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File 1991-0042

Name: Eastgate Village Townhomes - Elm & 28 ¼ Prelim-Final

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
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X	X	Table of Contents
X	X	Review Sheet Summary
		Application form
		Review Sheets
		Receipts for fees paid for anything
		*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map.
		Evidence of title, deeds, easements
X	X	*Mailing list to adjacent property owners
		Public notice cards
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		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
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X	X	*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

		THIS PROJECT WAS DENIED	X		Declaration of Covenant Conditions and Restrictons of Eastgate Village - not signed
X	X	Development Application - 5/31/91	X		Policy of Title Ins.
			X		Public Notice of Posting - 6/19/91
X		Treasurer's Certificate of Taxes Due - 5/29/91	X		Legal Ad - 6/25/91
X	X	Drainage Report - 5/30/91	X	X	Planning Commission Meeting Agenda - **
X	X	Impact Statement	X	X	Planning Commission Minutes - 7/9/91 - **
X	X	Subdivision Summary Form	X		Legal Ad
X	X	Correspondence	X		Development Improvements Agrmt - Filing 3- 5/27/92
X	X	Letter from Edward M. Morris, Lincoln DeVore, Inc. to Dorrsey Builders re: subsurface soils report - 6/5/91	X	X	Action Sheet
X		Utilities Composite	X	X	Site Plan
X	X	Typical Lot Landscaping	X	X	Final Plat
X		Drainage and Grading Plan	X	X	Action Request
		Road planX	X		Notice of Public Hearing

A



Receipt # _____
Date Rec. _____
Received By _____

#42 01

DEVELOPMENT APPLICATION

We, the undersigned, Being the owners of property situated in Mesa County, State of Colorado, as described on the attached legal description form do hereby petition this:

Do not remove From Office

Type of Petition	Sq.Ft	Phase	Common Location	Zone	Type of Usage
<input type="radio"/> Subdivision Plat/Plan		<input type="radio"/> Minor <input type="radio"/> Major			
<input type="radio"/> Rezone				Frm <input type="checkbox"/> To <input type="checkbox"/>	
<input checked="" type="radio"/> Planned Development		<input type="radio"/> ODP <input checked="" type="radio"/> Prelim <input type="radio"/> Final	South of Elm Ave & West of 28 1/2	PR	Residential
<input type="radio"/> Conditional Use					
<input type="radio"/> Hwy-Oriented Development				H.O.	
<input type="radio"/> Text Amendment					
<input type="radio"/> Special Use					
<input type="radio"/> Vacation					<input type="radio"/> Right-of-way <input type="radio"/> Easement

PROPERTY OWNER
 DEVELOPER
 REPRESENTATIVE

<input checked="" type="radio"/> Bob Dorsey & Glen Hickey	<input checked="" type="radio"/> Bob Dorsey	<input checked="" type="radio"/> Daniel K. Brown
Name	Name	Name
<input checked="" type="radio"/> 2706 H. Rd.	<input checked="" type="radio"/> 2706 H. Rd.	<input checked="" type="radio"/> 2743 1/2 Cheyenne Dr.
Address	Address	Address
<input checked="" type="radio"/> Grand Jct. Co. 81506	<input checked="" type="radio"/> Grand Jct. Co.	<input checked="" type="radio"/> Grand Jct., CO.
City/State	City/State	City/State
<input checked="" type="radio"/> 242-2300	<input checked="" type="radio"/> 242-2300	<input checked="" type="radio"/> 241-2370
Business Phone #	Business Phone #	Business Phone #

Note: Legal property owner is owner of record on date of submittal.



WE HEREBY ACKNOWLEDGE THAT WE HAVE FAMILIARIZED OURSELVES WITH THE RULES AND REGULATIONS WITH RESPECT TO THE PREPARATION OF THIS SUBMITTAL, THAT THE FOREGOING INFORMATION IS TRUE & COMPLETE TO THE BEST OF OUR KNOWLEDGE, AND THAT WE ASSUME THE RESPONSIBILITY TO MONITOR THE STATUS OF THE APPLICATION AND THE REVIEW SHEET COMMENTS. WE RECOGNIZE THAT WE OURSELVES, OR OUR REPRESENTATIVE(S) MUST BE PRESENT AT ALL HEARINGS. IN THE EVENT THAT THE PETITIONER IS NOT REPRESENTED, THE ITEM WILL BE DROPPED FROM THE AGENDA, AND AN ADDITIONAL FEE CHARGED TO COVER RE-SCHEDULING EXPENSES BEFORE IT CAN AGAIN BE PLACED ON THE AGENDA



Daniel K. Brown May 31, 1991
 Signature of person completing application Date

Robert A. Dorsey Glen Hickey By Robert A. Dorsey P.O.A.
 Signature of property owner(s) - attach additional sheets if necessary

Secretary of Veterans Affa
P.O. Box 25126
Denver CO 80225

Elmer J. Herberton
P.O.Box 7202
Colorado Spgs. CO 80933

Robert G. Lucas
2000 N. 8th
Grand Jct. CO 81501

H.B. Haine Corp.
7300 N. Kendall Suite 550
Miami, Florida 33156

John R. Clark
721 25 1/2 Road
Grand Jct. CO 81505

Phyllis Eddy
527 28 1/4 Road
Grand Jct. CO 81501

Gayle A Michels
519 28 1/4 Road
Grand Jct. CO 81501

Mesa United Bank C/O
Avtax Inc.
P.O.Box 2798
Littleton CO 80161

Victor W. Perino
606 Viewpoint Dr.
Grand Jct. CO 81506

Marvel B. West
517 28 1/4 Road
Grand Jct. CO 81501

Debra E. Fleming
2234 N.Regent Cr.
Grand Jct. CO 81503

Laura J. Roller
P.O.Box 482
Gunnison CO 81530

Fred C. Gulliford
730 Ute Ave.
Grand Jct. CO 81501

Helen M. Warren
2815 Patterson Road
Grand Jct. CO 81501

Orren J. Fenton
3196 Nathan Ave.
Grand Jct. CO 81504

Scott Amos
0758-296 Road
Rifle CO 81650

Leo Warren
2815 Patterson Road
Grand Jct. CO 81501

Howard E. Chester
2814 Elm Ave.
Grand Jct. CO 81501

Damba Corp N.V. C/O
Bray Property Management
1015 N.7TH St.
Grand Jct. CO 81501

Lavica E. Holloway
P.O.Box 448
Canon City CO 81212

James H. Piatt
P.O.Box 416
Gypsum CO 81637

Nina B. West
508 Court Road
Grand Jct. CO 81501

Omega Investments
518 28 Road Suite B-100
Grand Jct. CO 81501

William M. Kenney
547 1/2 30 Road
Grand Jct. CO 81504

Hubert Miracle
510 Court Road
Grand Jct. CO 81501

Mark D. Bailey
2822 Elm Ave.
Grand Jct. CO 81501

Mesa United Bank of Grand Jct
2808 North Ave.
Grand Jct. CO 81501

DRAINAGE REPORT

EASTGATE VILLAGE TOWNHOMES - FILINGS 2 & 3

May 30, 1991

SUMMARY

This drainage report has been prepared for the Eastgate Village Townhomes development. The study encompasses both Filing 2, which as of this date is being submitted as a final plat, and Filing 3, which is being submitted as a preliminary plan. The development proposes 33 townhomes on 4.6 acres and is located just north of the Eastgate shopping center. This area is raw land and is surrounded by development.

HISTORIC DRAINAGE

The ground slopes gently to the south with a slight westerly gradient. A natural drainage ditch lies along the south border of the property. This drainage is picked up in the southwest corner by a 3' diameter drain tile owned and maintained by the Grand Junction Drainage District. Elm Avenue borders the property on the north side.

Historic drainage for a 10 yr storm is calculated as follows:

$$Q = cIA \text{ where } c = 0.30 \text{ \& } I = 2.5 \text{ with a time of concentration of 9.2 minutes}$$
$$Q = 0.30 \times 2.5 \times 4.6 = 3.5 \text{ cfs}$$

DEVELOPED DRAINAGE

The proposed development of townhomes is land intensive and adds a significant percentage of impervious area. This area is calculated, including streets, as being nearly 50% of the total area.

$$\begin{aligned} \text{Impervious area} &= 2.24 \text{ acres} & c &= 0.90 \\ \text{Pervious area} &= 2.36 \text{ acres} & c &= 0.30 \end{aligned}$$

$$\begin{aligned} Q &= 0.90 \times 2.5 \times 2.24 = 5.0 \text{ cfs} & \text{impervious area} \\ Q &= 0.30 \times 2.5 \times 2.36 = 1.8 \text{ cfs} & \text{pervious area} \end{aligned}$$

$$\begin{array}{r} \text{-----} \\ \text{Total drainage} &= 6.8 \text{ cfs} & \text{for a 10 year storm} \end{array}$$

$$\text{The increase due to development} = 3.3 \text{ cfs}$$

DEVELOPED DRAINAGE PLANNING

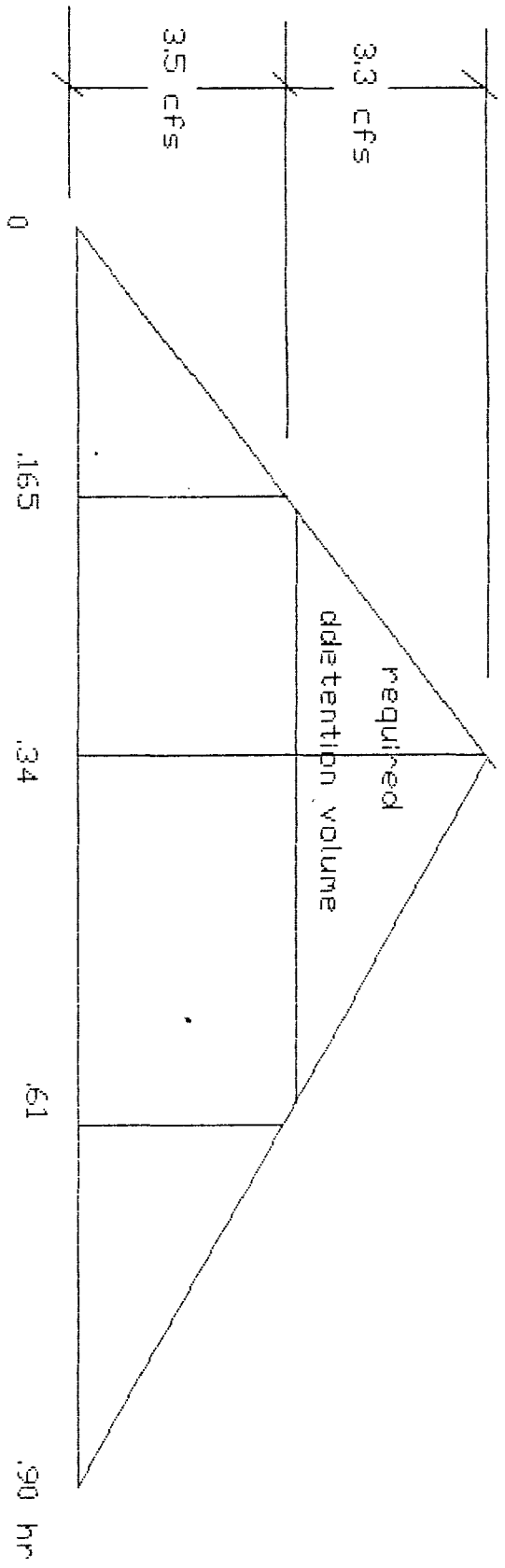
It is proposed that all lots will be graded to slope to the street (Eastgate Court) and the natural fall of the street will conduct storm waters to the cul-de-sac at the south end of the street to be picked up by a catch basin. The historic drainage of 3.5 cfs will be conducted directly to the Grand Junction Drainage District drain ditch. Storm waters in excess of the 3.5 cfs will be diverted into the detention pond for later release. The detention pond will have a capacity of 2600 cubic ft (see attached detention calculations).

DETENTION CALCULATIONS

$Q = 6.8 \text{ cfs} \quad T_c = 9.2 \text{ min.} \quad D = .5 \text{ hr.}$

$T_p = D/2 + .6T_c = .25 + .6(.15) = .34 \text{ hr}$

$T_b = 2.67 \times T_p = 2.67 \times .34 = .90 \text{ hr}$



Detention volume = $(3.3 \times .437) / 2 \times 3600 = 2600 \text{ cubic ft}$

Freeform detention pond 2' deep

IMPACT STATEMENT / PROJECT NARRATIVE

The idea to construct EASTGATE VILLAGE TOWNHOMES FILING 2 and in the future to proceed with EASTGATE VILLAGE TOWNHOMES FILING 3 stemmed from the past success of the petitioner in building and marketing quality townhomes in the Grand Junction area in the recent past. The satisfaction of taking a piece of barren ground that only generates dust at the present time and transforming it into a neighborhood of trees, green grass, and attractive housing is not only rewarding to the developer, but is basic to the enhancement of our community and attracting the kind of citizens that will make Grand Junction the model of cities in Colorado in the fast approaching new millennium.

EASTGATE VILLAGE TOWNHOMES FILING 2 is a proposed 11 lot Townhome Subdivision located south of Elm Street and West of 28 1/4 Road. It is situated South and is a continuation of EASTGATE VILLAGE TOWNHOMES FILING 1, which is currently under construction. The project will be close to Eastgate Shopping Center and Two Blocks North of North Avenue.

The concept is to develop the townhomes at a rate that is determined by the marketability of the townhomes themselves. This concept will prevent the over-building syndrome of tract homes where no one is there to maintain the yards and preserve the beauty of the landscaping. As outlined in the DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF EASTGATE VILLAGE, to be recorded with the final plat of Filing 2, great care is taken to insure full cooperation of all future owners to preserve the integrity of the neighborhood.

The area impacted would include Elm Street, 28 1/4 Road, and North Ave. All traffic to and from this project would access off of Elm Street through a proposed new cul-de-sac as shown on plat named Eastgate Court. Parking for 2 automobiles will be provided within the perimeter of each lot.

This project is compatible with the surrounding area.

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C

SUBDIVISION SUMMARY FORM

City of Grand Junction

TYPE OF SUBMISSION

Preliminary Plan X
Final Plat/Plan X

Subdivision Name: Eastgate Village Townhomes Filing 2

Location of Subdivision: TOWNSHIP 1S RANGE 1E SECTION 7 1/4 SW

Type of Subdivision	Number of Dwelling Units	Area (Acres)	% of Total Area
() SINGLE FAMILY	<u> 11 </u>	<u> 0.38 </u>	<u> 34% </u>
() APARTMENTS	<u> </u>	<u> </u>	<u> </u>
() CONDOMINIUMS	<u> </u>	<u> </u>	<u> </u>
() MOBILE HOME	<u> </u>	<u> </u>	<u> </u>
() COMMERCIAL	<u> N.A. </u>	<u> </u>	<u> </u>
() INDUSTRIAL	<u> N.A. </u>	<u> </u>	<u> </u>

Street	<u> 0.22 </u>	<u> 34% </u>
Walkways	<u> 0.09 </u>	<u> 8% </u>

Dedicated School Sites	<u> </u>	<u> </u>
Reserved School Sites	<u> </u>	<u> </u>
Dedicated Park Sites	<u> </u>	<u> </u>
Reserved Park Sites	<u> </u>	<u> </u>
Private Open Areas	<u> </u>	<u> </u>
Easements	<u> 0.21 </u>	<u> 20% </u>
Other (specify)	<u> </u>	<u> </u>

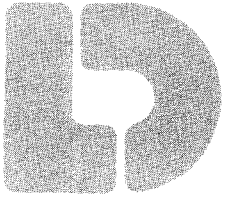
Estimated Water Requirements 5500 domestic & lawns gallons/day.

Proposed Water Source City of Grand Junction

Estimated Sewage Disposal Requirement 3000 gallons/day.

Proposed Means of Sewage Disposal City of Grand Junction

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Lincoln DeVore, Inc.
Geotechnical Consultants
1441 Motor St.
Grand Junction, CO 81505
(303) 242-8968

June 3, 1991

Planning Department
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

Re: Subsurface Soils Investigation in progress
Dorsey Builders

To whom it may concern:

Personnel of Lincoln-DeVore are currently finalizing a Subsurface Soils Investigation for Mr. Bob Dorsey of Dorsey Builders. Due to an unforeseen mechanical failure of a piece of equipment necessary to complete the job, we were unable to meet Mr. Dorsey's deadline. The final report will be available as soon as possible and will be delivered to Mr. Dorsey.

We apologize for any inconvenience that this has caused the parties involved. Please feel free to contact this office if you have any concerns or questions.

Respectfully submitted,

LINCOLN DeVORE, Inc.

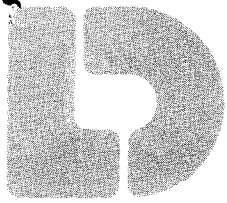
By: C. Michael Best
C. Michael Best
Engineering Technician

rdl

xc: LD Colorado Springs

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#42 91



Lincoln DeVore, Inc.
Geotechnical Consultants
1441 Motor St.
Grand Junction, CO 81505
(303) 242-8968

June 5, 1991

DORSSEY BUILDERS
2708 H Road
Grand Junction, CO 81506

Attn: Mr. Bob Dorssey

Re: Subsurface Soils Exploration
Eastgate Plaza, Grand Junction, CO
Update original SSE LD #29433-J(J-658)

Dear Mr. Dorssey

PROJECT DESCRIPTION

This report presents the results of our geotechnical evaluation performed to determine the general subsurface conditions of the site applicable to construction of single family and small, multifamily residential structures. This study was performed in order to confirm the subsurface soils conditions described in a Subsurface Soils Exploration performed by Lincoln-DeVore in August, 1979. A vicinity map is included in the Appendix of this report.

The characteristics of the subsurface materials encountered were evaluated with regard to the type of construction described above. Recommendations are included herein to match the described construction to the soil characteristics found. The information contained herein may or may not be valid for other purposes. If the proposed site use is changed or types of construction proposed, other than noted herein, Lincoln DeVore should be contacted to determine if the information in this report can be used for the new construction without further field evaluations.

PROJECT SCOPE

The purpose of our exploration was to evaluate the surface and subsurface soil and geologic conditions of the site and, based on the conditions encountered, to provide recommendations pertaining to the geotechnical aspects of the site development as previously described. The conclusions and recommendations included herein are based on an analysis of the data obtained from our field explorations of August 1979 and June 3, 1991, the laboratory testing programs, and on our experience with similiar soil and geologic conditions in the area. The latest testing program concentrated on the potential Metastable Properties of the alluvial soils encountered on this site.

DORSSEY BUILDERS
Eastgate Plaza
June 5, 1991
Page 2

The scope of our geotechnical exploration consisted of a surface reconnaissance, a geophoto study, subsurface exploration, obtaining representative samples, laboratory testing, analysis of field and laboratory data, and a review of geologic literature and previous subsurface soils data in the vicinity of this project.

Specifically, the intent of this study is to:

1. Explore the subsurface conditions to the depth expected to be influenced by the proposed construction and compare these results with the previous Subsurface Soils Exploration performed on this site.
2. Evaluate by laboratory and field tests the general engineering properties of the various strata which could influence the development and determine if these soils may exhibit Metastable Properties.
3. Develop any additional geotechnical criteria for site grading and earthwork based on enhanced data.
4. Identify potential construction difficulties and provide recommendations concerning these problems.
5. Recommend an appropriate foundation system for the anticipated structures and develop criteria for foundation design.

FIELD EXPLORATION AND LABORATORY TESTING

A field evaluation was performed on June 3, 1991, and consisted of a site reconnaissance by our geotechnical personnel and the drilling of 4 exploration borings. These 4, shallow exploration borings were drilled within the proposed buildings near the locations indicated on the Boring Location Plan. The shallow exploration borings were located to obtain a reasonably good profile of the subsurface soil conditions. All exploration borings were advanced using a CME 45-B, truck mounted drill rig with continuous flight auger to depths of approximately 8 feet.

Samples were taken with a California lined split spoon sampler and thin wall Shelby tubes. Logs describing the subsurface conditions are presented in the attached figures.

DORSSEY BUILDERS
Eastgate Plaza
June 5, 1991
Page 3

Laboratory tests were performed on representative soil samples to determine their relative engineering properties. Tests were performed in accordance with test methods of the American Society for Testing and Materials or other accepted standards. The results of our laboratory tests are included in this report. The in-place moisture content and the standard penetration test values are presented on the attached drilling logs.

FINDINGS

The soils on this site consist of a series of silty clay and sandy clay soils which are a product of mud flow/debris flow features which originate on the south-facing slopes of the Bookcliffs. These mud flow/debris flow features are a small part of a very extensive mud flow/debris flow complex along the base of the Bookcliffs and extending to the Colorado River. Utilizing recent events and standard evaluation techniques, this tract is not considered to be within with an active debris flow hazard area. The surface soils are an erosional product of the upper Mancos Shale and the Mount Garfield Formations which are exposed on the slopes of the Bookcliffs. The soils contained within these mud flow/debris flow features normally exhibit a metastable condition which can range from very slight to severe. Metastable soil is subject to internal collapse and is very sensitive to changes in the soil moisture content. Based on the field and laboratory testing of the soils on this site, the severity of the metastable soils can be described as slight.

This soil type was classified as a Silt and Silty Clay Mixture (CL-ML) under the Unified Classification System. The Standard Penetration Tests ranged from 16 blows per foot to 30 blows per foot for relatively dry soils. Penetration tests of this magnitude indicate that the soil has a high dry strength. The moisture content varied from 5% to 21.1%, indicating a variable soil moisture condition. This soil is of low plasticity and is sensitive to changes in moisture content. With decreased moisture, it will tend to shrink, with some cracking upon dessication. Upon increasing moisture, it will tend to expand. Expansion tests were performed on typical samples of the soil and expansive pressures on the order of 520 psf were found to be typical. This material will also consolidate upon saturation or excessive loading. If recommended bearing values are not exceeded, such settlement will remain within tolerable limits. The allowable maximum bearing value was found to be on

DORSSEY BUILDERS
Eastgate Plaza
June 5, 1991
Page 4

the order of 1800 psf. A minimum dead load of 600 psf will be required.

Some strata of these soils were found to initially swell against an applied pressure of approximately 1000 pad, however after complete saturation was accomplished, a net consolidation of 0.55% was realized.

CONCLUSIONS and RECOMMENDATIONS

The maximum and minimum allowable bearing capacities contained in this report are substantially different than those reported August 20, 1979. These revised soil allowable bearing values are the result of increased knowledge of Metastable Soils and a general broadening of engineering knowledge. It is very important that these new soil bearing capacities be incorporated into any foundation designs for this site.

The general recommendations for shallow foundations contained in the August 20, 1979 report are considered to be appropriate, provided the above revisions to the allowable soil bearing capacities are made. The recommendations for site grading and drainage are considered to be minimum requirements and must be carefully followed. The importance of keeping water away from the foundation soils cannot be overemphasized and must be followed.

The general and specific recommendations for concrete slabs on grade contained in the August 20, 1979 report must be carefully followed. The magnitude of expansion measured of the soils on this site is such that some floor slab movement should be expected if slab-on-grade construction is used. Non-bearing partitions resting on slabs should be constructed with a minimum 1-1/2 inch void space, preferably at the bottom, to allow for freedom of movement without affecting the roof or floor above (see attached suggested detail). All bearing partitions should have their own foundations. If this is a basement or multi-level type construction, stairways between floors should not be constructed as a rigid connection, but should allow for vertical movement of the floor slab.

These soils are quite typical of the general soil profile found in this area of Grand Junction and should provide adequate foundation for the proposed structures.

DORSSEY BUILDERS
Eastgate Plaza
June 5, 1991
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LIMITATIONS

This report is issued with the understanding that it is the responsibility of the owner, or his representative to ensure that the information and recommendations contained herein are brought to the attention of the architect and engineer for the project, and are incorporated into the plans. In addition, it is his responsibility that the necessary steps are taken to see that the contractor and his sub-contractors carry out these recommendations during construction. The findings of this report are valid as of the present date. However, changes in the conditions of a property can occur with the passage of time, whether they be due to natural processes or the works of man on this or adjacent properties. In addition, changes in acceptable or appropriate standards may occur or may result from legislation or the broadening of engineering knowledge. Accordingly, the findings of this report may be invalid, wholly or partially, by changes outside our control. Therefore, this report is subject to review and should not be relied upon after a period of 3 years. The recommendations of this report pertain only to the site investigated and are based on the assumption that the soil conditions do not deviate from those described in this report. If any variations or undesirable conditions are encountered during construction or the proposed construction will differ from that planned on the day of this report, Lincoln DeVore should be notified so that supplemental recommendations can be provided, if appropriate.

Lincoln DeVore makes no warranty, either expressed or implied, as to the findings, recommendations, specifications or professional advice, except that they were prepared in accordance with generally accepted professional engineering practice in the field of geotechnical engineering.

It is believed that all pertinent points have been addressed. If any further questions arise regarding this project or if we can be of any further assistance, please do not hesitate to contact this office at any time.

Respectfully Submitted,

LINCOLN DEVORE, Inc.



by: Edward M. Morris EIT Reviewed By: George D. Morris, PE
Engineer/Western Slope Manager

LD Job No.: 74335-J

7. What happens to drainage at Elm Avenue? If drainage on Elm Avenue crosses Eastgate Court, a concrete pan and fillets will be required at the intersection.

Road Plan:

8. On street profile existing ground line drops below street grade at 4 + 60. Will the lots south of this station drain to the street?
9. Street grade is very flat (0.03%). If possible increase to 0.05% minimum.
10. 'R' value used in pavement structure design shall be based on actual soil test. Assumed value is not acceptable.
11. Location of elevation control bench mark should be shown on all construction drawings.
12. Show horizontal and vertical curve data on the Road Plan.
13. Drainage catch basin shall be City standard with curb opening. Flow line of the grate shall be set 1 inch below normal gutter flowline.
14. Left and right turn speed change lanes are not warranted or required on Elm Avenue, due to low traffic volume on Elm Avenue.
15. A street light will be required at the intersection of Eastgate Court and Elm Avenue. Shows street light on Utilities Composite and Road Plan.
16. Right-of-way and a temporary cul-de-sac will be required at the end of phase one on Eastgate Court. Show details on plans.
17. Walking path shown between Eastgate Court and 28 1/4 Road. Should be 4' wide concrete pavement 4 inches thick .

Utilities Composite:

18. Where the sewer line crosses the sewer line (2 locations) the sewer line shall be encased per City Specifications. Show details of encasement on plans.
19. Label sewer line in Elm Avenue.

General:

20. All construction drawings shall be stamped and signed by a professional engineer registered in Colorado.
21. A stop sign, 20 m.p.h. speed limit sign, and dead end sign will be required on Eastgate Court (to be located by City Traffic Engineer).
22. Show plans and detail for irrigation system.

City Fire Department 06/06/91
George Bennett 244-1400

1. A turnaround adequate enough for emergency vehicles must be provided and designed in accordance with the City Street Development Code.
2. In meeting City Ordinance #2513 para. 31-94(2), a fire hydrant must be installed at the intersection of Elm Avenue and Eastgate Court. In future development to this subdivision, all hydrants are to be placed not more than 500 feet apart and on an eight inch looped supply line.

City Police Department 06/05/91
Captain Gorby 244-3577

No problems anticipated.

City Parks/ Recreation 06/12/91
Don Hobbs 244-1545

Open space fee due - 11 units x \$225 = \$2,475.00

Public Service 06/06/91
Carl Barnkow 244-2658

GAS: No objections.

Electric: No objections. Facilities will be installed as front lot line construction.

EASTGATE VILLAGE TOWNHOMES FILING 2

Review Comments: Bill Cheney, Utility Engineer, 6/13/91

The following items on the "Composite Utilities and Roadway Plan" have not been adequately addressed:

- 5-6-5-A.2: Water line profiles were not included in submittal
- 5-6-5-A.4: No details for all pipe, service connections and manholes were submitted.
- 5-6-5-A.7: The plans have not been stamped or sealed by a professional engineer.
- 5-6-5-B.2: Show locations and sizes of all irrigation and drainage systems as well as any other utilities serving the development.
- 5-6-5-B.3: Show location of all street lights and lamp sizes.
- 5-6-5-b.5: The plans for part B have not been stamped or sealed by a professional engineer.

Additional comments:

1. Irrigation lines will not be allowed in the sewer trench in the right-of-way if there is an alternative routing. In this case the irrigation lines could be located in the utility easement behind the sidewalk.
2. Show encasements on the sewer line where the water line intersects the sewer line. Based on the proposed elevations for the water and sewer there could be some conflicts where they cross. This issue needs to be addressed and shown on the profiles for both sewer and water.
3. The delineation on the "Utilities Composite" for the existing water and sewer is not clear. What is the size of the water line in Elm? The sewer is shown flowing both directions at the manhole at the corner of Elm and 28 1/4 Road. Is this the case?
4. Estimated unit costs on the "Improvements Agreement" for sanitary sewer, water, fire hydrants and survey monuments are all low. Each will have to be adjusted upwards to reflect current bid costs to the City.
5. The "Improvements Agreement" has not been signed by the developer.

GRAND JUNCTION DRAINAGE DISTRICT

722 23 ROAD
P.O. BOX 55246
GRAND JUNCTION, COLORADO 81505
(303) 242-4343

To: City Council
City Planning Commission

From: John L. Ballagh, Manager



Date: June 19, 1991

Subject: Eastgate Village Townhomes, Filing 2

The site is within the boundaries of the Drainage District. The closest drain is along the southern boundary of the project in what is identified as Bunting Avenue. That drain, known as the Woolco Drain flows to the west and dumps into Indian Wash just west of 28 Road.

The material submitted for review does not contain adequate information to make decisions for a final plan/plat for even the eleven lots proposed as filing 2. The drainage and the sanitary sewer are shown to flow to the south through what is proposed as Phase Two. How can the first eleven lots be separated from the additional 22 lots of the second phase when there are necessary public improvements which cross through the second phase?

There has been **NO CONTACT** by the property owner or developer with the Grand Junction Drainage District concerning tiling (piping) the open drain along the south line (Bunting Ave) or about dumping the surface runoff from the development into the drain. Regardless whether the surface runoff is dumped into the tiled portion or the open section of the drain the District has the right to review the proposed method of delivery to the drain. Further, the District has the responsibility for maintaining the drain. With the few dimensions provided on the set of plans received by this office it is impossible to determine if adequate right-of-way has been allowed for continued maintenance of the open drain. The attached sketch shows what distances are minimally required by District equipment for unimpeded maintenance of an open drain ditch. Any encroachment into the ditch road or reduction in width will cause increased costs for normal, safe maintenance.

The "UTILITY COMPOSITE" calls out a gutter elevation of 102.0 at the catch basin in the southwest portion of the cul-de-sac, with a call for the flow line of the pipe going to the "pond" of 100.0. According to the ALL THE MANUFACTURER'S recommendations the District is familiar with for the installation of pvc drain (pipe) there is inadequate cover for the pipe. There were no detailed street plans in the package of material sent to the District for review. There were no detailed drainage plans sent to the District for review. There is no definitive information on who will own and/or operate the pond. What is the bottom of the pond to be? Will the bottom be lined, with what, if not, why not? What is to be the cleaning schedule, by whom, at whose cost?

What are the plans of the owner/developer to control erosion during the construction of phase one while phase two remains as an open dirt field? What are the plans if phase two does not happen for a couple of years or never happens?

GRAND JUNCTION DRAINAGE DISTRICT

722 23 ROAD

P.O. BOX 55246

GRAND JUNCTION, COLORADO 81505

(303) 242-4343

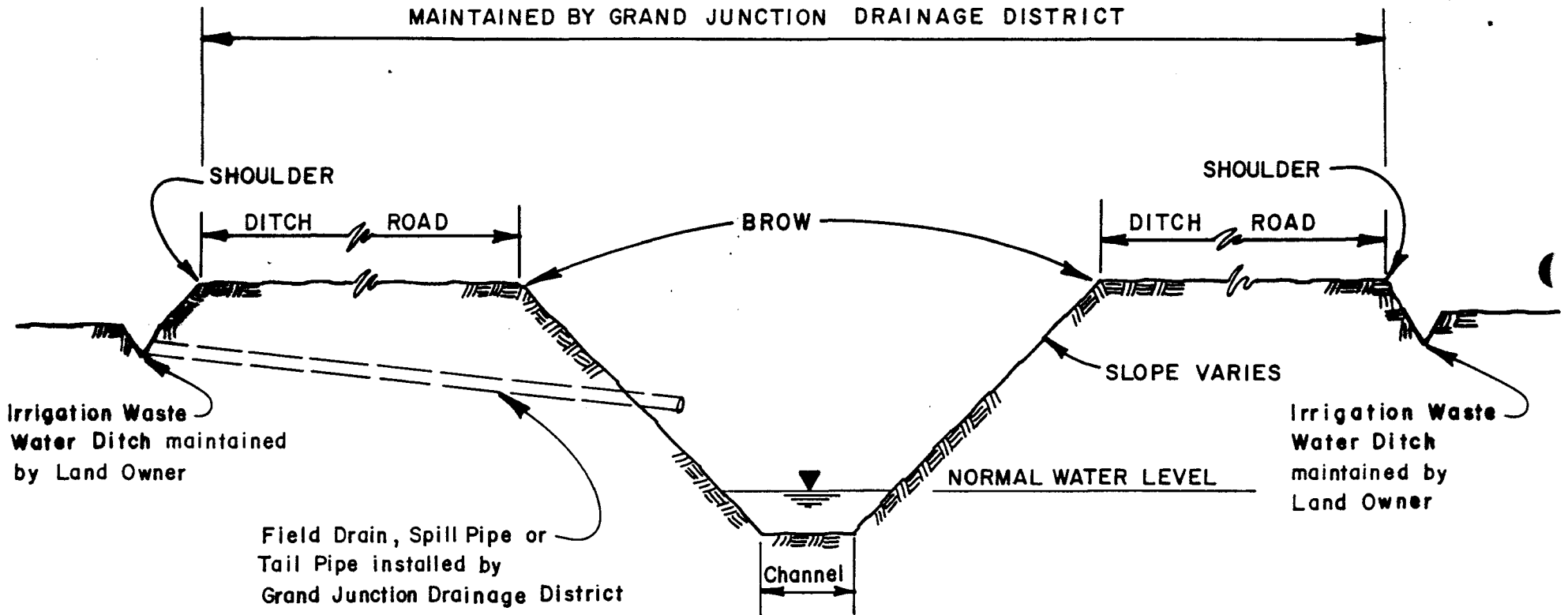
Eastgate Village Townhomes, Filing Two, page 2

The drainage calculations provided do not allow for any surface runoff from Elm Avenue or Eastgate Townhomes Filing One. Offsite contribution must be evaluated in a complete drainage study.

One page of the plans identifies that the temporary bench mark (tbn or TBM) is the SW Corner of the development. Another set of plans shows the proposed sanitary sewer line passing through that point. Will the contractor reestablish the bench mark, accurately? Why not have the subdivision tied into the excellent level loop of the City? Use of the City's established, readily available information will ultimately lead to compatible data.

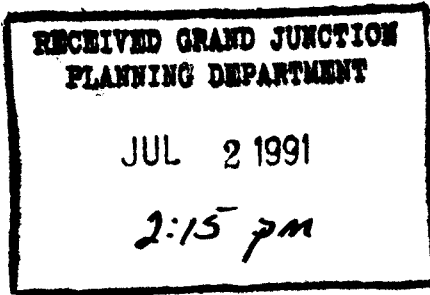
The configuration of lots 10 and 11 in phase two would not allow for any work on either the sanitary sewer line or the drain line when excavation is necessary. The utility and drainage easement is poorly dimensioned so it is difficult to tell if there is a total of 10 feet in each lot or if there is 10 feet with only 5 feet in each lot. The latter situation is unacceptable, especially if side lot line fencing is to occur. This last comment is not to indicate that the Drainage District is accepting maintenance responsibility for the proposed drain line, rather, any maintenance performed by a public or private contractor will need a certain area in which to safely work on either line.

NOW is the time to have the owner, developer, and engineer get the numbers right. Evaluate the project, design the necessary improvements including temporary measures if necessary, and get agreement before any dirt is moved.



GRAND JUNCTION DRAINAGE DISTRICT TYPICAL EXISTING DITCH SECTION

NOT TO SCALE



NO RESPONSE SUBMITTED
TO G.J. DRAINAGE &
CITY ATTORNEY COMMENTS

RESPONSE TO REVIEW SHEET COMMENTS

EASTGATE VILLAGE TOWNHOMES FILING 2

July 1, 1991

CITY ENGINEER (Don Newton)

Drainage & Grading Plan (Revised plan has not been resubmitted as of this date.)

1. 2' contour lines & bldg. floor elevations are being added to this plan.
2. Elevations and design details have been established and added to the plan.
3. Conc. drainage pipe will be used wherever traffic loading is proximate.
4. Error - This separation does require 2 pipes. See revised plan.
5. Restriction orifice will control pond outlet. See revised plan.
6. Drainage Report Addendum addresswes 100 year storm. In brief any overflow will flow west on vacant property and dump directly into 28 Road.
7. A very small portion of Elm Ave will drain down Eastgate Court. This will encompass an area of 250' x 25' with a 100 year storm contribution of 0.5 cfs. This was not deemed to require a cross pan and fillets.

Road Plan (Revised plan has not been submitted as of this date.)

1. As per revised grading plan, it is planned to grade all lots to drain to the street.
2. Because of the sewer it becomes almost impossible to increase the street grade to 0.05%
3. R value for the City Market developments to the East was . This should be indicative for the area.
4. Elevation bench marks will be shown on all construction drawings.
5. All curve data will be shown on the revised plan.
6. Street light at the corner of Elm & Eastgate Ct. will be shown.
7. Details of temporary cul-de-sac are shown on Road Plan.
8. Because of property limitations, walking path can only be 2 1/2' wide.

Utilities Composite (Revised Plan not submitted as of this date.)

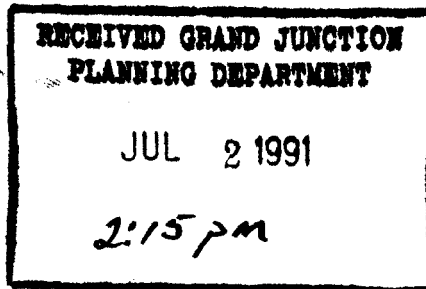
1. Encasement of sewer/water crossings have been shown.
2. All construction dwgs will be signed & stamped by a Registered Professional Engineer.
3. City Traffic Engineer will be contacted to locate 'Dead End' & 'Stop' signs.
4. Concept design of irrigation system has been shown. This calls for line sizes, pressurization concepts, and line locations. The contractor (ie. Grand Junction Pipe, Irrigation Systems etc.) will accomplish the detail design to the engineer's approval.

City Fire Department

1. Temporary cul-de-sac will provide emergency vehicle turn around.
2. Fire Hydrant will be installed at corner of Elm & Eastgate Court.

CITY ENGINEERS OFFICE - Bill Cheney

1. Additions to the drawings have been added as requested:
Water line profiles
Construction dwgs pkges will include copies of City Standard Dwgs & Specs.
Construction Dwgs will be stamped and signed by Registered Professional Engineer.
2. There is no irrigation system or irrigation water for this development.
3. Unit costs for the improvements agreement have been adjusted upwards as required.



RESPONSE TO REVIEW SHEET COMMENTS

EASTGATE VILLAGE TOWNHOMES FILING 2

July 1, 1991

CITY ENGINEER (Don Newton)

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COMMUNITY DEVELOPMENT DEPARTMENT
M E M O R A N D U M

TO: Mark Achen, City Manager
Jody Kole, Assistant to the City Manager
Martyn Currie, Acting Chief of Police
Mike Thompson, Fire Chief
Ted Novack, Parks & Recreation Director
Ron Lappi, Administrative Services Director
Jim Shanks, Public Works Director
Dan Wilson, City Attorney
John Shaver, Assistant City Attorney
Don Newton, City Engineer
Bill Cheney, City Utilities Engineer
Tim Woodmansee, Property Agent
Community Development Department Staff *Paul*

FROM: Bennett Boeschstein, Community Development Director *BB*

DATE: July 2, 1991

RE: Development Project Meeting

A Development Project meeting has been scheduled for Tuesday, July 9, 1991 at 9:00 a.m., in Conference Room A, City Hall.

The following is a list of current agenda items. If anyone has additional items which need to be addressed at the meeting, please let me know.

1. **#48-91 Colony Park, Filing 2, Final Plan/Plat
 599 25 Road**
2. **#43-91 Resubdivision
 2220 Orchard Avenue**
3. **#44-91 Resubdivision Ptarmigan Estates
 2380 East Piazza Lane**
4. **#46-91 Vacation of Right-of-Way
 On Gunnison Avenue between Harris Rd & Melody Ln**
5. **#47-91 Ptarmigan Ridge Filing 2 Final Plat/Plan
 North of 15th Street and West of 27 1/2 Road**
6. **#91-6 Variance on Sign for Blockbuster Video
 Eastgate Shopping Center**
7. **#49-91 Easement Vacation
 2850 1/2 Mesa Avenue**

COMMUNITY DEVELOPMENT



Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430 FAX (303) 244-1599

July 2, 1991

Mr. Bob Dorsey
2706 H Road
Grand Junction, CO 81506

RE: File #42-91 Eastgate Village

Dear Mr. Dorsey:

The Community Development Department's procedure for review of development submittals includes required written response to review agency comments by a specified date. For File #42-91, Eastgate Village Townhomes #2, the written response was due July 1, 1991. I understand a verbal extension was given for your response to Tuesday morning, July 2nd. The written response was received in our office at 2:15 p.m. on July 2, 1991.

With a project of this size, it's important for us to be able to go over the response to review comments with other departments and agencies to see if their concerns have been addressed. We need to be fair and consistent in our review process. In fact, the response does not satisfy some of the major review comments. As per section 6-7-4 of the Zoning and Development Code:

A submittal with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda by the Administrator.

Because of the late submittal and inadequate response to review comments, staff will recommend to Planning Commission that item #42-91 be continued until August 6, 1991 so that the technical issues can be resolved.

Sincerely,

A handwritten signature in cursive script that reads "Katherine M. Portner".

Katherine M. Portner
Senior Planner

xc: John Shaver, Assistant City Attorney
City Planning Commission

GRAND JUNCTION DRAINAGE DISTRICT

722 23 ROAD
P.O. BOX 55246
GRAND JUNCTION, COLORADO 81505
(303) 242-4343

July 8, 1991

Grand Junction City Council
250 N 5th Street
Grand Junction, CO 81501

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

JUL 9 1991

Re: Eastgate Village Townhomes, Filing Two

Dear Council Members,

The developer and engineer responsible for the design of public improvements within the development did meet with me on the afternoon of July 8th. 1991. The following points of concern expressed in the previous response from the Drainage District were generally answered satisfactorily.

The evaluation of **off site drainage**, both through and around the development was taken into consideration. Two routes for surface drainage were agreed upon. The first route is the one identified on the plans as prepared. The second drainage is along the easterly line of the development and carries surface water(s) from an existing development which lies east of the proposed Filing Two. Both water courses will need spill pipes into the existing open drain which is correctly shown in the right-of-way of Bunting Ave.

It was determined that the road all the way to the cul-de-sac will be rough cut prior to installation of the sanitary sewer. Thus there will be a need for either an open drain ditch or the full length of drain pipe, pond, and outflow pipe. The engineer understands that the depth of the pipe should be sufficient to meet manufacturer's recommended cover. Further, the engineer understands that the "pipe" sticking out into the open Drainage District ditch must be some type of concrete (a non-burnable material) or tied into a manhole on line of the large drain.

The depth of the sanitary sewer over the existing 36" concrete drain pipe will have to be coordinated by the developer's engineer and the City's Utility Engineer. The sanitary sewer pipe must either cross over or under the Drainage District's pipe **not** through it.

It has been stated by Mr. Dorsey that the townhome association will own the drain pipe and detention pond within the development. Hopefully, the City and the developer can agree to some type of periodic inspection of the detention pond by City staff. More importantly, there must be some full proof way of keeping the pond a. existent and b. functional.

Sincerely,
Grand Junction Drainage District


John L. Ballagh

MEMORANDUM

DATE: July 9, 1991
TO: Karl Metzner
FROM: Don Newton
SUBJ: Revised plans for Eastgate Village Townhomes - Filing Two

I have the following comments on the revised plans ^{received}~~reviewed~~ today:

DRAINAGE AND GRADING PLAN:

1. No elevation shown for the end of pipe discharging into detention pond.
2. Proposed pipe carrying historic flow could be eliminated by routing all drainage through detention pond.
3. I assume that drainage from Phase I, street construction will be directed around temporary cul-de-sac.

ROAD PLAN:

4. Need R value for pavement design based on soils test.
5. Street light at Elm Avenue needs to be labeled. One additional street light will be required in Phase II.
6. Is walking path 2 1/2' wide or 4' wide? Response doesn't agree with plans.

UTILITIES COMPOSITE:

7. Why no irrigation system?
8. Fire hydrant needs to be labeled.

My other comments have been adequately addressed.

file:dn:eastgate.rev

skw

DEVELOPMENT FILE 42-91, EASTGATE VILLAGE TOWNHOMES, LOCATED AT ELM AVENUE AND 28-1/4 ROAD IN THE CITY OF GRAND JUNCTION HAS BEEN REVIEWED AND APPROVED BY THE UTILITY COORDINATING COMMITTEE.

CHAIRMAN

DATE

City Utilities- Bill Cheney 8-26-91

U.S. WEST Leon Beach 8-26-91

PUBLIC SERVICE Co. Richard D. Mills 8/26/91

G.J. DRAINAGE DISTRICT John L. Ballou 8/27/91

UCC

City Utilities- Bill Cheney
U.S. West
Public Service
G.J. Drainage

DEVELOPMENT FILE 42-91, EASTGATE VILLAGE TOWNHOMES, LOCATED AT ELM AVENUE AND 28-1/4 ROAD IN THE CITY OF GRAND JUNCTION HAS BEEN REVIEWED AND APPROVED BY THE UTILITY COORDINATING COMMITTEE.

John L. Kallagh
CHAIRMAN

8/27/91
DATE

United Bank of Grand Junction National Association
P.O. Box 1568
2808 North Avenue
Grand Junction, Colorado 81502
Telephone: (303) 242-8822



BOOK 1902 PAGE 162

1603486 11:35 AM 05/27/92
MONIKA TODD CLK® MESA COUNTY CO

September 5, 1991

Mr. Karl Metzner
City of Grand Junction
Planning Department
Grand Junction, Co. 81501

Re: Eastgate Village Townhomes

Dear Mr. Metzner:

Please be advised that our customer Robert L Dorssey has a \$75,000 line of credit with this bank for construction activity. Mr. Dorssey has advised us that he may be using this line for costs associated with the infrastructure costs in the Eastgate Village Townhome project. The line carries a -0- balance with the full commitment available for his use at this time.

Should you need additional information relative to this matter please advise.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Thomas R. Benton', with a long horizontal flourish extending to the right.

Thomas R. Benton
Vice President

CITY OF GRAND JUNCTION IMPROVEMENTS AGREEMENT

In re: Eastgate Village Townhomes Filing 3 SW $\frac{1}{4}$, SW $\frac{1}{4}$ of Sec 7, T1S, R1E, Ute Meridian
 Name of subdivision or other improvement location

Intending to be legally bound, the undersigned subdivider hereby agrees to provide throughout this subdivision and as shown on the subdivision plat of Eastgate Village Townhomes date August 30 19 91, the name of subdivision following improvements to City of Grand Junction standards and to furnish an Improvements Guarantee in the form acceptable to the City for these improvements.

BOOK 1902 PAGE 160

Improvements	Quantity and Unit Costs	Estimated Cost	Estimated Completion Date
Street grading	780 yds ³ at \$3.00/yd ³	\$ 2340	7-1-92
Street base	256 yds ³ at \$16.00/yd ³	\$ 4100	9-1-92
Street paving	1110 yds ² at \$6.75/yd ²	\$ 7500	11-1-92
Curbs and Gutters	670 ft at \$15.00/ft.	\$10,000	10-1-92
Sidewalks			
Storm Sewer facilities		\$ 1,740	11-1-91
Sanitary sewers	Included in Filing II		
Mains			
Laterals or house connections			
On-site sewage treatment	N/A		
Water mains	295 ft. at \$12.00/ft.	\$ 3,540	8-1-92
Fire hydrants	1 at \$850.00	\$ 850	8-1-92
On-site water supply	N/A		
Survey monuments	52 at \$5.00 each	\$ 260	1-1-93
Street lights	1 at \$650.00	\$ 650	1-1-93
Street name signs			
SUB TOTAL		\$30,980	

1603485 11:35 AM 05/27/92
 MONIKA TODD CLK® MESA COUNTY CO

Supervision of all installations (should normally not exceed 4% of subtotal)
\$1000.00

TOTAL ESTIMATED COST OF IMPROVEMENTS AND SUPERVISION \$ 32,000.00

The above improvements will be constructed in accordance with the specifications and requirements of the City or appropriate utility agency and in accordance with detailed construction plans based on the City Council approve plan and submitted to the City Engineer for review and approval prior to start of construction. The improvements will be constructed in reasonable conformance with the time schedule shown above. An Improvements Guarantee will be furnished to the City prior to recording of the subdivision plat.

[Signature]
 Signature of subdivider

Easgate Village Filing #3

Improvements Guarantee

Costs of improvements are guaranteed by line of credit or construction loan.



January 20, 1992

Mr. Robert L. Dorssey
2206 H Road
Grand Junction, Colorado

City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

Re: Eastgate Village Townhomes, Filings 2 and 3

Dear Mr. Dorssey:

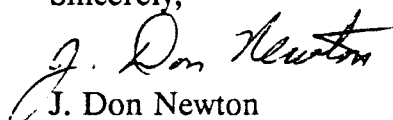
At your request, the constructed section of Eastgate Court from Station 0+00 to approximate station 4+00 was final inspected on December 18, 1991. As a result of this inspection and roadway cross-sections taken by the city survey crew, the following items were noted:

- 1) Traffic control signage required in my review comments dated June 12, 1991 have not yet been installed. It will be your responsibility to purchase and install the signs. Please call Dave Tontoli, City Traffic Department, at 244-1567 for sign locations, mounting heights, etc..
- 2) The pavement cross slope is only 0.2 % at station 3+50 and is considerably less than the 1.5 % cross-slope shown on the road plan at several other stations (see copy of survey notes enclosed) These cross-slope changes were not approved and are not shown on the "As Built" drawing.
- 3) The TBM elevation shown on road plan is not the datum for the elevations shown on the roadway plan.

The street will not be accepted by the city until the above items are completed or corrected.

Please call if you have any questions regarding the items listed above.

Sincerely,


J. Don Newton
City Engineer

JDN:dln

xc: Mark Relph, Public Works Manager
Karl Metzner, Community Development
Walt Hoyt, City Inspector
Bill Cheney, Utilities Engineer
Doug Cline, Streets Supervisor
Lewis Hoffman



ACRES _____
UNITS _____
DENSITY _____
ACTIVITY _____

PRELIMINARY/FINAL PHASE I

FILE NUMBER 40-91²
ZONE PR
TAX SCHEDULE # 2943-023-00-102,217,219,218

PHASE Preliminary
COMMON LOCATION Sof ELM AVE & EAST of 28 1/2 rd.

DATE SUBMITTED _____ DATE MAILED OUT _____ DATE POSTED _____
DAY REVIEW PERIOD _____ RETURN BY _____

OPEN SPACE DEDICATION (acreage) _____ OPEN SPACE FEE REQUIRED \$ _____ PAID RECEIPT # _____
RECORDING FEE REQUIRED \$ _____ PAID (Date) _____ DATE RECORDED _____

REVIEW AGENCIES

	A	B	C	X	E	F	G	H	X	J	X	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	X	BB	CC	DD	EE	FF	GG		
<input checked="" type="checkbox"/> Planning Department ✓	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input checked="" type="checkbox"/> City Engineer ✓	●	●	●						●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input checked="" type="checkbox"/> Transportation Engineer	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input checked="" type="checkbox"/> City Parks/Recreation ✓	●	●	●	●								●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input checked="" type="checkbox"/> City Fire Department ✓	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input checked="" type="checkbox"/> City Police Department ✓	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input type="checkbox"/> County Planning	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input type="checkbox"/> County Engineer	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●		
<input type="checkbox"/> County Health	●	●	●						●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> Floodplain Administration	●	●	●					●				●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> G.J. Dept. of Energy	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> Walker Field	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> School District	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> Irrigation	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input checked="" type="checkbox"/> Drainage <u>G.J.</u> ✓	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> Water (Ute, Clifton)	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input checked="" type="checkbox"/> Sewer Dist. <u>(FV)</u> CGV, OM	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input checked="" type="checkbox"/> U.S. West	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input checked="" type="checkbox"/> Public Service (2 sets) ✓	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	
<input type="checkbox"/> State Highway Department	●	●	●						●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input type="checkbox"/> State Geological	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input type="checkbox"/> State Health Department	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input checked="" type="checkbox"/> City Property Agent	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input checked="" type="checkbox"/> City Utilities Engineer ✓	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input checked="" type="checkbox"/> City Attorney ✓	●	●	●	●	●							●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input type="checkbox"/> Building Department	●	●	●						●	●		●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input type="checkbox"/> DDA	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input checked="" type="checkbox"/> GJPC (7 packets)	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input type="checkbox"/> CIC (11 packets)	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●
<input type="checkbox"/> Other	●	●	●									●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●

TOTALS

BOARDS

DATE

P.C.

7/9/91

Denied - appealed to CiB

STAFF

Remove
from Office
#42 91

APPLICATION FEE REQUIREMENTS

\$315 application fee



CITY COUNCIL HEARING

AUGUST 7, 1991

CITY OF GRAND JUNCTION

STAFF: Community Development
Karl Metzner

ACTION REQUESTED: Consideration of Appeal to Planning Commission decision for denial of proposed preliminary plan and final plat (filing 2) of Eastgate Village Townhomes.

EXECUTIVE SUMMARY: Eastgate Village Townhomes is A proposed attached townhome development located south of Elm Ave and West of 28 1/2 road. The preliminary plan encompasses filing 2 and a future filing 3 totaling 33 units on 4.5 acres. The final plan and plat for filing #2 contains 11 units on .9 acres. The property is currently zoned Planned Residential with a previous approval in the early 1980's for a total density of 41 units per acre. The current proposed density is approx. 7.3 units per acre.

ISSUES/BACKGROUND: Technical review sheet summary comments have been resolved to the review agencies' satisfaction. Planning Commission denial was based on the design of the project and dissatisfaction with the configuration of areas shown on the plat as common open space. During the course of the Commission hearing there appeared to be considerable confusion between petitioner testimony and previously submitted plans. Commission comments were divided between eliminating the proposed open space, since it was not considered usable, and reconfiguring lots in some way to create a more usable open space. Preferred direction from the Commission as a whole was not clear. The petitioner has appealed the planning commission denial suggesting that he can easily address the commission concerns and citing the confusion as a lack of communication with his engineer.

RECOMMENDATIONS: The proposal generally fits with the character of the area in which it is proposed. Technical issues (utilities, drainage, roads, etc.) have been adequately addressed. Council should consider whether the petitioner can adequately address design issues and resolve discrepancies between previous plans and his project presentation before planning commission.

EASTGATE VILLAGE TOWNHOMES, FILING TWO

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, Robert L. Dorsey and Glen Hickey, are the owners of that real property situated in the City of Grand Junction, County of Mesa, State of Colorado, and is described in Book 1828 of Page 377 & 378 of the Mesa County Clerk and Recorders Office, and being situated in the SW1/4 SW1/4 Section 7, Township 1 South, Range 1 East of the Ute Meridian, Mesa County, Colorado as shown on the accompanying plat, said property being additionally described as follows:

Beginning at the NW corner of Lot 1, Block Two, Eastgate Plaza Filing No. One, being 205.00 feet N90°00'00"W and 120.00 feet S00°06'33"W and 48.99 feet N90°00'00"W of the NE corner of the SW1/4 SW1/4 Section 7, Township 1 South, Range 1 East, Ute Meridian, and considering the North line of the SW1/4 SW1/4 Section 7, T1S, R1E, U1M. to bear N90°00'00"W and all bearings contained herein to be relative thereto; thence N90°00'00"W 229.85 feet to the SW corner of Lot 1, Block One Eastgate Plaza Filing No. One; thence S00°01'47"W 198.00 feet; thence N90°00'00"E 96.81 feet; thence S01°04'30"E 22.00 feet; thence N90°00'00"E 150.28 feet; thence N00°06'35"E 10.94 feet to the South line of Eastgate Plaza, Filing No. One; thence N89°58'45"W 17.97 feet to the SW corner of Lot 1, Block Three Eastgate Plaza, Filing No. One; thence N00°06'33"E 209.05 feet to the point of beginning.

That said owners have caused the said real property to be laid out and surveyed as EASTGATE VILLAGE TOWNHOMES, FILING TWO, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado.

That said owners do hereby dedicate and set apart all of the streets and rights-of-way as shown on the accompanying plat to the City of Grand Junction, for the use of the public forever and dedicate to the CITY OF GRAND JUNCTION, for the use of the public those portions of said real property which are labeled as utility easements on the accompanying plat as perpetual easements for the installation and maintenance of utilities, irrigation, and drainage facilities, including but not limited to electric lines, gas lines, sewer lines, telephone lines, and appurtenances; together with the right to trim interfering trees and brush; with perpetual right of ingress and egress for installation and maintenance of such lines, and said owners hereby dedicate all common areas to the use and benefit of the owners of the lots hereby platted. Such easements and rights shall be utilized in a reasonable and prudent manner. The areas shown as ingress and egress and utility easements are dedicated to the owners of the property within said EASTGATE VILLAGE TOWNHOMES, FILING TWO, for perpetual ingress and egress for themselves and the general public, including the postal service, trash, fire, police, emergency vehicles, and the City of Grand Junction.

That all expenses for street paving or improvements shall be furnished by the seller or purchaser, not the County of Mesa.

IN WITNESS WHEREOF said owners have caused their names to be hereunto subscribed this _____ day of _____ A.D., 199__

ROBERT L. DORSEY

GLEN HICKEY

STATE OF COLORADO } S.S.
COUNTY OF MESA }

The foregoing instrument was acknowledged before me this _____ day of _____ A.D., 199__ by Robert L. Dorsey and Glen Hickey.

My commission expires: _____

Notary Public

Address _____

CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO } S.S.
COUNTY OF MESA }

I hereby certify that this instrument was filed in my office at _____ o'clock _____ M. this _____ day of _____ A.D., 199__, and is duly recorded in Plat Book No. _____, Page _____

CITY APPROVAL

This plat of EASTGATE VILLAGE TOWNHOMES FILING TWO, a subdivision of the City of Grand Junction, County of Mesa, and State of Colorado was approved and accepted this _____ day of _____ A.D., 199__.

City Manager

President of Council

Director of Development

Chairman, Grand Junction Planning Commission

Grand Junction City Engineer

SURVEYOR'S CERTIFICATE

I, Max E. Morris, certify that the accompanying plat of EASTGATE VILLAGE TOWNHOMES, FILING TWO, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado has been prepared under my direct supervision and accurately represents a field survey of same. I further certify that this plat conforms to all applicable requirements of the Zoning and Development Code of the City of Grand Junction and all applicable state laws and regulations.


Max E. Morris, Q.E.D. Surveying Systems Inc.
Colorado Registered Professional Land Surveyor L.S. 16413

Date

EASTGATE VILLAGE TOWNHOMES, FILING TWO

FINAL PLAT

SITUATED IN THE SW1/4 SW1/4 SECTION 7, TOWNSHIP 1 SOUTH, RANGE 1 EAST, UTE MERIDIAN

FOR: DORSEY	 Q.E.D. SURVEYING SYSTEMS Inc. 1018 COLO. AVE. GRAND JUNCTION COLORADO 81501 (303) 241-2370 464-7568	SURVEYED BY: DMM MF
SCALE: 1" = 50 FT		DRAWN BY: MEM
DATE: 5/31/91		ACAD ID: EVM2
		SHEET NO.
		FILE: 91017

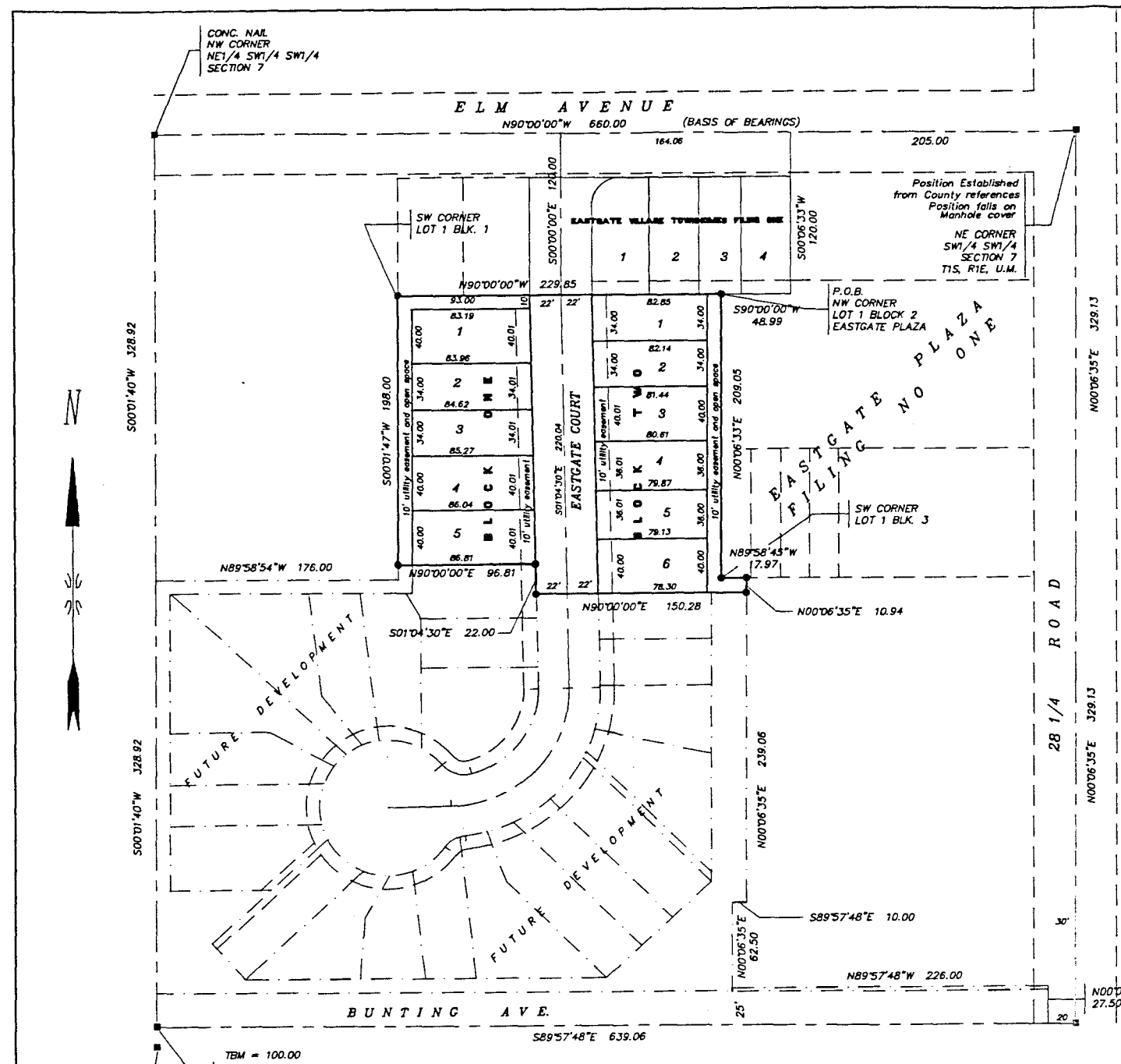
NOTICE

ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST OBSERVE SUCH DEFECT. IN NO EVENT SHALL ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

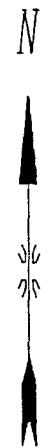
AREA SUMMARY	
LOTS =	0.7738 ACRES = 68%
ROAD =	0.2222 ACRES = 20%
OPEN SPACE =	0.1196 ACRES = 11%
TOTAL =	1.1156 ACRES = 100%

LEGEND & NOTES

- FOUND SURVEY MONUMENTS SET BY OTHERS AS NOTED
- SET NO. 5 RE-BAR W/CAP L.S. 16413 IN CONCRETE
- └ SET NO 5 RE-BAR W/CAP L.S.16413 AT ALL LOT CORNERS



CONC. NAIL
NW CORNER
NE1/4 SW1/4 SW1/4
SECTION 7



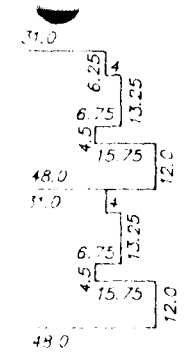
FOUND W.C.
S00°01'40"W
15.00
FROM CORNER
NO. 5 RE-BAR

TBM = 100.00
SW CORNER
NE1/4 SW1/4 SW1/4
SECTION 7
NO. 5 RE-BAR

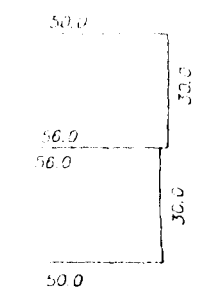
HINGE NAIL
SE CORNER
NE1/4 SW1/4 SW1/4
SECTION 7

Original
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From Office
#42 91

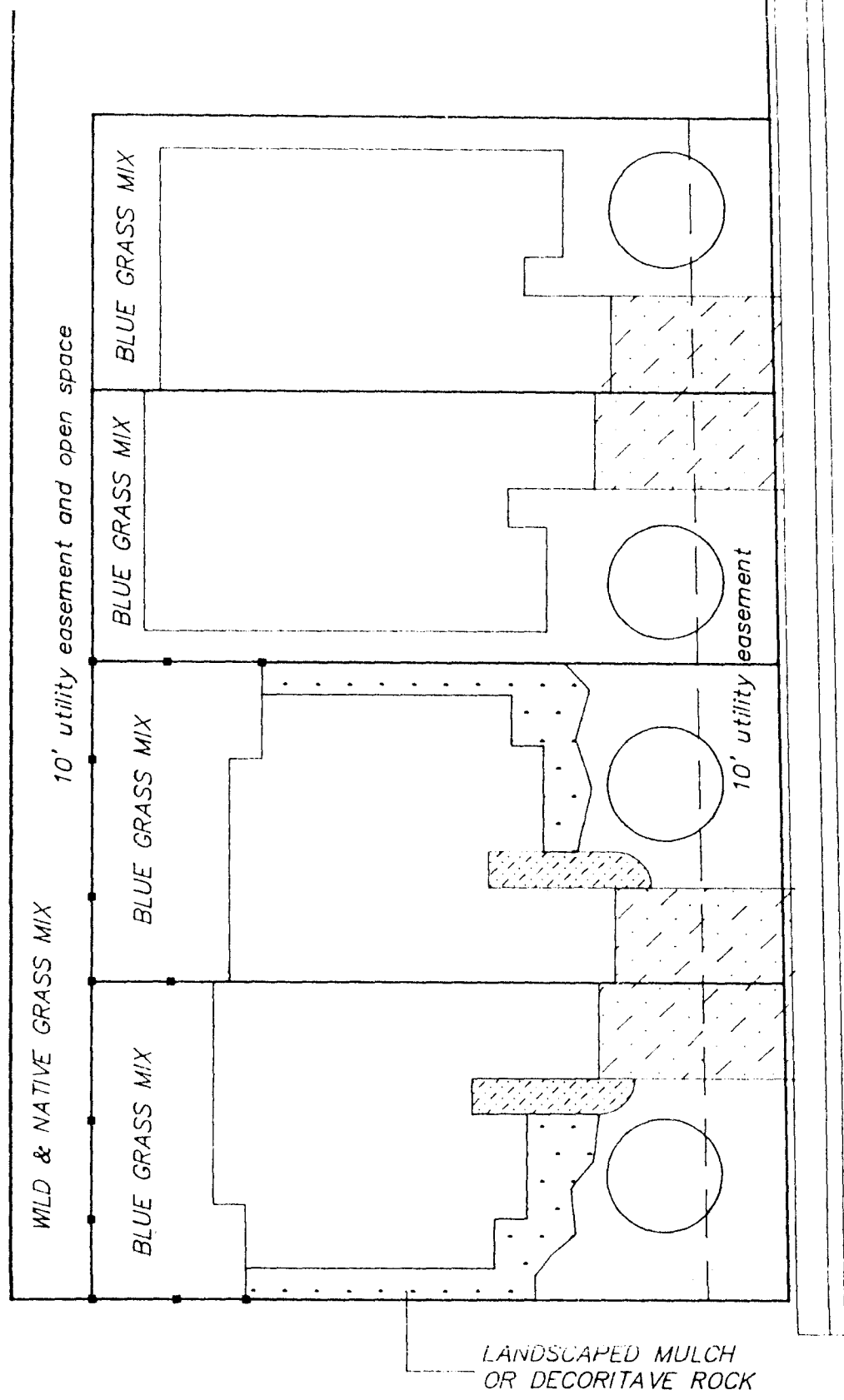
points on
e rim
OWNER
SW1/4
17
E, U.M.



"A" TYPICAL

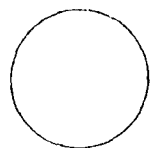


"B" TYPICAL



SCALE 1"IN = 20'FT

TYPICAL LOT LANDSCAPING

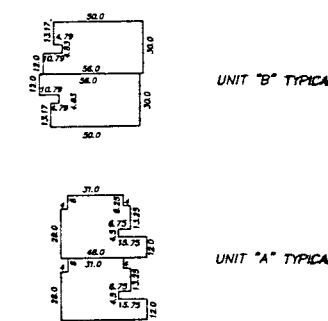
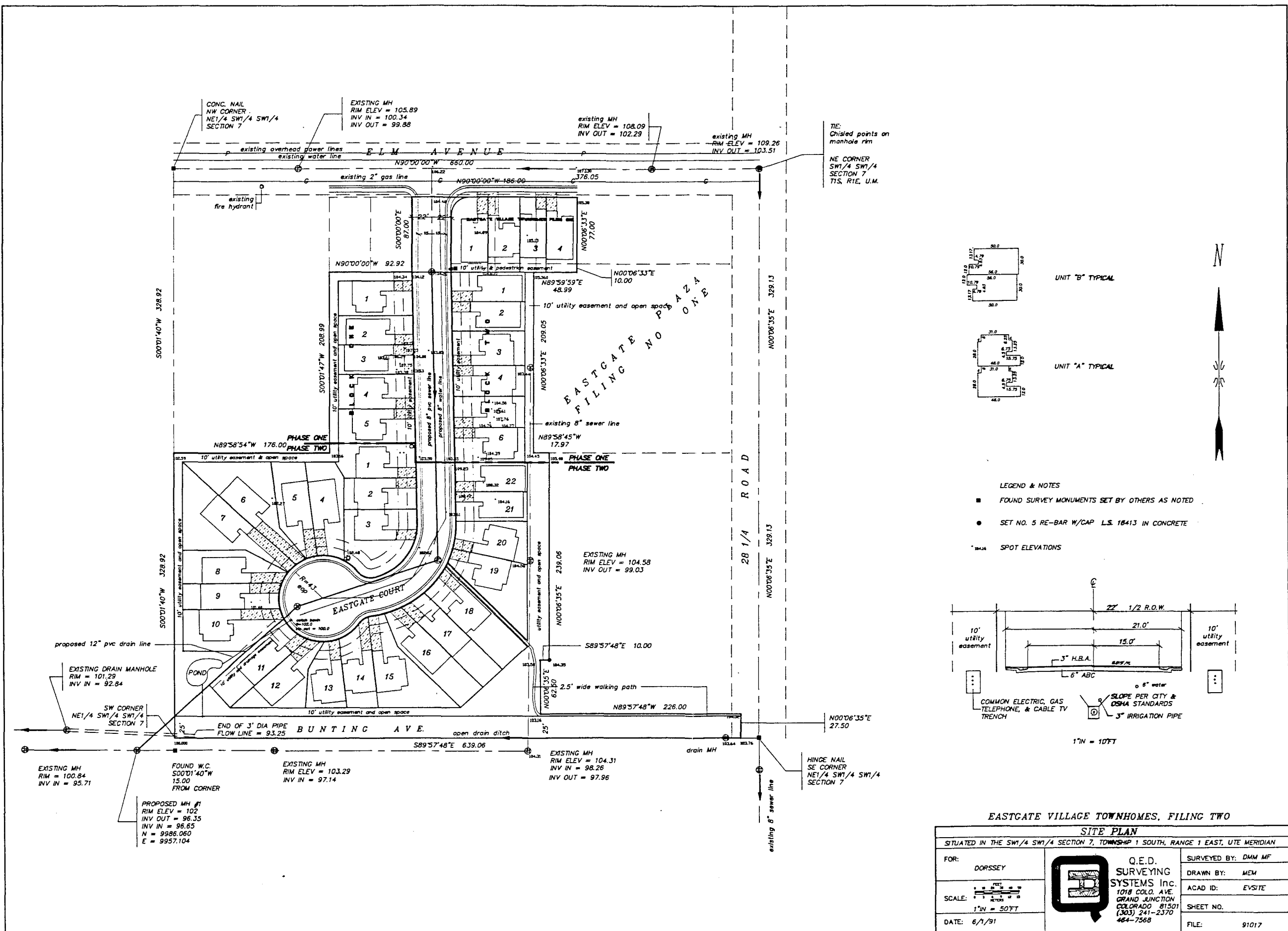


WASHINGTON HAWTHORN TREES (TYP)

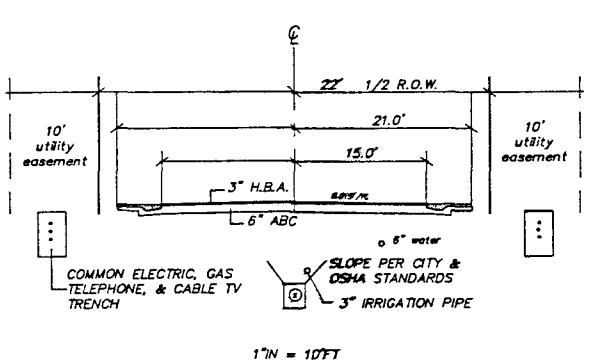
OPEN SPACE TO BE PLANTED WITH WILD AND NATIVE GRASS MIX

LOTS TO BE FENCED AND PLANTED TO BLUE GRASS MIX

AUTOMATIC SPRINKLING SYSTEM TO WATER YARDS WITH DOMESTIC WATERING SYSTEM



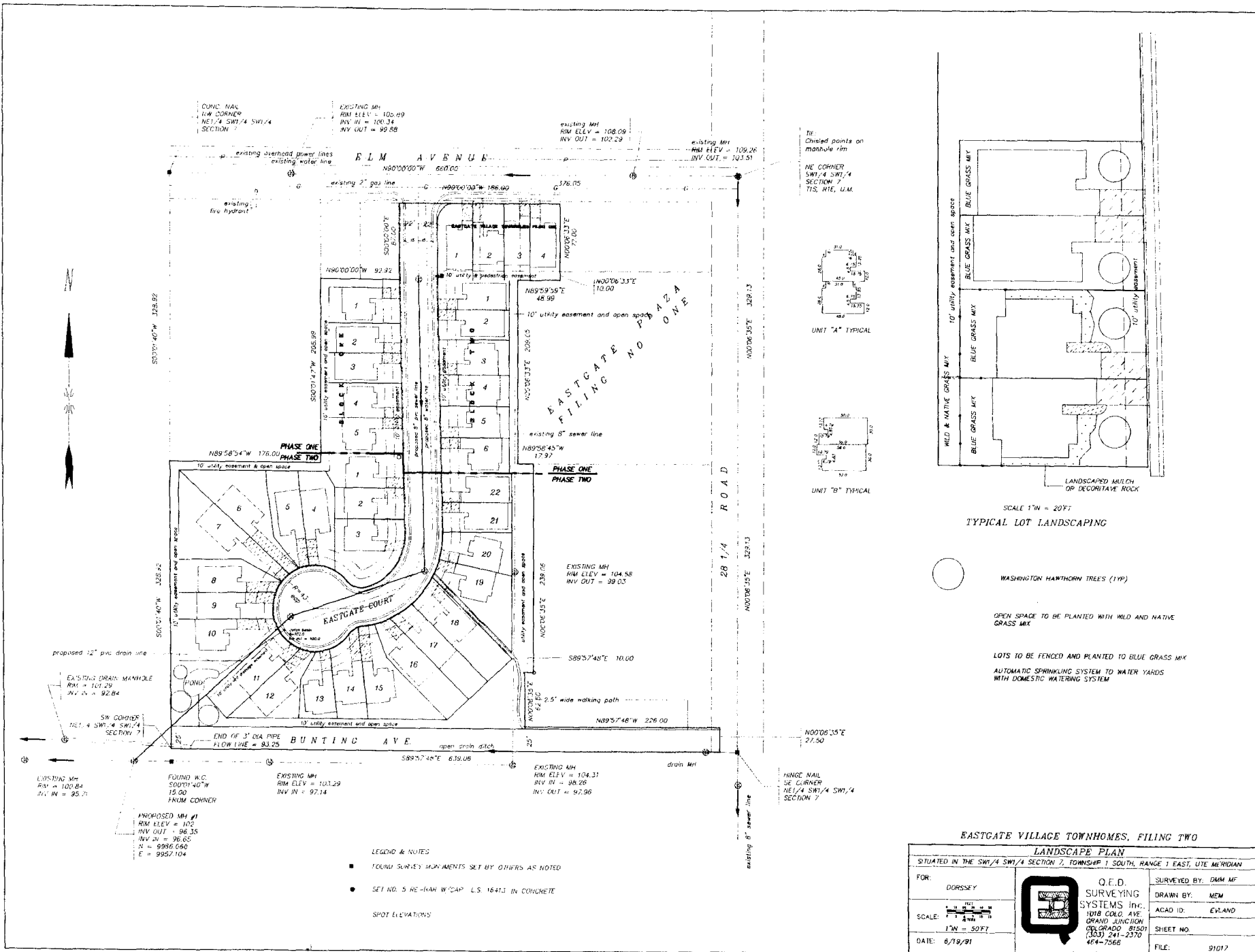
- LEGEND & NOTES**
- FOUND SURVEY MONUMENTS SET BY OTHERS AS NOTED
 - SET NO. 5 RE-BAR W/CAP L.S. 18413 IN CONCRETE
 - SPOT ELEVATIONS



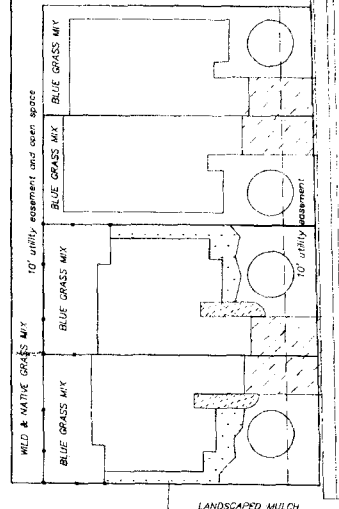
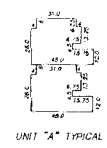
EASTGATE VILLAGE TOWNHOMES, FILING TWO

SITE PLAN		
SITUATED IN THE SW1/4 SW1/4 SECTION 7, TOWNSHIP 1 SOUTH, RANGE 1 EAST, UTE MERIDIAN		
FOR: DORSEY	<p>Q.E.D. SURVEYING SYSTEMS Inc. 1018 COLO. AVE. GRAND JUNCTION COLORADO 81501 (303) 241-2370 464-7568</p>	SURVEYED BY: DMM MF
SCALE: 1" = 50' FT		DRAWN BY: MEM
DATE: 6/1/91		ACAD ID: EYSTE
		SHEET NO.
		FILE: 91017

16 278
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From Office



1/4
Chisled points on
manhole rim
NE CORNER
SW 1/4 SW 1/4
SECTION 7
T1S, R1E, U1M.



SCALE 1" = 20' FT
TYPICAL LOT LANDSCAPING

- WASHINGTON HAWTHORN TREES (1 YP)
- OPEN SPACE TO BE PLANTED WITH WILD AND NATIVE GRASS MIX
- LOTS TO BE FENCED AND PLANTED TO BLUE GRASS MIX
- AUTOMATIC SPRINKLING SYSTEM TO WATER YARDS WITH DOMESTIC WATERING SYSTEM

LEGEND & NOTES

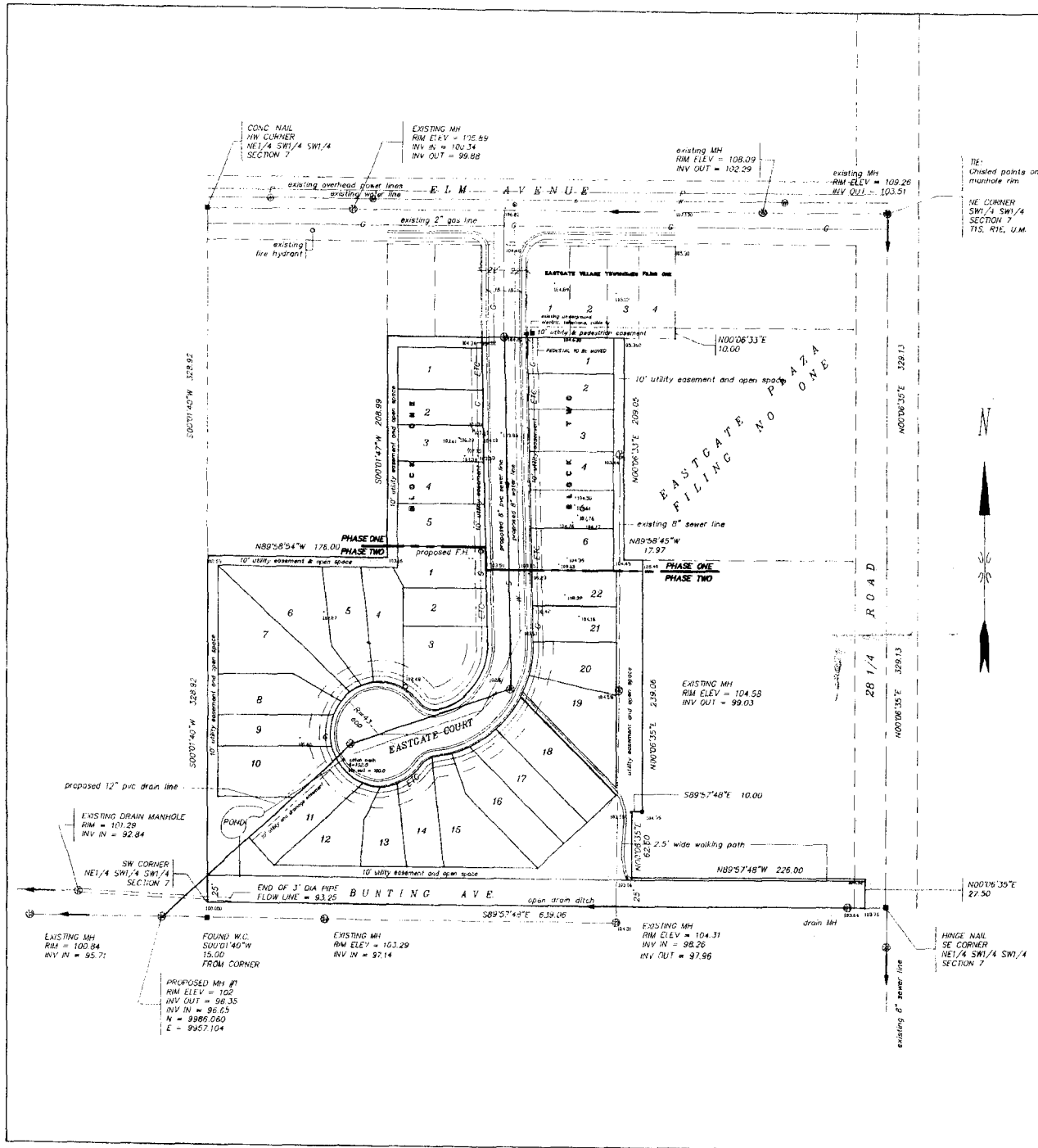
- FOUND SURVEY MONUMENTS SET BY OTHERS AS NOTED
- SET NO. 5 RE-RAN W/ CAP L.S. 1841J IN CONCRETE

SPOT ELEVATIONS

EASTGATE VILLAGE TOWNHOMES, FILING TWO
LANDSCAPE PLAN

SITUATED IN THE SW 1/4 SW 1/4 SECTION 7, TOWNSHIP 1 SOUTH, RANGE 1 EAST, UTE MERIDIAN		
FOR: DORSEY		SURVEYED BY: DMN MF
SCALE: 1" = 50 FT		DRAWN BY: MEM
DATE: 6/19/91	Q.E.D. SURVEYING SYSTEMS Inc. 1018 COLO. AVE. GRAND JUNCTION COLO. GRADO 81501 (303) 241-2370 484-7566	ACAD ID: EWLAND
		SHEET NO.
		FILE: 91012

Land

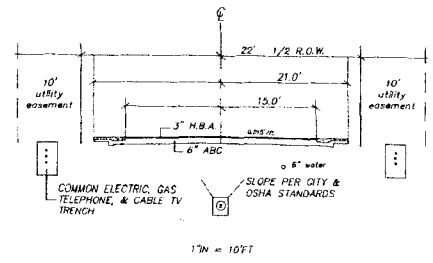


LEGEND & NOTES

- SPOT ELEVATIONS
- ETC ELECTRIC, TELEPHONE, CABLE T.V.
- G GAS
- W WATER
- STREET LIGHT
- MANHOLE
- FIRE HYDRANT
- SEWER
- WATER VALVE

UTILITY COMPOSITE

- WATER CITY OF GRAND JUNCTION
- SEWER CITY OF GRAND JUNCTION
- ELECTRIC PUBLIC SERVICE COMPANY
- TELEPHONE MOUNTAIN BELL
- GAS PUBLIC SERVICE COMPANY
- DRAINAGE GRAND JUNCTION DRAINAGE DISTRICT



UTILITY LOCATIONS

EASTGATE VILLAGE TOWNHOMES, FILING TWO

UTILITIES COMPOSITE		
SITUATED IN THE SW1/4 SW1/4 SECTION 7, TOWNSHIP 1 SOUTH, RANGE 1 EAST, 10E MERIDIAN		
FOR: GORSSEY	<p>Q.E.D. SURVEYING SYSTEMS, Inc. 1018 COLO. AVE GRAND JUNCTION COLORADO 81501 (303) 241-2370 464-7668</p>	SURVEYED BY: DMM MF
SCALE: 1"=50 FT		DRAWN BY: MEM
DATE: 6/2/91		ACAD ID: EVUTL
		SHEET NO. 91017

Original Do NOT Remove From Office #42 91

LEGEND & NOTES

DRAINAGE REPORT

SUMMARY

This drainage report has been prepared for the Eastgate Village townhomes development. The study encompasses both Filing 2 and 1. The development proposes 33 townhomes on 4.8 acres and is located just north of Eastgate Shopping Center. This is raw land and is surrounded by development.

HISTORIC DRAINAGE

The ground slopes gently to the south with a slight westerly gradient. A natural drainage ditch lies along the south border of the property. This drainage is picked up by a 3' diameter iron tile owned and maintained by the Grand Junction Drainage District. Elm Avenue borders the property on the north side.

Historic drainage for a ten yr. storm is calculated as follows:

$$Q = cIA \text{ where } c = 0.30 \text{ \& } I = 2.5 \text{ with a time of concentration of 9.2 minutes}$$

$$Q = 0.30 \times 2.5 \times 4.6 = 3.5 \text{ cfs}$$

DEVELOPED DRAINAGE

The proposed development of townhomes is low intensive and adds a significant percentage of impervious area. This area is calculated, including streets, as being nearly 50% of the total area.

$$\text{Impervious area} = 2.24 \text{ acres } c = 0.50$$

$$\text{Pervious area} = 2.36 \text{ acres } c = 0.0$$

$$Q = 0.50 \times 2.5 \times 2.24 = 5.0 \text{ cfs impervious area}$$

$$Q = 0.30 \times 2.5 \times 2.36 = 1.8 \text{ cfs pervious area}$$

$$\text{Total drainage} = 6.8 \text{ cfs for a 10 year storm}$$

$$\text{The increase due to development} = 3.3 \text{ cfs}$$

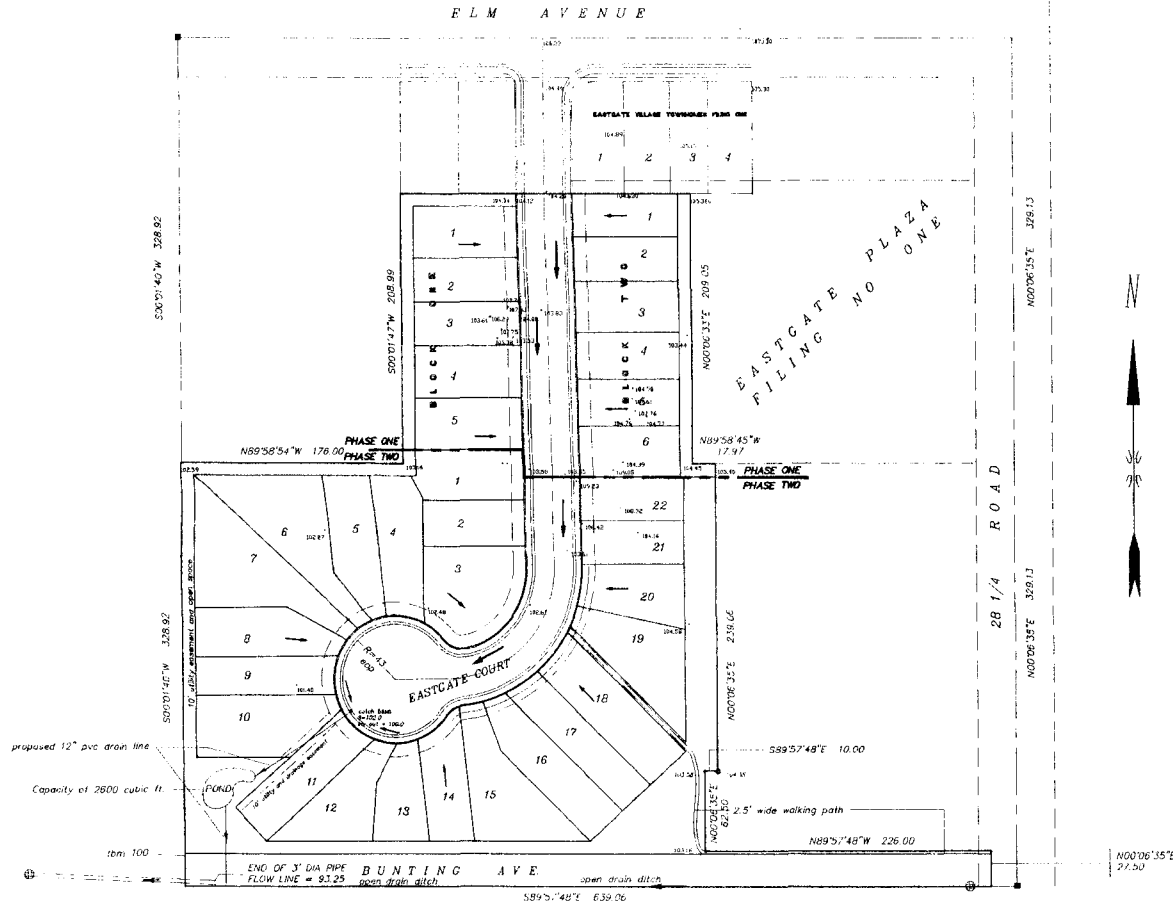
DEVELOPED DRAINAGE PLANNING

It is proposed that all lots will be graded to slope to the street (Eastgate Court) and the natural fall of the street will conduct storm waters to the cul-de-sac of the south end of the street to be picked up by a catch basin. The historic drainage of 3.5 cfs will be conducted directly to the Grand Junction Drainage District drain ditch. Storm waters in excess of the 3.5 cfs will be diverted into the detention pond for later release. The detention pond will have a capacity of 2600 cubic feet.

→ Direction of Drainage

1027' spot elevations

Lots to be graded to slope to street, with water collected in street and carried to the SW corner of property where it will be detained



EASTGATE VILLAGE TOWNHOMES, FILING TWO

DRAINAGE AND GRADING PLAN

SITUATED IN THE SW 1/4 SECTION 7, TOWNSHIP 1 SOUTH, RANGE 1 EAST, 11TH MERIDIAN

FOR: DORSEY



G.E.D. SURVEYING SYSTEMS Inc. 1015 COLO. AVE GRAND JUNCTION COLORADO 81501 (303) 241-2370 464-2568

SURVEYED BY: DAM MF

DRAWN BY: VAP

ACAD ID: EVDRAIN

SHEET NO

SCALE: 1" = 50 FT

DATE: 6/2/91

FILE: 91017