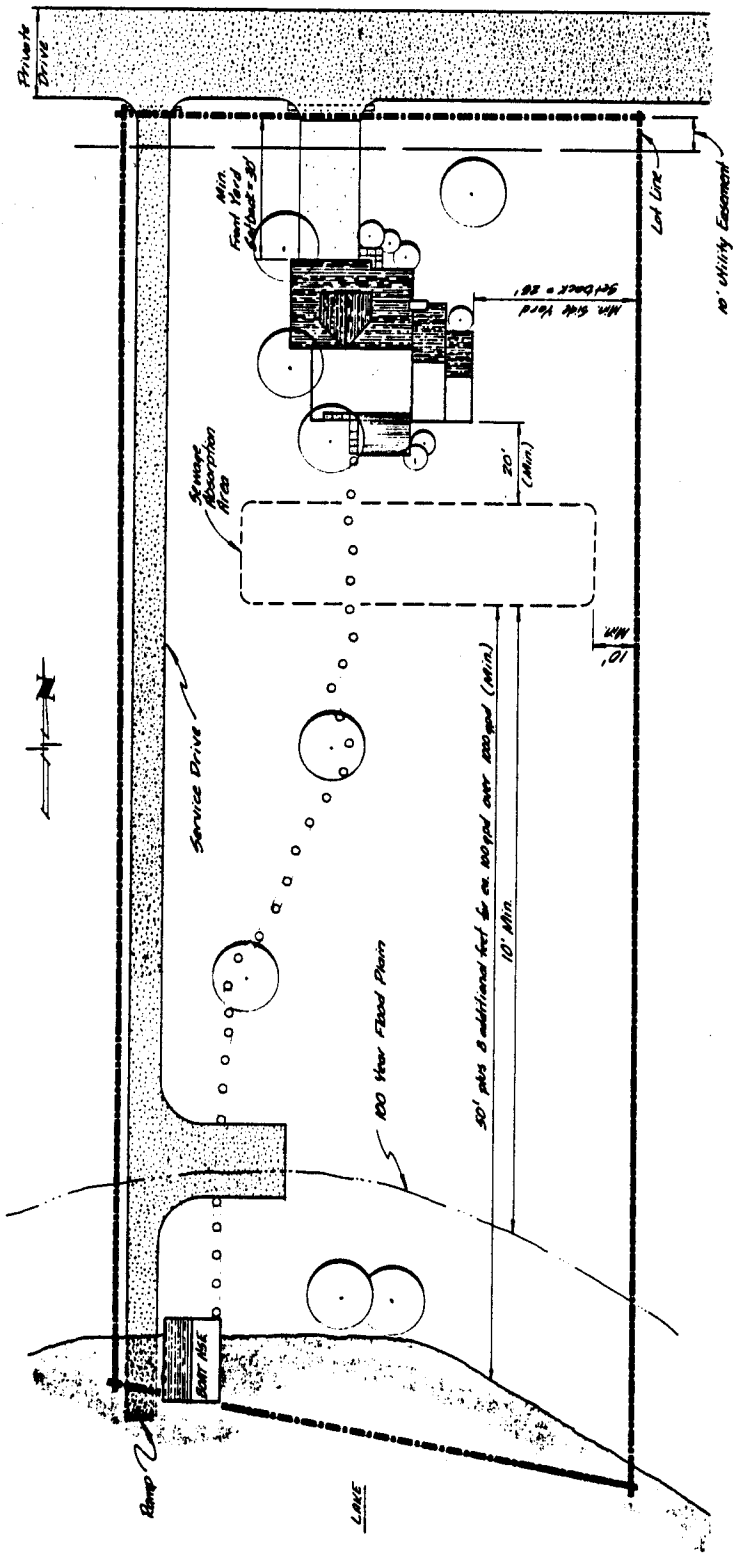
Existing sources would be utilized for irrigation of open areas.

POLICY 14 - DRAINAGE REQUIRMENTS

As a result of development, historic drainage patterns will not adversely be affected.

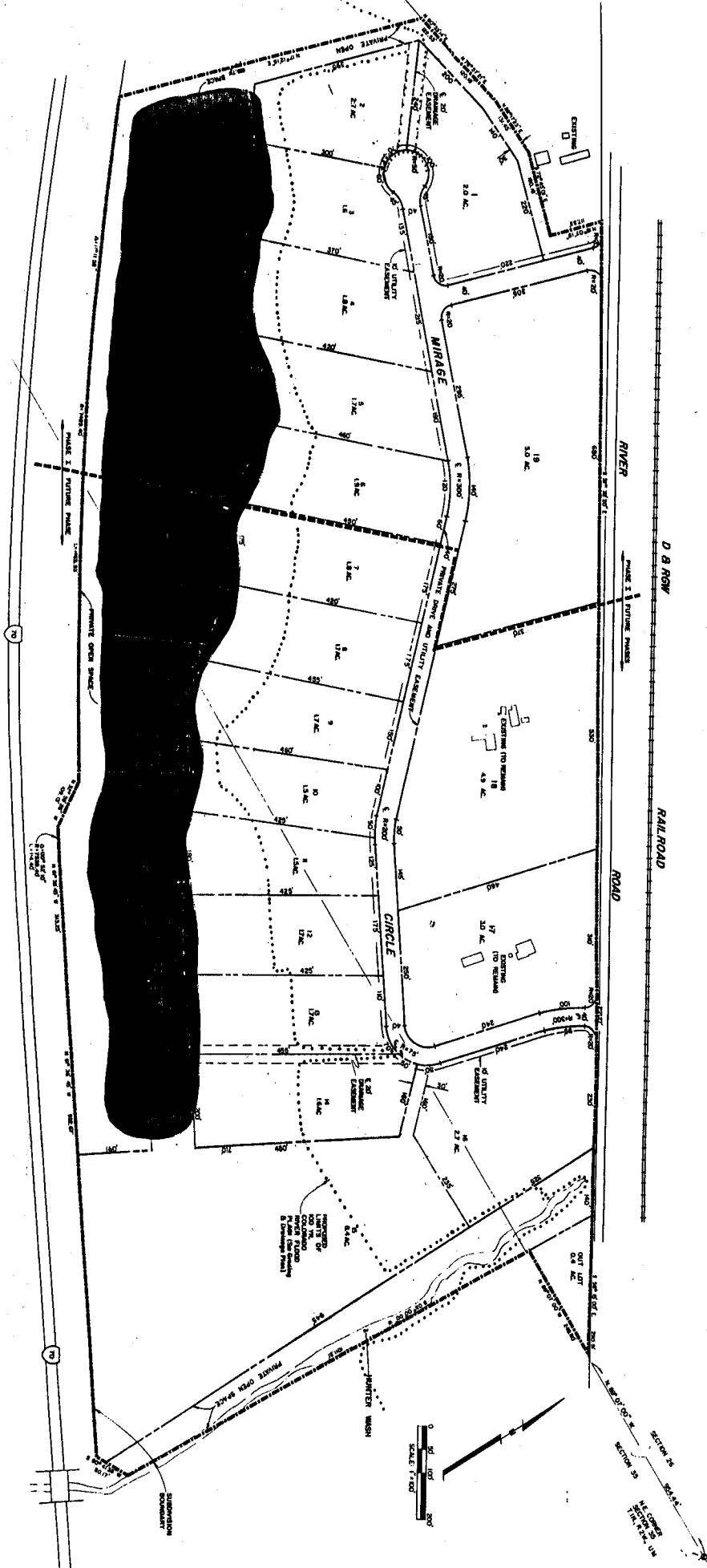
POLICY 19 - ENVIRONMENTAL RESOURCE

Even though the proposal lies within an identified 100 year flood plain from the Colorado River, affects of site development on the river are considered to be minimal.



MIRAGE ESTATES TYPICAL LOT LAYOUT
 Scale: 1" = 10'

PRELIMINARY DEVELOPMENT PLAN FOR
MIRAGE ESTATES
 DEVELOPED BY DALE RESSE, PO BOX 6000-26A, GRAND JUNCTION, CO 81502-26A-2000

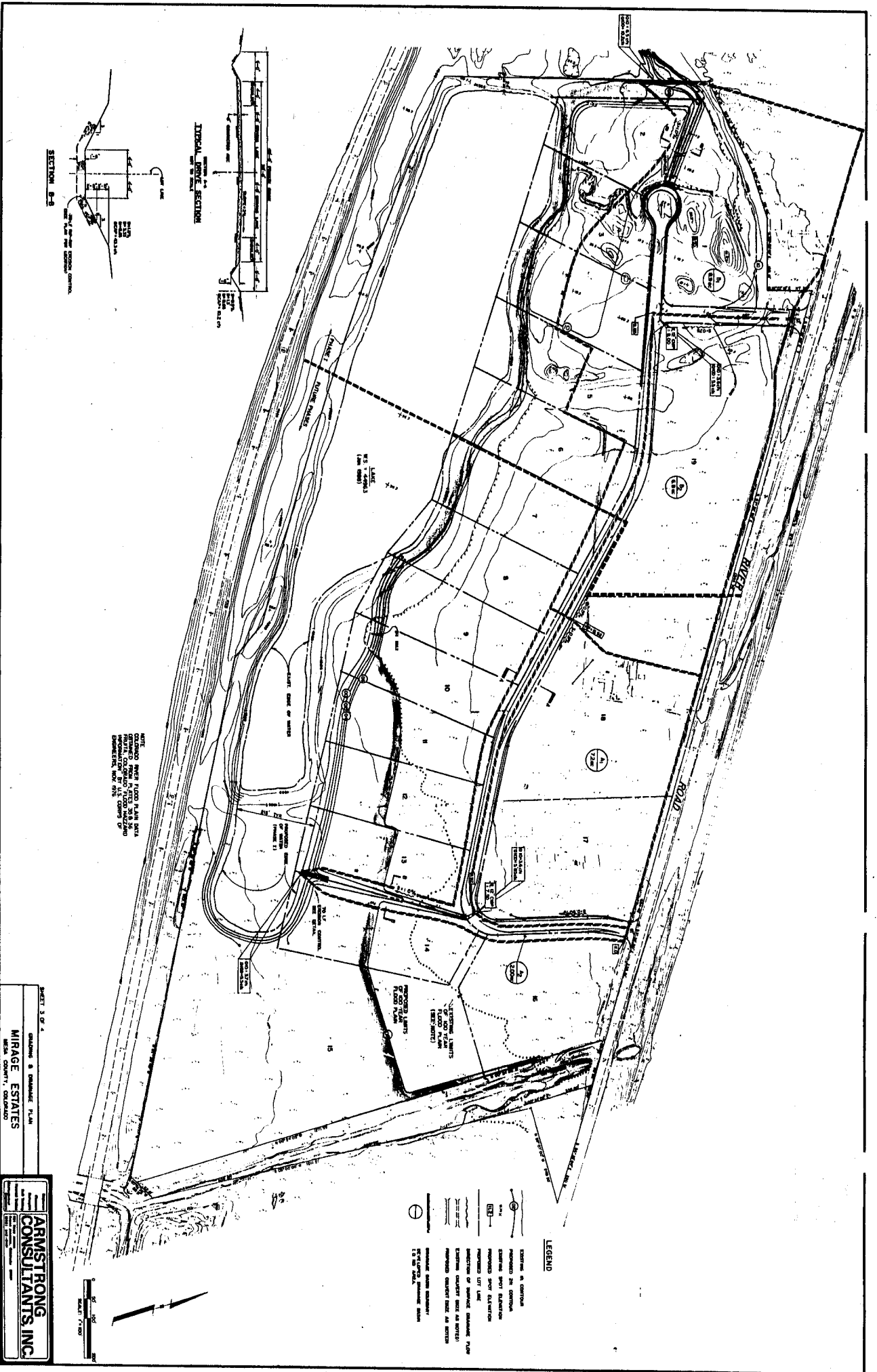


TYPICAL DRIVE SECTION

LAND USE SUMMARY

AREA IN LOTS	146.8 ACRES/74%
AREA IN PRIVATE OPEN SPACE	16.7 ACRES/9%
AREA IN PRIVATE DRIVE	1.5 ACRES/1%
AREA IN OUT LOT	0.6 ACRES/0.3%
TOTAL AREA	165.6 ACRES
DENSITY	0.28 ACRES

SHEET 2 OF 4
 PRELIMINARY DEVELOPMENT PLAN
MIRAGE ESTATES
 HERR COUNTY, COLORADO
ARMSTRONG CONSULTANTS, INC.



SECTION B-B

TYPICAL SECTION A-A

NOTE: OUTLINE SHOWS FLOOD PLAIN AREA BASED ON 100-YEAR FLOOD. THIS IS AN APPROXIMATE FLOOD PLAIN AREA. PROPOSED LOTS ARE AS NOTED.

- LEGEND**
- EXISTING OR PROPOSED
 - PROPOSED IN CONSTRUCTION
 - PROPOSED TO BE REMOVED
 - PROPOSED SPOT ELEVATION
 - PROPOSED LOT LINE
 - PROPOSED OR EXISTING DRAINAGE FLOW
 - EXISTING CONCRETE FLOOR AS NOTED
 - PROPOSED CONCRETE FLOOR AS NOTED
 - PROPOSED CURB AND GUTTER
 - PROPOSED DRIVEWAY
 - PROPOSED SIDEWALK
 - PROPOSED STAIRS
 - PROPOSED FLOOD PLAIN (SEE NOTE)

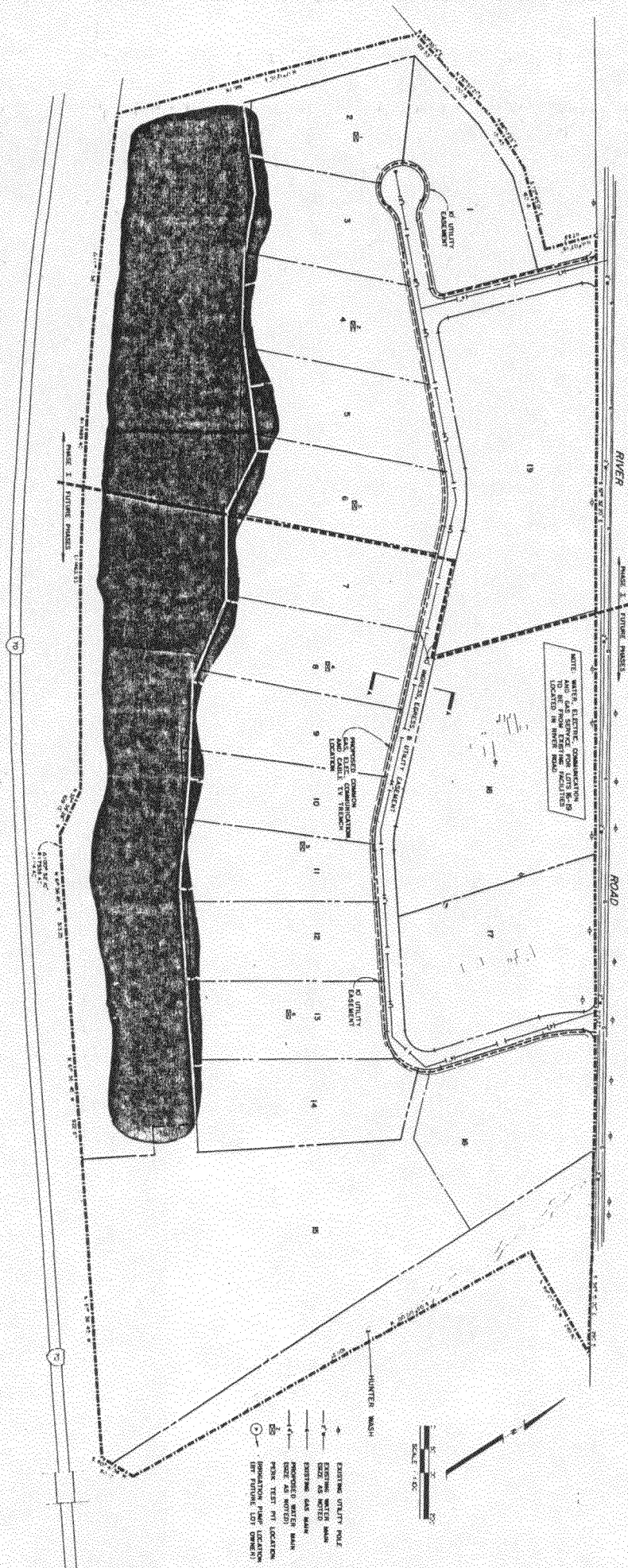
SHEET 3 OF 7
 DRAINAGE & FLOODPLAIN PLAN
 MIRAGE ESTATES
 MIRAGE COUNTY, OREGON
 ARMSTRONG CONSULTANTS, INC.

RIVER
D. B. ROW
RAILROAD
ROAD

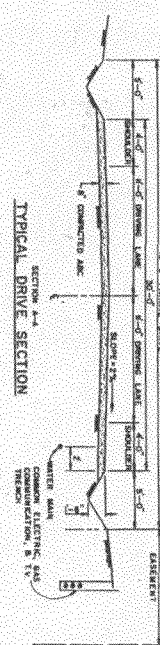
NOTE: WATER, ELECTRIC, COMMUNICATION,
MAIL, GAS SERVICE FROM LOTS 18 & 19
LOCATED IN RIVER ROAD

SCALE 1" = 40'

- EXISTING OUTLET POLE
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- PROPOSED WATER MAIN (SEE AS NOTED)
- PERKIE TEST PIT LOCATION (INDICATED FROM LOCATION OF OTHER LOTS DRAINAGE)



SECTION A-A
TYPICAL DRIVE SECTION



SHEET 4 OF 4
PRELIMINARY UTILITY PLAN
MIRAGE ESTATES
BECA COUNTY, COLO.
ARMSTRONG CONSULTANTS, INC.

B



Mesa County

File No _____
Receipt _____
Date Received _____
Received by _____

Development Application

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described on the attached legal description form do hereby petition this:

	ACRES	PHASE	COMMON LOCATION	ZON	TYPE OF USAGE
SUBDIVISION PLAT/PLAN	685	<input type="radio"/> OUTLINE DEV <input checked="" type="radio"/> PRELIMINARY <input type="radio"/> FINAL	1 1/2 Road Line and River Road		
REZONE	685			PT to PRA2 From → To	
CONDITIONAL USE					
BULK DEVELOPMENT					
HIGHWAY ORIENTED DEVELOPMENT					
TEXT AMENDMENT					
SPECIAL USE					
VACATION					

- Road
- R.O.W.
- Alley
- Easement

Indicate Primary Contact Person for Correspondence: (Check appropriate)

PROPERTY OWNER <input checked="" type="radio"/>	DEVELOPER <input checked="" type="radio"/>	REPRESENTATIVE <input checked="" type="radio"/>
<u>Dale R. Reece</u>		<u>Armstrong Consultants, Inc. Tom Logue</u>
Name	Name	Name
<u>P.O. Box 6000-335, Grand Jct. CO. 81506</u>		<u>861 Road Ave., Grand Junction, CO. 81501</u>
Address Zip	Address Zip	Address Zip
<u>303-241-3838</u>		<u>303-242-0101</u>
Business Phone	Business Phone	Business Phone

NOTE: Legal property owner is owner of record on date of submittal.

WE HEREBY ACKNOWLEDGE THAT WE HAVE FAMILIARIZED OURSELVES WITH THE RULES AND REGULATIONS WITH RESPECT TO THE PREPARATION OF THIS SUBMITTAL, THAT THE FOREGOING INFORMATION IS TRUE & COMPLETE TO THE BEST OF OUR KNOWLEDGE, AND THAT WE ASSUME THE RESPONSIBILITY TO MONITOR THE STATUS OF THIS APPLICATION AND THE REVIEW SHEET COMMENTS. WE RECOGNIZE THAT WE OURSELVES, OR OUR REPRESENTATIVE(S) MUST BE PRESENT AT ALL HEARINGS. IN THE EVENT THAT THE PETITIONER IS NOT REPRESENTED, THE ITEM WILL BE DROPPED FROM THE AGENDA, AND AN ADDITIONAL FEE CHARGED TO COVER RE-SCHEDULING EXPENSES BEFORE IT CAN AGAIN BE PLACED ON THE AGENDA.

Thomas A. Logue 12/27/89
Signature of person completing application Date

x Dale R. Reece 12/27/89
Signature(s) of property owner(s) Date
(Attach additional sheets if necessary)

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY.
USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

D

FOR DEPARTMENT USE ONLY:

LEGAL DESC. CHECKED AGAINST DEED _____ OK _____ RETURNED FOR CORRECTION.

Beginning at the Northeast corner of said N. Section 35, T. 1 N., R. 2 W., U.M.
whose East line bears S 00° 00' 00" W and all bearings contained herein to be
relative thereto,
thence N 89° 07' 00" W 1015.25 feet to the true point of beginning, also being
the Southerly right of way of River Road,
thence leaving said Southerly right of way and continuing N 89° 07' 00" W 249.80
feet,
thence S 03° 00' 00" W 1011.21 feet,
thence S 60° 41' 38" W 80.17 feet to the Northerly right of way of Interstate
Highway 70,
thence along said right of way N 61° 36' 45" W 1235.92 feet,
thence along the arc of a curve to the right 114.40 feet, with a radius of 7539.40
feet, and a central angle of 00° 52' 10", and whose long chord bears N 60° 44' 28" W
114.40 feet,
thence N 32° 59' 28" W 109.13 feet,
thence along the arc of a curve to the right 1463.93 feet, with a radius of 7489.40
feet, and a central angle of 11° 11' 58", and whose long chord bears N 54° 30' 17" W
1461.60 feet,
thence N 17° 12' 16" E 658.73 feet,
thence N 80° 33' 14" E 122.53 feet,
thence N 78° 57' 21" E 120.18 feet,
thence N 88° 17' 23" E 131.45 feet,
thence S 72° 45' 01" E 180.18 feet,
thence N 16° 07' 19" E 117.35 feet to the Southerly right of way of River Road,
thence along said right of way S 57° 32' 20" E 2121.27 feet,
thence S 56° 15' 00" E 290.51 feet to the true point of beginning.

Said parcel contains 68.46 acres more or less.

Linda Rodrigues
3088 Bookcliff Avenue
Grand Junction, CO 81504

Carl A. Hardrick
Box 335576
Northglenn, CO 80233

Donald Moore
2044 Hwy. 6 & 50
Fruita, CO 81521

Graves Oil & Butane Co.
Box 2077
Farmington, NM 87499

Ralph Heiny
592 Starlight Drive
Grand Junction, CO 81504

Junior A. Cole
59002 Hwy. 50
Gunnison, CO 81230

Albert Kovach
2038 Hwy. 6 & 50
Fruita, CO 81521

First National Bank
201 N. Main Street
Gunnison, CO 81230

J.D. Lundsford
2481 Commerce Blvd.
Grand Junction, CO 81505

Alfred Rolliston
2054 Hwy. 6 & 50
Fruita, CO 81521

John Honstein
2659 G Road
Grand Junction, CO 81501

Potter Investors
2636 Hickory Drive
Grand Junction, CO 81506

Lonnie Dyress
2644 Chestnut Drive
Grand Junction, CO 81506

E. Elsie Hearn
407 Lahoma
Burtlesville, OK 74003

MESA COUNTY REVIEW
#C1-90-6 TEXT AMENDMENTS - DAY CARE

CITY UTILITY ENGINEER 10/16/90

No comment.

COMMUNITY DEVELOPMENT 10/16/90

None. Proposed amendment looks good.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 10-18-90 MCC Hearing Date: _____
File Number: CF-90-6
Project Name: Text Amendments - Day Care
Phase: _____
Common Location: _____

Engineer - Name: _____
Address: _____
Phone: _____

Petitioner - Name: Mesa County Planning
Address: 750 Main St
Grand Jct., CO 81501
Phone: 244-1636

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	REVIEW AGENCY COMMENTS (PLEASE TYPE)	
		YES	NO
<u>City of Grand Jct. - Planning</u>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

No Comment

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: City - Public Works

Reviewed by: Bill Cheney

Date: 10-16-90

FAILURE TO OBJECT OR COMMENT BY 11-9-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

****PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.**

MCPC Hearing Date: 10-18-90 MCC Hearing Date: _____
File Number: CF-90-6
Project Name: Text Amendments - Day Care
Phase: _____
Common Location: _____

Engineer - Name: _____
Address: _____
Phone: _____

Petitioner - Name: Mesa County Planning
Address: 750 Main St
Grand Jct., CO 81501
Phone: 244-1636

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	REVIEW AGENCY COMMENTS (PLEASE TYPE)	
		YES	NO
<u>City of Grand Jct. - Planning</u>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____

Impact on capacity or supply: _____

Other concerns and specific requirements: _____

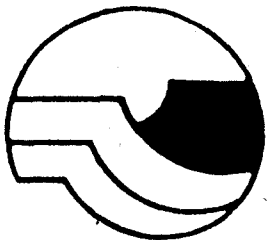
+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 11-9-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



Mesa County Planning Department

750 Main Street
P.O. Box 20,000-5022
Grand Junction, Colorado
81502-5022

(303) 244-1636

STAFF PROPOSAL
3 October 1990

Project: C1-90-6 TEXT AMENDMENTS TO THE MESA COUNTY
LAND DEVELOPMENT CODE - DAY CARE

Petitioner: Mesa County Planning Department

An amendment to Section 9.1.5.D Use Matrix to add "Large Day Care Home" as a Conditional Use under Human Care/Treatment Facilities and under Section 11.1.2, Words and Phrases Definition of "Large Day Care Home."

- a. Section 9.1.5.D **ADD** "Large Day Care Home" as a Conditional Use under Human Care/Treatment Facilities in all residential and agricultural zone districts. **REPLACE** "Nursery Schools/Preschools/Day Nurseries" with "Day Care/Child Care Home." **ADD** Day Care/Child Care Home as an allowed use in agricultural zones. **CHANGE** "Large Commercial Day Care Centers (More than 7 children) to read "Day Care Centers."

Comments: This will bring the terminology regarding day care facilities in line with that used by the State Social Services Department, and require a conditional use permit for day care homes considered "large" by the State, because of the potential impacts on a residential neighborhood. Other day care homes will continue to be allowed uses in residential districts per the current use matrix. Also see the definitions proposed below.

- b. Section 11.1.2 DEFINITIONS, WORDS AND PHRASES **DELETE** "Nursery School" and current definition. **CHANGE** "Day Care Home" to "Day Care/Child Care Home" and revise the definition to read "A residence in which children are received for less than 24 hour care as further defined by the Colorado State Department of Social Services. **ADD** "Large Day Care Home" and define as follows: "A residence which receives children for less than 24 hour care and meets the Colorado State Department of Social Service's definition of Large Day Care Home. The number of children and hours of operation are regulated by the State Department of Social Services."
ADD "Day Care Center" and define as follows: "A facility in which child care is provided as a commercial business; is the primary use of the facility; and which meets the State Department of Social Service's definition of Day Care Center. The number of children allowed in the facility are regulated by the State Department of Social Services."

Comments: These definitions bring the Code in line

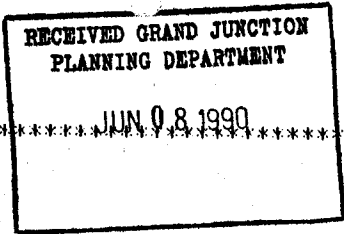
STAFF PROPOSAL - C 1-90-6

Page 2

with the terminology used by Social Services and allow the definitions to change as revised by the State. Currently a large day care home allows 7 to 12 children and must be upgraded to meet fire and building codes. A day care center is now defined as a commercial operation for 12 or more children.

MCCPC Recommendation: 10/18/90

MCC ACTION:



MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 6-21-90 MCC Hearing Date:
File Number:
Project Name: C1-90-4 TEXT AMENDMENTS TO THE MESA COUNTY LAND DEVELOPMENT CODE
Phase:
Common Location:
Petitioner: Mesa County Planning Dept.
Subject: Rezones
(Copies are available for public inspection at 750 Main Street, Grand Junction, Colorado Monday through Friday, 8:00 a.m. to 4:30 p.m.)
Engineer - Name, Address, Phone
Petitioner - Name, Address, Phone

Table with columns: REVIEW AGENCY (G.J.), REVIEW AGENCY COMMENTS (PLEASE TYPE), Yes, No. Rows include: Is proposal within service area?, Existing services adequate?, Connection to services required?, Easements required?, Relocation necessary?, Improvements agreement adequate?, As-buils required for release?, Financing required for extensions?

Impact on capacity or supply:

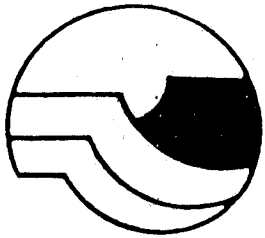
Other concerns and specific requirements:

Several proposed amendments are consistent with the Grand Junction Zoning & Development Code. No other comments.

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS+++

Reviewing Office: City Planning
Reviewed by: Kathy Postma
Date: 6/21/90

FAILURE TO OBJECT OR COMMENT BY 6-21-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



Mesa County Planning Department

750 Main Street
P.O. Box 20,000-5022
Grand Junction, Colorado
81502-5022

(303) 244-1636

STAFF PROPOSAL
22 May 1990

Project: C1-90-4 TEXT AMENDMENTS TO THE MESA COUNTY
LAND DEVELOPMENT CODE
Petitioner: Mesa County Planning Department

a. Section 3.10 - REVISE TO READ "An application for a change of zoning generally will not be approved unless the proposed change is to a planned unit development district which meets the criteria for review of planned development proposals (Chapter 5 of this Code) and is consistent with the Statement of Objectives for Planned Unit Developments (Section 5.1.2 of this Code). A change in zoning to an established zoning district, other than Planned Unit Development, may be allowed only if the rezone application is in conformance with the adopted Mesa County Master Plan and meets the criteria for review of rezoning applications in Section 7.7 of this Code.

Comments: This section currently limits rezone applications to PUDs and to residential zones in special circumstances. The proposed amendment allows greater flexibility to land owners and establishes a method of implementing suggested rezones found in the Mesa County Land Use and Development Policies (the County Master Plan).

b. ADD SECTION 7.7.5 Criteria for Review of Rezone Applications Any proposed rezone shall be reviewed utilizing the following criteria:

- A. The compatibility of the proposal with surrounding land use and zoning.
- B. Availability of services required by the proposal.
- C. Errors in the existing zoning at the time originally adopted.
- D. Changes of the character of the area.
- E. Conformance with the adopted Mesa County Master Plan and all provisions of this Code.
- F. Community need for the rezone.

Comments: Addition of this section would establish the criteria for review of rezone applications consistent with the proposed amendment to Section 3.10 above.

c. ADD Section 6.4.9 - "Administrative Review of Approved Development Permits When required in this Code or as a condition of approval of a development permit the County Planning Department shall conduct administrative reviews of the approved project. Administrative reviews will be conducted on a periodic basis as required in this Code or as

specified as a condition of approval.

An administrative review shall consist of a report to the Board of County Commissioners including but not limited to the following:

- a brief review of the development;
- a summary of the current status of the project;
- a list of any complaints received to date;
- a recommendation for the future of the project.

An administrative review shall be held before the Board at a public hearing after publication of legal notice per Section 3.14 of this Code. The original applicant or owner of record of the development shall be notified of the hearing and must be present or represented at the hearing before the Board. Notification shall also be given to applicable review agencies and all property owners within 500 feet of the subject property."

Comment: Addition of this section clarifies and formalizes the current administrative review process for approved development permits.

d. ADD Section 10.1.3.C "Administrative Review - Administrative reviews are required for all conditional use permits. Unless otherwise stated in the conditions of approval for a specific permit, an annual administrative review shall be required. The administrative reviews shall be conducted in the manner described in Section 6.4 of this Code."

Comments: This addition to the Code reflects current practice and formalizes the process as described above.

MCC ACTION:

MESA COUNTY REVIEW
C71-89 SILVERADO II
ANNUAL REVIEW OF CONDITIONAL USE PERMIT

CITY UTILITY ENGINEER - Bill Cheney 11/15/90

No comment.

COMMUNITY DEVELOPMENT - David Thornton 11/14/90

We concur with County Planning Staff's recommendation.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: _____
 File Number: _____
 Project Name: _____
 Phase: _____
 Common Location: _____

Engineer - Name: _____
 Address: _____
 Phone: _____

Petitioner - Name: _____
 Address: _____
 Phone: _____

C71-89 SILVERADO II - ANNUAL REVIEW OF CONDITIONAL USE PERMIT
 Petitioner: Mesa County Commissioners
 Location: 380 28 Road, Grand Junction, Colorado
 an annual review of a conditional use permit for a salvage yard
 on approximately 6.5 acres in a Planned Unit Development (PUD)
 zone. County Commissioner Hearing: 11/20/90.

REVIEW AGENCY

ty of Grand Jet

REVIEW AGENCY COMMENTS (PLEASE TYPE)

	YES	NO
Is proposal within service area?	_____	_____
Existing services adequate?	_____	_____
Connection to services required?	_____	_____
Easements required?	_____	_____
Relocation necessary?	_____	_____
Improvements agreement adequate?	_____	_____
As-builts required for release?	_____	_____
Financing required for extensions?	_____	_____

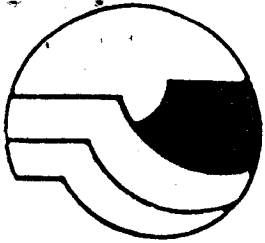
We do not have enough information in our packet to fully review this proposal. However it seems that substantial information towards potential completion of the Commercial Park is needed if there is to be a fourth time extension.

on capacity or supply:
 concerns and specific requirements:

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____
 Reviewed by: _____
 Date: _____

FAILURE TO OBJECT OR COMMENT BY 11-15-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



Mesa County Planning Department

750 Main Street
P.O. Box 20,000-5022
Grand Junction, Colorado
81502-5022

(303) 244-1636

STAFF REVIEW

8/9/89

A. **PROJECT:** C71-89 Silverado II Salvage yard
Rezone and Conditional Use Permit

Petitioner: Silverado II

Location: 380 28 Road, Grand Junction

A request for approval of a zone change, preliminary/final plan for a salvage yard, auto repair facility, and vehicle and recreational vehicle storage area and to approve a conditional use permit for the salvage yard.

B. **SURROUNDING LAND USE AND ZONING** Salvage yards, open fields, Planned Industrial and Commercial Zoning, AFT zoning, Planned Development Overlay Zone

C. **STAFF REVIEW** This is a proposal for a salvage yard on 28 road south of D Road. The area already has two salvage yards : (1) the non-conforming salvage yard south of D Road and the State Home and (2) the Whitewater Salvage Yard south of this property.

The area south of D Road and along the 28 Road Corridor is typified by salvage yards, industrial and commercial uses as well as the State Home on D Road, the Mesa County Animal Control Center on 28 Road, and the State Youth Detention Center on 28 Road.

There are no geographic specific policies for this area other than the 29 Road corridor policy which state, "Since access is difficult, since the construction of 29 Road is many years away, and since this is an area of transition, each project here will be looked at on a case-by-case basis."

This policy was developed in response to strong sentiment by the residents that no specific land use be favored in this area.

The 28 Road corridor has developed as an institutional/ industrial corridor with a

mixture of non-conforming salvage yards and agricultural uses. The Whitewater Salvage Yard is an improvement on the D Road salvage yard in which cars are spilling over into

the drain. This salvage yard (D Road) has a new owner who expects to clean up the yard and pull the cars out of the drain.

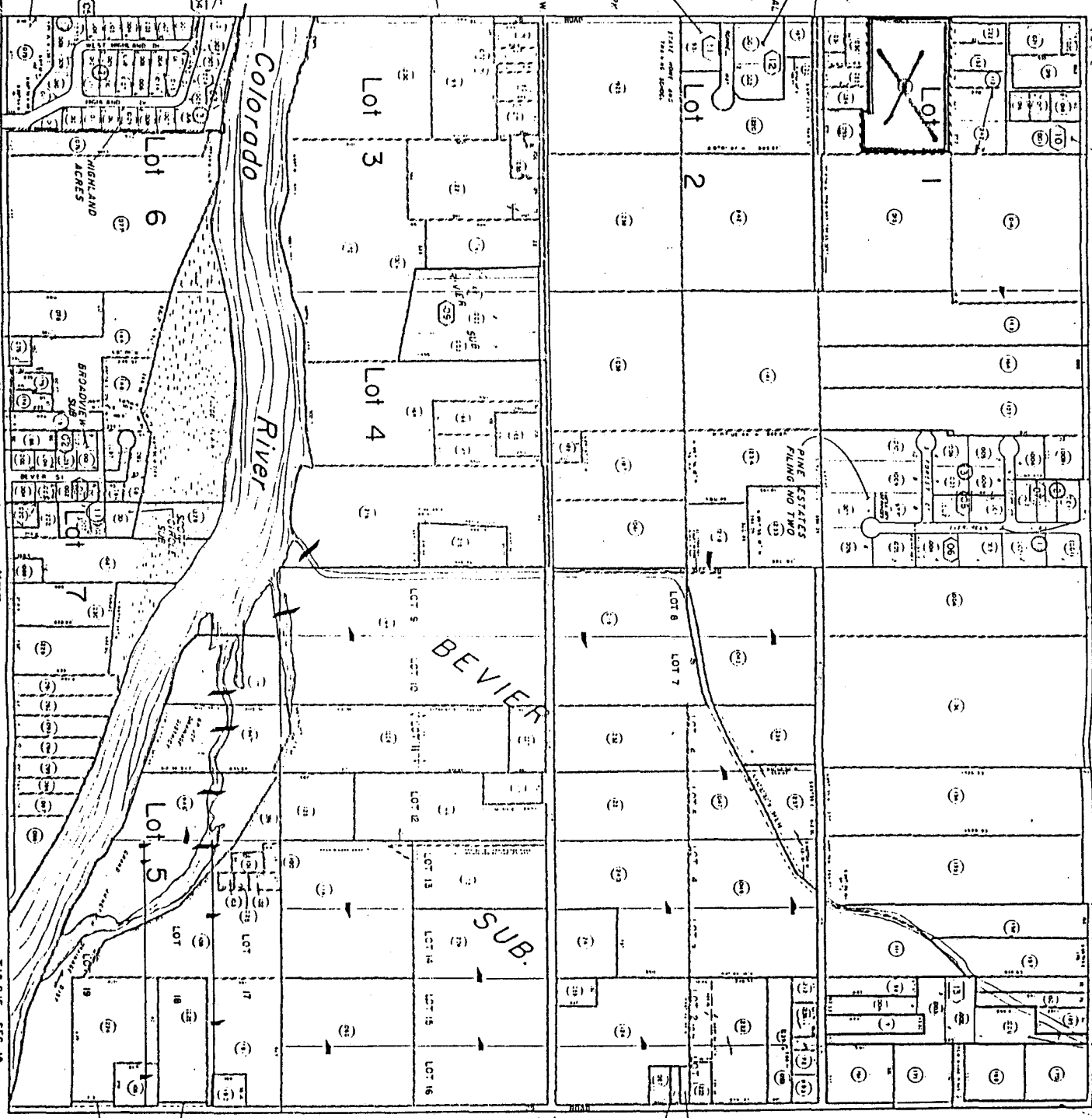
The proposal here envisions a fenced salvage, storage, repair yard set back from 28 Road by a parking lot and landscaping. The yard would be fenced on all sides by a 6 foot wood screen fence. A better choice here would be an earthen berm with security fencing and evergreens planted on top (junipers or similar salt tolerant shrubs).

Otherwise, the site plan is well thought out and addresses all of the issues such as drainage, sewer (8"), water (2").

Salvage yards are a necessary metal recycling industry. With several of the salvage operations being purchased as part of the Riverfront Project, there needs to be a place for these uses or the auto bodies will end up in fields, yards and on streets through-out Mesa County. The 28 Road area and the Industrial zone northwest of D Road and 28 Road are suitable sites for salvage yards especially if they are properly buffered and maintained as this one appears it will be.

STAFF RECOMMENDATION

Approval subject to a earth berm with a security fence and screen planting of evergreens around the south, east and north sides of the yard instead of the wood privacy fencing, and review agency comments.



SOLE'S CORNER

PINE ESTATES
FILING NO ONE
T1S R1W
294319

WALLACE BRONK
SUBDIVISION

BOONELL COMMERCIAL PARK
FILING NO ONE
T1S R1W
294524

BOONELL COMMERCIAL PARK
FILING NO TWO
T1S R1W
294524

PINE ESTATES
FILING NO TWO
T1S R1W
294319

BOONELL COMMERCIAL PARK
FILING NO ONE
T1S R1W
294524

T1S R1E
294330

T1S R1E, SEC. 19

294319

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

****PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.**

MCPC Hearing Date: _____ C71-89 SILVERADO 11 - ANNUAL REVIEW OF CONDITIONAL USE PERMIT
 File Number: _____ Petitioner: Mesa County Commissioners
 Project Name: _____ Location: 380 28 Road, Grand Junction, Colorado
 Phase: _____ an annual review of a conditional use permit for a salvage yard
 Common Location: _____ on approximately 6.5 acres in a Planned Unit Development (PUD)
 zone, County Commissioner Hearing: 11/20/90.

Engineer - Name: _____
 Address: _____
 Phone: _____

Petitioner - Name: _____
 Address: _____
 Phone: _____

REVIEW AGENCY

City of Grand Jet

REVIEW AGENCY COMMENTS (PLEASE TYPE)

	YES	NO
Is proposal within service area?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Existing services adequate?	<input type="checkbox"/>	<input type="checkbox"/>
Connection to services required?	<input type="checkbox"/>	<input type="checkbox"/>
Easements required?	<input type="checkbox"/>	<input type="checkbox"/>
Relocation necessary?	<input type="checkbox"/>	<input type="checkbox"/>
Improvements agreement adequate?	<input type="checkbox"/>	<input type="checkbox"/>
As-builts required for release?	<input type="checkbox"/>	<input type="checkbox"/>
Financing required for extensions?	<input type="checkbox"/>	<input type="checkbox"/>

Impact on capacity or supply:

Other concerns and specific requirements:

No Comment.

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: *Public Works-Utilities*

Reviewed by: *Bill Cheney-Utility Engineer*

Date: *11-15-90*

FAILURE TO OBJECT OR COMMENT BY *11-15-90* SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: _____ MCC Hearing Date: _____

File Number: _____

Project Name: _____ C29-89 VIRGINIA ACRES - REVIEW OF CONDITIONAL USE PERMIT

Phase: _____ Virginia Acres Subdivision - Conditional Use-Gravel Pit

Common Location: _____ Petitioner: Mesa County Planning Department

Location: C 1/2 & 30 Roads, Grand Junction, Colorado.

Engineer - Name: _____ An action to review the conditional use permit for gravel

Address: _____ extraction processing on 17.7 acres in an AFT zone.

Phone: _____ Planning Hearing: 9/20/90. Commissioners Hearing: 10/23/90.

Petitioner - Name: _____

Address: _____

Phone: _____

REVIEW AGENCY

Dr. Jct.
Utilities
Supervisor

REVIEW AGENCY COMMENTS (PLEASE TYPE)

Table with 3 columns: Question, YES, NO. Rows include: Is proposal within service area?, Existing services adequate?, Connection to services required?, Easements required?, Relocation necessary?, Improvements agreement adequate?, As-builts required for release?, Financing required for extensions?

Impact on capacity or supply:

Other concerns and specific requirements:

- 1. Area is within Central Grand Valley Sanitation District. Please contact them for comment on sewer.
2. Area is served by Ute Water or Clifton Water. Contact them for comment.

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Public Works - City

Reviewed by: Bill Cheney - Utility Eng.

Date: 9-13-90

FAILURE TO OBJECT OR COMMENT BY 9-24-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

**MESA COUNTY REVIEW
C29-89 VIRGINIA ACRES SUBDIVISION
REVIEW OF CONDITIONAL USE PERMIT**

City Planning 09/21/90

Did the final plat vacating Virginia Acres Subdivision maintain a 100 foot trail easements along the Colorado River.

If the permit is not revoked, the conditions of approval should be reviewed with State Parks to determine the compatibility with their immediate plans for trail and park development. Trail access along this property may be needed within this next year to coincide with the Colorado State Recreation Area plans and schedule.

Utility Engineer 09/13/90

1. Area is within Central Grand Valley Sanitation District. Please contact them for comments on sewer.
2. Area is served by Ute Water or Clifton Water. Contact them for comment.

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
SEP 12 1990

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: _____ MCC Hearing Date: _____

File Number: _____

Project Name: _____ C29-89 VIRGINIA ACRES - REVIEW OF CONDITIONAL USE PERMIT

Phase: _____ Virginia Acres Subdivision - Conditional Use-Gravel Pit

Common Location: _____ Petitioner: Mesa County Planning Department

Engineer - Name: _____ Location: C 1/2 & 30 Roads, Grand Junction, Colorado.

Address: _____ An action to review the conditional use permit for gravel

Phone: _____ extraction processing on 17.7 acres in an AFT zone.

Planning Hearing: 9/20/90. Commissioners Hearing: 10/23/90.

Petitioner - Name: _____

Address: _____

Phone: _____

REVIEW AGENCY

*City of
Grand Jct.
Planning*

REVIEW AGENCY COMMENTS (PLEASE TYPE)

	YES	NO
Is proposal within service area?	_____	_____
Existing services adequate?	_____	_____
Connection to services required?	_____	_____
Easements required?	_____	_____
Relocation necessary?	_____	_____
Improvements agreement adequate?	_____	_____
As-builts required for release?	_____	_____
Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

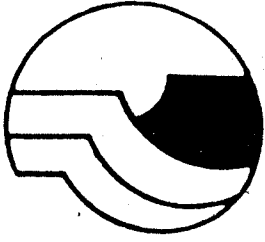
+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 9-24-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



Mesa County Planning Department

750 Main Street
P.O. Box 20,000-5022
Grand Junction, Colorado
81502-5022

(303) 244-1636

STAFF REVIEW

7 June 1989

Revised 14 June 1989

Revised 7 September 1990

- a. Project: C29-89 VACATION OF RIGHT OF WAY, EASEMENTS, AND 11 LOTS, VIRGINIA ACRES SUBDIVISION/ REZONE FROM PLANNED RESIDENTIAL (PR 0.4) TO AGRICULTURAL/ FORESTRY TRANSITIONAL (AFT)/ CONDITIONAL USE PERMIT - GRAVEL PIT. Petitioner: United Companies of Mesa County, Inc. Location: Virginia Acres Subdivision, South west corner of C-1/2 and 30 Roads. A request to vacate Virginia Acres Subdivision, rezone from PR 0.4 to AFT, and for approval of a conditional use permit for gravel extraction processing on 17.7 acres. Existing easements for pedestrian access, Public Service, and drainage are not to be vacated.
- b. Surrounding Land Use and Zoning: The project site is in a predominantly AFT-zoned area with the exception of Melody Estates and Willowood Planned Mobile Home Parks to the north on 30 Road. Along 30 and D Roads are several single family residences. Within one mile of the site four active or recently active gravel pit operations exist. The approved and platted Virginia Acres Subdivision includes one developed lot in the northeast corner, but no other improvements are on site. The plat includes a 50-foot wide public pedestrian easement along the Colorado River.
- c. Staff Comments: Virginia Acres Subdivision is a platted Planned Residential development which has never been improved. After receiving extensions to the original improvements agreement, approved in 1980, the agreement lapsed in 1987. In the approval of the subdivision Mesa County accepted a 6.5-acre parcel on the Colorado River as open space. This parcel includes a lake, which is an old gravel pit, and marshy riparian vegetation. This area is identified in the Colorado Corridor River Inventory as bald eagle and blue heron habitat as well as a major riparian, aquatic, and waterfowl area. The petitioner proposes to partially fill the lake and wetlands with overburden from the gravel operation to enhance the area. This action will require a 404 permit from the Army Corps of Engineers. The benefit of the existing lake and important wildlife habitat

to the riverfront area would be destroyed if the entire wetland is filled. It may be possible to connect the new lake with the existing lake to provide more critical habitat for wildlife.

The proposed gravel pit will result in a 14 acre lake and 3.7 acres of banks and shores after operations cease. As proposed this property then would be donated to the Colorado Riverfront Commission. Instead, the most appropriate entity to receive the property should be determined, i.e. Mesa County, City of Grand Junction, or Colorado State Parks.

Access to the site is proposed off of C-1/2 Road with 30 Road serving as the major haul route. Other gravel pit operations use 30 Road, a minor arterial, as well. Current traffic counts for this stretch of 30 Road are not available, but area counts on D Road and north on 30 Road indicate about 3500 average daily trips per day. Truck traffic should be limited to avoid school bus traffic. Total traffic generated from the operation should not exceed the number of vehicle trips now generated by United's Golden pit on 30 Road. Other gravel operations have limited operation hours set by Mesa County.

The Mesa County Mineral Extraction Policy #29 applies to this proposal. Although the site is not indicated as a gravel resource area on the County Mineral Resource Survey, it is adjacent to other commercially valuable deposits, and the petitioner has determined the site is worth mining. Policy #29 protects mineral deposits from incompatible land uses and encourages extraction of the resource. The policy also requires buffering between proposed extraction operations and existing, adjacent residential uses per section 4.3 of the Land Use Code.

Policy #26, the Mesa County Parks Master Plan, recognizes the development of the Colorado River Greenbelt from Palisade to Fruita as a priority. This area is also within the proposed Colorado River State Park and would be an important link between Corn Lake and the future river development at the Climax mill tailings pile. Conceptual plans for the development of the greenbelt include a pedestrian/bicycle trail following the river bank and/or the right of way for the Public Service Company's transmission line.

Mesa County and the City of Grand Junction have been acquiring and accepting generally 100-foot wide easements for riverfront trail development. This width is considered adequate for construction, maintenance, and buffering of the trail. To provide a link to future trail development downstream from the site, the trail easement should follow the north and east property lines of the Mesa County open space parcel, continue north along a the west line of Virginia Acres then follow the Public Service right of way downstream. A plan was prepared by the County Planning Department for the construction of two trail alternatives from Corn Lake to the Tailings Pile.

Old farm equipment, junk, and scrap metal on the property and the banks of the River should be removed and cleaned-up. Where the river bank is eroding, new rip-rap should be placed and the bank should be top-dressed along the entire river frontage, including the open space parcel.

Excavation of the site will require a County floodplain permit.

If a temporary asphalt plant is permitted as proposed, appropriate State air quality permits will be required. The petitioner must demonstrate that prevailing winds will not adversely impact area residences with dust and odors per section 10.2.2 of the Code. High visibility of the operation will be unavoidable from properties south of the river on the bluff. Noise reduction measures should be submitted.

The proposal indicates the operation will not begin until 1993 and will continue for 5 years. The petitioner has agreed to construct the public trail with road base from the site within two years of permit approval or one year from commencement of operations to provide access to the County open space, the River, and link with the future State park. If after three years from the date of issuance of the conditional use permit, no material has been extracted, and no extensions have been granted, the permit will expire per section 10.7.21 of the Land Use Code.

d. STAFF RECOMMENDATIONS: Approval, subject to:

1. Submittal of the number of trucks proposed to enter and exit the site daily;
2. Submittal of the proposed volume of material to be excavated;
3. Hours of hauling limited to 8:30 a.m. to 5:00 p.m. on school days; and pit operations from 7:00 a.m. to 7:00 p.m.
4. Clean-up of the site and banks as suggested above;
5. Dedication of a 100 feet wide public trail easement as described above;
6. Construction of the trail within two years of permit approval, or one year of commencement of operations;
7. Leaving as much of the County open space parcel in its present state as possible, and working with the Colorado Division of Wildlife to design this area for improved wildlife habitat;
8. Submittal of a buffering, signage, fencing, dust suppression, and noise reduction plan for the operation; and a landscape and revegetation plan for the reclaimed gravel pit and adjacent areas;
9. Compliance with Section 10.7 - Operation and Rehabilitation for All Mining Operations;
10. Obtaining all required state and federal permits; and
11. Review agency comments.

MCCPC RECOMMENDATION: 6/15/89

Approval subject to review agency comments and staff recommendations, with the following conditions:

1. Hours of pit operations shall be 8:00 A.M. to 6:00 P.M.
2. Operation of the crusher and asphalt plant will be positioned on the property to create the least amount of noise pollution to the neighbors;
3. The speed limit of trucks will be set; and
4. United and the County Engineering staff will work out a plan to overlay 30 Road.

MCC ACTION: 7/11/89

Approval subject to conditions (see attached resolution).

ANNUAL REVIEW: 9/7/90

Staff comments: The final plat vacating Virginia Acres subdivision has been recorded.

The petitioner will not be disposing of overburden from the site on the adjacent wetland owned by Mesa County as originally proposed because the U.S. Environmental Protection Agency and the Army Corps of Engineers indicated they would not issue a section 404 permit for that activity.

The petitioner has not submitted an approved Colorado Mined Land Reclamation permit, nor a Mesa County Floodplain Development Permit to date as required; therefore, a development permit has not been issued for the conditional use permit.

Pursuant to sections 3.4 and 3.5 of the Mesa County Land Development Code the conditional use permit is not valid until a development permit is issued and all conditions are met. Pursuant to section 10.7.21 of Code the conditional use permit will automatically expire 3 years after the approval of the permit by the County Commissioners if no material has been extracted and no extension has been granted. Under section 6.4 of the Code Mesa County allows one year from approval by the County before development improvement agreements are considered lapsed and void. Although no improvements agreement was required for this project an annual time frame has been used administratively for requesting revocation of permits. Pursuant to Section 10.7.22 of the Code The County Commissioners may revoke a permit for violation of any conditions imposed by the Board.

Staff Recommendations: A hearing to revoke the permit should be initiated if all conditions of the original permit are not met within 90 days of the annual review by the Mesa County Commissioners.

RESOLUTION NO. MCH 89-93
Planning Department No. C29-89

APPROVAL OF A VACATION OF RIGHT OF WAY, EASEMENTS, AND 11 LOTS, VIRGINIA ACRES SUBDIVISION/ REZONE FROM PLANNED RESIDENTIAL TO AGRICULTURAL FORESTRY TRANSITIONAL, AND CONDITIONAL USE PERMIT FOR A COMMERCIAL GRAVEL EXTRACTION AND PROCESSING OPERATION

WHEREAS, United Companies of Mesa County, Inc. sought to have a portion of a platted subdivision, Virginia Acres, vacated and rezoned to Agricultural/Forestry Transitional and a conditional use approved for a gravel extraction and processing operation on the following described land situated in the County of Mesa, State of Colorado, to wit:

Lots 1 through 5 inclusive, Block 1 and Lots 1 through 6 inclusive, Block 2, Virginia Acres Subdivision, Section 20, Township 1 S, Range 1 E.

WHEREAS, the hearing before the Board of County Commissioners was held June 27, 1989 and continued July 11, 1989;

NOW THEREFORE, THE BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF MESA FINDS AS FOLLOWS:

That the hearing before the Board was held after proper notice;

That the staff recommendation was contained in a staff report dated 7 June 1989, revised 14 June 1989;

That the Mesa County Planning Commission made recommendations at their public hearing held on June 15, 1989.

That the request for vacation, rezone and conditional use met with relevant Mesa County Land Use Policies, specifically Policies #26 Master Plan of Parks, #29 Mineral Extraction Policies;

That the request met with relevant sections of the Mesa County Land Development Code, specifically Sections 10.1-10.2 Conditional and Special Uses, "quarries/mining", and 4.3 Site Planning Standards;

That United Companies agrees to: obtain all required state and federal permits prior to commencing operations; complete and cease all extraction operations in the "Golden Pit" on 30 Road prior to commencing operations on the subject site; construct and maintain an earthen berm and provide and plant trees and/or other vegetative plantings between the site and Lot 6, Block 1 of Virginia Acres, as a buffer; construct and maintain a 6 feet tall chain link fence along the east, west and north boundaries of the site; construct and maintain a 5 feet tall "sheep fence" between the site and the bike/pedestrian trail; and enter an agreement with Mesa County to allow placing overburden on the adjacent County open space parcel;

That the conditional use is in accordance with the health, safety and welfare of the residents of Mesa County.

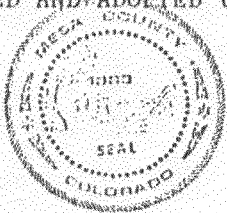
NOW THEREFORE, BE IT RESOLVED BY THE BOARD OF COUNTY COMMISSIONERS IN THE COUNTY OF MESA, STATE OF COLORADO, that the vacation, rezone and conditional use is approved subject to the following conditions:

1. Staff recommendations and comments (see attached) with the following exceptions:
 - 1) The number of truck loads is limited to 160 per day on a monthly average basis;
 - 2) Hours of hauling are limited to:
 - a) 8:30 a.m. through 6:00 p.m. on school days and,
 - b) 7:00 a.m. through 7:00 p.m. on non-school days;

- 3) Hours of pit operations are limited to 7:00 a.m. through 7:00 p.m.;
 - 4) Pit operations and hauling are permitted 5 days per week, Monday through Friday;
2. Planning Commission recommendations (see attached) with the following exceptions:
- 1) Pit operation hours as above;
 - 2) Operation of the crusher and asphalt plant shall be as far west on the site as practical;
 - 3) The speed limit on 30 Road will be set as determined by a study to be conducted by the Mesa County Traffic division;
 - 4) Thirty Road repairs shall be made by United Companies as agreed with the Mesa County Road and Engineering Departments, by the end of the 1989 construction season, including adequate shoulders for pedestrian traffic; and repairs shall be maintained by United Companies for the life of its operation;
3. C-1/2 Road shall be treated with Magnesium/Chloride as necessary as a dust suppressant when operations commence and through the life of the operation;
 4. An agreement shall be entered with Mesa County regarding entering and using the adjacent County open space as part of the operation;
 5. A written management plan for spillage from haul trucks shall be submitted to Mesa County for review prior to commencement of operations.

PASSED AND ADOPTED this 18th day of July,

1989.



Richard Pond

Richard Pond, Chairman of the Board of Mesa County Commissioners

ATTEST:

Earl Sawyer

Earl Sawyer, Mesa County Clerk

MESA COUNTY REVIEW
C29-89 VIRGINIA ACRES SUBDIVISION
REVIEW OF CONDITIONAL USE PERMIT

City Planning 09/21/90

Did the final plat vacating Virginia Acres Subdivision maintain a 100 foot trail easements along the Colorado River.

If the permit is not revoked, the conditions of approval should be reviewed with State Parks to determine the compatibility with their immediate plans for trail and park development. Trail access along this property may be needed within this next year to coincide with the Colorado State Recreation Area plans and schedule.

Utility Engineer 09/13/90

1. Area is within Central Grand Valley Sanitation District. Please contact them for comments on sewer.
2. Area is served by Ute Water or Clifton Water. Contact them for comment.

City Engineer 09/24/90

No Comment.

RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 SEP 12 1990

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
 P.O. Box 20,000-5022
 Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: _____ MCC Hearing Date: _____
 File Number: _____
 Project Name: _____
 Phase: _____
 Common Location: _____
 Engineer - Name: _____
 Address: _____
 Phone: _____
 Petitioner - Name: _____
 Address: _____
 Phone: _____

C29-89 VIRGINIA ACRES - REVIEW OF CONDITIONAL USE PERMIT
 Virginia Acres Subdivision - Conditional Use-Gravel Pit
 Petitioner: Mesa County Planning Department
 Location: C 1/2 & 30 Roads, Grand Junction, Colorado.
 An action to review the conditional use permit for gravel extraction processing on 17.7 acres in an AFT zone.
 Planning Hearing: 9/20/90. Commissioners Hearing: 10/23/90.

REVIEW AGENCY
City of Grand Jct. Planning

REVIEW AGENCY COMMENTS (PLEASE TYPE)	YES	NO
Is proposal within service area?	_____	_____
Existing services adequate?	_____	_____
Connection to services required?	_____	_____
Easements required?	_____	_____
Relocation necessary?	_____	_____
Improvements agreement adequate?	_____	_____
As-builts required for release?	_____	_____
Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

No Comment

RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 SEP 26 1990

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: City Eng
 Reviewed by: J D Newton
 Date: _____

FAILURE TO OBJECT OR COMMENT BY 9-24-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
SEP 12 1990

SEP 20 1990
DT

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

C78-84 CONDITIONAL USE PERMIT FOR THE PUBLIC SERVICE 230 KV
POWER LINE AND SUBSTATIONS.
Petitioner: Public Service
Location: Cameo - Fruita Segment and Substation, Fruita -
Horizon Segment, Horizon - Grand Junction Segment, Grand
Junction - Clifton - Colorado Ute Segment and Substation.
REQUEST FOR EXTENSION.

The attached application has been sent to your office for your review and
comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE
BELOW.

MCPC Hearing Date: 9-20-90 MCC Hearing Date: 10-23-90
File Number: _____
Project Name: _____
Phase: _____
Common Location: _____
Engineer - Name: _____
 Address: _____
 Phone: _____
Petitioner - Name: _____
 Address: _____
 Phone: _____

REVIEW AGENCY
City of H.A.

REVIEW AGENCY COMMENTS (PLEASE TYPE)	YES	NO
Is proposal within service area?	_____	_____
Existing services adequate?	_____	_____
Connection to services required?	_____	_____
Easements required?	_____	_____
Relocation necessary?	_____	_____
Improvements agreement adequate?	_____	_____
As-builts required for release?	_____	_____
Financing required for extensions?	_____	_____

Impact on capacity or supply:

Other concerns and specific requirements:

Planning 09/24/90

No problem with granting the extension for the Conditional Use Permit.

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 9-24-90 SHALL CONSTITUTE APPROVAL BY YOUR
OFFICE.



Public Service®

RECEIVED

**Public Service
Company of Colorado**

5909 E. 38th Ave.
Denver, CO 80207-1295

AUG 23 1990

**MESA COUNTY
PLANNING DEPARTMENT**

August 22, 1990

Mr. Bennett Boeschstein
Director, Mesa County Planning Department
750 Main Street
P.O. Box 20,000-5022
Grand Junction, Colorado 81502-5022

Re: Conditional Use Permit No. C78-84

Dear Mr. Boeschstein:

Public Service Company of Colorado is hereby requesting an extension of time to complete construction of its 230,000 volt electric transmission system originally approved by Resolution MCM 84-148 and extended by Resolution MCM 87-150. The current approval expires September 30, 1990. The Company wishes to extend the construction time until May 31, 1993.

The scope of the project has not changed but additional time is required to complete railroad mitigation studies and construction of the line between Horizon Substation and Uintah Substation (Fruita). The railroad mitigation studies have been ongoing since the granting of the permit in 1984 and should be completed by December of this year. Once the studies have been completed, design can be finalized on the transmission line and the railroad circuitry can be designed. Material delivery and construction will take us through December of 1992. The 69kV portion of the Uintah Substation cannot be completed until after the 230,000 volt transmission loop is placed in operation. The equipment for that portion of the substation will be transferred from the Grand Junction Substation. We are currently supplying electricity to the area substations with both the 69,000 volt and 230,000 volt transmission systems.

To date, the Company has completed construction at Colorado Ute's Grand Junction Substation, Clifton Substation, PSC Grand Junction Substation and Horizon Substation. The 230,000 volt portion of the Uintah Substation has been completed; however the 69,000 volt portion of the substation that will serve the Gary Refinery cannot be completed until the 230,000 volt system is complete. The 230,000 volt electric transmission lines have been constructed for the following line segments: Colorado Ute Grand Junction Substation to Clifton Substation, Clifton Substation to

Mr. Bennett Boeschenstein
August 22, 1990
Page 2

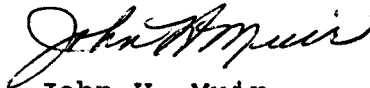
PSC Grand Junction Substation, Grand Junction Substation to Horizon Substation and from the Cameo Plant to Uintah Substation. The Horizon Substation to Uintah Substation is part of the railroad mitigation studies and is the reason for this requested time extension.

The electrical loads in the Grand Junction area have increased to a peak usage of 90 megawatts this summer and is beyond the capabilities of the 69,000 volt system. We are currently supplying electricity to the area substations with both the 69,000 volt and 230,000 volt transmission systems. Upon completion of the 230kV conversion, the 69kV system will be removed as originally proposed and approved by Mesa County Board of County Commissioners.

We feel this request is a minor amendment to our Permit and can be granted by staff review under Chapter 10.1.3B without further hearing. However, as in the past should you feel we need to appear before the Planning Commission and the Board of County Commissioners, we will be pleased to do so.

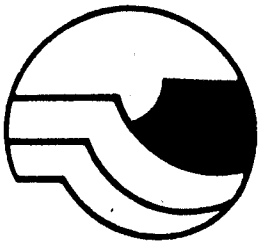
Please give this request your consideration and inform me as to how we need to proceed. Should you require additional information or if I can answer any questions, please feel free to call me collect. My telephone number in Denver is (303) 329-1554.

Sincerely,



John H. Muir
Project Leader
Electric Siting Services Department

JHM/eb



Mesa County Planning

559 White Ave. Rm. 60
Grand Junction, Colorado

81501-2643

(303) 244-1628

Rev. 12/7/87

STAFF REVIEW
--October-11-1984 Revised 11/12/87

- a. Project: C78-84 Conditional Use - 230 kV Transmission Line and Substations.
Petitioner: Public Service Company.
Location: Cameo-Fruita Segment and Substation (30.8 miles), Fruita-Horizon Segment (11.2 miles), Horizon-Grand Junction Segment (2.2 miles), Grand Junction-Clifton-Colorado Ute Segment and Substation (11.7 miles).
A request for a conditional use permit for approximately 55.9 miles of 230 kV transmission line and two substations.
- b. Surrounding Land Use and Zoning: Since the proposed powerline is approximately 55.5 miles long, each segment will be described with the major zones and land use affected:

	<u>Land Uses</u>	<u>Zones</u>
1. <u>Cameo Fruita Segment</u> (30.8 miles)		
<u>Type of pole</u> Mainly H frame wood	Bookcliffs, Coal Gulch, High Desert, rangeland, irrigated farmland, farm roads	AFT, Industrial
<u>Av. Height:</u> 75'-100'		
<u>Av. ROW Width:</u> 100'		
2. <u>Fruita Horizon Segment</u> (11.2 miles)		
<u>Type of pole:</u> Single column wood pole, some single column steel poles	D&RGW Rail- road, Gary Refinery, 6 & 50 commercial strip, irrigated farmland, Foresight Park	Industrial, AFT, Planned, Commercial, Planned Business, Planned Industrial
<u>Av. Height:</u> 80'-95'		
<u>Av. ROW Width:</u> 20'-60'		

File No. C78-84
Staff Review
October 11, 1984
Page 2

3. Grand Junction-Clifton-Colorado Ute Segment
(11.7 miles)

<u>Type of pole:</u>	Downtown	Industrial,
Single column steel,	Grand Jct.,	Commercial,
Single column wood,	Industrial	Planned
Wood H frames	& Heavy	Commercial,
<u>Av. Height: 75'-100'</u>	Commercial,	Planned
<u>Av. ROW Width: 20'-100'</u>	D&RGW ROW,	Business,
	Bus. I-70,	AFT,
	Fruitvale	Planned
	Center,	Industrial,
	Clifton	Planned
	Bus. Dist.,	Educational
	32 Rd. Bridge	

4. Fruita Substation Pasture AFT

5. Clifton Substation Pasture AFT

c. Staff Comments:

This is perhaps the largest single upgrading of an electric power facility that has ever been proposed for the Grand Valley. It is now being proposed for County permitting, having already applied for permits from the B.L.M., the City of Fruita, and the City of Grand Junction.

The proposed upgrade would change the existing 69,000 volt system which now serves as the valley's primary transmission system into a 230,000 volt system.

The existing electrical system dates back to the 1950's before much of Mesa County's explosive growth took place. The system is now operating above its capacity during peak periods.

Public Service has projected a medium growth scenario as the best indicator of future system loads. This scenario assumes a 5% annual growth rate in electric demand through 1985 and 3.5% annual growth through the year 2010. The Chevron-BMML population projection, for comparison, under the "no action (i.e. no oil shale other than Union)" shows a decrease in the County's population from 1980 to 1984 (2%) and a steady increase thereafter at an annual average of 2% to 2000.

From 87,000 in 1980 to approx. 84,000 in 2000. of approx 100,000

The Public Utilities Commission authorized the Public Service Company to construct the proposed facilities and issued a

*100,000
84,000
16,000*

*100,000
84,000
16,000*

*100,000
84,000
16,000*

certificate of public convenience and necessity in decision no. C83-1790 on November 30, 1983.

The project represents a major investment in the present and future of Mesa County. Like all utilities -- sewer, water, natural gas -- the need for an adequate, modern, reliable electrical system is essential to the growth of an urban area. With this project the State's major electric utilities, including Public Service and Colorado Ute which will link into the system at their Orchard Mesa 345 kV line, have made a major commitment to invest in the future of the Grand Valley.

Mesa County has adopted a specific set of land use and development policies with regard to the location of transmission lines. Public Service has evaluated each of the preferred alternatives with regard to each of these alternatives.

We will discuss each of the alternatives on a segment-by-segment basis and the alternative(s) which are most closely consistent with the policies.

1. Cameo-Fruita Segment

The preferred alternative (A, F, V, AAA, CCC) has many advantages over alternatives WW and AA: it passes in back of the Bookcliffs and Mount Garfield and would be virtually invisible from I-70, Clifton and Walker Field. The other alternatives (WW and AA) are highly visible from I-70, would present a major visual intrusion in front of Mount Garfield and the Bookcliffs.

The entry from the high desert north of Fruita into the Fruita substation has been of great concern to the farmers in the Fruita area. The route which appears to least disrupt irrigated farmland is route CCC, which follows an existing wash (East Branch Wash) and then links into 15 Road near N Road. This route would cut diagonally across the proposed Quail Ridge development at 16 and O Roads. Other alternatives in this segment are more disruptive of agricultural fields and homes.

While CCC would have some negative visual impacts on Quail Ridge, it would be offset to some extent by its lower elevation since it would be located in or near the wash.

File No. C78-84
Staff Review
October 11, 1984
Page 4

2. Fruita-Grand Junction Segment

Alternative J, the preferred alternative between Fruita and the Horizon Substation, follows the existing railroad and 6 & 50 corridor. This route would present a major visual intrusion between the highway and the Colorado National Monument. The alternative which would be least visually intrusive would be alternative BB, which would follow the existing 69 kV line on the bluffs of the Redlands. This route, however, has a number of problems, including a river crossing at the Walker Wildlife Area and proximity to existing and planned residential development in the Redlands. Whether the new line is located here or not, the existing line will be retained along the bluffs of the Redlands.

Route J, the preferred alternative, seems to meet most of the policies except for the visual impact policy, which will be negative.

3. Grand Junction-Clifton Segment

Alternative A, the preferred alternative for this route, follows the D&RGW right-of-way from the Grand Junction border through Clifton to 33 Road and then turns south to the new Clifton substation on 33 Road.

Alternatives for this route include a river alternative (Alternative D), which would follow the gravel pits and floodplain of the Colorado from the industrial areas along C 1/2 and 28 Roads to the floodplain and irrigated fields along the river. The route would include the northern part of Corn Lake, the Clifton Sanitation Lagoons and cut north on 33 Road to the new substation.

There are two other alternatives: Alternative J, which goes along the bluffs of Orchard Mesa in a built up and heavily farmed area of Orchard Mesa and Alternative L, which sweeps far to the south on the desert hills outside of the irrigated area of Orchard Mesa. This route also includes a segment along the Gunnison River and its narrow floodplain. It would cross the river several times and link into the Grand Junction substation near the confluence of the Gunnison and the Colorado.

Alternative A will present a major visual intrusion to the views of the Colorado National Monument, the Grand Mesa

File No. C78-84
Staff Review
October 11, 1984
Page 5

and Mount Garfield from Business I-70. It would be a major negative view, not only for motorists on Business I-70, but also for residents and businesses in the Clifton area.

We would suggest either Alternative D or a mitigation program for Alternative A. This program could consist of a contribution to the Clifton and Fruitvale business associations for landscaping improvements at these centers to offset the negative impacts of the new powerline. Both 30 Road and Business I-70, and 32 Road and Business I-70, were identified in the Mesa County Roadway Landscape Guidelines as "key identity nodes". These could consist of a landscaped entry feature such as a landscaped rest stop or landscaping along the frontages of key commercial parcels. The landscaping would then be maintained by the business association. The cost of installing one key identity node has been estimated at from \$5,000 - \$10,000. The exact location of the facility would have to be identified with the assistance of the Fruitvale and Clifton business associations.

Another alternative is the undergrounding of the segment from 29 Road to 32 Road. While Public Service Company has stated that undergrounding is only acceptable if the local government pays for it, it is also a part of the transmission line policy #21, which states in part: "...locating transmission lines underground will be considered as an alternative when technically feasible and where location of overhead transmission lines could impact scenic views, residential neighborhoods....recognizing that the selection of the underground alternative would require a financial arrangement which would be acceptable to the P.U.C. and the affected parties" (Mesa County Land Use and Development Policy #21).

*or private
landowners
pay for it*

- d. ^{Recommend} Staff Recommendation: Approval of the conditional use permit to Public Service Company of Colorado for the construction, operation and maintenance of a 230,000 volt transmission lines and corridors to be located within a 1/4 mile corridor along the following corridors as identified on exhibit A1-1:

1. Cameo-Fruita Segment:
Alternative CCC, since it least disrupts agricultural lands and removes visual intrusion from I-70 and the Bookcliffs.

- 2. Fruita-Horizon Segment
Alternative J, since it avoids the environmental problems of L and BB.
- 3. Grand Junction-Clifton-Colorado Ute Segment
Alternative D, since it avoids the major visual incursion that Alternative A would bring to Fruitvale and Clifton and could lead to a strip of undeveloped land adjacent to the Colorado River and the gravel pits which could be later developed into the proposed Colorado River greenbelt.

Alternative A would be acceptable with contribution to the Clifton and Fruitvale business associations for landscaping improvements or the installation of "key identity nodes" at each location. This alternative would also be acceptable if placed underground to avoid incursion into the views identified in the Mesa County Land Use and Development Policies.

And subject to:

Revegetation of all disturbed areas in accordance with the revegetation guidelines provided in the application.

Obtaining all necessary permits from the Federal, State and local governments, including B.L.M., City of Fruita and City of Grand Junction permits.

Preparation of a final construction phasing schedule and submittal of the schedule to the Mesa County Planning Department for public information and to coordinate inspections.

Repair of any road damage to County roads and posting of a bond or other surety to cover this contingency.

* * * * *

(Continued on Page 7)

Extension Recommendation: The Public Service Company is requesting an extension of time to complete this large transmission line project that was approved in 1984. Under the terms of the Resolution the "power line shall be constructed and completed within three years of the date of this resolution." The Resolution is dated December 11, 1984; therefore, the resolution and conditional use permit must be extended for the continuation of the project. The request is to continue the project until September 30, 1990.

The reasons for the extension are (1) the project could not be started immediately due to a lawsuit that was filed immediately after the decision and which has since been settled out of court, and (2) slower economic climate, which have affected the acquisition of easements.

The project has proceeded well with the construction of the Orchard Mesa/Clifton Segment, the Clifton substation, and the Orchard Mesa substation. The survey work has been completed for the entire project. Construction of the Clifton substation and Grand Junction substation is scheduled to begin in May, 1988, and most of the right-of-way for this route has been acquired.

The project involved extensive public participation and was a difficult decision. The project still represents a major investment, both to bring existing power needs up to standard, as well as to provide adequate power for future growth.

With the increased interest in the riverfront and planning for trails and power along the river, the project has provided valuable information in planning this corridor.

Two contributions toward the project which were mentioned in 1984 and are still desirable are:

1. Contribution of the Redlands substation site, once it is dismantled, to the Colorado River Trail - Audubon Section as a parking lot and visitor center/restroom and picnic area;
2. Continued assistance in providing the County Planning Department, Riverfront Commission, and other public entities with information on the six-mile corridor from Grand Junction to Clifton and to assist in the acquisition of recreational easements along the corridor.

Staff Review
File No. C78-84
Rev. 11/12/87
Page 8

Rev. 12/7/87

Staff Recommendation: Approval subject to all of the conditions of the original permit and with a new expiration date of September 30, 1990, and:

1. Contribution of the site of the Redlands substation site to the County for the Colorado River Trail - Audubon Section;
 2. Technical assistance to the County and Riverfront Commission in acquiring an recreaional easemenmt along the corridor from Clifton to Grand Junction.
- e. MCPC Recommendation 11/19/87: Approval of extension of time on Consent Agenda.

MESA COUNTY REVIEW
CONDITIONAL USE FOR PUBLIC SERVICE POWER LINE & SUBSTATIONS
C78-84

City Planning 09/21/90

No comments.

City Utilities Engineer 09/26/90

No Comment

City Engineer 09/26/90

What is the proposed alignment?

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
SEP 24 1990

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
SEP 12 1990

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

C78-84 CONDITIONAL USE PERMIT FOR THE PUBLIC SERVICE 230 KV
POWER LINE AND SUBSTATIONS.
Petitioner: Public Service
Location: Cameo - Fruita Segment and Substation, Fruita -
Horizon Segment, Horizon - Grand Junction Segment, Grand
Junction - Clifton - Colorado Ute Segment and Substation.
REQUEST FOR EXTENSION.

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 9-20-90 MCC Hearing Date: 10-23-90

File Number: _____

Project Name: _____

Phase: _____

Common Location: _____

Engineer - Name: _____

Address: _____

Phone: _____

Petitioner - Name: _____

Address: _____

Phone: _____

REVIEW AGENCY

City of H.F.

REVIEW AGENCY COMMENTS (PLEASE TYPE)

	YES	NO
Is proposal within service area?	_____	_____
Existing services adequate?	_____	_____
Connection to services required?	_____	_____
Easements required?	_____	_____
Relocation necessary?	_____	_____
Improvements agreement adequate?	_____	_____
As-builts required for release?	_____	_____
Financing required for extensions?	_____	_____

Impact on capacity or supply: _____

Other concerns and specific requirements:

No Comment

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: City Public Works - Utilities

Reviewed by: Bill Cheney

Date: 9-24-90

FAILURE TO OBJECT OR COMMENT BY 9-24-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 SEP 12 1990

MESA COUNTY REVIEW SHEET
 Mesa County Planning Department
 P.O. Box 20,000-5022
 Grand Junction, Colo 81502-5022

C78-84 CONDITIONAL USE PERMIT FOR THE PUBLIC SERVICE 230 KV
 POWER LINE AND SUBSTATIONS.
 Petitioner: Public Service
 Location: Cameo - Fruita Segment and Substation, Fruita -
 Horizon Segment, Horizon - Grand Junction Segment, Grand
 Junction - Clifton - Colorado Ute Segment and Substation.
 REQUEST FOR EXTENSION.

The attached application has been sent to your office for your review and
 comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE
 BELOW.

MCPC Hearing Date: 9-20-90 MCC Hearing Date: 10-23-90
 File Number: _____
 Project Name: _____
 Phase: _____
 Common Location: _____
 Engineer - Name: _____
 Address: _____
 Phone: _____
 Petitioner - Name: _____
 Address: _____
 Phone: _____

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)		
		YES	NO
<u>City of H.A.</u>	Is proposal within service area?	_____	_____
	Existing services adequate?	_____	_____
	Connection to services required?	_____	_____
	Easements required?	_____	_____
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	_____	_____
	Financing required for extensions?	_____	_____
	Impact on capacity or supply:		

RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 SEP 26 1990

Other concerns and specific requirements:

what is the proposed alignment?

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: City Engineer
 Reviewed by: J.D.N. Date: 9-26-90

FAILURE TO OBJECT OR COMMENT BY 9-24-90 SHALL CONSTITUTE APPROVAL BY YOUR
 OFFICE.

MESA COUNTY REVIEW
C89-81 HIMES COMMERCIAL PARK
REVERSION AND REVALUATION OF PLAN AND PLAT

CITY UTILITY ENGINEER - Bill Cheney 11/15/90

No comment.

COMMUNITY DEVELOPMENT - David Thornton 11/14/90

We do not have enough information in our packet to fully review this proposal. However, it seems that substantial information towards potential completion of the commercial park is needed if there is to be a fourth time extension.

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date:
File Number:
Project Name:
Phase:
Common Location:
C89.81 HINES COMMERCIAL PARK - REVERSION AND REVOCATION OF PLAN AND PLAT. Petitioners: Mesa County Commissioners
Location: SW corner of 23.5 and G.25 Roads, Grand Junction, Co. An action to revert and revoke and final plan and plat for Hines Commercial Park, a 5 lot subdivision on 10 acres in a Commercial (C) zone. Planning Hearing: 11/15/90. Commissioners hearing: 12/11/90

Engineer - Name:
Address:
Phone:

Petitioner - Name:
Address:
Phone:

REVIEW AGENCY
City of G.J.

Table with 3 columns: REVIEW AGENCY COMMENTS (PLEASE TYPE), YES, NO. Rows include: Is proposal within service area?, Existing services adequate?, Connection to services required?, Easements required?, Relocation necessary?, Improvements agreement adequate?, As-builts required for release?, Financing required for extensions?

We concur with capacity or supply:
County Planning
STAFF'S recommendations and specific requirements:
D.T.

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office:
Reviewed by:
Date:

FAILURE TO OBJECT OR COMMENT BY 12-4-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

LAND USE PUBLIC HEARING

C57-81 TRIPLE G INDUSTRIAL COMPLEX - REVERSION OF PLAT AND REZONE
 (Proof of Publication Shown)
 Petitioner - Mesa County Commissioners
 Location - 847 21 1/2 Road

Chairman Albers introduced the action to revert the plat for Triple G Industrial Complex, and change the zone from Planned Commercial (PC) to Agricultural/Forestry Transitional (AFT) on a parcel consisting of 33.8 acres.

Triple G owner, John Gordon, residing at 629-1/2 26 1/2 Road, approached the podium requesting an extension of time on filing the final plat for Triple G Subdivision (industrial). He advised the initial proposal was approved in late 1981 or 1982; and he has made a considerable investment in same, which included a Ute water line up 21 1/2 Road to the subdivision, installation of fire hydrants, and water taps stubbed in to each of the thirty (30) one-acre lots. However, he indicated that funding was depleted; and all development had been detained, waiting on a brighter economic picture. He noted his business is involved in the energy industry; and due to declining oil prices again this year, plans for the subdivision are curtailed temporarily. He did indicate a slight improvement in the price of natural gas, which over the next few years should have a positive impact on Triple G.

He confirmed with Chairman Albers that he was requesting an extension on both the zoning and the plan, and related to the Board that the subdivision has been platted but not recorded due to an approximate "open space" fee of \$16,000. The Board alerted Mr. Gordon to the fact that the zoning was Planned Commercial (PC) and not AFT as he had thought.

Mr. Gordon advised the Board the road has been cut but not graveled, and there are no curbs or gutter. Power, telephone, and natural gas utilities are not in either.

The County Planning Director advised the project is not in the Fersigo 201 area (almost 3/4 of a mile away), although a statement made in 1981 indicated that sewer would be available at the site. He noted that thirty (30) single septic systems could present a real problem if development was for anything more than low-water commercial uses, especially if development allowed industry where there would be oil, grease, etc.

The Petitioner replied that companies proposing to purchase and build in Triple G were looking at four or five (4 or 5) parcels for equipment storage, etc., with anticipated low-water usage. He did agree with Commissioner Pond and the County policies concerning problems that could result from having thirty (30) individual septic systems.

Mr. Boeschstein stated the covenants on the project limit the types of uses to those such as corporate field office buildings, auxiliary shop buildings, pipe storage, welding shops, and supply and machinery warehouses. This type of development would not be a problem for the septic systems as would heavy industrial use, convenient stores, or car washes.

The Planning staff recommended approval of a two (2) year extension.

At the Chair's invitation, no one else opted to offer any testimony for or against the extension request; and the hearing was closed.

RICHARD POND MOVED, ROBERT HOLMES SECONDED, AND MOTION UNANIMOUSLY CARRIED, REGARDING PROJECT NO. C57-81, TRIPLE G INDUSTRIAL COMPLEX, TO GRANT A TWO (2) YEAR EXTENSION FOR THE PLAN AND THE ZONE.

C89-81 HIMES COMMERCIAL PARK - REVERSION OF PLAN
 (Proof of Publication Shown)
 Petitioner - Mesa County Commissioners
 Location - SW corner of 23.5 and G.25 Roads

Chairman Albers introduced the action to revert the plan on a commercial park consisting of 9.97 acres in a Commercial (C) Zone and acknowledged property co-owner, Peggy Himes.

Mrs. Himes stated she was present on behalf of Bud Himes, who was out of town, and advised they were requesting a two (2) year extension on the ten (10) acre plot. She indicated she and Mr. Himes had initially planned to locate their business on half of the parcel and sell the remaining five (5) acres to another energy related business. However, she related the same slumping energy market that had curtailed Mr. Gordon's development (Triple G Subdivision) had also plagued their plans.

She commented their company has no work in Colorado; and, in fact, they are working completely out of the State at this time. They are requesting a two (2) year extension in hopes of selling the parcel.

CB9-81 HIMES COMMERCIAL PARK - REVERSION OF PLAN (Continued)

Bennett Boeschonstein reported the project dates back to 1981, and today's hearing represents the third (3rd) reversion before the Board. He stated no action has been taken on the final plat, but the Planning staff would recommend another two (2) year extension on the development.

No one else present opted to speak for or against the project, and the public hearing was closed.

ROBERT HOLMES MOVED, RICHARD POND SECONDED, AND MOTION UNANIMOUSLY CARRIED, REGARDING PROJECT CB9-81, HIMES COMMERCIAL PARK, TO APPROVE AN EXTENSION FOR A PERIOD OF TWO (2) YEARS, AS REQUESTED BY THE PETITIONER.

Commissioner Pond alerted Mrs. Himes that implementation of a new County Planning fee structure will result in a cost of one-half (1/2) the development fee for an extension.

CB2-82 CHRISTIAN MOTHER GOOSE FACILITY - REZONE PLANNED BUSINESS (PB) TO AGRICULTURAL/FORESTRY TRANSITIONAL (AFT)
(Proof of Publication Shown)
Petitioner - Mesa County Commissioners
Location - 2721 H Road

The Chairman presented the action to rezone a 1.6 acre parcel from Planned Business (PB) to Agricultural/Forestry Transitional (AFT).

Although no one was present in the audience on behalf of the project, the County Planning Director advised that the owner, Kevin Decker, had been notified of this proceeding (by Return Receipt mail). The owners then telephoned the Planning Department, indicating they had no objection to the rezone or the reversion to AFT.

There was no one else present who offered, at the Chair's invitation, to speak on behalf of or against the item. The hearing was closed and the following motion was rendered:

RICHARD POND MOVED, ROBERT HOLMES SECONDED, AND MOTION UNANIMOUSLY CARRIED, REGARDING ITEM NO. CB2-82, A REZONE FROM PLANNED BUSINESS (PB) TO AGRICULTURAL/FORESTRY TRANSITIONAL (AFT), TO APPROVE THE REVERSION ON THE RECOMMENDATION OF THE PETITIONER.

C62-88 TEMPLE SUBDIVISION - MINOR AFT
(Proof of Publication Shown)
Petitioner - Jim Temple
Location - Northwest corner of E 1/2 and 35 1/2 Roads

Chairman Albers opened the public hearing for a request for a minor subdivision of 60.5 acres into two (2) parcels, containing 52.5 and 8 (eight) acres, located in an Agricultural/Forestry Transitional (AFT) Zone.

Jim Temple, 467 Santee Street, was present and distributed a map of the proposed project area to the BOCC, stating the owner of the 60.5 acres was Moe Richardson. Mr. Temple wants to purchase the 52.5 acre parcel, if the proposed subdivision is approved, for the purpose of constructing a residence for his family. He advised the purchase of the entire 60.5 acre parcel would cost an additional \$40,000.00, which he could not afford.

He explained that geographically, the large parcel is separated naturally from the eight (8) acre parcel by a wash and a cliff on the Colorado River. There are no actual shares of water with the 52 acre parcel, but there is salvage water from two (2) drains at each end of the wash.

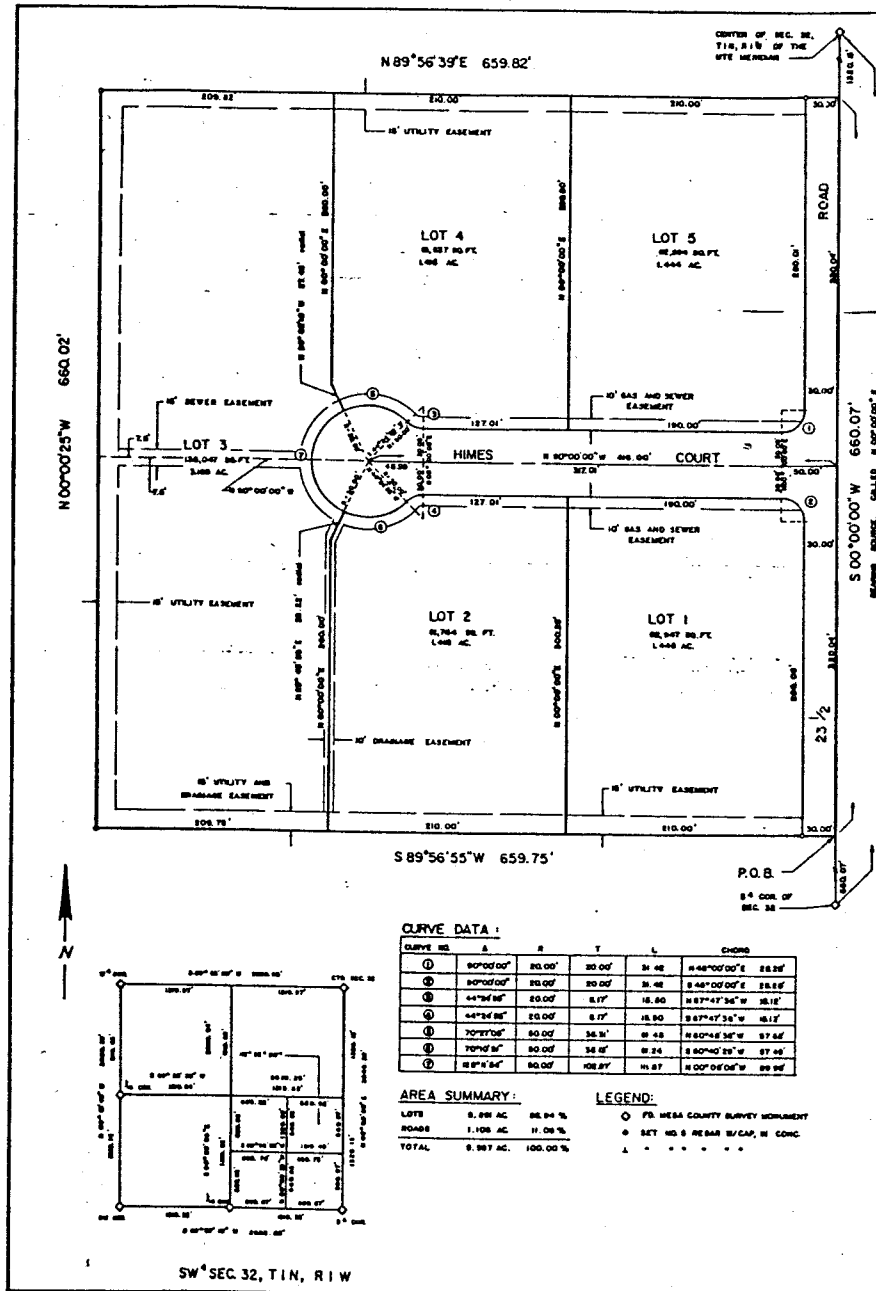
Mr. Temple advised the Board that he had agreed to bear the proposed subdivision costs as part of his agreement with Mr. Richardson, who will retain the remaining eight (8) acre parcel.

Bennett Boeschonstein presented the Staff Review, wherein the staff recommendation was for approval with review agency comments. He related that although the majority of the 52 acre parcel lies in the floodplain area, there is a knob above the floodplain where the Temple residence would be constructed.

He advised that Mr. Temple made contact with the gravel companies (Corn Construction and United Sand and Gravel), and no interest at this time was expressed in the gravel deposits located within the floodplain. He also noted that Mr. Temple and Mr. Richardson have complied with the requirement of fifty feet (50') easements for each parcel out to E 1/2 Road and 36 Road.

The staff recommended approval, subject to review agency comments.

The Planning Director then presented the Review Sheet Summary of 10/28/88.



CURVE DATA:

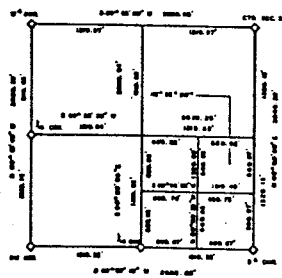
CURVE NO.	B	H	T	L	CHORD
①	90°00'00"	20.00'	30.00'	34.42'	54.87°00'00" E 22.21'
②	90°00'00"	20.00'	30.00'	34.42'	54.87°00'00" E 22.21'
③	44°56'58"	20.00'	8.17'	18.80'	58.77°47'36" W 18.12'
④	44°56'58"	20.00'	8.17'	18.80'	58.77°47'36" W 18.12'
⑤	70°27'00"	20.00'	36.31'	39.48'	58.07°46'34" W 37.62'
⑥	70°27'00"	20.00'	36.31'	39.48'	58.07°46'34" W 37.62'
⑦	82°11'54"	20.00'	108.27'	111.87'	82.00°00'00" W 20.00'

AREA SUMMARY:

LOTS	8.291 AC	88.94 %
ROADS	1.108 AC	11.06 %
TOTAL	9.399 AC	100.00 %

LEGEND:

- P.B. MESA COUNTY SURVEY MONUMENT
- SET NO. 8 REBAR 1/2" DIA. IN CONC.
- ▲



SW 1/4 SEC. 32, T1N, R1W

HIMES COMMERCIAL PARK

DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED, SAID HIMES IS THE OWNER OF THAT REAL PROPERTY SITUATED IN THE COUNTY OF MESA, STATE OF COLORADO, AND BEING THE SE 1/4 OF SECTION 32, T1N, R1W, OF THE UTE MERIDIAN, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID SE 1/4 OF SAID SECTION 32, THENCE 100°00'00" W 24.75 FT; THENCE 90°00'00" W 66.00 FT, THENCE 89°56'39" E 659.82 FT, THENCE 90°00'00" W 660.00 FT TO THE POINT OF BEGINNING, AND CONTAINING 9.399 ACRES, MORE OR LESS, AS SHOWN BY THE ACCOMPANYING PLAT THEREOF.

THAT THE SAID OWNER HAS CAUSED THE SAID REAL PROPERTY TO BE LAID OUT AND SURVEYED AS HIMES COMMERCIAL PARK, A SUBDIVISION OF A PART OF THE COUNTY OF MESA.

THAT THE SAID OWNER DOES HEREBY DEDICATE AND SET APART ALL OF THE STREETS AND ROADS AS SHOWN ON THE ACCOMPANYING PLAT TO THE USE OF THE PUBLIC FOREVER AND HEREBY DEDICATE THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE LABELED AS UTILITY EASEMENTS ON THE ACCOMPANYING PLAT AS PORTIONS OF SAID REAL PROPERTY WHICH ARE LABELED AS UTILITY EASEMENTS AND DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, AND TELEPHONE LINES, TOGETHER WITH THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, WITH PERPETUAL RIGHT OF ACCESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES, SAID EASEMENTS AND RIGHTS SHALL BE UTILIZED IN A REASONABLE AND PRUDENT MANNER. UTILITY EASEMENTS ARE DEDICATED TO THE PUBLIC UTILITIES.

THAT ALL EXPENSES FOR INSTALLATION OF UTILITIES OR BENCHES REFERRED TO ABOVE, FOR GRADING OR LANDSCAPING, AND FOR STREET BRACKLING OR IMPROVEMENTS SHALL BE FINANCED BY THE SELLER OR PURCHASER... NOT THE COUNTY OF MESA.

IN WITNESS WHEREOF, SAID OWNER SAID HIMES HAS CAUSED HIS NAME TO BE HEREUNTO SUBSCRIBED THIS 22 DAY OF April, A.D., 1981.

BY SAID HIMES
 STATE OF COLORADO } S.S.
 COUNTY OF MESA } S.S.
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF April, A.D., 1981, BY SAID HIMES.

BY COMMISSIONER EXPRES
 WITNESSES BY HAND AND OFFICIAL SEAL
 COUNTY CLERK

CLERK AND RECORDERS CERTIFICATE
 STATE OF COLORADO } S.S.
 COUNTY OF MESA } S.S.
 I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK _____ M., _____ A.D., 1981, AND IS DULY RECORDED IN PLAT BOOK NO. _____ PAGE _____.

COUNTY PLANNING COMMISSION CERTIFICATE
 APPROVED THIS _____ DAY OF _____, A.D. 1981, COUNTY PLANNING COMMISSION OF THE COUNTY OF MESA, COLORADO.

BOARD OF COUNTY COMMISSIONERS CERTIFICATE
 APPROVED THIS _____ DAY OF _____, A.D. 1981, BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF MESA, COLORADO.

SURVEYORS CERTIFICATE
 I, LUTHER T. HUBBARD, DO HEREBY CERTIFY THAT THE ACCOMPANYING PLAT OF HIMES COMMERCIAL PARK, A SUBDIVISION OF A PART OF THE COUNTY OF MESA, HAS BEEN PREPARED UNDER MY DIRECTION, AND ACCURATELY REPRESENTS A FIELD SURVEY OF SAID.

BY *L. T. Hubbard*
 REGISTERED LAND SURVEYOR, C.S. 10386 DATE 4-28-81

ENCUMBRANCES RATIFICATION AND APPROVAL
 WILLIAM R. JARVIS AND BETTY LOU JARVIS, HOLDERS OF THE FIRST AND PRIOR DEED OF TRUST UPON THE HEREON DESCRIBED REAL PROPERTY, HEREBY RATIFY AND APPROVES THIS FOREGOING PLAT OF HIMES COMMERCIAL PARK.

BY *William R. Jarvis*
 WILLIAM R. JARVIS BY *Betty Lou Jarvis*
 BETTY LOU JARVIS

STATE OF COLORADO } S.S.
 COUNTY OF MESA } S.S.
 THE FOREGOING ENCUMBRANCES RATIFICATION AND APPROVAL WAS ACKNOWLEDGED BEFORE ME THIS 20 DAY OF April, A.D., 1981, BY WILLIAM R. JARVIS AND BETTY LOU JARVIS.

BY COMMISSIONER EXPRES *John J. ...* WITNESSES BY HAND AND OFFICIAL SEAL *John J. ...*
 COUNTY CLERK

APPROVED - UTILITIES COORDINATING COMMITTEE _____ DATE _____

OFFICE COPY
 089.81

FINAL PLAT			
HIMES COMMERCIAL PARK			
BY SAID HIMES	COURT ENGINEERS	DATE	PREPARED BY
			L.S.
SCALE 1" = 60'	BY <i>[Signature]</i>	DATE	R.E.C.
PLAT NO. 4-13-81	FILED	DATE	1/1
			1981-08-10

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date
File Number:
Project Name:
Phase:
Common Location

C89.81 HINES COMMERCIAL PARK - REVERSION AND REVOLATION OF PLAN AND PLAT. Petitioners: Mesa County Commissioners
Location: SW corner of 23.5 and G.25 Roads, Grand Junction, Co. An action to revert and revoke and final plan and plat for Hines Commercial Park, a 5 lot subdivision on 10 acres in a Commercial (C) zone. Planning Hearing: 11/15/90. Commissioners hearing: 12/7/90.

Engineer - Name
Address:
Phone:

Petitioner - Name:
Address:
Phone:

REVIEW AGENCY

City of G.J.

REVIEW AGENCY COMMENTS (PLEASE TYPE)

Table with 3 columns: Question, YES, NO. Rows include: Is proposal within service area?, Existing services adequate?, Connection to services required?, Easements required?, Relocation necessary?, Improvements agreement adequate?, As-builts required for release?, Financing required for extensions?, Impact on capacity or supply:

Other concerns and specific requirements:

No Comment

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: Public Works- Utilities

Reviewed by: Bill Cheney- Utility Eng.

Date: 11-15-90

FAILURE TO OBJECT OR COMMENT BY 12-4-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

MESA COUNTY REVIEW
SISSON MINOR SUBDIVISION

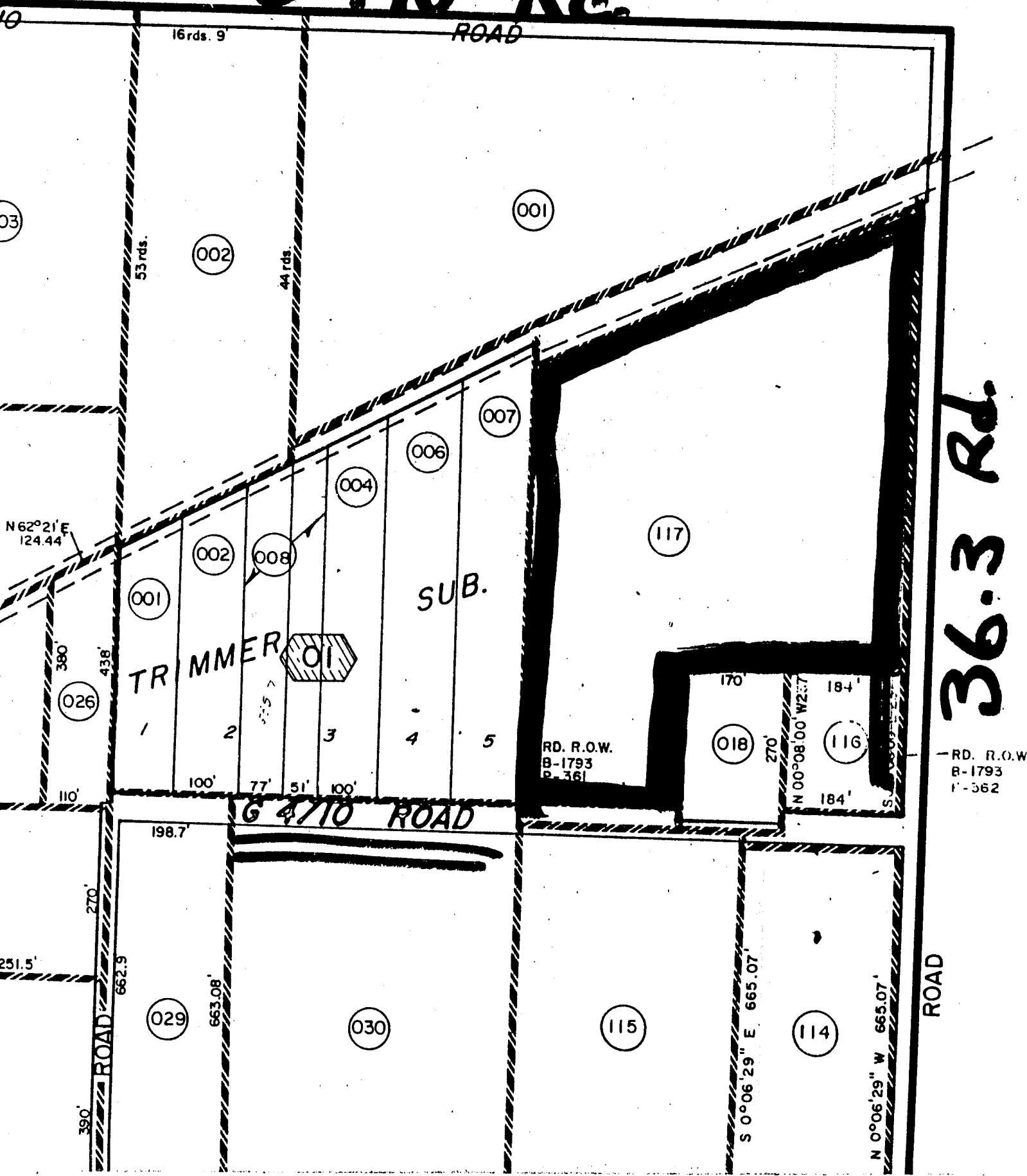
City Planning 09/21/90

No comments.

NARRATIVE (SISSON MINOR SUBDIVISION)

SISSON MINOR SUBDIVISION IS A PROPOSED TWO LOT MINOR SUBDIVISION ON A 10.7 ACRE PARCEL OF LAND LOCATED IN THE VICINITY OF 36.3 ROAD AND G.4 ROAD. THE PARCEL IS CURRENTLY AN ORCHARD. THE SUBDIVISION IS DESIGNED TO DIVIDE THE PARCEL INTO TWO 5 ACRE PARCELS. IT IS ANTICIPATED THAT SOMETIME IN THE FUTURE A SINGLE FAMILY DWELLING WILL BE CONSTRUCTED ON THE EAST PARCEL. THIS PROJECT WILL NOT SIGNIFICANTLY IMPACT ANY NATURAL FEATURES, NEIGHBORHOODS, OR ROADS.

5 7/10 Rd.



16rds. 9'

ROAD

53 rds.

44 rds.

N 62° 21' E
124.44'

SUB.

TRIMMER



RD. R.O.W.
B-1793
P-361

RD. R.O.W.
B-1793
P-362

6 4/10 ROAD

ROAD

36.3 Rd.

002

001

007

006

004

117

002

008

001

026

018

116

029

030

115

114

390'

270'

662.9

663.08'

198.7'

S 0° 06' 29" E 665.07'

N 0° 06' 29" W 665.07'

N 00° 08' 00" W 23.7'

170'

184'

270'

184'

110'

100'

77'

51'

100'

5

4

3

2

1

003

10

**MESA COUNTY REVIEW
SISSON MINOR SUBDIVISION**

City Planning 09/21/90

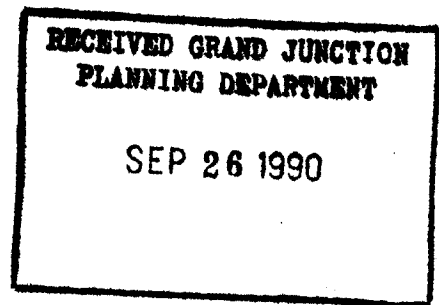
No comments.

City Engineer 09/26/90

Road improvements should be required on frontage of G.4 Road.

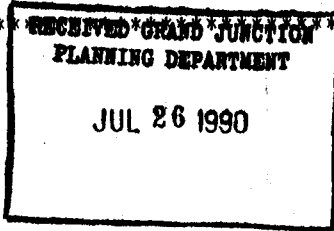
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*Road improvements should be required
on frontage of G.4 Road*

J. D. Newton, City Eng'r 9-26-90



MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 8-16-90 MCC Hearing Date: 8-28-90

File Number:
Project Name: EL RIO VILLAS
Phase: FINAL
Common Location: SOUTH OF EL RIO DRIVE & RIO OSO LANE

Engineer - Name: ARMSTRONG CONSULTANTS, INC. Attn. Tom Logue
Address: 861 ROOD AVE., GRAND JUNCTION, CO. 81501
Phone: 242-0101

Petitioner - Name: WILCO CONSTRUCTION, CO. Attn. Dennis Wiltgen
Address: 2115 ZION CT.
GRAND JUNCTION, CO. 81503
Phone: 242-2203

Table with columns: REVIEW AGENCY (CITY PLANNING), REVIEW AGENCY COMMENTS (PLEASE TYPE), YES, NO. Rows include questions like 'Is proposal within service area?', 'Existing services adequate?', etc.

Impact on capacity or supply:

Other concerns and specific requirements:

+++ PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS++

Reviewing Office: _____

Reviewed by: _____

Date: _____

FAILURE TO OBJECT OR COMMENT BY 8-14-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

REVIEW COMMENTS FOR EL RIO VILLAS

CITY ENGINEER, Don Newton

08/09/90

Proposed right-of-way and street improvements for Rio Court do not meet City or County standards for widths and curb, gutter and sidewalk improvements. Why is cul-de-sac not symmetrical? The 90 degree corner would be a problem for street sweeping and drainage.

Add a note to plans stating that all sewer construction shall be in accordance with City of Grand Junction standards and specifications.

CITY PLANNING, Karl Metzner

08/17/90

1. We concur with comments by City Engineer.
2. Power of Attorney for annexation will be required.

PROJECT NARRATIVE

FOR

EL RIO VILLAS

JUNE, 1990

Prepared For:

Wilco Construction Co.
2115 Zion Court
Grand Junction, CO
303-242-2203

Prepared By:

Armstrong Consultants, Inc.
861 Rood Avenue
Grand Junction, CO 81051
303-242-0101
Armstrong Project No. 905304

MISC21

PROJECT NARRATIVE
FOR
EL RIO VILLAS

GENERAL - The enclosed maps and statements are provided as a requirement of the Mesa County Development Regulations for a one step subdivision process utilizing the "Planned Development" overlay zone.

The proposal calls for the ultimate development of 7 lots on the 2.0 acre site. Minimum lot size is 8,800 sq. ft., with a resulting density of 3.5 dwelling units per acre. Each lot is designated as a future single family dwelling site. The accompanying final plat depicts proposed building setback requirements which are compatible with those found in the area surrounding El Rio Villas Subdivision.

LOCATION - El Rio Villas Subdivision consists of 2.0 acres located south of the intersection of El Rio Drive & Rio Oso Lane on the Redlands. El Rio Villas is located in part of the SE $\frac{1}{4}$ of Section 7, Township 1 North, Range 1 West of the Ute Meridian.

EXISTING LAND USE - The property is comprised of a single parcel of land, and is vacant of structures or dwellings. The historic land use has been irrigated pasture land on about 50% of the site. Since the property is sited on a bluff overlooking Goat Draw much of the land consists of slopes approaching 20% in grade. El Rio Villas is current zoned R-2 by Mesa County.

SURROUNDING LAND USE - The surrounding land use are considered to be moderate in nature. El Rio Villas is an "infill" development. The site is surrounded by fully developed single family subdivisions. Adjoining subdivisions include:

<u>Subdivision Name</u>	<u>Location to Site</u>	<u>Zone</u>
Loma Rio Subdivision	North	R-2
Tiffany Park	West	R-2
The Bluffs	East	PR-2

Vista Del Rio an undeveloped project, lies northwest of the property and is zoned PR 3.5. The Redlands Parkway and Goat Draw form the southerly boundary of the subject property.

ACCESS - The proposal calls for the construction of a new access to serve lots within El Rio Villas. This new street will be constructed to meet the requirements of Mesa County's adopted Lane and Place Urban Street Section. The proposal calls for the construction of 2 ft. valley gutter along each side of the proposed concrete street. These gutters match existing street improvements found in the vicinity of El Rio Villas.

El Rio Drive, Rio Oso Lane, and Rio Linda Lane, all of which are classified as urban local streets, provide access to the Redlands Parkway from the subject property. The Redlands Parkway is classified as a principal arterial by Mesa County. El Rio Drive, which adjoins the site's north boundary also provides access to Tiffany Drive, 22 $\frac{1}{2}$ Road, and State Highway 340.

According to the Colorado State Highway Department's trip generator, it is estimated that a total of 63 average vehicle trips per day would be generated when the site is fully developed. 36 of these estimated trips will utilize the proposed street within the development.

According to table 4.6 of the Mesa County Standard Specifications for Road Construction the following average daily traffic design standards are listed:

<u>FUNCTIONAL CLASSIFICATION</u>	<u>ADT</u>	<u>RW WIDTH</u>
Principal Arterial (Rural)	8,000-20,000	100 ft.
Local (Urban)	100-500	50 ft.
Lane	75-350	22 ft.

UTILITY SERVICE - All utility service necessary for site development adjoins the property.

An existing sanitary sewer main is located in El Rio Drive. The proposal calls for the construction of a new main into the property. All construction will be done in accordance with the City of Grand Junction specifications. Ultimately line maintenance will be by the City.

Domestic water service will be provided to each lot within El Rio Villas by a new 3" main which will be extended from an existing 12" main that adjoins the property's east boundary. In order to minimize disturbance to El Rio Drive the new water main will be constructed outside of the existing road improvement. The property is located within the Ute Water Conservancy District. Since the proposal will require ultimate maintenance of the new main by Ute Water all construction will be done in accordance with their standards. All lots with the proposed subdivision are located within 300 feet of an existing fire hydrant located along El Rio Drive's north right-of-way line.

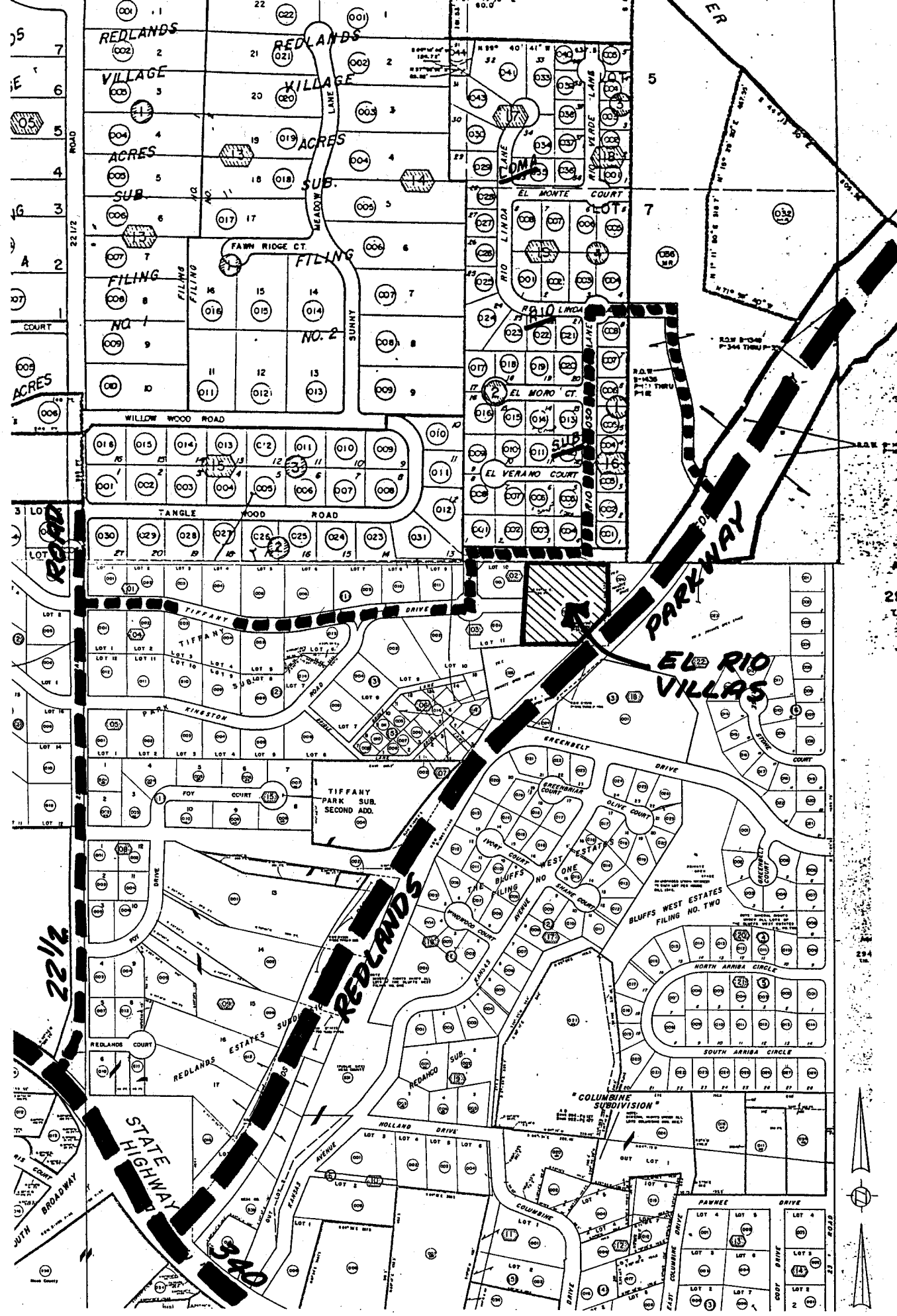
Irrigation water will be delivered to each lot by an underground pressurized delivery system. The Bluffs West Estates Property Owners Association provides water to the property through a pressurized system which delivers water to the southeast corner of the property. A new association will be formed for El Rio Villas to insure ongoing maintenance and operation of the new system will occur.

New natural gas, electric, cable television, and communication lines will be extended into the development from existing facilities adjoining the property.

GRADING AND DRAINAGE - Approximately 6,900 cubic yards of material will be moved within the development. The proposed grading plan lends itself well for the construction of not only single level dwellings, but to multi-level units as well. Each lot will be graded in a manner that will provide positive drainage away from the structure. A detailed site grading plan has been prepared and transmitted to the Mesa County Planning Department under separate cover.

The subject property is not adversely affected by off-site drainage runoff. The ultimate development will not adversely affect downstream properties. A detailed drainage report has been transmitted to both the Planning and Engineering Departments.

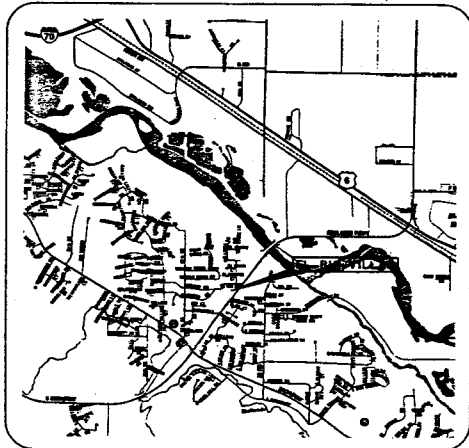
DEVELOPMENT SCHEDULE - Development of all the lots within El Rio Villas will begin immediately upon the approval of the proposal by Mesa County. It is anticipated that all the lots will be built on and sold within 12 to 18 months following site development.



EL RIO VILLAS MESA COUNTY, COLORADO

DEVELOPED BY:

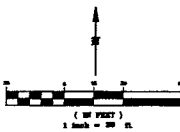
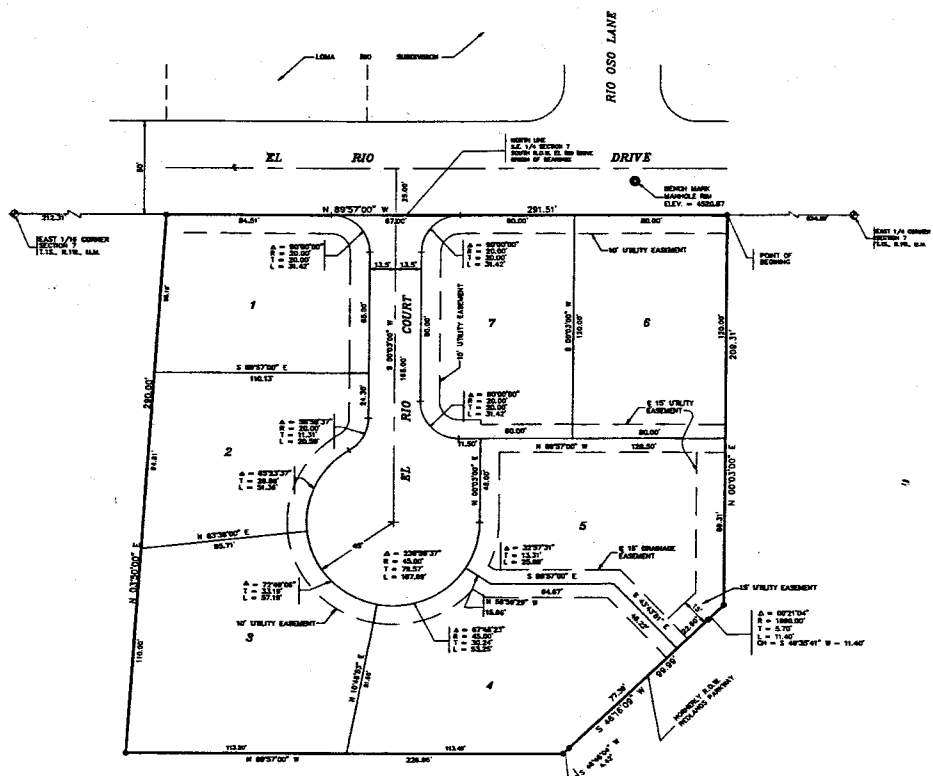
WILCO CONSTRUCTION CO., DENNIS WILTGEN
2115 ZION COURT
GRAND JUNCTION, COLORADO
PHONE: (303) 242-2203



LOCATION MAP

<u>Description</u>	<u>INDEX</u>	<u>Sheet</u>
COVER SHEET		1
FINAL PLAT		2
GRADING PLAN		3
ROADWAY PLAN		4
ROADWAY PROFILE & DETAILS		5
UTILITY PLAN		6
UTILITY DETAILS		7

PREPARED BY:
ARMSTRONG CONSULTANTS INC.
861 ROOD AVE.
GRAND JUNCTION, CO
303-242-0101



AREA QUANTITIES

AREA IN LOTS = 1.47 ACRES.
 AREA IN ROAD = 0.23 ACRES.
 TOTAL = 1.72 ACRES

BUILDING SETBACK REQUIREMENTS

FRONT 20' (UNLESS ON CORNER, ADJOINING STREET IS 10 FEET)
 SIDE 7' OR EASEMENT WIDTH
 REAR 20'

- LEGEND**
- ⊕ MESA COUNTY BRASS CAP
 - 5/8" REBAR & MONUMENT CUP SET IN CONCRETE

NOTES: CONTRACTOR TO MAINTAIN 10' CLEARANCE OVER ALL UTILITIES AND RECORDS. ALL UTILITIES SHALL BE DEPTH TO 10' BELOW FINISHED GRADE. ALL UTILITIES SHALL BE DEPTH TO 10' BELOW FINISHED GRADE. ALL UTILITIES SHALL BE DEPTH TO 10' BELOW FINISHED GRADE.

SHOW ALL MEN BY THESE PRESENTS:

That the undersigned, S. & W. ENTERPRISES, a Colorado partnership, are the owners of that real property situated in the County of Mesa, State of Colorado, and is described in Book _____ of Page _____ of the Mesa County Clerk and Recorder's Office, and being situated in Section 7, Township 1 South, Range 1 West, 10th Meridian, Mesa County, Colorado, as shown on the accompanying plat, said property being subdivided as follows:

Beginning at a point which bears N89°57'10" W 832.88 feet from the East Quarter Corner of Section 7, T.1S., R.1W., 10M. in Mesa County, Colorado; thence S00°01'00" W 008.31 feet to a point on the Northdry Run of the Meadow Park; thence S89°57'10" W 11.40 feet, along the arc of said curve to a point of intersection with a straight line, thence S46°16'04" W 4.42 feet; thence bearing and distance as above; thence N89°57'10" W 228.88 feet; thence N02°52'00" E 290.00 feet to a point on the North Dry Run of the Southwest Quarter of said Section 7, and thence along the South line of EL RIO DRIVE, thence S89°57'00" E 261.51 feet to the point of beginning containing 1.523 acres, more or less.

That said owners have caused the said real property to be laid out and surveyed as EL RIO VILLAS SUBDIVISION, a subdivision of a part of Mesa County, State of Colorado.

That said owners do hereby dedicate and set apart all of the streets and roads as shown on the accompanying plat to the use of the public; however, and hereby dedicate to the Public Utilities those portions of said real property which are intended as utility easements on the accompanying plat as parcelled hereon for the installation and maintenance of electric, telephone and other facilities, including but not limited to electric lines, gas lines, telephone lines, sewer lines with the right to later starting lines and water; with reserved right of ingress and egress for installation and maintenance of such lines. Such easements and rights shall be defined in a reasonable and prudent manner.

That all expenses for street paving or improvements shall be furnished by the owner or purchaser, not the County of Mesa.

IN WITNESS WHEREOF said owner has caused his name to be hereto subscribed this _____ day of _____ A.D., 19__.

S. & W. ENTERPRISES, a Colorado partnership

DONALD DENNIS WILSON, managing partner

STATE OF COLORADO } S.S.
 COUNTY OF MESA }

The foregoing instrument was acknowledged before me this _____ day of _____ A.D., 19__, by DONALD DENNIS WILSON, managing partner S. & W. ENTERPRISES.

My commission expires: _____

Notary Public

CLERK AND RECORDS CERTIFICATE

STATE OF COLORADO } S.S.
 COUNTY OF MESA }

I hereby certify that this instrument was filed in my office at _____ o'clock _____ M. this _____ day of _____ A.D., 19__, and is duly received in Plat Book No. _____, Page _____.

COUNTY PLANNING COMMISSION CERTIFICATE

Approved this _____ day of _____ A.D., 19__, County Planning Commission of the County of Mesa, Colorado.

Chairman

BOARD OF COUNTY COMMISSIONER'S CERTIFICATE

Approved this _____ day of _____ A.D., 19__, Board of County Commissioners of the County of Mesa, Colorado.

Chairman

SURVEYOR'S CERTIFICATE

I, Roger H. Lear, certify that the accompanying plat of EL RIO VILLAS SUBDIVISION, a subdivision of a part of the County of Mesa, State of Colorado has been prepared under my direct supervision and accurately represents a field survey of same.

Roger H. Lear
 Registered Professional Engineer and Land Surveyor No. 14113

Date

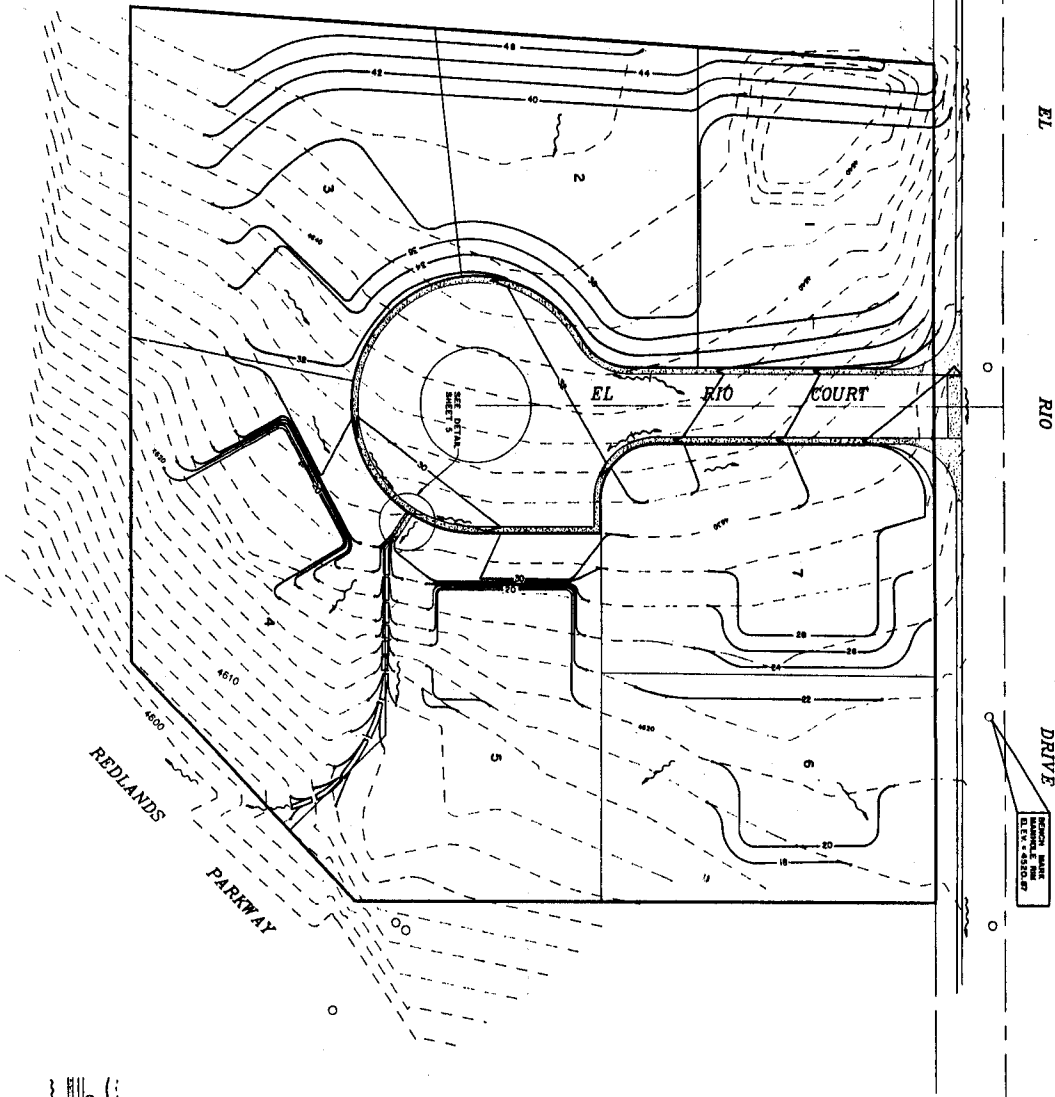
UTILITIES COORDINATING COMMITTEE

Approved this _____ day of _____ 19__

Chairman

EL RIO VILLAS SUBDIVISION
 LOCATED IN PART OF SE 1/4 SECTION 7, T.1S., R.1W., U.M.

ARMSTRONG CONSULTANTS INC.
 861 ROOD AVE.
 GRAND JUNCTION CO.
 (303) 242-0101



- LEGEND**
- EXISTING & PROPOSED CONTOUR
 - PROPOSED & EXISTING CONTOUR
 - EXISTING CONCRETE
 - PROPOSED CONCRETE
 - DIRECTION OF DRAINAGE
 - DRAINAGE FLOW

NOTES

1. SEE SHEET 4 FOR PROPOSED PLAN



Sheet 3 of 7

GRADING PLAN

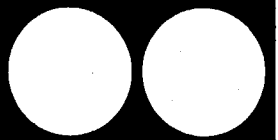
Project: EL RIO VILLAS
 Designer: T. SMITH
 Checker: T. LORIE

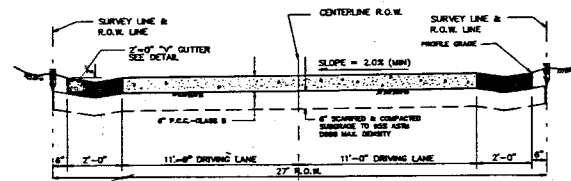
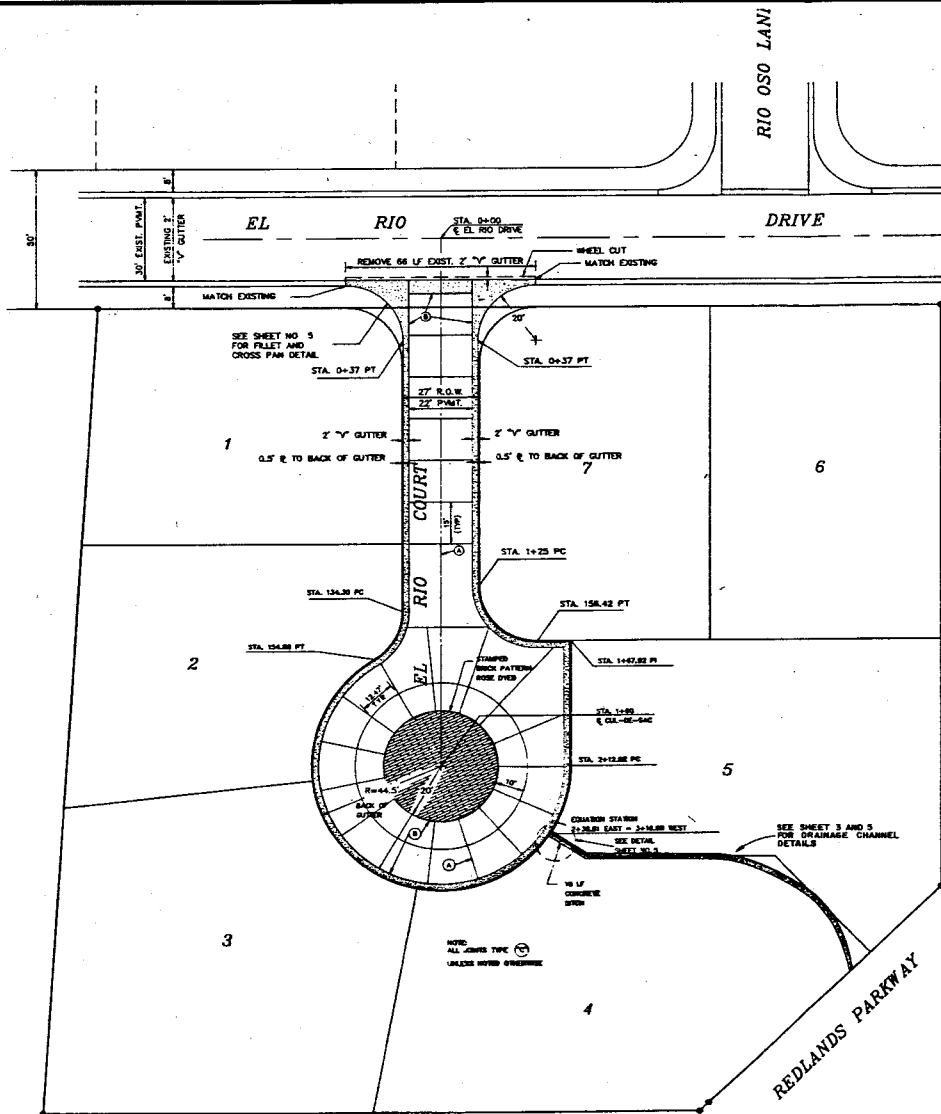
EL RIO VILLAS
 MESA COUNTY, COLORADO

Engineers
 Planners
 Surveyors
 Soil Testing
 Material Testing
 Geotechnical Engineers

ARMSTRONG CONSULTANTS, INC.

881 Road Avenue
 Grand Junction, Colorado 81501
 (303) 242-0101





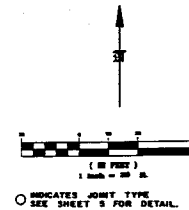
EL RIO COURT TYPICAL SECTION

GENERAL NOTES

1. SEE SHEET 2, FINAL PLAN FOR ALL LOT AND STREET DIMENSIONS.
2. SEE SHEET 4, UTILITY PLAN FOR UTILITY LOCATIONS.
3. SEE SHEET 3 FOR OVERLAY GRADING PLAN.

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH MESA COUNTY STANDARD SPECIFICATIONS AND STANDARD DETAILS.
2. ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "M" (SECTION 604.02) USING TYPE II MODIFIED PORTLAND CEMENT.
3. ANY EXISTING PAVEMENT OR CONCRETE NOT DESIGNATED FOR REMOVAL, WHICH IS DAMAGED BY THE CONSTRUCTION SHALL BE REPLACED IN-KIND AT HIS EXPENSE.
4. EXPANSION JOINTS SHALL BE PROVIDED IN GUTTERS AT BOTH ENDS OF STREET INTERSECTION CURVES. CONSTRUCTION JOINTS SHALL BE PROVIDED IN GUTTERS AT A SPACING OF 10 FEET. MAXIMUM SPACING BETWEEN ANY JOINTS IN CURB, GUTTER AND SIDEWALK SHALL BE 5 FEET.
5. VEHICULAR TRAFFIC SHALL BE KEPT OFF NEW CONCRETE FOR A MINIMUM OF 7 DAYS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
6. WHITE PIGMENTED CURING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES IMMEDIATELY AFTER FINISHING.
7. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
8. WHEEL CUT EXISTING ASPHALT PAVEMENT AT INTERSECTION CORNERS.
9. CARE SHALL BE TAKEN TO NOT DISTURB OR DAMAGE ANY UTILITIES, DRAINAGE TO ANY EXISTING STREET FACILITIES OR UTILITIES SHALL BE REPAIRED PRIOR TO CONTINUING OTHER WORK.
10. NO-PAINTING SIGNS AND STOP SIGNS AT DELIVERY EXITS SHALL BE INCLUDED IN THE PROJECT WORK.
11. SEE MESA COUNTY SPECIFICATIONS FOR QUALITY CONTROL TESTS REQUIREMENTS.
12. AS-CONSTRUCTED HYDRATION AND QUALITY CONTROL TESTS RESULTS SHALL BE SUBMITTED TO MESA COUNTY AS A REQUIREMENT FOR FINAL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS.



ARMSTRONG CONSULTANTS, INC.
 841 First Avenue
 Grand Junction, Colorado 81501
 (970) 243-0101

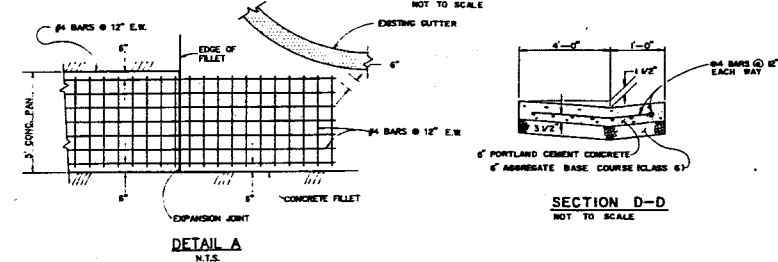
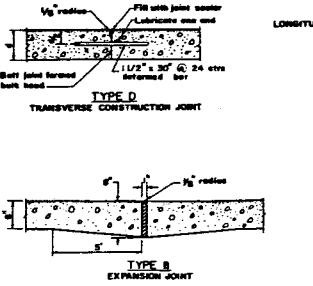
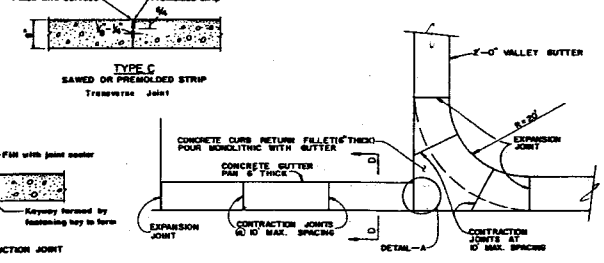
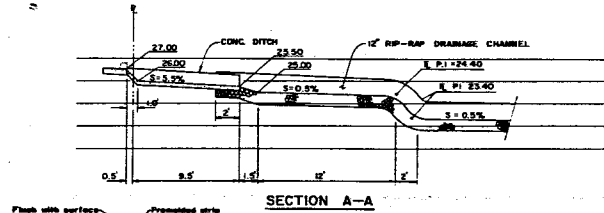
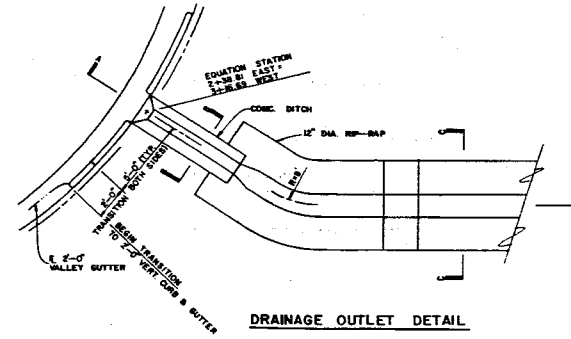
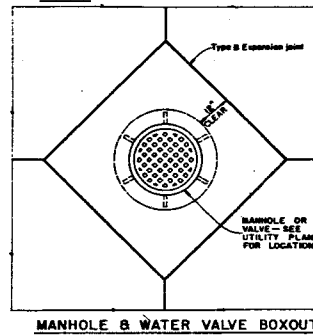
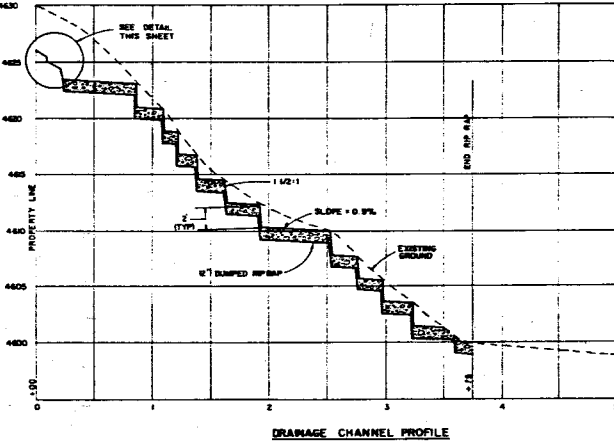
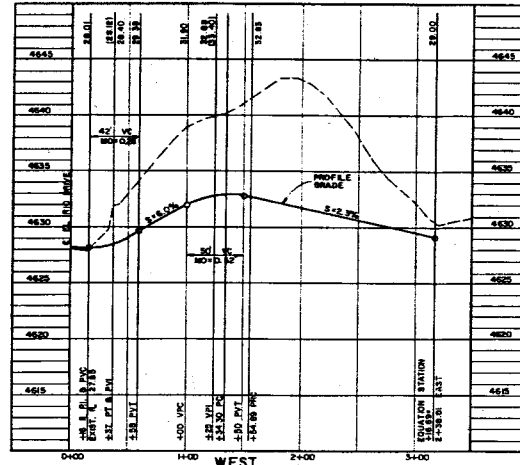
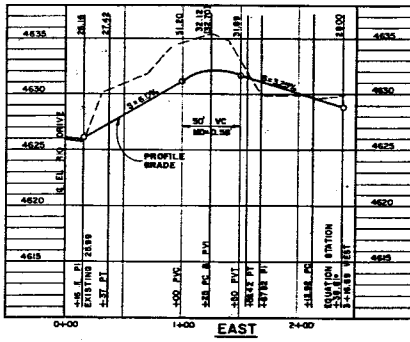
Engineers
 Planners
 Surveyors
 Soil Testing
 Metal Testing
 Geotechnical
 Engineers

EL RIO VILLAS
 MESA COUNTY, COLORADO

Project No. 900504
 Date 04/16/99
 Designer J. SMITH
 Checker T. LOHME
 Approver

ROADWAY PLAN

Sheet 4 of 7



ARMSTRONG CONSULTANTS, INC.

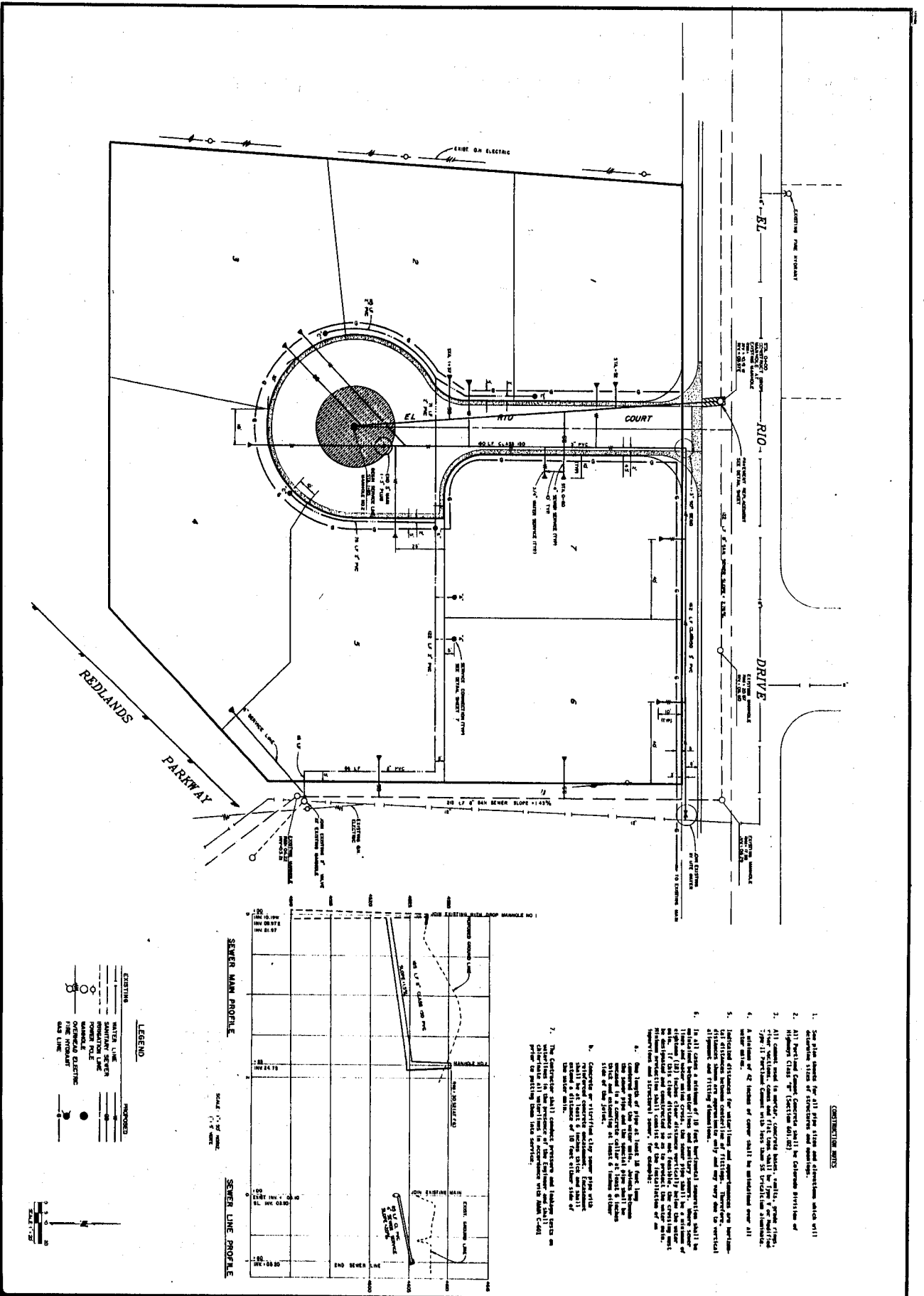
Engineers
Planners
Surveyors
Soil Testing
Material Testing
Geotechnical
Estimators

EL RIO VILLAS
MESA COUNTY, COLORADO

Project No. 905304
Date: JUNE, 1990
Drawn: D. ERTZ
Checked: T. LOGUE
Approved:

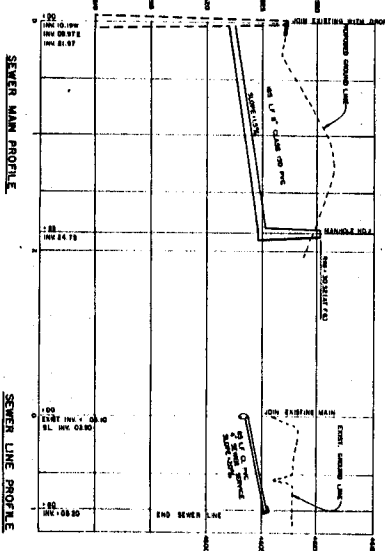
ROADWAY PROFILE & DETAILS

Sheet 5 of 7



CONSTRUCTION NOTES

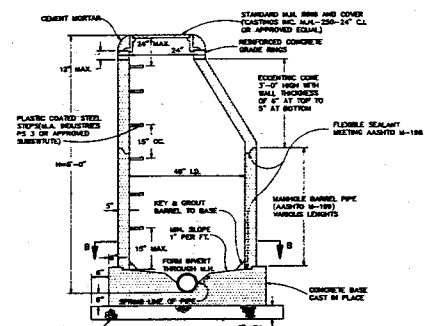
- See plan sheets for all pipe sizes and dimensions which will determine sizes of structures and manholes.
- All Portland Cement Concrete shall be minimum strength of Minimum Class "C" (Section 01102).
- All concrete used in water, concrete block, walls, grade slabs, and other structures shall be minimum strength of Minimum Class "C" (Section 01102).
- A minimum of 42 inches of cover shall be maintained over all water mains.
- Indicated distances for utility lines and appurtenances are vertical distances shown on appropriate utility and appurtenance sheets and fitting dimensions.
- In all cases a minimum of 18 inch horizontal separation shall be maintained between water and sewer lines. The sewer pipe shall be a minimum of 18 inches from the water line. If this clear distance is not feasible, the water main shall be encased in a concrete collar at least 6 inches thick and 18 inches high. The water main shall be encased in a concrete collar at least 6 inches thick and 18 inches high. The water main shall be encased in a concrete collar at least 6 inches thick and 18 inches high.
- The contractor shall conduct pre-construction and location surveys as required in the project of the Engineer and shall provide the results thereof to the Engineer.



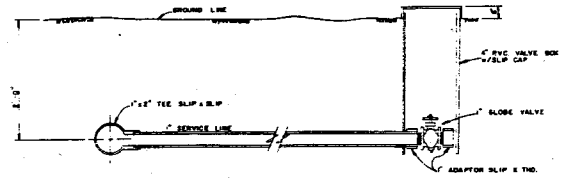
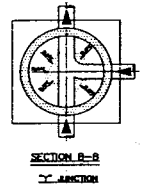
LEGEND

EXISTING	PROPOSED
Water Line	Water Line
Sanitary Sewer	Sanitary Sewer
Storm Sewer	Storm Sewer
Gas Line	Gas Line
Electric Line	Electric Line
Fire Hydrant	Fire Hydrant
Manhole	Manhole
Valve	Valve
Appurtenance	Appurtenance

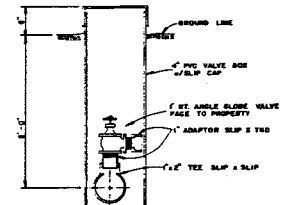
Project No. 00000 Date: 08/11/90 Scale: 1" = 10'	Design: A. SMITH Checker: K. HOLEN Engineer: K. HOLEN	EL RIO VILLAS MESA COUNTY, COLORADO	ARMSTRONG CONSULTANTS, INC. 801 Ross Avenue Grand Junction, Colorado 81501 (303) 242-0101	
Sheet 6 of 7	UTILITY PLAN			



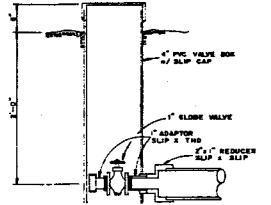
STANDARD MANHOLE



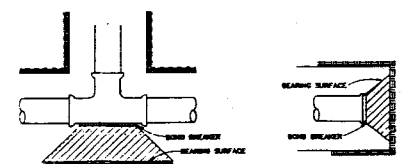
TYPE "A" IRRIGATION SERVICE DETAIL



TYPE "B" IRRIGATION SERVICE DETAIL

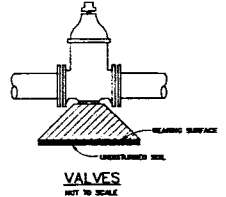


TYPE "C" IRRIGATION SERVICE DETAIL



TEE DETAIL

DEAD END DETAIL



VALVES

TABLE FOR CONCRETE THRUST BLOCKING BEARING AREAS (IN SQ. FT.)

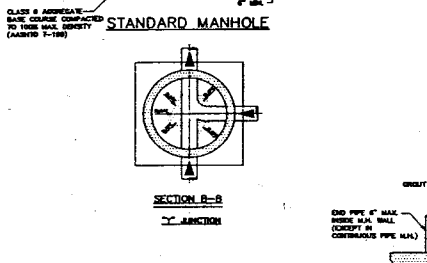
SIZE	BENDS					TEE, DEAD END AND CROSS (PER END BRANCHES)	
	90°	45°	22 1/2°	1 1/4°	1 1/4°	90°	45°
3	1.0	0.6	0.3	0	0	6.3	1.3
4	1.8	1.0	0.5	0	0	2.8	0
5	4.0	2.3	1.1	0	0	2.8	0
6	7.1	3.8	2.0	1.0	0	3.0	0
8	11.1	6.0	3.0	1.5	0	7.8	0
12	18.0	8.8	4.4	2.2	0	11.3	0
14	21.7	11.8	6.0	3.0	0	18.1	0
15	23.0	12.8	7.0	3.5	0	17.8	0
18	28.1	15.2	8.0	4.0	0	26.8	0
19	30.0	16.4	10.0	5.0	0	25.5	0
20	44.2	24.0	12.0	6.1	0	31.4	0
21	49.0	26.0	13.0	6.8	0	34.8	0
22	54.0	28.0	14.0	7.4	0	38.0	0
24	64.0	34.0	17.0	8.8	0	45.0	0
30	100.0	54.0	27.0	13.8	0	71.0	0
36	144.0	78.0	40.0	20.0	0	102.0	0

NOTE: 1/2" SIZE IS BRANCH SIZE.

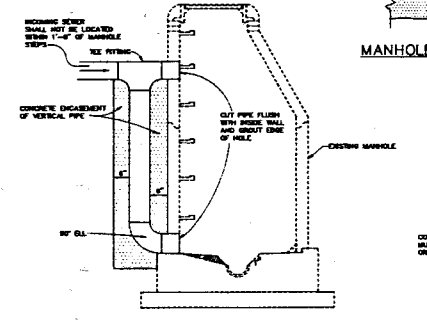
AREAS SHOWN IN TABLE ARE BASED UPON INTERNAL STATIC PRESSURE OF 100 P.S.I. AND A SOIL BEARING CAPACITY OF 1,000 P.S.F. FOR SO. FT.

BEARING AREAS FOR ANY PRESSURE AND SOIL BEARING CAPACITY MAY BE OBTAINED BY MULTIPLYING TABLED VALUES BY A CORRECTION FACTOR "X".

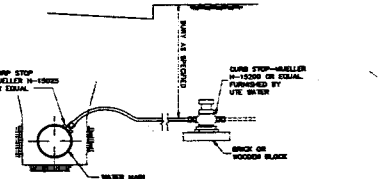
SOIL BEARING CAPACITIES SHALL BE DETERMINED BY THE ENGINEER.



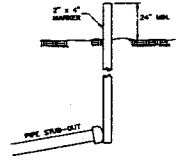
MANHOLE ENTRANCE DETAIL



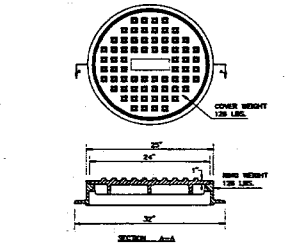
DROP MANHOLE



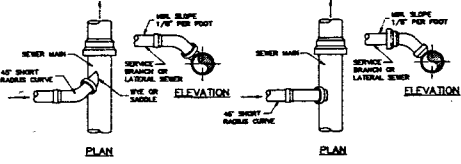
TYPICAL SERVICE CONNECTION



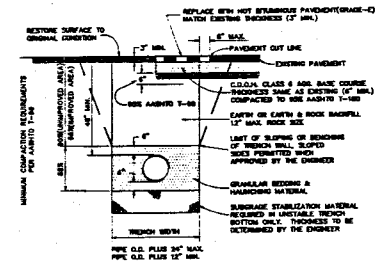
SERVICE MARKER



STANDARD CAST IRON MANHOLE RING AND COVER



SERVICE CONNECTIONS

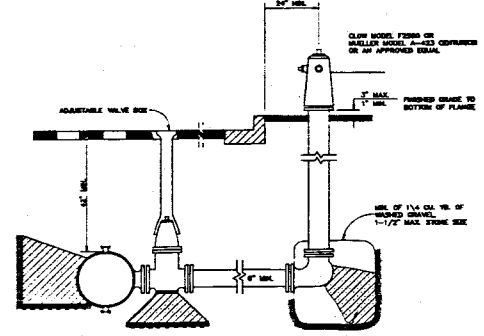


TYPICAL TRENCH DETAIL FOR ALL UNDERGROUND CONDUIT

PERCENT BY WEIGHT PASSING SIEVE MESH SIZES

SIEVE SIZE	PIPE BEDDING & HANDING MATERIAL (CONCRETE OR ROCK)	GRAVELLAR STABILIZER MATERIAL (CONCRETE OR SLAGGED ROCK)
1 INCH	100	100
3/4 INCH	80-100	100
3/8 INCH	20-30	100
NO. 4	0-10	100
NO. 10	0-10	100
NO. 20	0-10	100

ALL MANHOLE MATERIAL SHALL BE PLACED FULL WIDTH IN 12" MAX LIFTS AND COMPACTED TO THE MBL RELATIVE DENSITY SHOWN



TYPICAL FIRE HYDRANT DETAIL

ALL METAL PIPE, VALVES, FITTINGS & APPURTENANCES SHALL BE WARMED WITH POLYURETHANE MATERIAL PRIOR TO BACKFILLING.

WARRANTY DEEP HOLES SHALL NOT BE COVERED WITH CONCRETE.

ARMSTRONG CONSULTANTS, INC.

1111 North Lincoln, Colorado 81501
(303) 242-0101

Engineers
Planners
Surveyors
Soil Testing
Material Testing
General Inspection, Colorado 81501
Geotechnical Engineering

EL RIO VILLAS
MESA COUNTY, COLORADO

Project No: 905304
Date: JUNE, 1990
Drawn By: D. ERTZ
Checked By: T. LOUHE

UTILITY DETAILS

Comments:

RIVER ROAD AUTO SALVAGE YARD
February 28, 1990


From: City Utilities

Additional comment is made on this proposal that has nothing to do with sewer availability.

As we clean up the "riverfront" in the downtown area, the types of businesses that we are moving out of the downtown riverfront are moving down river to other locations along other riverfront locations.

Is this type of business in a riverfront location consistent with broad community goals of cleaning up riverfront and trails projects? Is County zoning in these areas consistent with these goals?

Should the Riverfront Commission comment on these types of proposals?

Greg Trainor 

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 3-15-90 MCC Hearing Date: _____

File Number: C8-90

Project Name: River Road Auto Salvage Yard

Phase: Conditional Use Permit

Common Location: River Road at 23 1/4 Rd.

Representative

Engineer - Name: Eva Smp Muniz

Address: 1929 20 Road Grand Jct, CO

Phone: 245-0804

Petitioner - Name: Calvin C. Cook

Address: 3030 Walnut Ave.

Grand Jct, CO 81504

Phone: 434-3285

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)		
		Yes	No
<u>City Utilities</u>	Is proposal within service area?	<u>X</u>	_____
	Existing services adequate?	_____	_____
	Connection to services required?	<u>X</u>	_____
	Easements required?	_____	<u>X</u>
	Relocation necessary?	_____	_____
	Improvements agreement adequate?	_____	_____
	As-builts required for release?	<u>X</u>	_____
Financing required for extensions?	_____	_____	

Impact on capacity or supply: _____

Other concerns and specific requirements:

1. Sewer is available in River Road; however, this is an interceptor line. Consequently, no taps will be allowed directly into the interceptor. A new manhole may need to be installed or an 8" line run into an existing manhole. No dead end lines are allowed without manholes at the end of the line. It's conceivable that one 8" line could serve this lot and the adjacent lot to the east.
2. A Power of Attorney for annexation will be required prior to issuance of a sewer clearance.

+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS+++

Reviewing Office: Public Works and Utilities

Reviewed by: Bill Cheney

Date: 2-27-90

FAILURE TO OBJECT OR COMMENT BY 3-27-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.

**RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT**

MAR 23 1990

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

****PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.**

MCPC Hearing Date: 4-19-90 MCC Hearing Date: _____
 File Number: C16-90
 Project Name: Devrics Gravel Pit
 Phase: Conditional Use Permi!
 Common Location: 31 1/2 Road line + C 1/2 Road line

Engineer - Name: Armstrong Consultants, Inc. Attn: Tom Logue
 Address: 861 Road Ave.
 Phone: 242-0101

Petitioner - Name: Parkerson Construction Co., Inc.
 Address: 710 15th Street
Grand Junction, Co 81501
 Phone: 242-8134

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	Yes		No	
		Yes	No	Yes	No
<u>MJ Planning</u>	Is proposal within service area?	_____	_____	_____	_____
	Existing services adequate?	_____	_____	_____	_____
	Connection to services required?	_____	_____	_____	_____
	Easements required?	_____	_____	_____	_____
	Relocation necessary?	_____	_____	_____	_____
	Improvements agreement adequate?	_____	_____	_____	_____
	As-builts required for release?	_____	_____	_____	_____
Financing required for extensions?	_____	_____	_____	_____	

Impact on capacity or supply: _____

Other concerns and specific requirements: _____

CONDITIONAL USE APPLICATION
FOR
DEVRIES GRAVEL PIT
MESA COUNTY, COLORADO
FEBRUARY, 1990

Prepared For:

Parkerson Construction Co. Inc.
710 15th Street
Grand Junction, CO 81501
(303) 242-8134

325A

Prepared By:

Armstrong Consultants, Inc.
861 Rood Avenue
Grand Junction, CO 81501
(303) 242-0101
ACI Project #905283

TABLE OF CONTENTS

<u>TITLE</u>	<u>PAGE</u>
SECTION I - SUMMARY	I-1
SECTION II - SITE ANALYSIS	
Location	II-1
Existing Land Use	II-1
Surrounding Land Use	II-1
Access	II-1
Soils and Geology	II-2
Wildlife	II-2
Water Resources	II-2
Vegetation	II-2
SECTION III - PROPOSED LAND USE	
Mining Area	III-1
Crusher	III-1
Haul Road	III-2
Staging Area	III-2
Phasing	III-2
Reclamation	III-3
SECTION IV - EVALUATION OF CONDITIONAL USE REQUEST	IV-1
DRAWINGS	
Site Analysis Map	
Mining Plan Map	
Reclamation Plan - 2 sheets	

SECTION I
SUMMARY

The proposal calls for the extraction and processing of gravel and overburden from an 85.5 acre site located south of the Colorado River and 1/2 mile west of 32 Road. The proposal also includes a parcel of land which is currently being mined under existing County and State permits.

Upon review of the accompanying maps and project narrative it is apparent that the request meets or exceeds the "Criteria for Evaluation Conditional Uses" found within Chapter 10 of the Mesa County Land Use Code. The applicant's response to each of the seven criteria follows:

10.2.1. A The proposal is compatible with adjacent uses due to the following factors:

1. Located in an established gravel extraction area.
2. Located in a rural setting with few residences located nearby.
3. Dust control measures to be taken by the operator.
4. The mining plan will maintain a natural barrier along the river to control noise and visual impacts.
5. The proposed reclamation plan will return the site to its existing use, which is compatible with those that surround the proposal.

10.2.1.B The following design features have been incorporated as part of the proposal.

1. Utilization of a single paved private haul route to C Road.
2. Restricting major gravel hauling activities to only eastbound on C Road from the site's access road.
3. Maintaining a buffer along the Colorado River.
4. Maintaining 150 foot setbacks from adjoining land uses. Except the west boundary which adjoins an existing gravel pit.
5. Planting of trees along the south boundary of the property to serve as screening.

10.2.1.C The proposal does not require a great number of accessory uses for mineral extraction and processing. However, the accessory uses which are required as part of the mining activities are proposed to be located in an area within the property which isolates them from adjoining properties.

10.2.1.D As is the case with most gravel operations, this proposal does not require many public services. Irrigation water for the proposed reclaimed use exists in sufficient quantities to farm the property as it has been in the past.

10.2.1.E Any type of construction activity occurring in Mesa County will be complimentary to and supportive of a gravel mining operation. Without a dependable and affordable source of a natural resource such as gravel, construction of public and commercial facilities such as roadways and buildings will be difficult for the public to obtain.

10.2.1.F Provisions established by the Mined Land Reclamation Division of the Colorado Dept. of Natural Resources insure proper maintenance and performance of operations of gravel pits.

10.2.1.G Mesa County has 30 Land Use policies. This request is directly affected by 4 policies which include:

- Policy 17 - Agricultural Policy
- Policy 19 - Environmental Resources and Hazards Policy
- Policy 22 - 32 Road Corridor Policy
- Policy 29 - Mineral Extraction Policy

An evaluation of each of the above listed policies in relationship to the request follows:

Policy 17, Agricultural Policy. The subject site is currently being utilized as an agricultural use, as are those in the surrounding area. The proposal respects those productive agricultural lands by not interfering with delivery of irrigation water to surrounding agricultural uses. Agricultural practices will continue on the site while phased mining occurs. When mining is complete, the property will be returned to its historic use as agricultural.

Policy 19 - Environmental Resources and Hazards Policy - The site of the proposed mining operation lies about 100 feet above the Colorado River. The Colorado River has been identified as both a natural resource and a natural hazard area by Mesa County. The mining proposal does not affect the Colorado River. The proposal calls for extraction of the resource to a level about 30 feet lower than now exists. Lowering of the site should increase the stability of the existing bluff above the river by reducing overburden, thereby reducing the potential of, possible slope failure.

Policy 22 - 32 Road Corridor Policy - Mesa County's policy statement identifies 32 Road at C Road as a major arterial within the corridor and recognizes gravel production in this area. The site affords easy access to this major arterial roadway.

Policy 29 - Mineral Extraction Policy - The site of the proposed gravel operation is not located within an area of special importance as outlined within Policy 29. The adopted Mineral Resources Survey for Mesa County, developed by the Colorado Geologic Survey, designates the proposed site as having commercially valuable mineral resource deposits. Policy 29 recognizes mineral resources as essential to the economy of Mesa County.

SECTION II
SITE ANALYSIS

Location

The site of the proposed gravel operation consists of 85.5 acres located on a bluff along the south bank of the Colorado River approximately $\frac{1}{2}$ mile west of 32 Road (State Hwy. 141). C Road lies $\frac{1}{2}$ mile south of the site location. The property is located in part of government lots 4, 5, and 6 in the north $\frac{1}{2}$ of Section 22 Township 1 South, Range 1 East, Ute Meridian.

Existing Land Use

Gravel extraction and processing is presently occurring on about 8 acres of the property. The balance of the site is being utilized in irrigated agricultural production. Two single-family residences are near the northeast property corner.

The subject property is currently zoned AFT by Mesa County and carries a Conditional Use Permit on approximately 8 acres for gravel extraction and processing.

Surrounding Land Use

A survey of land located in the vicinity of the property reveals several land uses. The most obvious land use is irrigated agricultural land. Other uses include a retail produce outlet at 32 Road and C Road and an abandoned gravel operation adjoining the subject property near the northwest property boundary. The Colorado River dominates the land use north of the subject property. Gravel operations existing in the surrounding area are typically located along the river, including the following:

<u>NAME</u>	<u>LOCATION</u>	<u>STATUS</u>
Corn Lake	NW Colorado River & 32 Road	Completed
Mesa Co. Pit	NE 32 Road & C $\frac{1}{2}$ Road	Open
32 Road Pit	SE 32 Road & C $\frac{1}{2}$ Road	Open
The Price Pit	31 Road N. of Colorado River	Completed
The Siddle Pit	30 to 31 Road North of Colorado River	

Access

Access to the property is from C Road which is paved and presently classified as a rural local road by Mesa County. An existing 20' wide paved private access drive provides access between the property and "C" Road. 32 Road, State Highway 141, classified by Mesa County as a

principal arterial is located $\frac{1}{2}$ mile east of the subject property. 32 Road affords excellent access to Interstate 70 which crosses east/west over the northerly portions of the Grand Valley and U.S. Highway 50, a major arterial which serves as primary access across the Southern portions of Mesa County.

According to Mesa County personnel, the measured count for C Road was 458 average vehicle trips per day in 1989. The Colorado State Highway Department estimates that 2900 average vehicle trips per day occurred on 32 Road north of Hwy. 50, and 10,500 average vehicle trips per day occurred south of I-70B.

Soils and Geology

No natural or manmade geologic hazards are known to exist in the area of the subject property. Due to the site's average elevation being almost 100 feet above the Colorado River, effects of flooding on the property are non-existent.

The Soil Conservation Service has identified two soil classifications within the property boundary. Location of the soil classification boundaries can be found on the accompanying Site Analysis Map. The two SCS soil classifications on the site are Rr, Rough Broken Land, and Hb, Hinman Clay Loam.

The Rr type land occupies very steep escarpments along the south bank of the Colorado River. These soil materials are 10 to 20 feet deep over the Mancos shale. Sand, gravel, cobbles and stones 6 to 15 feet thick can be found immediately over the shale. Due to the steep slopes within this soil unit, limitations are classified as severe.

About 90% of the total site area is classified as Hb soil type. No severe limitations exist for this land. This soil type generally ranges in depths of 60 to 90 inches. In depths below 90 inches, layers of gravel and cobblestones are common. These may vary from a few feet to 10 to 15 feet in thickness. The limey subsoils are sufficiently permeable for root penetration and provide adequate underdrainage.

Wildlife

The Colorado Division of Wildlife has determined that the impact on wildlife from gravel extraction will be negligible.

Water Resources

Other than a small irrigation water supply pond, the site does not have any surface or ground water present due to the low water table. The subject property is not prone to flooding from adjoining properties. A small draw originates off the property to the southwest and flows northeasterly across the northwest corner of the property to the river. This draw is almost 70 feet below the average elevation of the property.

Vegetation

The site is made up of flat land associated with agricultural production. Other than the nearly vertical slope along the Colorado River, the average slope is 1.0% and site elevations range from 4710 at its highest point to 4610 at the elevation of the river.

The predominate vegetation found on the property is grazing-type grasses. The land is also suitable for crop production. Natural vegetation can be found in and around the draw area near the northwest property corner. Vegetative ground cover approaches 100% of the total site area. Several mature cottonwood trees are also located in the vicinity of the draw. Approximately 27 new sapling cottonwood trees exist along the western half of the south boundary line.

SECTION III
PROPOSED LAND USE

The proposed land use is for long term gravel and overburden extraction and processing. The accompanying Mining Plan Map illustrates the location and phasing of the primary mining activities in relationship to the surrounding area.

Based on preliminary investigations, it is estimated the site will yield about 3.1 million cubic yards of material. It is anticipated that 2.5 million cubic yards of the total will be gravel. The operation will be limited to weekdays between the hours of 6:00 AM and 6:00 PM and from 7:00 AM to 12:00 PM on Saturdays. Except in the event of an emergency arising during the time when the pit is closed i.e. water main breaks. The pit will be closed on Sundays and major holidays. Operation of the pit will occur year around. The majority of the extracted material will be used by the permitted operator. However, the soil and processed gravel material will be marketed to other construction companies in the area who require the resource found on the site. Total life of the pit is dependent upon the community's future gravel and soil fill needs. It is estimated that the total mining activity including reclamation will last for approximately 27 years.

Mining Area - Most of the 85.5 acres has been identified as a soil and gravel source. However, due to topographic constraints and the need for adequate buffering between the site and adjoining land uses, 67.3 acres will be mined. Prior to actual gravel extraction in any given mining phase, the topsoil will be removed and stockpiled for future use during the reclamation efforts. Mining will begin on the surface within the existing permitted mining area and proceed south and east across the identified mining area. See the Mining Plan Map for the mining phases.

Material will be removed to a depth of about 30 feet from the existing ground surface, utilizing front-end loaders.

The excavated gravel will be fed directly to the crusher. After crushing, the material will be segregated and stockpiled according to size. Water from an existing pond will be utilized to control dust from extraction and crushing processes.

Crusher - Most of the excavated gravel resource will be crushed and stockpiled according to size. Maximum production for crushing is approximately 3000 ton per day.

Water will be utilized constantly during the crushing operation to control dust.

Crushing operations will be intermittent throughout the year depending upon product demand. The crusher will be relocated from time to time as extraction proceeds across the mining area. In all cases, the crusher will be located at the elevation of the pit floor within the mining phase area.

Haul Road - The Mining Plan Map indicates the alignment of the paved haul road. The 1900 foot long private haul road affords access to C Road. The pit operator will limit his primary hauling along C Road to be only in an easterly direction to 32 Road. Limited hauling by others, on an occasional basis, will occur westerly along C Road. Given the maximum production which can occur, coupled with available trucks which the operator owns or leases, it is estimated that a maximum of 150 loads per day will utilize the haul route.

All types of trucks will be utilized for hauling, from pick-up trucks to 10 yard dump trucks with a 15 ton capacity and belly dump trucks having a capacity of 25 tons.

Since the haul route is paved, additional dust control measures will not be required on the haul route.

Staging Area - Once extraction of gravel is completed in Phase I, this area will serve as a staging area during the life of the mining operation. The staging area in Phase I will allow for the establishment of other uses ancillary to the mining and processing operations including:

1. Parking area for workers
2. Portable office
3. Equipment storage and maintenance
4. Tool storage
5. Portable toilet facilities

Phasing - Mining will occur in phases as identified on the accompanying Mining Plan Map. An outline of mining procedure follows:

- Step 1 - Complete gravel extraction and processing within existing mining area. (Phase I)
- Step 2 - Remove and stockpile topsoil and overburden from Phase II area.
- Step 3 - Extract and process gravel in Phase II.
- Step 4 - Begin reclamation of Phase II by grading site and placing topsoil stockpiled from Phase I and II, and overburden removed from Phase III.
- Step 5 - Remove and process gravel in Phase III.
- Step 6 - Finish reclamation of Phase II and begin reclamation of Phase III by grading site and placing topsoil stockpiled from Phase II, and overburden removed from Phase IV.
- Step 7 - Remove and process gravel from Phase IV.
- Step 8 - Finish reclamation of Phase III and begin reclamation of Phase IV by grading site and placing topsoil stockpiled from Phase III, and overburden from Phase V.
- Step 9 - Remove and process gravel from Phase V.

Step 10 - Finish reclamation of Phase IV and begin reclamation of Phase V by grading site and placing topsoil stockpiled from Phase IV and overburden from Phase VI.

Step 11 - Remove and process gravel from Phase VI (Assumes powerlines have been relocated).

Step 12 - Finish reclamation of Phase V, VI & I.

Reclamation - As the accompanying Reclamation Plan Maps indicate, reclamation of the disturbed areas of the site includes re-establishment of the original land use as agricultural production. In areas of cuts slopes, they will be graded and shaped to a final slope not to exceed a ratio of 3 horizontal to 1 vertical.

The entire disturbed area will be covered with salvaged overburden to a depth of 18 to 24 inches. 8" to 12" of stockpiled topsoil will be placed on top of the overburden.

Since a dependable source of irrigation water is available, a new irrigation water delivery system will be constructed as part of the reclamation process. Once the irrigation water delivery system is operational, the site will be planted with a grazing-type vegetation or feeder crops utilizing conventional farming methods.

The 3:1 cut slopes are too steep to afford good farming practices. Therefore, they will be seeded in accordance with Soil Conservation Service recommendations which include drilling selected species into a firm seedbed at a depth of 1/4" to 3/4" and crimping a straw mulch with a straight disc at a rate of 4000 lbs per acre.

The following is the S.C.S. recommendation for revegetation of the cut slopes.

<u>VARIETY</u>	<u>SPECIES</u>	<u>#PLS/AC.</u>	<u>AC.</u>	<u>TOTAL #PLS</u>
Ephraim	Crested Wheatgrass	4	8.1	32.4
Jose	Tall Wheatgrass	11	8.1	89.1
	Yellow Sweet Clover	1	8.1	8.1

Yellow sweet clover from the above will be seeded on an annual basis on all topsoil and overburden stockpiles.

Cottonwood trees will be planted approximately 30 feet apart along the south property line between the west property line and the row of existing trees. These 1½" to 2" caliper trees will be planted during 1990.

SECTION III
EVALUATION OF CONDITIONAL USE REQUEST

Evaluation of the proposed processing area is accomplished by using the Specific Criteria Matrix included in the Mesa County Land Development Code. The following reprinted matrix has been highlighted to indicate appropriate criteria for sand and gravel pits.

SPECIFIC OR CONDITIONAL USE										INDICATES APPLICABLE CRITERIA								
SAND & GRAVEL PITS	RECREATIONAL CAMPGROUNDS	QUARRIES/MINING	CIRCUIT & STORAGE WIRING	SANITARY LANDFILL	JUNK YARDS	SHOOTING RANGES	RAIL TRACKS/DUMP STAIRS	REHABILITATION CENTERS-LAW ENFORCEMENT	AIRBORNS		POLICE STATION, FIRE STATION & FACILITIES FOR ELECTRIC, GAS, TELEPHONE, WATER OR SEWER SERVICE	BUS & R.R. DEPOTS	PRODUCE STAND	RESTAURANTS/CAFETERIAS, CATERING, RETAIL & OTHER COMMERCIAL SERVICES	BALL PARKS, RECREATION HALLS	MUSEUMS, ART CENTERS, LIBRARIES	BOARDING SCHOOLS	CHURCHES, SCHOOLS, VO-TECH SCHOOLS,	CRITERIA
																		DOES THE LOCATION OF THE USE BENEFIT EXISTING FACILITIES?
																		ARE APPROPRIATE SECURITY MEASURES PROPOSED?
																		IS THE LOCATION OF THE USE APPROPRIATE TO THE CLASSIFICATION OF THE STREET OR ROAD ON WHICH IT IS LOCATED?
																		DOES THE PROPOSED USE MAKE PROVISION FOR REGULAR PERIODIC PEAK USAGES?
																		COULD THERE BE ADVERSE IMPACTS ON NATURAL RESOURCE AND WILDLIFE HABITAT AREAS AND CAN THESE IMPACTS BE MITIGATED?
																		DO SAFETY CONSIDERATIONS REQUIRE SPECIAL FENCING AND SIGNAGE?
																		IS THERE A MULTIPLE USE CAPACITY AND HOW MIGHT IT BE UTILIZED?
																		WILL THE PROPOSED USE CAUSE UNUSUAL DAMAGE OR CONGESTION ON STREETS AND ROADS AND HOW MAY THIS BE MITIGATED?
																		ARE PREVAILING WIND FACTORS SUCH AS TO CAUSE ADVERSE IMPACTS FROM THE PROPOSED LOCATION OF THE USE?
																		ARE SOIL AND GEOLOGIC SUITABILITY ADEQUATE?
																		IS THERE A FEASIBILITY OF RECYCLING WASTE PRODUCTS?
																		IS PROPOSED RECLAMATION OF THE LOCATION AND EFFECTS OF THE USE ADEQUATE AND WHAT ARE THE LIMITATIONS OF FUTURE USES ON THE RECLAIMED LAND?
																		ARE ACCUMULATIONS OF UNUSABLE UNRECYCLABLE MATERIALS PROPERLY DISPOSED OF?
																		IS THERE A NEED FOR THE FACILITY ON A COMMUNITY WIDE BASIS?
																		HAVE WATER RETENTION AREAS AND MOSQUITO/PEST CONTROL BEEN ADEQUATELY ADDRESSED?

Could there be adverse impacts on natural resources and wildlife habitat areas and can the impacts be mitigated? Other than gravel extraction, no other natural resources are known to exist in the area of the proposal. The Colorado Division of Wildlife has determined the impact to wildlife will be negligible.

Do safety considerations require special fencing and signage? Due to the topographic constraints which exist and limited access by the general public, no additional fencing or signage would be required.

Will the proposed use cause unusual damage or congestion on streets and roads and how may this be mitigated? Given the existing volume of traffic and the proposed increase, existing County and State roads have the necessary available capacity for additional traffic. Mitigation of any damage to existing roadways should be offset by special use taxes paid by the operator in the form of ton mile taxes, fuel tax, licenses, and excises taxes on parts.

Are prevailing wind factors such as to cause adverse impacts from the proposed location of the use? Occasional wind can create factors which are undesirable. Dust from hauling will be non-existent due to utilization of a paved haul road. Water will be on site at all times to be used for controlling dust generated from crushing and mining activities and will be used on an as-needed basis.

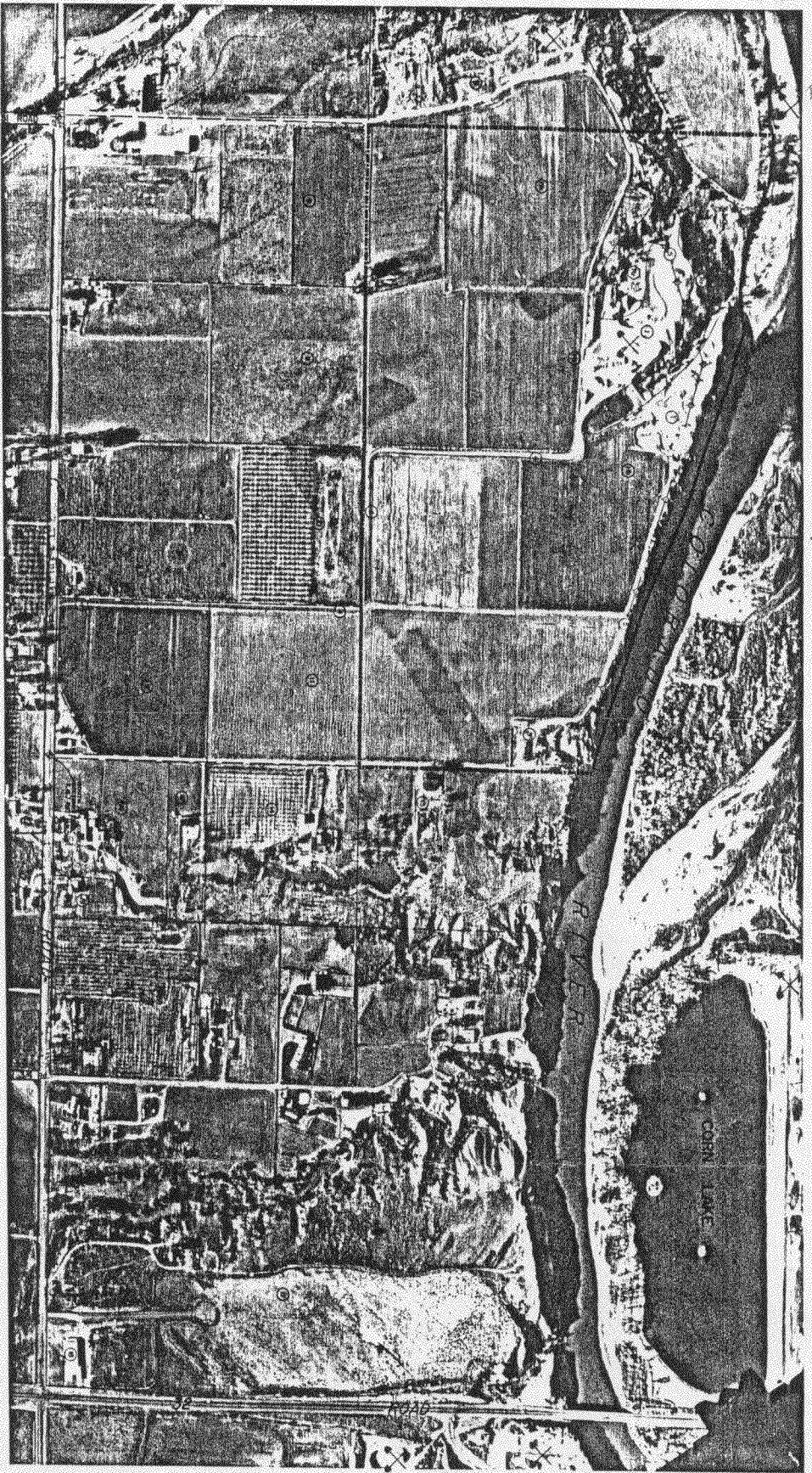
Are soil and geologic suitability adequate? Soils records in conjunction with actual on-site investigation of the site indicate that the proposed site would be suitable for gravel extraction.

Is there a feasibility of recycling waste products? The gravel extraction operation will not generate waste products.

Is proposed reclamation of the location and effects of the use adequate and what are the limitations of future uses on the reclaimed land? The proposed reclamation effort does not include any changes to occur from the existing land use. The existing and proposed land use is agricultural.

Are accumulations of unusable and non-recycable materials properly disposed of? The proposed use does not include any accumulations of unusable materials.

Have water retention areas and mosquito/pest control been adequately addressed? The final grading configuration will eliminate ponding of water within the pit area. The site is not subject to ground water influences. Extraction will be done in a manner which controls storm water run-off. The mining and reclamation will not increase run-off flows from the site.



LD. NO.	AREA IN ACRES	VACANT LAND	GRAZING LAND	ORCHARD LAND	CROP LAND	SINGLE FAMILY	NON-RESIDENTIAL USE	PUBLIC LAND	LAND USE ZONE	COMMENTS	SEPARATING LAND USE
1	1.00										
2	1.00										
3	1.00										
4	1.00										
5	1.00										
6	1.00										
7	1.00										
8	1.00										
9	1.00										
10	1.00										

ARMSTRONG CONSULTANTS, INC.
 1000 WEST 10TH AVENUE
 DENVER, CO 80202
 PHONE: 303.733.1111
 FAX: 303.733.1112
 WWW: www.armstrongconsultants.com

SITE ANALYSIS AND TOP
 DEVERIES GRAVEL PIT
 FIGURE 1000000
 LAND USE 1:00 NUMBER
 SOIL CLASS 1:5
 EXISTING GRAVEL PIT





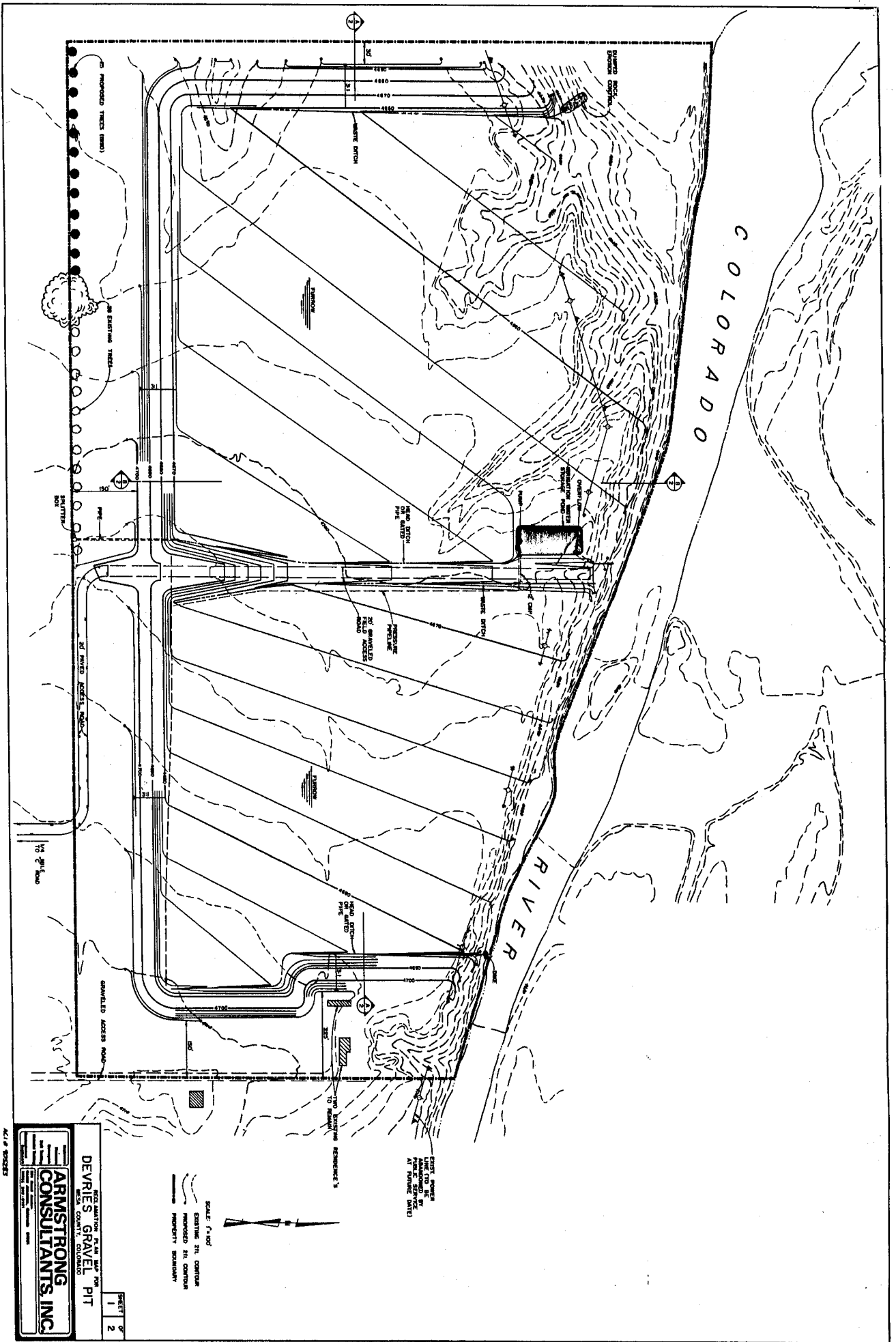
MINING SUMMARY

PHASE NO.	AREA IN ACRES	ANTICIPATED COMPLETION YEAR
PHASE I (EXISTING)	7.5	1981
PHASE II	14.3	1982
PHASE III	11.6	2002
PHASE IV	18.2	2012
PHASE V	11.1	2015
PHASE VI	2.2	2015
TOTAL DISTRIBUTION AREA	62.7	
NO. OF MINES	224	
TOTAL SILL AREA	60.5	

■ PROPERTY BOUNDARY
 ■ MAIL ROUTE
 ◆ UTILITY POLE

SCALE: 1:200

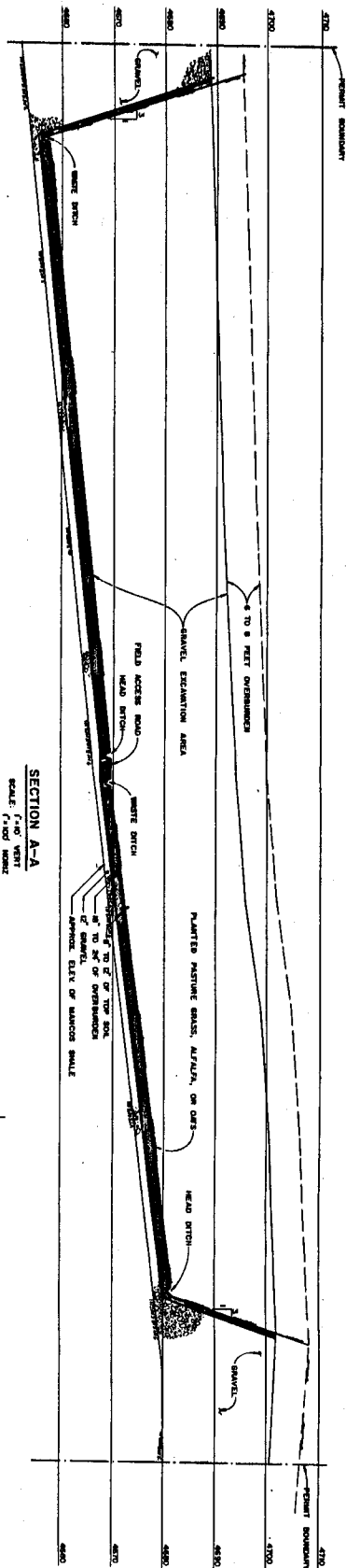
DEVLIE'S GRAVEL PIT
 ARMSTRONG CONSULTANTS, INC.
 1000 WEST 10TH AVENUE
 DENVER, COLORADO 80202
 PHONE: 303.733.1100
 FAX: 303.733.1101
 WWW.ARMSTRONGCONSULTANTS.COM



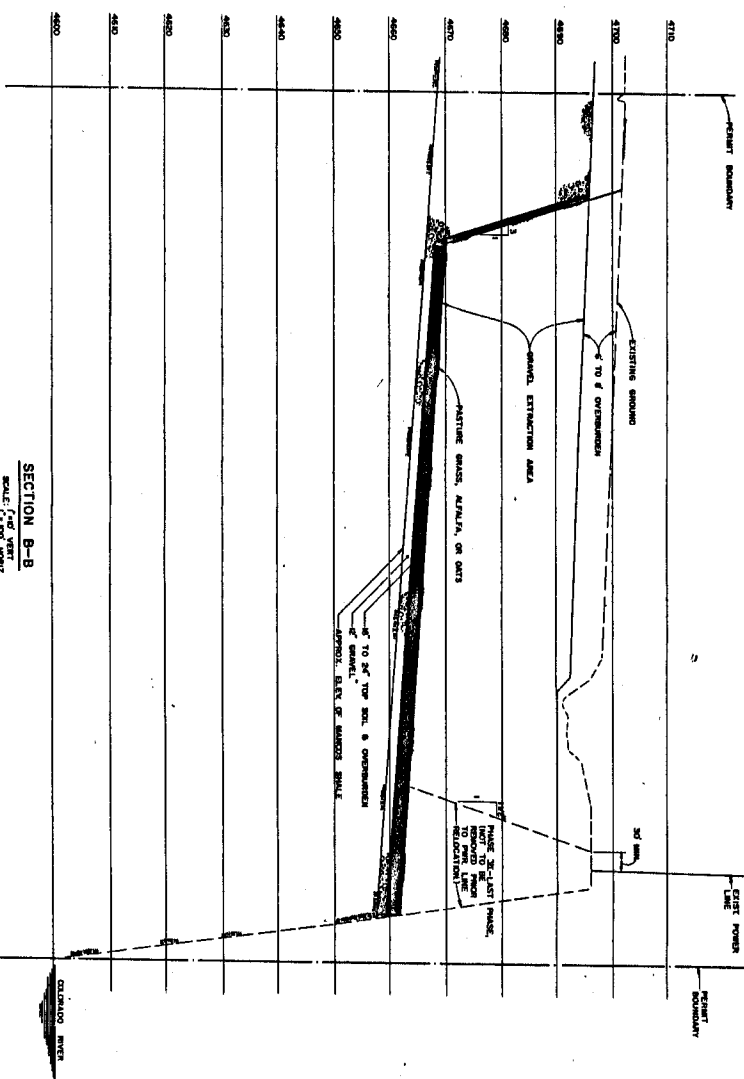
REGISTRATION PLAN MAP FOR
DEVRIES GRAVEL PIT
 WELD COUNTY, COLORADO
ARMSTRONG CONSULTANTS, INC.
 1750 EAST 17TH AVENUE, SUITE 100
 DENVER, COLORADO 80202
 PHONE: 352-7700
 FAX: 352-7700
 DATE: NOVEMBER 1988
 SHEET 1 OF 2

SCALE: 1" = 40' FEET
 --- EXISTING 24" CONDUIT
 --- PROPOSED 24" CONDUIT
 --- PROPERTY BOUNDARY

THESE NOTES
 APPLY TO THE
 GRAVEL SERVICE
 AT SOURCE STATE

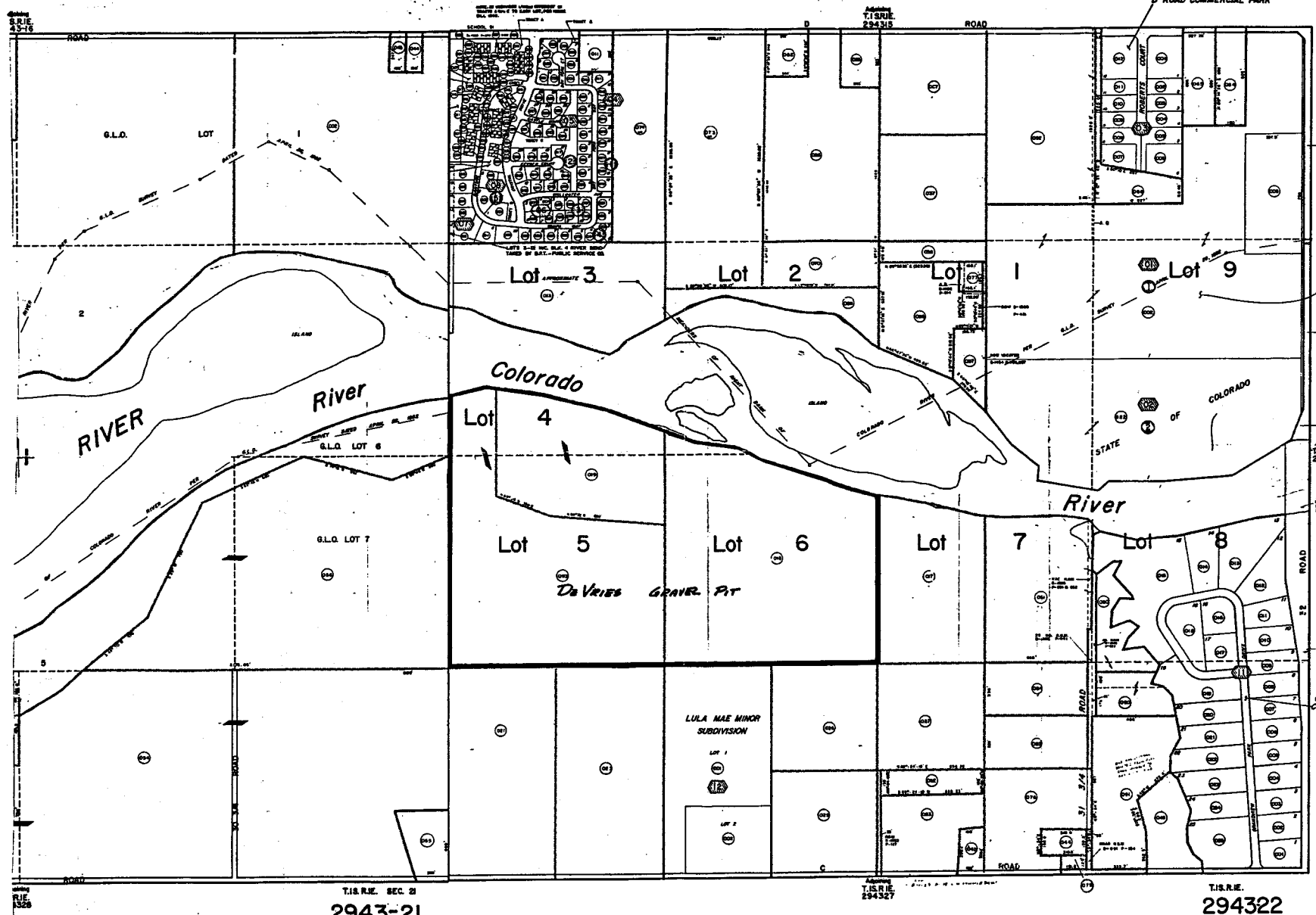


SECTION A-A
SCALE: 1" = 10' VERT
SCALE: 1" = 100' HORIZ



SECTION B-B
SCALE: 1" = 10' VERT
SCALE: 1" = 100' HORIZ

RECLAIMATION PLAN DEVRIES GRAVEL PIT WELLS COUNTY, COLORADO	
	ARMSTRONG CONSULTANTS, INC.
SHEET 2 OF 2	



T18 R1E SEC 21
2943-21

T18 R1E
294322

MESA COUNTY REVIEW SHEET

Mesa County Planning Department
P.O. Box 20,000-5022
Grand Junction, Colo 81502-5022

The attached application has been sent to your office for your review and comments.

**PLEASE RETURN YOUR COMMENTS BY ONE WEEK BEFORE THE MCPC HEARING DATE BELOW.

MCPC Hearing Date: 4-19-90 MCC Hearing Date: _____
File Number: C17-90
Project Name: Patterson Parkwest Subdivision
Phase: minor Subdivision - P. B. zone
Common Location: Northwest corner of 25th & Roads
Representative
Engineer - Name: Bob Emrich
Address: 2499 Hwy 6 + 50
Phone: 243-0456

Petitioner - Name: S.D. LaShelle
Address: 7706 East San Miguel
Scottdale AZ 85253
Phone: (602) 947-6212

REVIEW AGENCY	REVIEW AGENCY COMMENTS (PLEASE TYPE)	Yes	No
<u>S.D. Sewer</u>	In proposal within service area?	<u>X</u>	_____
	Existing services adequate?	<u>X</u>	_____
	Connection to services required?	<u>X</u>	_____
	Easements required?	_____	<u>X</u>
	Relocation necessary?	_____	<u>X</u>
	Improvements agreement adequate?	<u>X</u>	_____
	As-built's required for release?	<u>N/A</u>	_____
	Financing required for extensions?	<u>N/A</u>	_____

Impact on capacity or supply:

Other concerns and specific requirements:

In 8" PVC sewer line has been stubbed across Patterson to serve this area. It will be necessary to install a manhole at the end of this line to accommodate future extensions and provide a line for service connections. Installation costs shall be borne by the developer. Construction plans will need to be approved by the City prior to installation. As-Constructed plans to aid the developer are available at City Hall.

There is a pay-back to a developer for \$1050 if the line is connected to the line in 25 Road as is shown. It is the City's recommendation that the applicant hook into the sewer stub provided on Patterson.

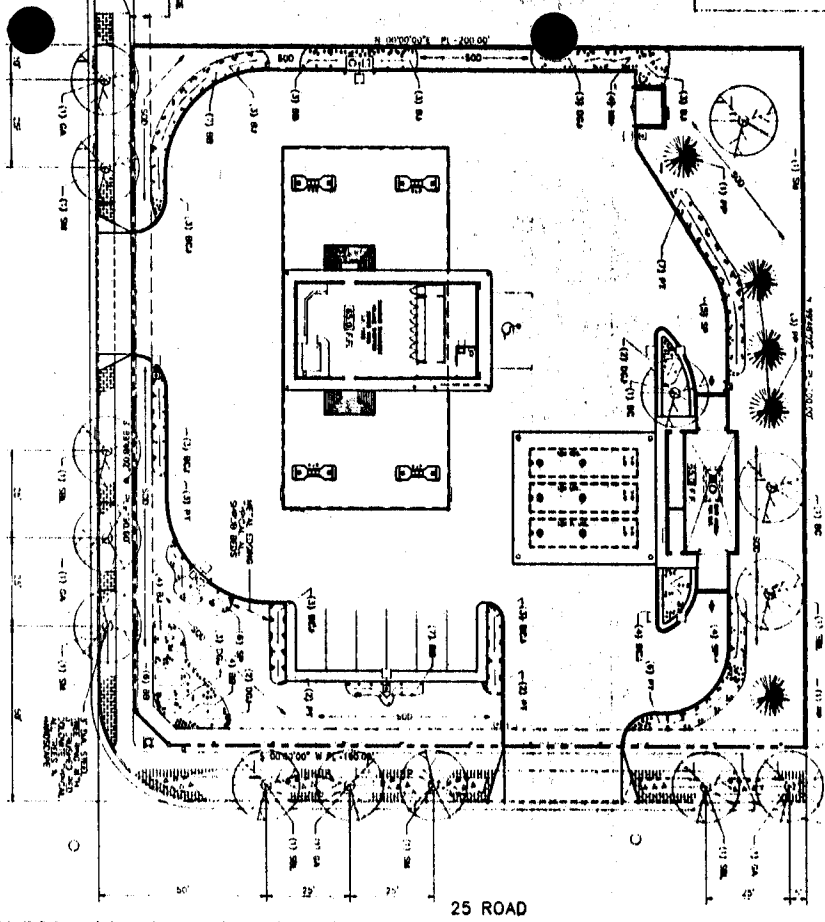
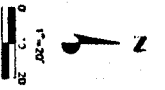
+++PLEASE REFER TO "GUIDELINES FOR REVIEW AGENCY COMMENTS" FOR SPECIFICS+++

Reviewing Office: Public Works

Reviewed by: Bill Cheney

Date: 2-24-90

FAILURE TO OBJECT OR COMMENT BY 5-9-90 SHALL CONSTITUTE APPROVAL BY YOUR OFFICE.



PLANT SCHEDULE

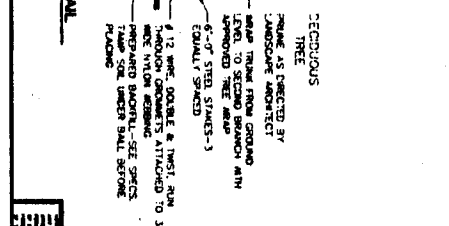
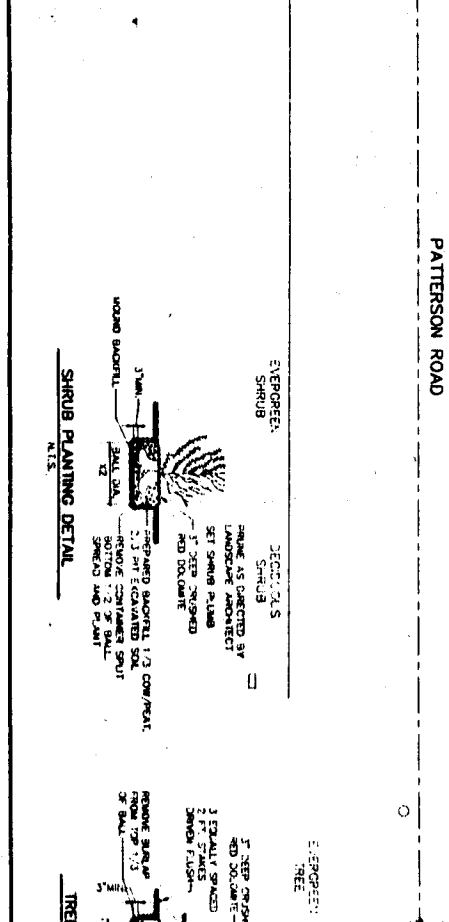
NO.	SYMBOL	PLANT NAME	QUANTITY	SIZE	REMARKS
1	(Symbol)	... ..	4	1 1/2"	...
2	(Symbol)	... ..	4	1 1/2"	...
3	(Symbol)	... ..	4	1 1/2"	...
4	(Symbol)	... ..	4	1 1/2"	...
5	(Symbol)	... ..	2	1 1/2"	...
6	(Symbol)	... ..	2	1 1/2"	...
7	(Symbol)	... ..	4	3 GAL.	...
8	(Symbol)	... ..	4	3 GAL.	...
9	(Symbol)	... ..	13	3 GAL.	...
10	(Symbol)	... ..	5	6 1/2"	...
11	(Symbol)	... ..	10	5 GAL.	...
12	(Symbol)	... ..	10	5 GAL.	...

- LEGEND**
- REBARLESS SOIL
 - 4" NEAR EMBEDDED
 - ADJUSTABLE CONCRETE
 - 3" WIDE STAIRS
 - 1 1/2" CHISELED AND DOULANTE
 - SHRUB
 - EXPANDED POLYSTYRENE
 - DECIDUOUS TREE



NOTES

1. THE CONTRACTOR IS TO VERIFY FIELD CONDITIONS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR IS TO MAINTAIN ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE BY THE CONTRACTOR'S OPERATIONS.
3. THE CONTRACTOR IS TO MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND TO BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED BY HIS OPERATIONS.
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DIAMOND SHAMROCK
 LANDSCAPE PLAN
 25 ROAD & PATTERSON ROAD
 WITH EXISTING CONDITIONS
 PREPARED BY: [Signature]
 DATE: [Date]

2945-1
TIS R.W.

Adjoining
TIS R.W.
2701-33

THIS MAP WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THE ACCURACY OF THE INFORMATION THEREON IS GUARANTEED BY ME TO THE EXTENT PERMITTED BY LAW.

MESA COUNTY RECORDING DEPARTMENT
RECORDS OF SUBDIVISIONS DATE 12-22-83
REVISOR

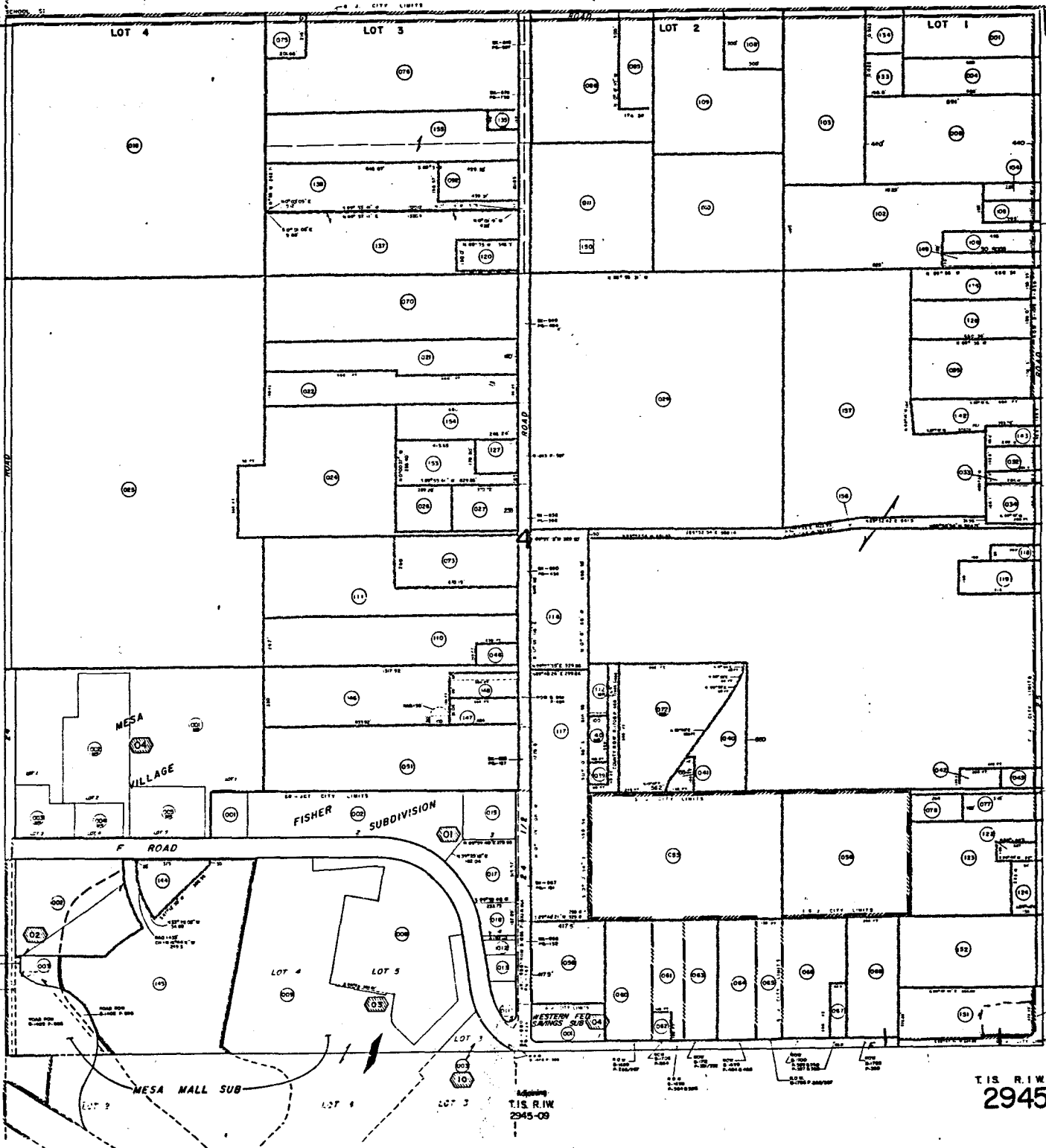
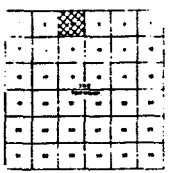
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Adjoining
TIS R.W.
2945-05

SCALE = 1" = 200'



Adjoining
TIS R.W.
2945-03

TIS R.W. SEC. 4
2945-04

Adjoining
TIS R.W.
2945-09

