

Table of Contents

File 1992-0005

Name: Taco Bell Drive Thru Restaurant - Conditional Use

P **S** A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS
r **c** retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development
e **a** file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will
n **n** be found on the ISYS query system in their designated categories.
e **e** Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page.
d **d** Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for
t **t** the contents of each file.

X	X	Table of Contents
		Review Sheet Summary
X	X	Review Comments
X	X	Application form
		Review Sheets
X		Receipts for fees paid for anything
		*Submittal checklist
X	X	*General project report
		Reduced copy of final plans or drawings
X	X	Reduction of assessor's map.
		Evidence of title, deeds, easements
X	X	*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
X		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
		*Petitioner's response to comments
X	X	*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Action Sheet - approved - 3/18/92	X	Commitment for Title Insurance - effective 12/24/91
X	X	Proposed Taco Bell Site Map	X	Newspaper Article
X	X	Floor Plan	X X	Development Improvement - 6/17/92 - given to City Clerk - ** - copy for file
X	X	Left Side Elevation	X X	Planning Clearance - **
X	X	Correspondence - 2/1/92	X X	Certificate of Occupancy - 9/14/92
X		Public Notice Posting - 2/21/92	X	Lease Agreement - not signed
X		e-mails	X X	Suggested Motions - recommended denial
X		Legal Ad - 2/25/92, 3/11/92	X X	Avigation Easement - acquired from Mesa Co. records retrieval to City Clerk for retention - 6/11/92
X	X	Planning Commission Meeting Agenda /Minutes - 3/3/92 - **	X X	Sign Permit - issued - 8/11/92 - **
X	X	Development Project Meeting Agenda - 3/6/92	X X	1997 letter and memos VCB Warranty Deed
X	X	Planning Commission Meeting Agenda/Minutes - 3/18/92 - **	X X	Preliminary Site Plan
X		Agenda Item Summary - 3/18/92	X X	Sign Calculation diagram
X	X	Utility Coordinating Committee approval - 4/8/92	X X	State R.O.W. diagram
X	X	State Highway Access Permit - 4/27/92, 6/4/92	X X	Traffic Flow Chart



DEVELOPMENT APPLICATION
 Community Development Department
 250 North 5th Street Grand Junction, CO 81501
 (303) 244-1430

A Receipt 4816
 Date 2-3-92
 Rec'd By [Signature]
 File No. 5-92

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input type="checkbox"/> Subdivision Plat/Plan	<input type="checkbox"/> Minor <input type="checkbox"/> Major <input type="checkbox"/> Resub				
<input type="checkbox"/> Rezone				From: To:	
<input type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final				
<input checked="" type="checkbox"/> Conditional Use		1.62 Acres	736 Horizon Dr	H.O.	Commercial
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Text Amendment					
<input type="checkbox"/> Special Use					
<input type="checkbox"/> Vacation					<input type="checkbox"/> Right-of-Way <input type="checkbox"/> Easement

<input checked="" type="checkbox"/> PROPERTY OWNER	<input checked="" type="checkbox"/> DEVELOPER	<input checked="" type="checkbox"/> REPRESENTATIVE
Inland/Riggle Oil Co.	Moss Inc (Taco Bell)	Michael Saelens (Moss Inc.)
Name	Name	Name
1380 Zuni St.	759 Horizon Dr.	759 Horizon Dr.
Address	Address	Address
Denver Colorado 80204	Grand Jct. CO. 81506	Grand Jct. CO. 81506
City/State/Zip	City/State/Zip	City/State/Zip
	(303) 245-0898	(303) 245-0898
Business Phone No.	Business Phone No.	Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Michael Saelens
 Signature of Person Completing Application 1/27/92
 Date 1/28/92

[Signature]
 Signature of Property Owner(s) - Attach Additional Sheets if Necessary

2701-361-00-091
Currier B. C.
C/O Holiday Inn
P.O. Box 1725
Grand Junction, CO. 81502

2701-364-00-022
L.K. Smith
C. Biggs C/O Holiday Inn
P.O. Box 1725
Grand Junction, CO. 81502

2701-364-00-023
Western States Motel Operations
C/O Holiday Inn
P.O. Box 1725
Grand Junction, CO. 81502

2701-364-00-025
Robert L. Zarlingo
2278 Holland Ave.
Grand Junction, CO. 81503

2701-364-00-026
Bruce C. Currier
c/O Holiday Inn
P.O. Box 1725
Grand Junction, CO. 81502

2701-364-00-029
Laird K. Smith
1702 N. 18th. St.
Grand Junction, CO. 81501

2701-364-00-054
Reed Miller Inc.
P.O. Box 157
Grand Junction, CO. 81502

2701-364-00-106
Feeley Family LTD Partnership
2022 Baseline
Grand Junction, CO. 81503

2701-364-00-114
A.L. Partee
C/O Robert L. Lipson
296 W. Morrison Ct.
Grand Junction, co. 81503

2701-364-00-940
City & County Airport
Grand Junction, CO. 81501

2701-364-00-941
City & County Airport
Grand Junction, CO. 81501

2701-364-09-005
Thomas Peeso
720 Niblic Dr.
Grand Junction, CO. 81506

2701-364-09-006
Robert Lee Lionberger
719 Brassie Dr.
Grand Junction, CO. 81506

2701-364-10-005
Jerry E. Wardrip
P.O. Box 12513
El Cajon, CA. 92022

2701-364-10-006
Steven F. Costello
719 Bunker Dr.
Grand Junction, CO. 81506

2701-364-11-002
Vernon E. Nelson
3505 N. 12th. St. #D-1
Grand Junction, CO. 81506

2701-364-11-003
A.L. Partee
Surv. Partner Partee Homes
2678 Del Mar Dr.
Grand Junction, CO. 81506

2701-364-11-006
Feeley Family Limited Part.
2022 Baseline Drive
Grand Junction, CO. 81503

2701-364-11-007
Warren C. Brown
2770 Nine Iron Dr.
Grand Junction, CO. 81506

2701-364-26-019
BLM/Skyline Joint Venture
C/O Bernard A. Buescher
P.O. Box 1752
Grand Junction, CO. 81502

2701-364-28-008
Prudential Insurance Co.
1050 17th. St. Suite 2500
Denver CO. 80265

2701-364-33-001
Louise Forster
737 Horizon Dr.
Grand Junction, CO. 81506

2701-364-33-003
Louise Forster
737 Horizon Dr.
Grand Junction, CO. 81506

2701-364-33-007
Donald Feeley & Associates
733 Horizon Dr.
Grand Junction, CO. 81506

2701-364-33-008
Donald Feeley & Associates
2022 Baseline Dr.
Grand Junction, CO. 81506

2701-364-33-009
Louise Forster
737 Horizon Dr.
Grand Junction, CO. 81506

John L. Moss
759 Horizon Dr. Suite 380
Grand Junction, CO. 81506

Michael Saelens
759 Horizon Dr. Suite 380
Grand Junction, CO. 81806

#5-92
Original
Do NOT Remove
From Office



Tamarack Properties

522 Grand Valley Drive
Grand Junction, Colorado 81504
(303) 434-3040
(303) 434-3044

February 1, 1992

TO WHOM IT MAY CONCERN:

SUBJECT PROPERTY: 736 Horizon Drive
Grand Junction, Colorado 81506

LEGAL DESCRIPTION: Beg 659.44 ft E of SW Cor NW4SE4 Sec 36
1N 1W E 329.72 ft N 83.42 ft N 45Deg50Min
W 313.39 ft S 51Deg25Min W 134.15 ft
S 217.83 ft to Beg.

MESA COUNTY TAX SCHED. #2701-364-00-030 City Zone: HO

This property consists of 70,555 sq.ft., see attached plot plan for dimensions. There is 134.15' of frontage on Horizon Dr. The East (back) part is sloped steeply and would require a considerable amount of earth moving, retaining walls, etc. Consequently the usable land is more likely to be 40,000 to 45,000 sq.ft. and is complicated by a small frontage and the above site costs.

It is my opinion that the fair market value of this property is: \$ 340,000.00.

W. D. CARNETT, JR.

Broker

Original
Do Not Remove
From Office

#5-92



Tamarack Properties

522 Grand Valley Drive
Grand Junction, Colorado 81504
(303) 434-3040
(303) 434-3044

COMP # 1

SUBJECT PROPERTY: 739 Horizon Drive
Grand Junction, Colorado 81506

LEGAL DESCRIPTION: Fr NW Cor SW4SE4 Sec 36 1N 1W N 27Deg20Min
E 107.3 ft N 89Deg48Min E 293.1 ft for
Beg N 27Deg20Min E Alg Hwy 150 ft N
62Deg40Min W at R Ang to Hwy 244.1 ft
to Pt on E Li W2 SE4 Sec 36 S Alg
E Li 168.9 ft S E 166.7
to Beg.

MESA COUNTY TAX SCHED. # 2701-36

This property consists of approximat
level ground, all of which appears to be
150' of frontage on Horizon Drive and was s
for \$300,000.00. This price is equal to \$9.51

*Burger
king
property*

This is the only recent sale discovered of bacant la.
similar to and in the same neighborhood as the subject
property.

Original
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From Office

#5-92

BLK 5
DO

ing
R. I W.
7-35
1-35

VCAN
IOR
7

12 14
STREET

FAIRWAY PARK
1st ADDITION
SEE
SPECIAL
PARK

VINTAGE 70'S PLAT
CONDOMINIUM
2701-363-C

FAIRWAY PARK
SUBDIVISION

#5-92
Original
Do NOT Remove
From Office

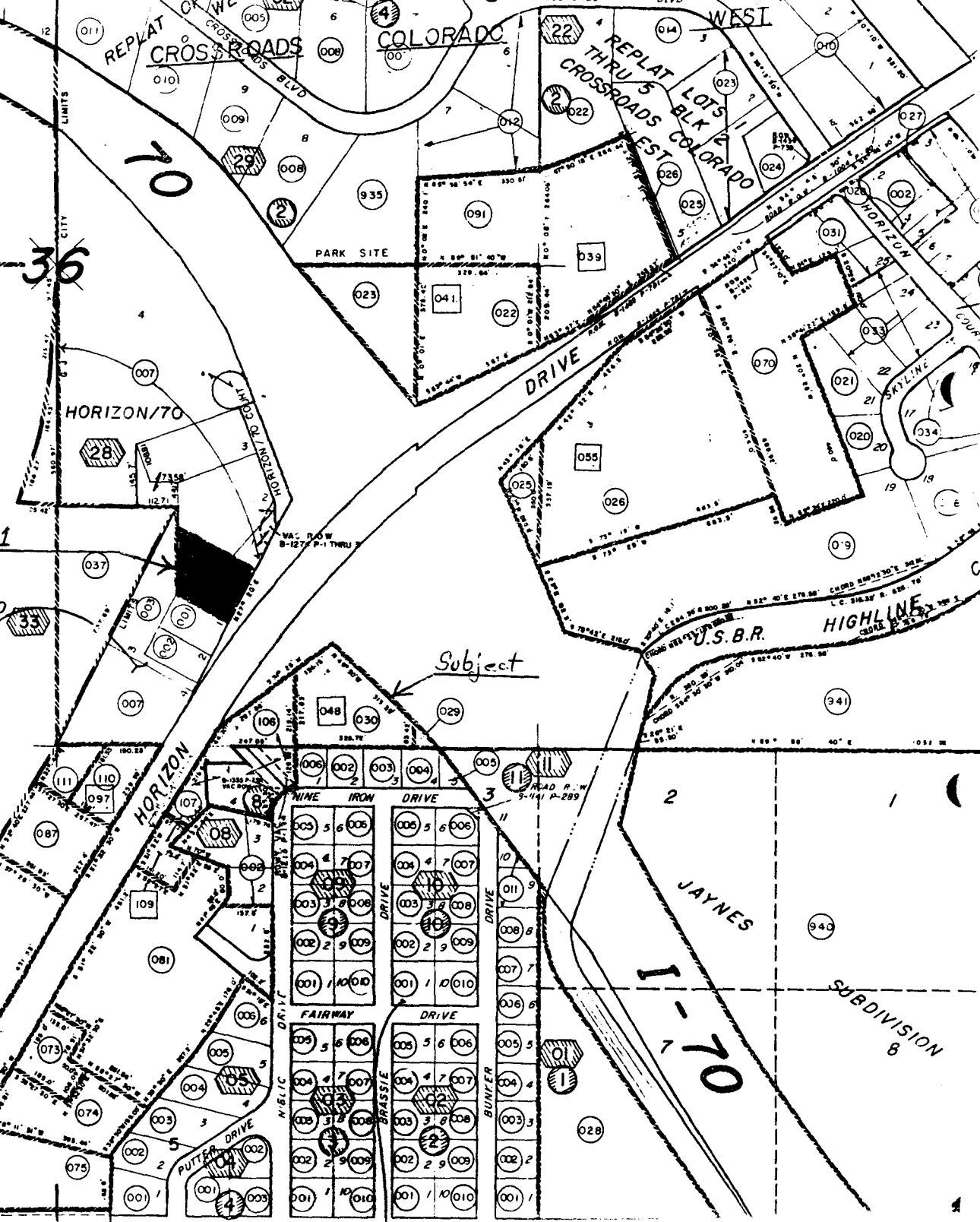
BOOKCLIFF
COUNTRY CLUB

BOOKCLIFF

COUNTY

CLUB

NORTHSIDE
PARK



Comp #1
HOMESTEAD
SUBDIVISION

Subject

1-70

COMMUNITY DEVELOPMENT DEPARTMENT
M E M O R A N D U M

TO: Mark Achen, City Manager
Jody Kole, Assistant to the City Manager
Darold Sloan, Chief of Police
Mike Thompson, Fire Chief
Ted Novack, Parks & Recreation Director
Ron Lappi, Administrative Services Director
Jim Shanks, Public Works Director
Dan Wilson, City Attorney
John Shaver, Assistant City Attorney
Mark Relph, Public Works Manager
Don Newton, City Engineer
Bill Cheney, City Utilities Engineer
Tim Woodmansee, Property Agent
Dave Tontoli, Traffic Analyst
Community Development Department Staff

David T.

FROM: Bennett Boeschstein, Community Development Director

DATE: February 5, 1992

RE: Development Project Meeting

A Development Project meeting has been scheduled for Tuesday, February 11, 1992 at 9:00 a.m., in Conference Room B, City Hall.

The following is a list of current agenda items. If anyone has additional items which need to be addressed at the meeting, please let me know.

1. #5-92 **Conditional Use Permit for Taco Bell Drive-Thru Restaurant
736 Horizon Drive**

2. #6-92 **Text Amendment - Reversion of Zones**

Taco Bell Staff Report
736 Horizon Drive
File # 5-92

Request is for approval of a conditional use permit for a drive-thru restaurant and site plan approval in an Highway Oriented (HO) zone.

Phase one which is what is now being reviewed is the restaurant and site improvements. Phase two will be an office building and phase three will be a small retail building. Both phases I & II will be submitted and reviewed at a later date.

Emphasize at beginning that this is phase I any other phases II or III will be reviewed separately and must stand alone as far as landscaping is concerned.

The restaurant construction is anticipated for the summer of 1992.

Referring to the site plan:

- square footage of landscaping meets code. (7400+ sq ft proposed and 7,199 sq ft required). Proposed landscaping includes 19 trees. 15 are required.
- Number of parking spaces is sufficient. 52 parking spaces are proposed. ³⁰40 are required by code (one per three seats). The interior of the restaurant will seat ⁹⁰98 people. The outdoor patio will seat 26.
- 524 square feet of signage is being proposed. This includes 2 freestanding signs at 228 sq ft each and 4 wall signs (one on each side of the building) at 17 sq ft each. The total signage allowed for the entire parcel is 671 sq ft.
- petitioner has agreed to:
 - 1) construct any fire hydrant(s) necessary for compliance to fire code including extending the 8" Ute water line from the west side of Horizon Drive to service the hydrant(s).
 - 2) obtain all necessary permits/agreements/leases from State Highway for construction and use of state highway ROW.
 - 3) execute an avigation easement with the Walker Airport Authority.
 - 4) improve the State Access road by widening and repaving (including curb, gutter, sidewalk) back as far as required by the first phase. The road will be 36' wide beginning at Horizon Drive back to a depth of 65' and will taper down to a width of 24'.
 - 5) rebuild median located on Horizon Drive on the North end of Taco Bell site to allow for a left turn lane.
 - 6) contribute their portion up to \$15,000 for the future installation of a traffic signal at the I-70 / Horizon Drive interchange.
 - 7) all review agency summary sheet comments.

2880 II
sh...

Kathy

There is only
154 # of Signage
left over from
Taco Bell for
the VCB Building

Staff recommends approval subject to review agency summary sheet comments.

REVIEW COMMENTS

(Page 1 of 5)

FILE NO. #5-92 **TITLE HEADING:** Conditional Use - Drive Thru Restaurant

ACTIVITY: Conditional Use for a Drive Thru Restaurant (Taco Bell)

PETITIONER: Moss, Inc.

REPRESENTATIVE: Michael Saelens

LOCATION: 736 Horizon Drive

PHASE: Final

ACRES:

PETITIONER'S ADDRESS: 759 Horizon Drive
Grand Junction, Colorado 81506

STAFF REPRESENTATIVE: David Thornton

**NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS
IS REQUIRED ON OR BEFORE 5:00 P.M., FEBRUARY 28, 1992.**

CITY UTILITIES ENGINEER **02/11/92**
Bill Cheney **244-1590**

1. Existing sanitary sewer has adequate capacity to serve the proposed use. The owner will be required to install a grease trap and obtain an "Industrial Pretreatment" permit prior to connection to the line in Horizon Drive.
2. Future buildings for Phases 2 and 3 will require separate sewer services.

US WEST **02/07/92**
Leon Peach, Engineer **244-4964**

No comments at this time.

CITY POLICE DEPARTMENT **02/13/92**
Marty Currie **244-3563**

No problems noted.

CITY FIRE DEPARTMENT 02/06/92
George Bennett 244-1400

Access appears to be adequate at this time. A fire flow survey will need to be conducted prior to construction to determine if adequate protection is provided. Codes and Ordinances require that fire hydrants to be within 150 feet of all exterior portions of any new buildings.

COUNTY HEALTH 02/10/92
Darleen L. Mckissen 248-6968

As of this date, plans have not be received by this Department. In accordance with the RULES AND REGULATIONS GOVERNING THE SANITATION OF FOOD SERVICE ESTABLISHMENTS IN THE STATE OF COLORADO, detailed plans are required to be submitted to this Department for review and approval before construction begins on any new or extensively remodeled food service establishment. An APPLICATION FOR FOOD SERVICE FACILITY PLAN REVIEW may be obtained from the Mesa County Health Department. The food service establishment must also be inspected to determine complete compliance with the RULES AND REGULATIONS. One or more inspections may be required prior to this Department issuing approval for the facility to open. This Department would have no objections to the concept or proposed location of the food service establishment.

No other comments or approval can be made or given until plans are received.

WALKER FIELD 02/07/92
Mike Sutherland 244-9100

Walker Field Airport Authority has no opposition to this proposal. The site is within the Airport Area of Influence, therefore, an Avigation Easement must be signed, executed and recorded with Mesa County Clerk and Recorder's Office prior to issuance of the final approval and/or Building Permit.

Standard Avigation Easements are available at the Community Development Department or at the Airport Authority Administration office.

Please provide a copy of the recorded document to Walker Field Airport Authority following recording into the public record.

CITY ENGINEER 02/14/92
Don Newton 244-1559

1. Need grading and drainage plan. Drainage discharge from site shall not exceed volume from 10 year recurrence interval for historic site conditions.
2. Need detailed plans for enclosing drainage channel.
3. Driveways on State Access Road will require permit from Colorado Department of Transportation.
4. Sidewalk along Horizon Drive is below top of curb and will not drain with the proposed parking lot improvements. The sidewalk should be removed and reconstructed to match elevation and alignment of parking lot curb. The area between sidewalk and street curb should be landscaped and maintained by petitioner.
5. Petitioner should be required to improve State Access Road with curb, gutter, sidewalk, and roadway pavement. Roadway width will depend upon traffic volumes to be generated by Phase I, II, and III development.
6. Traffic control signing will be required per City Traffic Engineer specifications.

UTE WATER DISTRICT 02/14/92
Gary R. Mathews 242-7491

UTE WATER WILL SUPPLY THIS PROJECT
Ute has a 8" main line on the West side of Horizon Drive and a 1 1/2" line on the east side of Horizon Drive. The site also known as 736 Horizon Drive has a 1" domestic meter in place. If fire protection is required on the site, a 8" line would need to be ran from the west side of Horizon Drive, at the expense of the contractor.

POLICIES AND FEES IN EFFECT AT THE TIME OF APPLICATION WILL APPLY.

PUBLIC SERVICE 02/12/92
Dale Clawson 244-2695

PSCo electric & gas: Requests 15' utility easement along property lines as shown on attached sketch.

CITY PARKS & RECREATION 02/18/92

Don Hobbs 244-1542

Based upon appraisal value of \$340,000 on open space fee of \$17,000 will be due to Parks & Recreation.

COMMUNITY DEVELOPMENT DEPARTMENT 02/19/92

David Thornton 244-1447

1. Access permit from State Highway is required.
2. Revocable permit for landscaping in right-of-way is required. Contact Tim Woodmansee 244-1565.
3. STATE ACCESS ROAD should be improved with curbing and additional road width to accommodate ingress and egress from the site.
4. A roadway plan showing access road improvements is required.
5. Improvements Agreement and Guarantee will be required for Access Road improvements.
6. An engineered grading and drainage plan is required for the entire site.
7. Number of parking spaces is sufficient.
8. A boundary line adjustment will be required for the 30' x 37' triangle piece you are anticipating buying from the property owner to the east.
9. Landscaping plan is insufficient. 7,199 square feet of landscaping is required. 4,199 square feet is proposed. There is a deficiency of 3,000 square feet of landscaping. Please note that of the total 7,199 square feet of landscaping, 15 trees are required, 40% of the landscaped area shall contain shrubs, and this shrubs area shall be covered by a minimum of 75% plant material. Minimum plant sizes are the following: deciduous trees - 1 1/5 inch caliper (measured 1 foot above ground level; evergreen trees - 6 feet tall (measured from ground level); shrubs - 5 gallon size. An underground, pressurized irrigation system is required for all landscaped areas.
10. Please show the above landscaping requirements on a revised landscaping plan.

11. Parking angles need to be shown on the site plan. The angled parking adjacent to the State Access Road will need to be 30°. Angled parking of 45° or 60° will not meet the required stall length and aisle widths.
12. All private traffic directional signs are not to exceed 3 square feet. The directional signs proposed are 4 square feet and will require a variance from the City of Grand Junction Board of Appeals. Separate application and fees will be required for this.
13. Under the Conditional Use permit, the maximum sign allowance for the entire development may be aggregated and the total allowance redistributed. For this proposal, the aggregated total sign allowance is 671 square feet. Our calculations show that 524 square feet of total signage is being proposed. (The menu boards and traffic directional signs are not included in determining the total signage.) Therefore, this proposal is well within the total square footage of the sign allowance.
14. Traffic congestion on Horizon Drive needs to be considered.
15. Payment of open space fees are due prior to issuance of a building permit.
16. Sign permits will be required and can only be obtained by a licensed sign contractor in the City of Grand Junction.

REVIEW COMMENTS MISSING FROM:

**Grand Valley Water Users (Irrigation)
City Property Agent
City Attorney**

**COMMUNITY DEVELOPMENT DEPARTMENT
M E M O R A N D U M**

TO: Mark Achen, City Manager
Jody Kole, Assistant to the City Manager
Darold Sloan, Chief of Police
Mike Thompson, Fire Chief
Ted Novack, Parks & Recreation Director
Ron Lappi, Administrative Services Director
Jim Shanks, Public Works Director
Dan Wilson, City Attorney
John Shaver, Assistant City Attorney
Mark Relph, Public Works Manager
Don Newton, City Engineer
Bill Cheney, City Utilities Engineer
Tim Woodmansee, Property Agent
Dave Tontoli, Traffic Analyst
Community Development Department Staff

David

FROM: Bennett Boeschstein, Community Development Director

DATE: February 20, 1992

RE: Development Project Meeting

A Development Project meeting has been scheduled for Tuesday, February 25, 1992 at 9:00 a.m., in Conference Room B, City Hall.

The following is a list of current agenda items. If anyone has additional items which need to be addressed at the meeting, please let me know.

1. #5-92 **Conditional Use Permit for Taco Bell Drive-Thru Restaurant
736 Horizon Drive**
2. #6-92 **Text Amendment - Reversion of Zones**
3. **Solid Waste Transfer Sites**

XC: Cave

Bennett B.
Com. Rep.



City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

February 27, 1992

#5-92

Mr. Robert Moston
District Engineer
Colo. Dept. of Transp.
222 South 6th Street
Grand Junction, CO 81501

RE: I-70 and Horizon Drive

Dear Mr. Moston:

The City of Grand Junction has been in contact with your district regarding the installation of traffic signals at the interchange of I-70 and Horizon Drive. Warrants have been conducted and satisfied, and your office has apparently applied for hazard elimination funds. Over the years, the development has built up around this area and has created some serious traffic concerns; the most recent is a proposed Taco Bell.

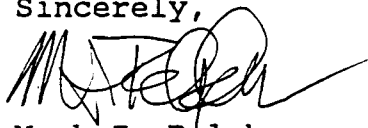
On Tuesday, March 3, 1992, at 7:30 P.M., the City Planning Commission will hold a public hearing regarding the proposed Taco Bell restaurant. The City is seriously considering requiring Taco Bell, among other things, to escrow funds for a future traffic signal and to reconstruct an existing median to accommodate a left hand turn lane.

This issue becomes complicated by the DOT's existing right-of-way, their plans for pursuing traffic signals, and the existing traffic patterns. The location of access for the Hilton Hotel, Burger King, the I-70 on/off ramps, and now Taco Bell make this area one of the major traffic concerns of the City.

The City requests an update from the DOT on your schedule and layout for traffic signals for this area. I realize that this is short notice, but some information would be appreciated in time for the public hearing. In addition, the City would like your comments on an ultimate solution to this problem.

Since we have additional development compounding this problem, the City would like to work with the DOT in solving this issue and hold Taco Bell accountable for their share of the impact. Perhaps Taco Bell will influence your ability to obtain funding.

Sincerely,



Mark J. Relph
Public Works Manager

cc: J. Shanks, Dir. of Public Works & Utilities
B. Boeschstein, Dir of Community Development
Public Works Staff
Chuck Dunn, DOT
J. Nall, DOT
file

file\mr\sm\I-70

xc: David

Bennett B

STATE OF COLORADO

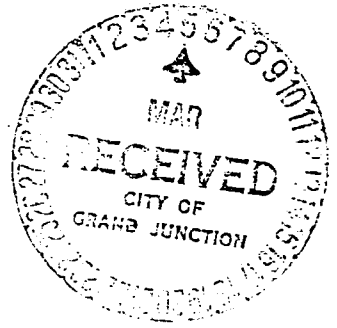
DEPARTMENT OF HIGHWAYS

222 South Sixth Street, P.O. Box 2107
Grand Junction, Colorado 81502-2107
(303) 248-7208
Fax (303) 248-7254



March 2, 1992

Mr. Mark J. Relph
Public Works Manager
City of Grand Junction
250 N. Fifth Street
Grand Junction, CO 81501



Dear Mr. Relph:

This letter is a follow up to our phone conversations this date regarding development and proposed signalization at the I-70 Horizon Drive Interchange as described in your letter of February 27, 1992.

Colorado Department of Transportation (CDOT) District 3 was unsuccessful in the application for hazard-elimination funds to signalize this interchange; the benefit: cost ratio was not high enough to meet the necessary funding criteria. The District will seek funding from other program sources for this improvement.

Since no one segment of this interchange area could be signalized separately from the entire area, it is suggested that the City of Grand Junction might wish to require developers affecting traffic at the interchange to escrow a contribution toward the eventual signalization project.

CDOT will require an appropriate contribution by developers in the interchange area to future signalization as part of the Access Code approval process, but will not require an advance cash contribution.

I look forward to continued cooperation between the City of Grand Junction and CDOT in this matter of mutual concern.

Very truly yours,
R. P. Moston
R. P. Moston
District Engineer

cc: Dunn
Nall
file

REVIEW COMMENTS
TACO BELL
736 HORIZON DR. GRAND JUNCTION
FILE 5-92
FEBRUARY 27, 1992

PAGE 1

✓ CITY UTILITIES ENGINEER:

- 1) MOSS INC. will install a grease trap (SEE REVISED SITE PLAN), and apply for a "INDUSTRIAL PRETREATMENT PERMIT prior to construction.
- 2) We are aware we will need separate sewer systems for Phases 2 & 3 these will be designed at time of approval for these Phases.

U.S WEST::

- 1) No response necessary.

CITY POLICE DEPARTMENT::

- 1) No response necessary.

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

FEB 28 1992

✓ CITY FIRE DEPARTMENT:

- 1) We assume that we will have to install a new fire hydrant for this project. We will wait for the results of the survey and locate said hydrant where it will be beneficial to all Phases.

COUNTY HEALTH::

- 1) Prior to construction and obtaining a building permit we will obtain an application for FOOD SERVICE FACILITY PLAN REVIEW, and make our construction plans available for County Health approval.

✓ WALKER FIELD::

- 1) We are in the process of executing a AVIATION EASEMENT which will be recorded at the Mesa County Clerks office and a copy delivered to Walker Field Airport Authority.

✓ CITY ENGINEER::

- 1) The grading and drainage plan is being developed and will be delivered to the City Engineer for his approval upon completion.
- 2) The Engineer is working on a detailed plan for enclosing drainage channel located within State right-of-way. When complete we will deliver to City Engineer for his approval. Moss Inc. will be responsible for the cost of enclosing drainage channel.
- 3) The application forms and fees for access permits were delivered to Chuck Dunn(Colorado Department of Transportation) on 2/13/92. We are waiting for their approval.
- 4) If necessary after the City Engineer reviews the grade & drainage plan. Moss Inc. at time of construction will remove and replace the existing sidewalk so that it drains properly. We plan to landscape and maintain area between sidewalk and Horizon Dr. (SEE REVISED SITE PLAN).
- 5) After discussions on site with Don Newton and Dave Tontorlli, Moss Inc. has agreed to improve the State Access Road by widening and repaveing back as far as required by the first Phase. The road will be 36' wide beginning at Horizon Dr. back to a depth of

REVIEW COMMENTS
TACO BELL
736 HORIZON DR. GRAND JUNCTION
FILE 5-92
FEBRUARY 27, 1992

PAGE 2

65' and will then taper down to a width of 24'. Said road will be improved to the full length of Phase 1, and improved further when we develop Phase 2. Road improvements will include curb, gutter, and sidewalk. (SEE REVISED SITE PLAN)
Moss Inc. has also agreed to rebuild median located on Horizon Dr. on the North end of Taco Bell site to allow for a left turn lane.

- 6) See Revised Site Plan for control signing.

UTE WATER DISTRICT::

- 1) If fire protection is required on the Site, Moss Inc. will pay the expense of extending a 8" line from the West side of Horizon.

Public Service::

- 1) Petitioner agrees to give to Public Service a 15' utility easement as shown on attached sketch.

✓ **City Parks & Recreation::**

- 1) Petitioner agrees to open space fee of \$17,000.00. However, we do question the burden this puts on developers, and how these sums are used.

✓ **COMMUNITY DEVELOPMENT DEPARTMENT::**

- 1) See comments under #3 of City Engineer Comments.
- 2) Petitioner has contacted Mr. Woodmansee and given him the Legal description for the revocable permit. He will submit to City Council on 3/4/92.
- 3) See comments under #5 of City Engineer Comments.
- 4) A roadway plan is being developed based on the above comments and will be delivered to City Engineer upon completion.
- 5) An Improvement Agreement and Guarantee will be completed and delivered to Community Development.
- 6) See comments under #1 of City Engineer comments.
- 7) City Engineer has asked us to eliminate 2 parking spaces for better traffic control. (See Revised Site Plan)
- 8) It will not be necessary to do a boundary line adjustment for the 30'x37' triangle because we are in the process of obtaining a right-of-way easement from the property owner to the East.
- 9) The landscaping plan has been revised to show that we now have landscaped area of 7,400 square feet of landscaping. (See Revised Landscape Plan).

REVIEW COMMENTS
TACO BELL
736 HORIZON DR. GRAND JUNCTION
FILE 5-92
FEBRUARY 27, 1992

PAGE 3

- 10) See Revised Landscape Plan.
- 11) See Revised Site Plan.
- 12) If Taco Bell does not have a standard 3 square foot sign, we will apply for a variance from the Board of Appeals, and pay application fees.
- 13) No comment necessary.
- 14) Traffic congestion on Horizon Dr. has been considered and discussed with the City Engineer. (See Revised Site Plan).
- 15) Payment of open space fees will be made prior to issuance of building permit.
- 16) Sign permits will be obtained by a licensed contractor as soon as the sign contract is let.

Y.C. Dard

Bennett B

STATE OF COLORADO

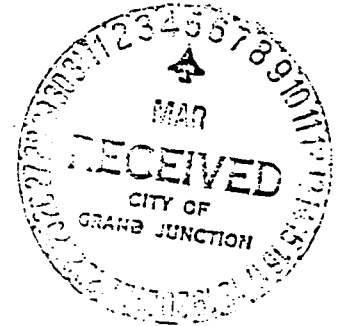
DEPARTMENT OF HIGHWAYS

222 South Sixth Street, P.O. Box 2107
Grand Junction, Colorado 81502-2107
(303) 248-7208
Fax (303) 248-7254



March 2, 1992

Mr. Mark J. Relph
Public Works Manager
City of Grand Junction
250 N. Fifth Street
Grand Junction, CO 81501



Dear Mr. Relph:

This letter is a follow up to our phone conversations this date regarding development and proposed signalization at the I-70 Horizon Drive Interchange as described in your letter of February 27, 1992.

Colorado Department of Transportation (CDOT) District 3 was unsuccessful in the application for hazard-elimination funds to signalize this interchange; the benefit: cost ratio was not high enough to meet the necessary funding criteria. The District will seek funding from other program sources for this improvement.

Since no one segment of this interchange area could be signalized separately from the entire area, it is suggested that the City of Grand Junction might wish to require developers affecting traffic at the interchange to escrow a contribution toward the eventual signalization project.

CDOT will require an appropriate contribution by developers in the interchange area to future signalization as part of the Access Code approval process, but will not require an advance cash contribution.

I look forward to continued cooperation between the City of Grand Junction and CDOT in this matter of mutual concern.

Very truly yours,

Bob Moston

R. P. Moston
District Engineer

cc: Dunn
Nall
file



Moss, Inc./S.B.I. Bells Inc.
A Franchisee of Taco Bell Corp.
715 Horizon Drive, Suite 380
Grand Junction, Colorado 81506
Telephone 303 245 0898
Fax 303 245 0899

March 3, 1992

Don Newton
City Engineer
250 N. 5th. Street
Grand Junction, CO. 81501

Mr. Newton,

This letter will serve as our intent to help install a traffic signal on Horizon Dr. & State access Road. in Grand Junction Colorado.

We feel that it is important all parties that will benefit from such a traffic signal participate. The parties being the Hilton Hotel, the City of Grand Junction, the Burger King to be constructed, and John Moss, the Owner of the Taco Bell Restaurant.

We feel strongly that the City Planning Staff, and Don Newton, the City Engineer are moving in the right direction, and wish to be a part of their innovative approach to installing traffic signals on Horizon Dr.

To this end consider this letter as our confirmation to contribute to such a project. It is our understanding that such a projects normal cost and installation to be approximately \$60,000.00. Our contribution will not exceed a sum of \$15,000.00, based on the contributions of the above mentioned parties.

Thank you for your attention to this matter.

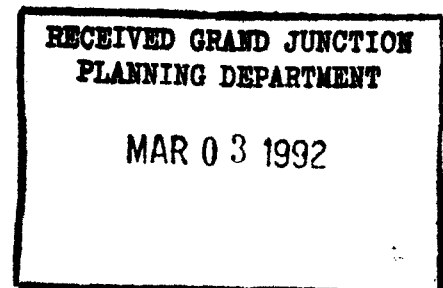
Sincerely,

Michael Saelens
Real Estate & Development
Moss Inc./S.B.I.Inc.

John L. Moss
President
Moss Inc./S.B.I. Inc.

cc: Bennett Boeschstein
Director of Community Development

Jim Shanks
Director of Public Works

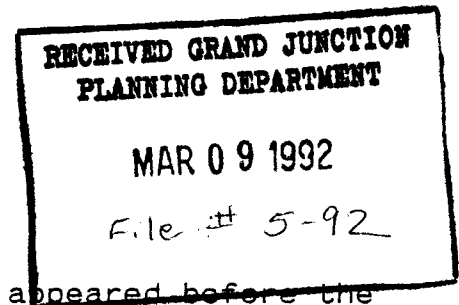




Moss, Inc./Sic Bells Inc.
A Franchisee of Taco Bell Corp.
715 Horizon Drive, Suite 380
Grand Junction, Colorado 81506
Telephone 303 245 0898
Fax 303 245 0899

March 5, 1992

Grand Junction City Council
250 N. 5th.
Grand Junction, Colorado 81501



Dear Councilman,

On Tuesday March 3, 1992 Moss Inc. (Taco Bell) appeared before the Grand Junction Planning Commission to request a Conditional Use to build a Taco Bell restaurant at 736 Horizon Drive, Grand Junction.

We were denied approval, 5-0, based on two conditions. These two conditions were: (1) That we could not build the Taco Bell restaurant until there was a traffic signal installed at Horizon Drive & I-70. (2) That we did not satisfy the code for on-site parking requirements.

Because of being denied approval, we requested that we be allowed to appeal before the City Council. I would like to explain why we feel we have a legitimate reason to appeal.

Regarding the traffic signal:

We were aware that the increased traffic on Horizon Drive would be a concern to all parties involved. After several meetings, prior to the Planning Commission meeting, between Dave Thornton (City Planner), Don Newton (City Engineer), and Dave Tontoli (Traffic Engineer), at least one meeting on site. It was concluded that if a median located on Horizon Drive was rebuilt to allow for a left turn lane it would assist traffic coming from the North on Horizon Drive. Moss Inc. agreed to pay for this median located in the State right-of way. It was also agreed to improve the State Access Road located on the North side of proposed site. Moss Inc. agreed to widen the road to 36 feet, and add curb, gutter, and sidewalk. The addition of widening the road to 36 feet would allow for three turning lanes for egress and ingress to Horizon Dr.

Moss Inc. then volunteered to give to the City of Grand Junction a letter stating that we would be glad to give to the city a sum of \$15,000.00 as our share of participation at time of installation of a traffic signal.

Chuck Dunn of the Colorado Department of Transportation told Don Newton that they were trying to obtain funding to install two traffic signals on Horizon Drive at the on and off ramp locations. He also stated that the State would not allow the City to install a third traffic signal until they could all be installed at the same time.

Conclusion::

The City Planning Staff, City Engineer, City Traffic Engineer, and Moss Inc. felt that we had worked out a very equitable situation to help traffic flow on Horizon Drive.

Traffic signals could not be installed in the State right-of-way without the States approval, and the State will not give approval

until they have funding to install all three traffic signals. All of this was explained to the Planning Commission members. For them to deny our approval because of something the City of Grand Junction and Moss Inc. has no control over creates a hardship on Moss Inc. or anyone else who chose to develop this property.

Regarding on-site parking requirements:

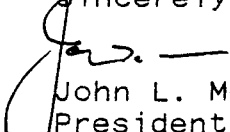
This property is a unique site because there is a large expanse of land that is State-Right-of-Way located between the property and Horizon Drive. The State has agreed to lease this property to Taco Bell for 5 years, with two 5 year options, for a sum to be determined by the State appraiser. We would be allowed to use this tract of land for parking and we would also do extensive landscaping on said property (See Site Plan). Based on the computation of 1 parking space for every 3 seats of restaurant seating, we would be required to provide 30 parking spaces. Our site plan allows for a total of 52 parking spaces, an amount that the Planning Department and Moss Inc. felt was more than sufficient. The Planning Commission felt that according to the code all 30 parking spaces had to be located on site. They also felt that they would be setting a precedent by allowing Moss Inc. to use the State right-of-way for off site parking.

Conclusion:


Bennett Boeschstein (Director of Community Development), Dave Thornton, (City Planner), and Moss Inc. agreed that according to their interpretation of the Code we are allowed in a commercial zoned area to have parking available within two hundred feet of the property, but within a zone allowing a parking use. The State right-of-way property is adjacent to this site and is zoned for additional parking. We felt the site had been designed according to the letter of the code. The Planning Commissions remarks that we would be setting a precedent by putting parking off site is also in error. There are presently many commercial sites located along North Ave., Horizon Drive, and throughout the City of Grand Junction that use adjacent property for required parking according to the city code.

Thank you in advance for your consideration.

Sincerely,


John L. Moss
President

Moss Inc./SBI Inc.


Michael Saelens
Real Estate & Development
Moss Inc./SBI Inc.

cc: Mr. Don Newton, City Engineer
Mr. Bennett Boeschstein, Director of Community Development
Mr. Dave Thornton, City Planner
Mr. Dave Tontoli, City Traffic Engineer

**COMMUNITY DEVELOPMENT DEPARTMENT
M E M O R A N D U M**

TO: Mark Achen, City Manager
Jody Kole, Assistant to the City Manager
Darold Sloan, Chief of Police
Mike Thompson, Fire Chief
Ted Novack, Parks & Recreation Director
Ron Lappi, Administrative Services Director
Jim Shanks, Public Works Director
Dan Wilson, City Attorney
John Shaver, Assistant City Attorney
Mark Relph, Public Works Manager
Don Newton, City Engineer
Bill Cheney, City Utilities Engineer
Tim Woodmansee, Property Agent
Dave Tontoli, Traffic Analyst
Gerald Williams, Development Project Engineer
Community Development Department Staff-Kathy, Karl, David, Ann

FROM: Bennett Boeschstein, Community Development Director

DATE: March 6, 1992

RE: Development Project Meeting

A Development Project meeting has been scheduled for Tuesday, March 10, 1992 at 9:00 a.m., in Conference Room A, City Hall.

The following is a list of current agenda items. If anyone has additional items which need to be addressed at the meeting, please let me know.

1. #7-92 Resubdivision of Lots 3-6 of the Replat of Lot 1, Blk 7, The Falls F-3 (Grand Falls Drive) STAFF: Kathy Portner
2. #8-92 Resubdivision of Lots 28-32, Blk 38 (506 Gunnison Ave & 718 N 5th St) American Red Cross. STAFF: Kathy Portner
3. #9-92 Conditional Use-Captain D's Drive-Thru Restaurant, 2812 North Ave. STAFF: Kathy Portner
4. #11-92 Outline Development Plan & Final on 5 lots, Falls F-2, Falls Pointe - Southeast of 28 1/4 & Patterson Rds. STAFF: Kathy Portner

5. #12-92 Cond Use-Storage Units in a Highway Oriented Zone-Prospector Motel, 547 Hwy 50 STAFF: Karl Metzner
6. Revision of the Highway Oriented (HO) Zone. STAFF: Karl Metzner
7. #5-92 Taco Bell-Horizon Drive signal at I-70. STAFF: David Thornton
8. #10-92 Landscape Guidelines for Street Standards. STAFF: Ann Barrett
9. Solid Waste Transfer Sites STAFF: Kathy Portner
10. #6-92 Text Amendment-Reversion of Zones STAFF: Bennett Boeschenstein



ACRES 1.62
UNITS _____
DENSITY _____
ACTIVITY Conditional Use - Drive Thru Restaurant
PHASE FINAL

CONDITIONAL USE

FILE NUMBER 5-92
ZONE H.O.
TAX SCHEDULE # 2701-364-00
030

COMMON LOCATION 736 Horizon Drive
DATE SUBMITTED _____ DATE MAILED OUT _____ DATE POSTED _____
DAY REVIEW PERIOD _____ RETURN BY _____
OPEN SPACE DEDICATION (acreage) _____ OPEN SPACE FEE REQUIRED \$ _____ PAID RECEIPT # _____
RECORDING FEE REQUIRED \$ _____ PAID (Date) _____ DATE RECORDED _____

REVIEW AGENCIES	A	B	X D	E	X G	H	X I	X J	X K	X L	X M	X N	X O	Q	R	S	T	U	V	X Y	Z	AA	BB	CC	DD	EE	FF	GG
<input checked="" type="checkbox"/> Planning Department																												
<input checked="" type="checkbox"/> City Engineer																												
<input checked="" type="checkbox"/> Transportation Engineer																												
<input checked="" type="checkbox"/> City Parks/Recreation																												
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<input checked="" type="checkbox"/> County Health																												
<input type="checkbox"/> Floodplain Administration																												
<input type="checkbox"/> G.J. Dept. of Energy																												
<input checked="" type="checkbox"/> Walker Field																												
<input type="checkbox"/> School District																												
<input checked="" type="checkbox"/> Irrigation <u>Grand Valley</u>																												
<input type="checkbox"/> Drainage <u>Water Users</u>																												
<input checked="" type="checkbox"/> Water <u>(Ute, Clifton)</u>																												
<input type="checkbox"/> Sewer Dist. (FV, CGV, OM)																												
<input checked="" type="checkbox"/> U.S. West																												
<input checked="" type="checkbox"/> Public Service <u>(2 sets)</u>																												
<input type="checkbox"/> State Highway Department																												
<input type="checkbox"/> State Geological																												
<input type="checkbox"/> State Health Department																												
<input checked="" type="checkbox"/> City Property Agent																												
<input checked="" type="checkbox"/> City Utilities Engineer																												
<input checked="" type="checkbox"/> City Attorney																												
<input type="checkbox"/> Building Department																												
<input type="checkbox"/> DDA																												
<input checked="" type="checkbox"/> GJPC (7 packets)																												
<input type="checkbox"/> CIC (11 packets)																												
<input type="checkbox"/> Other																												
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TOTALS

BOARDS	DATE	
<u>P.C.</u>	<u>3-3-92</u>	<u>Denied 5-0</u>
<u>C.C.</u>	<u>3-18-92</u>	<u>Approved 7-0</u>
_____	_____	_____
_____	_____	_____

STAFF

APPLICATION FEE REQUIREMENTS

\$420.00 Due at Submittal
50.00 Sign Deposit



COMPUTER FILES INDEXING
INFORMATION SHEET

1. File Number 5-92
2. Type of Application Conditional Use
3. Name of Project Drive-Thru Restaurant Taco Bell
4. Address of Project 736 Horizon Dr
5. Name of Applicant Moss, Inc
6. Co-Applicant Mike Soelens
7. Census Tract _____ Traffic Zone _____
8. Land Use Type _____
9. Action Date _____ By _____
10. Action Taken P.C. 3-3-92 / C.C. 3-18-92
11. Suspense Date(s) _____

PLANNING Commission (3-3-92) (DENIED 5-0)

FOR Following REASONS :

1 - Does not meet the parking requirement of the zoning and Development Code with parking located off site when it could be provided onsite.

2 - Adding to traffic safety Issue on Horizon Drive without requiring a traffic light at time of development.

City Council (3-18-92) (Approved 7-0) subject to staff comments with the additional stipulation that the \$15,000⁰⁰ towards traffic lights be required only AS A letter of agreement to be paid in the event that the signal is put up in the next two YEARS



Moss, Inc./SBI Bells Inc.
A Franchisee of Taco Bell Corp.
715 Horizon Drive, Suite 380
Grand Junction, Colorado 81506
Telephone 303 245 0898
Fax 303 245 0899

March 24, 1992

David Thornton
Grand Junction Planning
250 N. 5th.
Grand Junction, CO. 81501

Mr. Thornton,


Moss Inc. (Taco Bell) is requesting a Minor Modification to the Site Plan for 736 Horizon Dr. Grand Junction, Colorado. Approved by the City Council March 18, 1992.

Moss Inc. has decided not to obtain the 30x37 foot easement from the Owner of the adjacent Motel 8 Property. We have changed our existing parking lot with some minor modifications. We have reduced the drive-thru aisle fronting on parking spaces 15-24 to 15' instead of 27' and made it one way. We have also made these parking spaces into angled parking to allow for easier ingress and egress from these parking spaces. Parking spaces 25-34 on the original Site Plan have remained straight in parking. This has allowed us to have 11 parking spaces within our property lines instead of the original 10 in this block of parking. We now have a total of 34 parking spaces located within our property lines. We are required to have a total of 30 spaces according to code. The restaurant will seat 90 people. This also allows for a drive-thru aisle on the SE side of property to be between 25-45 feet in width.

Because of these changes it will not be necessary to obtain a easement from the property owner to the South of us, as originally intended.

Thank you in advance for your consideration.

Sincerely,


Michael Saelens
Real Estate & Development
Moss Inc./SBI Inc.

cc: Mr. John Moss
President
Moss Inc./SBI Inc.



Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430 FAX (303) 244-1599

March 27, 1992

Dear Concerned Property Owner:

Enclosed is a "Minor Change" request by Moss, Inc. for their approved site plan for a new Taco Bell Restaurant at 736 Horizon Drive. The site plan was approved by Grand Junction City Council on March 18th, 1992. Their request is to make some minor changes to that site plan. During the City Council Public Hearing on March 18th, you either testified in favor or against this project. Therefore we are sending you a copy of the revised site plan along with a copy of a letter from Moss, Inc and a copy of the approved site plan. If you have any questions or concerns please contact our office by April 6, 1992. My phone number is 244-1447. Thank you for your interest in the public process and your community.

Respectfully,

Dave Thornton
Planner

cc: File # 5-92

Development File # 5-92 Conditional Use for a Taco Bell at 736
Horizon Drive has been reviewed and approved by the Utility
Coordinating Committee.

John L. Ballagh

Chairman

April 8, 1992

Date



Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430 FAX (303) 244-1599

April 9, 1992

Mike Saelens
Moss, Inc.
715 Horizon Drive
Suite 380
Grand Junction, CO 81506

RE: Minor Change Request for Taco Bell, 736 Horizon Drive (file #5-92).

Dear Mr. Saelens:

There have been no verbal nor written objections to the minor change request dated March 27th, 1992 for the Taco Bell restaurant approved at 736 Horizon Drive. All conditions of the original approval for the site are still in effect with the exception of the non-exclusive ingress/egress easement originally required for the triangle area on the original site plan (Super 8 Motel property). The revised site plan submitted with this minor change no longer requires the motel property for traffic movement. Also, the revised site plan provides for one additional parking space onsite. Therefore three additional seats are allowed on the outdoor patio. This brings the total seating for the project to 90 seats in the indoor dining area and 12 seats on the outdoor patio.

If you have any questions please contact me at your earliest convenience.

Respectfully,

Dave Thornton
Planner

cc: File # 5-92

GW Coyne



City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

April 24, 1992

David Chase
Banner Associates
2777 Crossroads Blvd.
Grand Junction, CO 81506

RE: Horizon Drive Taco Bell

Dear David:

We have reviewed the plans submitted for the Horizon Drive Taco Bell consisting of Sheets 1 through 4 and have the following comments:

HYDROLOGY AND HYDRAULICS

H-1

The Grading and Drainage Plan must show the limits of watersheds for both the pre-and post-development conditions. These watersheds must include not only onsite, but also contributing offsite areas.

H-2

The hydrology shown on the Grading and Drainage Plan is not consistent with respect to total acreage. Difference in pre- and post-development acreages must be shown on the plan and/or discussed in narrative form.

H-3

Q-3 runoff shall not be retained in CDOT right-of-away. The area must be designed to drain by surface or pipe. We are told that the existing 15" pipe shown on the Grading and Drainage Plan, a portion of which has recently been changed to an 8" CMP, currently drains the area of Q-3. Perhaps the inlet to the pipe, if any, could be incorporated into the proposed design. However, CMP shall not be used as a drain line; either surface drain or PVC SOR 35 or thicker pipe is required.

H-4

Calculations are required on the inlet interception capacities and restrictions.

H-5

Provide detention volume calculations showing that the combined pavement weir overflow and inlet outflows in the 10-year storm event does not exceed pre-developed conditions.

H-6

Show on the Grading and Drainage Plan the limits of ponding during the 10-year event. Depth of ponding on pavement shall not exceed 1.0 foot.

GRADING

G-1

Grades provided in tabular form are T/C which appear to designate top of curb, top of walk, and top of concrete pan, and is therefore assumed to mean top of concrete. Such description is somewhat confusing, particularly in light of the variable height of curb used on the project. It would be more clear to provide elevations and designate after the elevation where what the grade is (top of curb, pavement, gutter, sidewalk, etc.).

G-2

Note 12 provides for an 18" curb. What are the limits of the higher curb and extent of transitional height curb, if any? Too little detail is provided. For example, at point 30, the T/C elevation is 4726.36. Does this mean, with an 18" curb, that the paving is at 4724.86, resulting in adverse pavement grade for drainage?

G-3

The Grading and Drainage Plan provides 2' contouring on the parking lot areas, which provides a generalized concept of grade and slopes. However, at 2' intervals, much definition is lacking. Show locations of grade changes, grade breaks, swales, etc. Also provide arrows in the direction of sloping with the percent of slope above the arrow. Provide grades at all curb returns, fillets, valley pans, angle and curvature points on concrete and paving.

G-4

Is there a swale at the northeast entrance extending northwest from the 3' concrete V-pan? If so, please identify.

G-5

Provide elevations at the west end of the sidewalk and ramp along Horizon Drive.

G-6

Proposed contour elevation 4730 southeast of the site should read 4740.

DETAILS OF CONSTRUCTION

D-1

The southeast inlet is called Type C. A detail or description of Type C is required.

D-2

Concrete pans, curb, and gutter are called out as proposed, but paving is not. A note should be provided which specifies paving and type as per detail on sheet 3. Also show paving limits at the southwest border along the motel site where the adjacent surface treatment is asphalt and soil. Will saw cutting be performed? Call out for matching grade along the motel parking lot.

D-3

Show limits of curb removal per Note 8 on the Grading and Drainage Plan. Consideration for curb termination should be given.

D-4

Provide full detail of the proposed junction box, including manhole access rim elevation.

D-5

The Grading and Drainage Plan shows a channel as existing, but does not identify it as a lined concrete channel nor label concrete headwalls at the ends. Identification and discussion of extent of removals should be provided.

D-6

The proposed 60" diameter CMP is shown dashed and appears as an existing facility. The pipe should be shown with solid lines and called out as proposed with appropriate couplings or collars. The CMP material and coatings, if any, shall have a minimum 50-year life per specifications provided in the AISI Handbook of Steel Drainage and Highway Construction Products based on soil and water pH and resistivity, or the pipeline shall meet CDOT 1991 standard materials specifications based upon sulphate, chloride, and pH conditions of the soil and water. Laboratory results must be received and approved by the City prior to use of CMP. Otherwise, RCP shall be used.

D-7

The existing 60" diameter CMP downstream of the site is not identified.

D-8

Provide invert elevations on the 40 linear feet of 10" PVC.

D-9

Concrete V-pans must be re-enforced per City Standards.

D-10

Show the depth of the drain trough in Sections C-C on Sheet 4.

D-11

The detail of Type A inlet on Sheet 4 lacks elevation information. Provide top of curb, flow line, and edge of gutter elevations at transitions and around the grate.

D-12

The utilities in the profile on Sheet 2 should be labeled.

D-13

Asphalt should be saw cut at the beginning of construction on the State Access Road. After the grade is provided, indicate "plus or minus" and add the words "match existing grade".

D-14

The gravel transition identified by Note 7 on the Grading and Drainage Plan should be on Sheet 2 as well.

D-15

Where are points 12 through 15 that are listed on Sheet 2?

D-16

The typical roadway section for the State Access Road, which is shown on Sheet 3, should indicate a width of 12'-0" after "turning lane", and 12'-0" to 0' wide after "transition", and not show a fixed width of 12'-0".

D-17

A note on Sheet 3 should indicate that a permit is required to work within CDOT right-of-way.

MISCELLANEOUS GRADING AND DRAINAGE PLAN NOTES

M-1

There are two point 51's shown. It appears that the northwest point should be point 52.

M-2

Notes 2 and 3 do not match the call outs shown on the drawing.

M-3

Note 2 in the drawing lacks an arrow to the CMP to be relocated.

M-4

Note 3 should appear on the drawing at the western most handicapped ramp on Horizon Drive.

M-5

Two note 7's appear on the plans. The one in the highway median appears to be in error.

We are happy to be available to further discuss the above comments if desired.

Sincerely,

Gerald Williams, P. E.
Development Engineer

xc: Don Newton
Chuck Dunn, CDOT R.O.W.
File (2)

SKW

COLORADO DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ACCESS PERMIT

SH No/MP/Side: 6B/32.66/L
Local Jurisdiction: City of Grand Jct.
Dist/Section/Patrol: 30240
DOT Permit No.: 392036
Permit Fee: \$100.00
Date of Transmittal: 4-27-92

THE PERMITTEE:

E. J. Preston
3038 D $\frac{1}{2}$ Road
Grand Junction, CO 81504

is hereby granted permission to construct and use an access to the state highway at the location noted below. The access shall be constructed, maintained and used in accordance with the terms and conditions of this permit, including the State Highway Access Code and listed attachments. This permit may be revoked by the issuing authority if at any time the permitted access and its use violate any of the terms and conditions of this permit. The use of advance warning and construction signs, flashers, barricades and flaggers are required at all times during access construction within State right-of-way in conformance with the MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, Part VI. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

LOCATION:

On the north side of State Highway 6, a distance of 3485 feet east from Mile Post 32; 2812 North Avenue, Grand Junction.

ACCESS TO PROVIDE SERVICE TO:

Drive-up Restaurant (2715 sf).

OTHER TERMS AND CONDITIONS:

See Attached Sheet.

MUNICIPALITY OR COUNTY APPROVAL

Required only when the appropriate local authority retains issuing authority.

By (X) Not Required Date _____ Title _____

Upon the signing of this permit the permittee agrees to the terms and conditions and referenced attachments contained herein. All construction shall be completed in an expeditious and safe manner and shall be finished within 45 days from initiation. The permitted access shall be completed in accordance with the terms and conditions of the permit prior to being used. **The permittee shall notify** Wendell Bates **with the Colorado Department of Transportation in** _____ **at** 242-4126 **at least 48 hours prior to commencing construction within the State Highway right-of-way.**

The person signing as the permittee must be the owner or legal representative of the property served by the permitted access and have full authority to accept the permit and all its terms and conditions.

Permittee (X) E. J. Preston Date 5/30/92

This permit is not valid until signed by a duly authorized representative of the Department.

DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO

By (X) [Signature] Date 6-9-92 Title Administrator,
(Date of issue) Access Committee

COPY DISTRIBUTION:

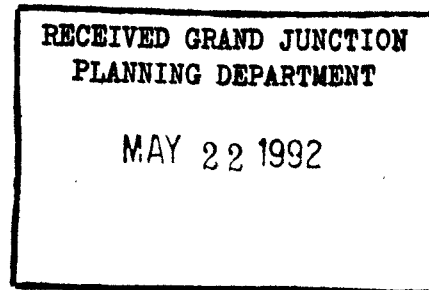
- Required:
1. District (Original)
2. Applicant
3. Staff ROW
- Make copies as necessary for:
Local Authority
MTCE Patrol
Inspector
Traffic Engineer

- 1 Local ordinance requires a construction permit from City of Grand Junction.
- 1 Driveway shall be constructed 16 feet wide with 20 foot radii. Surfacing for driveway approach is required as follows: 12" of class 1 gravel in 2, 6" lifts; 6" of class 6 gravel in 1, 6" lifts.
- 2 Also 5" of HBP in 2, 2" lifts of grade E, EX, or equivalent. The asphalt cement in the HBP shall be AC 10.
- 3 This approach is permitted for right turn in only and shall be constructed at an angle to prohibit any movements out to the highway.
- 4 No drainage from this site shall enter onto the surface of the highway. All existing drainage structures shall be extended to accommodate all new construction and safety standards.
- 5 Construct Division of Transportation Type 2 (section B) curb at or behind the property line to prevent access at locations other than approved driveway.
- 6 The new curb and gutter shall be Standard Type 2 (Sec. II B).
- 7 Construct a 8 feet wide 6" thick concrete sidewalk abutting or behind the curb. Construct handicap ramps at intersections of sidewalk and curbs.
- 9 Contractor shall follow the applicable construction specifications set for by the Department of Transportation in the latest manual Standard Specifications for Road and Bridge Construction. The property owner is responsible for any utilities disrupted by the construction of this driveway and all expenses incurred for repair. Any damage to any existing highway facilities shall be repaired prior to continuing other work. Compaction of sub-grade, embankments and backfill shall comply with Section 203.11 of the Department of Transportation Standard Specifications. The first 20 feet beyond the closest highway lane, including speed change lanes, shall slope down and away from the highway at a 2% grade to ensure proper drainage control. All excavations on utility lines, culverts, other trenches or tunnels shall meet the requirements of Colorado Department of Transportation, OSHA, Colorado Industrial Commission and the Colorado Division of Mines, whichever applies. The area around the new work shall be well graded to drain, top soiled, fertilized, mulched and reseeded.
- 10 Compaction of Hot Bituminous Pavement (HBP) shall comply with Section 401.17 of the Department of Transportation Standard Specifications. If frost is present in the sub-grade, no surfacing material shall be placed until all frost is gone or removed. Saw or score asphalt to assure a straight edge for patching.
- 11 Work shall BEGIN AFTER 8:30 A.M. and all equipment shall be off the roadway BEFORE 3:30 P.M. each day.



City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

May 22, 1992



David Chase
Banner Associates, Inc.
2777 Crossroads Blvd.
Grand Junction, Colorado 81506

RE: Horizon Drive Taco Bell

Dear Dave:

I have reviewed the Taco Bell plans submitted May 15, 1992, and have the following comments:

1. The general note 8 on sheet 4 of 4 is somewhat obscure for the large CMP shown on sheet 1, and may be removed. I would prefer to see sheet 1 have a tag note to the pipe which read something like:
New 60" diameter CMP, 94 L.F. @ 3.6% slope, coat pipe invert inside and out to a flow depth of 6" with two coats of coal tar epoxy having 20 mils total thickness. Backfill material shall be non-corrosive. [Dave, note that the product is coal tar epoxy, not cold tar epoxy.]
2. The concrete ditch lining may prevent groundwater around the pipe from draining off. The asphalt surfacing should prevent water from entering the CMP backfill area, but groundwater under the site, which I have observed in the field to be a problem, could enter the backfill through the 10" PVC pipe penetration through the concrete liner. Therefore, a note should be added to sheet 1 of the plans that the PVC penetration into the lined ditch should be grout or concrete sealed. Once that is done, water entering the backfill should primarily be exfiltration out of CMP joints, which will eventually infiltrate back in through the joints and drain off down to the invert elevation. With the outside invert coated per (1) above, this should protect the pipe.
3. The new Site Hydrology and Drainage Plan looks fine. The Tc values for the two proposed discharges to roads appear to be high, but will be accepted. Calculations were not provided as requested for inlet capacities for the north inlet, south inlet and drain trough curb opening inlet. However, this time I calculated them for you. The north and south inlets are adequate to intercept proposed flows, but the drain trough is not. The minimal street sag results in a required 2.65' wide curb opening for

interception, (with 0.1 foot of spillover around the gutter). Section C-C on Sheet 4 only calls for 6" minimum, to be sized for drainage requirements. I would suggest calling out at least 2.0 feet, and leave it at that.

4. On sheet 2 of 4, at the entrance to the 18" diameter median drain pipe, a contour with elevation 36 appears. It would seem more appropriate to have circular shaped contour of 34 around the pipe inlet, which is at 33.50.
5. Sheet 4 identifies the redirected CMP as 8 inches. Tag note 2 on sheet 1 should be consistent.

Please submit final drawings of sheets 1 through 4 which address the above. If you have any questions, please call.

Sincerely,



Gerald Williams, P.E.
Development Engineer

cc: Don Newton, City Engineer
Dave Thornton, Community Development
file (2)

CLB\GWPE



City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

May 22, 1992

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

MAY 22 1992

David Chase
Banner Associates
2777 Crossroads Blvd.
Grand Junction, CO 81506

Re: Horizon Drive Taco Bell

Dear David:

We have received and reviewed the plans submitted to us where Sheet 1 of 4 is dated May 18, 1992. It appears that the submitted plans addresses all of our comments and are therefore approved for construction. Please submit two additional sets of prints to the City for our use and also provide the City with the name of the contractor and a construction schedule as soon as such information is known.

If you have any questions regarding the above, please call.

Sincerely,

Gerald Williams, P.E.
Development Engineer

xc: Don Newton, City Engineer
David Thornton, Community Development
File

dev\review.ban

STATE OF COLORADO

DEPARTMENT OF TRANSPORTATION

4201 East Arkansas Avenue
Denver, Colorado 80222
(303) 757-9011



June 5, 1992

Moss, Inc.
Attn: Mike Saelens
715 Horizon Drive, Suite 380
Grand Junction, CO 81506

P 08-038-00

Dear Mr. Saelens:

Thank you for leasing with the Colorado Department of Transportation. I have enclosed three originals of the new lease for you to review. Please sign and have your signature notarized on all three copies. After signing, please mail all three copies of the lease back to my office for the signature of the Chief Engineer of the Department of Transportation. After his signature is obtained, one of the originals of the lease will be mailed back to you for your records.

Please mail the lease copies along with a prorated monthly rent check payable to the Colorado Department of Transportation to the following address:

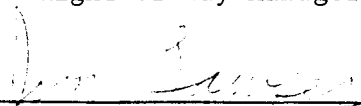
Colorado Department of Transportation
Staff Right of Way Branch
Attention: Jim Lawser
4201 E. Arkansas Ave.
Denver, CO 80222

After the first rental payment is made, the remaining \$770.00 monthly payments should be mailed to the Colorado Department of Transportation, c/o Receipts and Deposits, West Annex, 4201 E. Arkansas Ave., Denver, Colorado 80222. Please include the account number P 08-038-00 on payment checks to insure proper credit and also on any correspondence.

If you have any questions, please feel free to contact me at (303) 757-9828 in Denver.

Sincerely,

E. M. TORMOHLEN
Staff Right of Way Manager

By 

JIM LAWSER
Senior Leasing Agent
Property Management

JL/sm
Enclosures
cc: File

PROPERTY MGMT. NO. P 08-038-00
PROJECT NO. I 70-1(3) 24 Unit 2
PARCEL NO. L-1
PROPERTY ADDRESS SE Corner of I-70 & Horizon
Drive, Grand Junction

LEASE AGREEMENT

THIS AGREEMENT, made and entered into in triplicate this 5th
day of June, 1992, by and between the State of
Colorado for the use and benefit of the Colorado Department of
Transportation, the Lessor, and Horizon Drive Enterprises, Inc.
_____, the Lessee,

WITNESSETH: The parties hereto, for the considerations and
pursuant to the conditions hereinafter mentioned, covenant and agree
as follows:

1. The Lessor hereby leases to Lessee the premises known and
described more fully on Exhibit A which is attached hereto and is
hereby incorporated by reference, TO HAVE AND TO HOLD the same,
together with all appurtenances, unto Lessee for the term beginning 12
Noon June 15, 1992, and ending 12
Noon July 1, 1997, at and for an
Nine Thousand Two Hundred
annual rental rate of and Forty dollars (\$ 9,240.00)
payable in monthly installments of Seven Hundred and Seventy
dollars (\$ 770.00), plus a cleaning and security deposit of
None dollars, (\$ -0-).

(a) The rentals shall be paid to the Colorado Department of
Transportation, c/o Receipts and Deposits, West Annex, 4201 East
Arkansas Avenue, Denver, Colorado 80222. All such payments must be
received by the Receipts and Deposits Section of the Department of
Transportation on or before the tenth (10) day of each month.

(b) In the event Lessor has not received the rental
installment hereunder on or before the tenth (10) day of the month
when due, a late charge of five percent (5%) of the total installment
will be assessed to the Lessee for that month and each succeeding
month the payment is not received on or before the 10th day of that
month. In the event a check is tendered by the Lessee for a rental
installment, and it is returned to Lessor for insufficient funds,
Lessee agrees to pay administrative charges to Lessor of Twenty

Dollars (\$20.00). Both Lessor and Lessee agree that acceptance by the Lessor of late payment does not waive Lessor's right to declare Lessee in default of this Lease Agreement.

(c) Lessee has paid and Lessor has received a security deposit in the amount of \$ -0- to be held as a deposit against the full performance of every provision of the agreement, and as a deposit against any damages caused to the leased premises by Lessee, his guests or invitees. The Lessor shall have the right to use said deposit in full or in part payment of any damage caused by the Lessee or failure by Lessee to leave the premises in good repair and in a clean condition. Lessee acknowledges that the security deposit cannot be used as payment of any rental obligation. Lessee understands that if there are damages beyond reasonable wear and tear, his liability is not limited to the amount of this security deposit.

2. It is understood and agreed that the Lessee intends to use the premises only for paved parking & landscaping purposes. The premises may not be used for any other purpose without the specific written prior permission of the Lessor. Any other use of the premises shall constitute a material breach of this lease and shall cause this lease to terminate immediately.

3. The Lessee shall save, indemnify and hold harmless the Lessor for any liability for damage to persons or property resulting from Lessee's occupancy or use of the premises and shall purchase general liability and property damage insurance in the amounts of not less than \$150,000.00 per person and \$400,000.00 per occurrence which names the lessor as an additional insured for this purpose.

4. Lessee shall maintain the premises in good repair and in tenable condition during the term of this lease. Lessor shall have the right to enter the premises at reasonable times for the purpose of making necessary inspections and repairs or maintenance.

5. Lessor warrants and represents himself to be the owner of, or the authorized representative or agent of the owner of, the leased premises in the form and manner as stated in this agreement, and during the term of this Lease Agreement covenants and agrees to warrant and defend Lessee in the quiet, peaceable enjoyment and possession of the leased premises.

6. Lessee shall not assign this lease and shall not sublet the demised premises without specific written permission of the Lessor.

7. The Lessee shall not commit, nor permit the commission of, any act or thing which shall be a violation of any ordinance of the municipality, City, County, or of any law of the State of Colorado or the United States.

8. No permanent structures of any kind shall be erected or moved upon the premises by the Lessee without the express written prior permission of the Lessor. Any such structure erected or moved upon the premises without the express written consent of the Lessor may be immediately removed by Lessor at the expense of Lessee. Further, any structures of any kind remaining on the premises at the termination of the lease may be immediately removed by Lessor at the cost of Lessee.

9. In accepting this lease, the Lessee agrees to pay all taxes of any kind which may be levied against the property leased.

10. Additional conditions of the lease (if applicable) are:

(a) Access conditions: as permitted by CDOT

(b) Repair of improvements: by lessee at lessee's expense

(c) Payment of utilities: by lessee at lessee's expense

(d) Additional conditions:

1. The lessee agrees to assume full responsibility and expense for the cleanup, disposal and management of any and all petroleum or waste oil products found on the leased property. If cleanup from these products is required, the lessor at their option shall have the right to clean the leased property at the lessee's expense and the lessor shall be held harmless for any and all damages to the lessee.

2. Materials used and procedures followed to cover the existing concrete lined ditch shall meet CDOT specifications and standards (see attachments).

3. All ditch, drainage, parking, and landscaping improvements are to be done by lessee at their

expense and are to become the property of the lessor upon the expiration of the lease.

11. The Lessee, for itself, its successors in interest and assigns, as a part of the consideration hereof, does hereby covenant and agree, as a covenant running with the land:

(a) That no person shall, on the grounds of race, color, creed, sex, religion, age, national origin, marital status, mental or physical impairment, etc. be excluded from participation in, denied the benefits of, or be otherwise subjected to discrimination in the use of any facilities that may be developed on the leased premises;

(b) That in connection with the construction of any improvements on said premises, and the furnishing of any services, no discrimination shall be practiced in the selection of employees and contractors, by contractors in the selection and retention of first-tier subcontractors, and by first-tier subcontractors in the selection and retention of second-tier subcontractors;

(c) That such discrimination shall not be practiced against the public in its access to and use of the facilities and services provided on the leased premises; and

(d) That the Lessee shall use the premises in compliance with all other requirements imposed pursuant to Title 15, Code of Federal Regulations, Commerce and Foreign Trade, Subtitle A, Office of the Secretary of Commerce, Part 8 (15 C.F.R., Part 8), and as said Regulations may be amended.

12. Violation of any of the covenants and conditions contained shall constitute a breach of this agreement, and in any such event, the Lessor may, after written notice as required by law, where the breach remains uncorrected, exercise all rights conferred by the laws of the State of Colorado, repossess the leased premises and declare a forfeiture of all the Lessee's rights hereunder. Failure of the Lessor to exercise such option in any particular case, including, but not limited to, acceptance of late rent, shall not be construed as a waiver of its rights in any other case. In the event of any violation of this lease by Lessee or in the event of any breach or nonperformance of any of the covenants or conditions of the lease by

Lessee, Lessee agrees to pay all expenses, including, but not limited to, court costs and attorney fees incurred by Lessor in the exercise of any of the remedies available to Lessor by this lease or in law or in equity.

13. The parties hereto specifically understand that the premises covered by this lease were acquired by the Colorado Department of Transportation as remainder parcels or advance right of way. The premises are not presently needed by the Lessor. The parties have utilized their best effort to estimate the date upon which such future need of the premises by the Lessor will occur. However, both parties understand that at any time before the scheduled expiration of the term of this lease, Lessor has the right to cancel the lease without liability by giving the Lessee 90 days written notice of its intention to cancel the lease. The notice shall be hand delivered, posted on the leased premises, or sent to Lessee, at the address of Lessee contained herein by Certified Mail, return receipt requested.

14. This lease may also be canceled by the Lessee by giving Lessor 90 days written notice of their intent to do so.

15. In the event the leased premises are rendered untenable or unfit for Lessee's purposes by fire or other casualty, this lease will immediately terminate and no rent shall accrue to Lessor from the date of such fire or casualty. In the event the leased premises are damaged by fire or other casualty so that if there is partial destruction of such premises or such damage as to render the leased premises partially untenable or partially unfit for Lessee's purposes, either party may, within five (5) days of such occurrence, terminate this lease by giving written notice to the other party. Such termination shall be effective not less than fifteen (15) days from the date of mailing of the notice. Rent shall be apportioned to the effective date of termination.

16. The laws of the State of Colorado and rules and regulations issued pursuant thereto shall be applied in the interpretation, execution, and enforcement of this contract. Any provision of this contract whether or not incorporated herein by reference which provides for arbitration by any extra-judicial body or person or which

is otherwise in conflict with said laws, rules, and regulations shall be considered null and void. Nothing contained in any provision incorporated herein by reference which purports to negate this or any other special provision in whole or in part shall be valid or enforceable or available in any action at law whether by way of complaint, defense or otherwise. Any provision rendered null and void by the operation of this provision will not invalidate the remainder of this contract to the extent that the contract is capable of execution.

17. This Lease Agreement shall be binding upon and inure to the benefit of the partners, heirs, executors, administrators, successors and assigns of the respective parties hereto.

18. The signatories aver that to their knowledge, no state employee has any personal or beneficial interest whatsoever in the service or property described herein.

19. The signatories hereto aver that they are familiar with 18-8-301, et seq. (Bribery and Corrupt Influences) and 18-8-401, et seq. (Abuse of Public Office), C.R.S. 1973, as amended, and that no violation of such provisions is present.

20. This contract shall not be deemed valid until it has been approved by the Chief Engineer of the Colorado Department of Transportation and by the Lessee.

21. The Lessee warrants that the address listed on Page 7 is Lessee's current mailing address and that Lessee will notify Lessor in writing of any changes in that address within ten (10) days of such change.

22. The lessee agrees to defend, indemnify and hold harmless the lessor and any employees, agents, contractors, and officials of the lessor against any and all damages, claims, liability, loss, fines or expenses, including attorney's fees and litigation costs, related to the presence, disposal, release or clean-up of any contaminants, hazardous materials or pollutants on, over, under, from or affecting the property subject to this Lease Agreement, which contaminants or hazardous materials the lessee or its employees, agents, contractors or officials have caused to be located, disposed, or released on the

property. The lessee shall also be responsible for all damages, claims and liability to the soil, water, vegetation, buildings or personal property located thereon as well as any personal injury or property damage related to such contaminants or hazardous materials.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the day first above written.

LESSEE:

ADDRESS:

STATE OF COLORADO)
) ss
COUNTY OF)

The foregoing Lease Agreement was acknowledged before me this
_____ day of _____, 19 _____ by
_____.

Witness by hand and official seal

My commission expires _____.

NOTARY PUBLIC

ADDRESS:

LESSOR:

ATTEST:

COLORADO DEPARTMENT OF TRANSPORTATION

BY

ROBERT L. CLEVINGER
Chief Engineer

EXHIBIT A
REAL PROPERTY
TO BE LEASED

PARCEL NO. L-1

Moss Inc./Sierra Bells Inc.

FOR

PROJ. NO. I 70-1(3)24 UNIT 2
Grand Junction - Clifton

STATE HIGHWAY NO. 70

DESCRIPTION

A tract or parcel of land No. L-1 of the Department of Transportation, State of Colorado, Project No. I 70-1(3)24 Unit 2 containing 0.404 acres, more or less, in the NW1/4SE1/4 of Section 36, Township 1 North, Range 1 West, of the Ute Meridian, in Mesa County, Colorado, said tract or parcel being more particularly described as follows:

Beginning at an angle point in the existing right-of-way line of S.H. 70, in the SW quadrant of the I 70 - Horizon Drive Interchange (April 1992) from which the SE corner of Section 36, T. 1 N., R. 1 W., Ute Meridian bears S. 49° 05' 15" E. a distance of 2,480.21 feet;

1. Thence S. 45° 50' 30" E., along said line, a distance of 97.65 feet;
2. Thence N. 50° 46' 03" E. a distance of 24.61 feet;
3. Thence N. 39° 13' 57" W. a distance of 139.00 feet;
4. Thence N. 48° 05' 03" W. a distance of 55.71 feet;
5. Thence S. 52° 19' 52" W. a distance of 63.00 feet;
6. Thence S. 38° 35' 46" W. a distance of 90.48 feet;
7. Thence S. 39° 13' 57" E. a distance of 79.69 feet to the intersection with said right-of-way line;
8. Thence N. 50° 46' 03" E., along said line, a distance of 124.15 feet, to the point of beginning.

The above described parcel contains 0.404 acres, more or less.

This parcel is for the purpose of a lease for a parking lot and landscaping.

T. 1 N., R. 1 W., U.M.

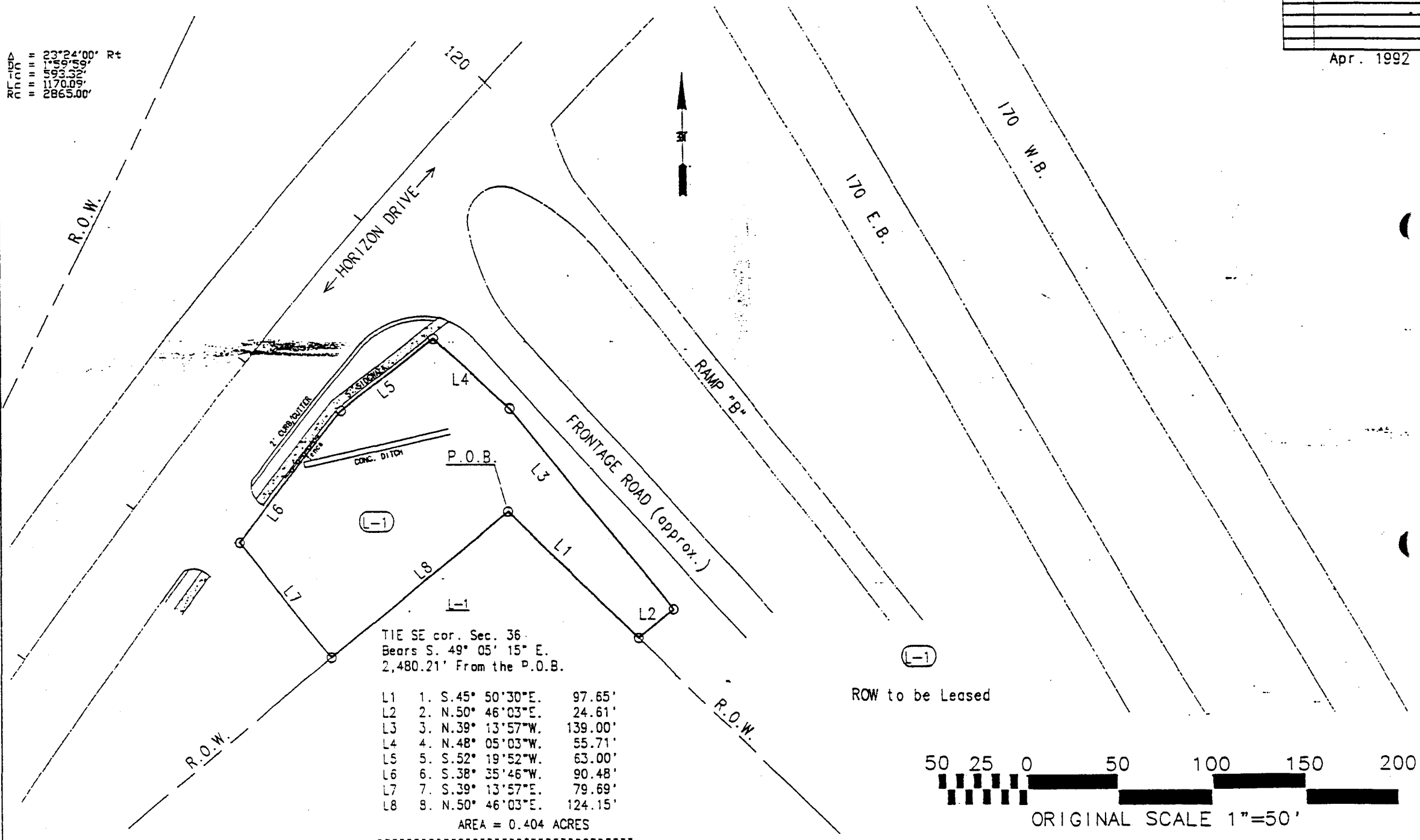
EXIT 31

SE1/4 Sec. 36

FEDERAL ROAD DISTRICT NO.	DIVISION	PROJ. NO.	SHEET NO.	TOT. SHEETS
VII	COLORADO	170-1(3)24 Unit 2		
RIGHT OF WAY				
REVISIONS				

Apr. 1992

Δ DC = 23°24'00" Rt
 TOC = 1599.59'
 L = 1170.09'
 RA = 2865.00'

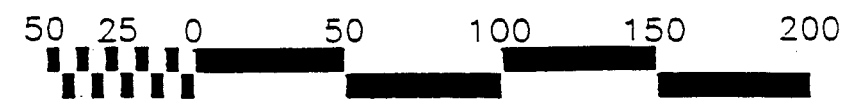


TIE SE cor. Sec. 36
 Bears S. 49° 05' 15" E.
 2,480.21' From the P.O.B.

L1	1.	S. 45° 50' 30" E.	97.65'
L2	2.	N. 50° 46' 03" E.	24.61'
L3	3.	N. 39° 13' 57" W.	139.00'
L4	4.	N. 48° 05' 03" W.	55.71'
L5	5.	S. 52° 19' 52" W.	63.00'
L6	6.	S. 38° 35' 46" W.	90.48'
L7	7.	S. 39° 13' 57" E.	79.69'
L8	8.	N. 50° 46' 03" E.	124.15'

AREA = 0.404 ACRES

ROW to be Leased



ORIGINAL SCALE 1"=50'

STANDARD M - 603 - 1

(SHEET 1 OF 2)
(JANUARY, 1982)

FEDERAL ROAD REGION NO.	DIVISION	PROJECT NO.	SHEET NO.
VIII	COLORADO		

REVISIONS	

TABLE I - 2 2/3 x 1/2" CORRUGATIONS
ROUND STEEL PIPE

12" MIN. COVER *

PIPE DIA. in.	HEIGHT OF COVER LIMITS, H FT.				
	WALL THICKNESS (Inches)				
	0.064	0.079	0.109	0.138	0.168
12	92	100	100	100	100
15	74	80	100	100	100
18	61	67	86	90	94
21	53	57	74	77	81
24	46	50	65	68	71
27	41	44	57	60	63
30	37	40	52	54	56
36	30	33	43	45	47
42	34	47	74	77	81
48	30	41	65	68	71
54		36	57	60	63
60			52	54	57
66				49	51
72				45	47
78					43
84					40

TABLE II - 3' x 1' CORRUGATIONS
ROUND STEEL PIPE

PIPE DIA. in.	* MIN. COVER in.	HEIGHT OF COVER LIMITS, H FT.				
		WALL THICKNESS (Inches)				
		0.064	0.079	0.109	0.138	0.168
36	12	53	66	98	100	100
42	12	45	56	84	100	100
48	12	39	49	73	88	98
54	12	35	44	65	78	87
60	12	31	39	58	70	78
66	12	28	36	53	64	71
72	12	26	33	49	58	65
78	12	24	30	45	54	60
84	12	22	28	42	50	56
90	12	21	26	39	47	52
96	12		24	36	44	49
102	18		23	34	41	46
108	18			32	39	43
114	18			30	37	41
120	18			29	35	39

** COVER GREATER THAN 90 FT. SHALL BE USED ONLY AFTER THOROUGH INVESTIGATION OF FOUNDATION MATERIAL.

TABLE III - 125mm x 25mm CORRUGATIONS
ROUND STEEL PIPE

PIPE DIA. in.	* MIN. COVER in.	HEIGHT OF COVER LIMITS, H FT.				
		WALL THICKNESS (Inches)				
		0.064	0.079	0.109	0.138	0.168
48	12	39	49	73	88	98
54	12	35	44	65	78	87
60	12	31	39	58	70	78
66	12	28	36	53	64	71
72	12	26	33	49	58	65
78	12	24	30	45	54	60
84	12	22	28	42	50	56
90	12	21	26	39	47	52
96	12		24	36	44	49
102	18		23	34	41	46
108	18			32	39	43
114	18			30	37	41
120	18			29	35	39

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS APPLICABLE TO THE PROJECT.

THE TABLES ON THESE SHEETS SHOW MINIMUM THICKNESS FOR STRUCTURAL REQUIREMENTS ONLY. THEY ARE INTENDED FOR USE ONLY WHERE CORROSIVE AND/OR ABRASIVE CONDITIONS ARE NEGLIGIBLE. HEAVIER METAL AND/OR PROTECTIVE COATINGS SHALL BE USED WHERE SITE INVESTIGATIONS INDICATE CORROSIVE AND/OR ABRASIVE CONDITIONS.

PIPE-ARCH WITH EQUAL PERIPHERY AND WITH SPAN AND RISE DIMENSIONS APPROXIMATELY EQUAL TO THOSE REQUIRED BY PLANS WILL BE PERMITTED.

ADEQUATE COVER SHALL BE PROVIDED DURING CONSTRUCTION TO PROTECT THE STRUCTURE FROM DAMAGE.

PIPE SHALL BE PLACED WITH LONGITUDINAL SEAMS AT THE SIDES OR QUARTER POINTS BUT NOT ALONG TOP OF VERTICAL AXIS.

STRUCTURAL PLATE PIPES OF EQUAL OR GREATER DIAMETER, CONFORMING TO SECTION 510 OF THE STANDARD SPECIFICATIONS, MAY BE SUBSTITUTED FOR THE PIPES ON THESE SHEETS AT NO ADDITIONAL COST TO THE PROJECT.

WHEN A CULVERT IS TO BE EXTENDED WITH PIPE OF A DIFFERENT MATERIAL, THE CONNECTION SHALL CONFORM TO THE DETAILS ON PLANS OR BE APPROVED.

EXTENSIONS FOR CMP ARCH CULVERT SHALL MATCH THE CORRUGATIONS AND THE SPAN AND RISE DIMENSIONS OF THE CULVERT TO BE EXTENDED.

THE MINIMUM COVER, EXCLUDING PAVEMENT, OVER CORRUGATED METAL PIPE CULVERT SHALL BE AS STATED BY THE ENGINEER, BUT SHALL NOT BE LESS THAN SHOWN IN THE TABLES ON THESE SHEETS.

BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206.

TRENCH INSTALLATION:

INSTALLATION AND MAXIMUM FILL HEIGHTS SHALL CONFORM TO THE "K" STANDARD FOR "PIPE SEWER IN TRENCH".

ROUND PIPE - STEEL

PIPE - ARCH - STEEL

* Top of Pipe to Top of Subgrade

TABLE IV - 2 2/3 x 1/2" CORRUGATIONS
STEEL PIPE-ARCH

12" MIN. COVER *

PIPE SIZE in.	EQUIV. DIA. in.	WALL THICKNESS in.	HEIGHT OF COVER LIMITS, H FT.	
			CORNER BEARING PRESSURE 2 Tons Per Sq. Ft.	
			CORNER RADIUS	
17 x 13	15	0.064	3"	11
21 x 15	18	0.064	3"	9
24 x 18	21	0.064	3"	8
28 x 20	24	0.064	3"	7
35 x 24	30	0.064	3"	5
42 x 28	36	0.064	3 1/2"	5
49 x 33	42	0.079	4"	5
57 x 38	48	0.109	5"	5
64 x 43	54	0.109	6"	6
71 x 47	60	0.138	7"	6
77 x 52	66	0.168	8"	6
83 x 57	72	0.168	9"	7

TABLE V - 3' x 1' 125 mm x 25 mm CORRUGATIONS
STEEL PIPE-ARCH

PIPE SIZE in.	EQUIV. DIA. in.	WALL THICKNESS in.	* MIN. COVER in.	HEIGHT OF COVER LIMITS, H FT.	
				CORNER BEARING PRESSURE 2 Tons Per Sq. Ft.	
				CORNER RADIUS	
40 x 31	36	0.064	12	5"	8
46 x 36	42	0.064	12	6"	8
53 x 41	48	0.064	12	7"	8
60 x 46	54	0.064	12	8"	8
66 x 51	60	0.064	12	9"	9
73 x 55	66	0.064	12	12"	10
81 x 59	72	0.064	12	14"	11
87 x 63	78	0.064	12	14"	10
95 x 67	84	0.079	12	16"	11
103 x 71	90	0.109	18	16"	10
112 x 75	96	0.109	18	18"	10
117 x 79	102	0.109	18	18"	10
128 x 83	108	0.138	24	18"	9
137 x 87	114	0.138	24	18"	8
142 x 91	120	0.168	24	18"	8

PIPE-ARCH IS INTENDED FOR USE WHERE MINIMUM COVER REQUIREMENTS FOR ROUND PIPE CAN NOT BE MET. WHEN COVER EXCEEDS 15 FT. - USE ROUND PIPE.

SEE THIRD GENERAL NOTE.

DEPARTMENT OF HIGHWAYS
STATE OF COLORADO
DIVISION OF HIGHWAYS

METAL CULVERT PIPE
N - 20 LOADING

DESIGNED BY T.A.L. APPROVED BY J.P.P.
MADE BY J.P.P. STAFF DESIGN ENGINEER
CHECKED BY D.L.P. DATE: JUNE 26, 1981

STANDARD M-603-1

(SHEET 2)
(JANUARY, 1982)

FEDERAL ROAD DISTRICT NO.	DIVISION	PROJ. NO.	SHEET NO.	TOTAL SHEETS
VIII	COLORADO			
REVISIONS				

TABLE VI — 2 2/3" x 1/2" CORRUGATIONS
ROUND ALUMINUM PIPE

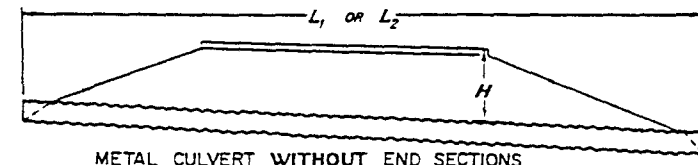
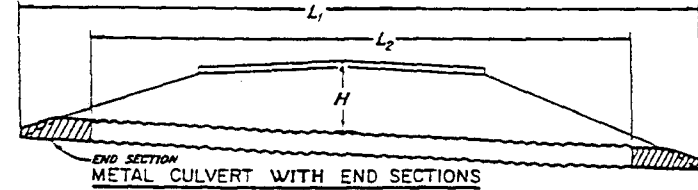
PIPE DIA. in.	MIN. COVER in.	HEIGHT OF COVER LIMITS, H (ft.)				
		WALL THICKNESS (Inches)				
		0.060	0.075	0.105	0.135	0.164
12	12	50	50	86	90	93
15	12	40	40	69	72	74
18	12	33	33	57	60	62
21	12	28	28	49	51	53
24	12	25	25	43	45	46
27	12	22	22	38	40	41
30	12		20	34	36	37
36	12		16	28	30	31
42	12			44	52	53
48	12			38	45	47
54	18			34	40	41
60	18				36	37
66	18				33	34
72	18					31

TABLE VII — 3" x 1" CORRUGATIONS
ROUND ALUMINUM PIPE

PIPE DIA. in.	MIN. COVER in.	HEIGHT OF COVER LIMITS, H (ft.)				
		WALL THICKNESS (Inches)				
		0.060	0.075	0.105	0.135	0.164
30	12	36	45	62	93	100
36	12	30	37	51	77	100
42	12	26	32	44	66	86
48	12	22	28	38	58	72
54	18	20	25	34	51	63
60	18	18	22	31	46	57
66	18		20	28	42	51
72	18		18	25	38	47
78	24			23	35	43
84	24			22	32	40
90	24			20	30	37
96	24			19	28	34
102	24				26	32
108	24				24	30
114	24					28
120	24					27

TABLE VIII — 6" x 1" CORRUGATIONS
ROUND ALUMINUM PIPE

PIPE DIA. in.	MIN. COVER in.	HEIGHT OF COVER LIMITS, H (ft.)				
		WALL THICKNESS (Inches)				
		0.060	0.075	0.105	0.135	0.164
36	12	26	36	51	66	80
42	12	23	31	44	56	69
48	12	20	27	38	49	60
54	18	18	23	34	44	53
60	18	17	21	30	39	48
66	18		19	27	36	43
72	18		17	25	33	40
78	24			23	30	37
84	24			21	28	34
90	24				25	32
96	24				24	29
102	24				23	28
108	24					26
114	24					24



H = HEIGHT OF COVER LIMIT, MAXIMUM HEIGHT OF FILL OVER TOP OF CULVERT, INCLUDING PAVEMENT.
 L₁ = LENGTH OF CULVERT TO BE MEASURED WHEN PLACED IN ACCORDANCE WITH SECTION 611.
 L₂ = LENGTH OF CULVERT TO BE MEASURED WHEN PLACED IN ACCORDANCE WITH SECTION 603.
 LENGTH OF EXTENSION, WHEN PLACED IN ACCORDANCE WITH SECTION 611, SHALL BE THE ACTUAL NUMBER OF FEET OF NEW CULVERT REQUIRED.

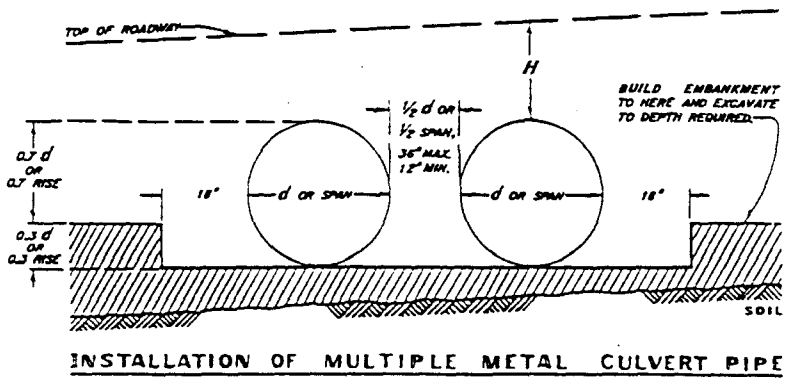
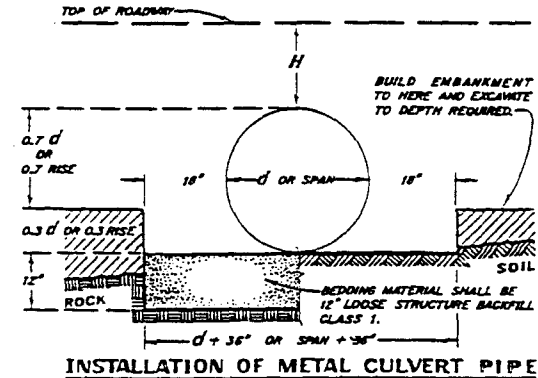
TABLE IX — 2 2/3" x 1/2" CORRUGATIONS
ALUMINUM PIPE-ARCH

PIPE SIZE in.	EQUIV. DIA. in.	MIN. COVER in.	WALL THICKNESS in.	HEIGHT OF COVER LIMITS, H (ft.)	
				CORNER RADII	BEARING PRESSURE 2 Tons/Sq. Ft.
17 x 13	15	12	0.060	3'	11
21 x 15	18	12	0.060	3'	9
24 x 18	21	12	0.060	3'	8
28 x 20	24	12	0.075	3'	7
35 x 24	30	12	0.075	3'	5
42 x 28	36	15	0.105	3 1/2'	5
49 x 33	42	15	0.105	4'	5
57 x 38	48	15	0.135	5'	5
64 x 43	54	18	0.135	6'	6
71 x 47	60	18	0.164	7'	6

MINIMUM COVER IS FROM TOP OF PIPE TO TOP OF PAVEMENT, HOWEVER, THE DISTANCE FROM TOP OF PIPE TO TOP OF SUBGRADE SHALL NOT BE LESS THAN ONE FOOT.

SEE THIRD GENERAL NOTE, SHEET 1.

PIPE-ARCH IS INTENDED FOR USE WHERE MINIMUM COVER REQUIREMENTS FOR ROUND PIPE CAN NOT BE MET.
USE ROUND PIPE WHEN FILL EXCEEDS 15 FEET.



DEPARTMENT OF HIGHWAYS
STATE OF COLORADO
DIVISION OF HIGHWAYS

METAL CULVERT PIPE
H-20 LOADING

DESIGNED BY T.A.L. APPROVED BY [Signature]
MADE BY J.G.D. STAFF DESIGN ENGINEER
CHECKED BY B.L.M. DATE: JUNE 26, 1982

STANDARD M-603-2

(JANUARY, 1982)

DESIGN NO.	DIVISION	PRJ. NO.	SHEET NO.	TOTAL SHEETS
VIII	COLORADO			

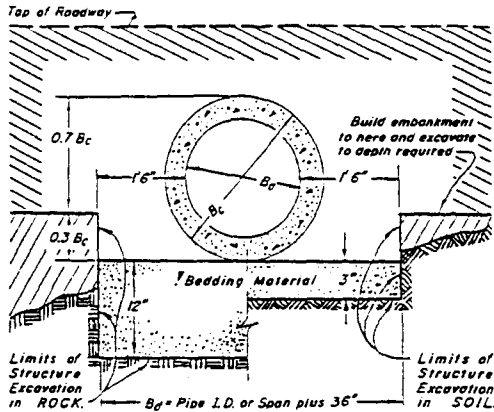
REVISIONS

DIMENSIONS FOR REINFORCED CONCRETE PIPE

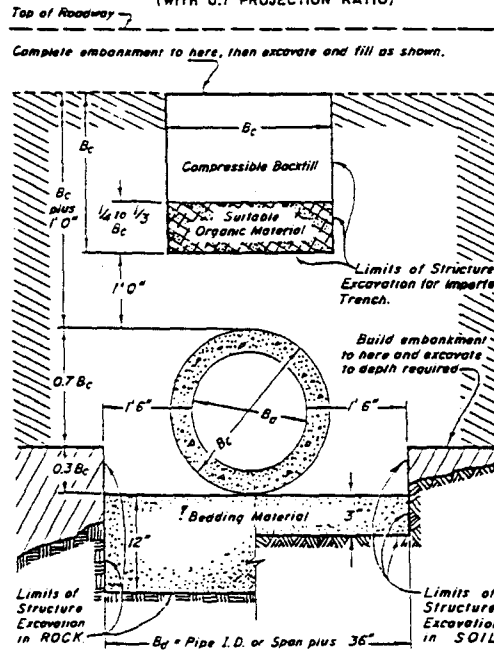
6/3/82 (For Information Only)
NO CIV GET

NOTE: B_c is the outside dimension for diameter, span or rise.

PIPE INSTALLATION (WITH 0.7 PROJECTION RATIO)



INDUCED TRENCH PIPE INSTALLATION (WITH 0.7 PROJECTION RATIO)



^F Bedding Material for SOIL shall be 3" loose thickness Structure Backfill Class 2. Bedding Material for ROCK shall be 12" loose thickness Structure Backfill Class 1.

A PIPE SIZE- B_c (In. I.D.)	Wall Thickness (Inches)	O.3 Outside Rise (Feet)	CIRCULAR		ARCH		(VE) VERTICAL ELLIPTICAL				(HE) HORIZONTAL ELLIPTICAL								
			Span (Inches)	Rise (Inches)	Span (Inches)	Rise (Inches)	Span (Inches)	Rise (Inches)	Wall Thickness (Inches)	O.3 Outside Rise (Feet)	Span (Inches)	Rise (Inches)	Wall Thickness (Inches)	O.3 Outside Rise (Feet)					
12	2	0.40																	
15	2-1/4	0.49																	
18	2-1/2	0.58																	
21	2-3/4	0.66																	
24	3	0.75																	
27	3-1/4	0.84																	
30	3-1/2	0.92																	
33	3-3/4	1.01																	
36	4	1.10																	
39	4-1/2	1.28																	
42	5	1.45																	
46	5-1/2	1.62																	
54	6	1.80																	
60	6-1/2	1.97																	
66	7	2.15																	
72	7-1/2	2.32																	
78	8	2.50																	
84	8-1/2	2.68																	
90	9	2.85																	
96	9-1/2	3.02																	
102	10	3.20																	
108	10	3.20																	

^A Also equivalent round dimension for Arch and Elliptical pipe.
^Φ Sizes shown are for identification purposes only. Actual sizes shall conform to those listed in Fig. 1 of AASHTO M 206.

HEIGHTS OF FILL OVER REINFORCED CONCRETE PIPE

TYPE OF PIPE	HEIGHT OF FILL OVER TOP OF PIPE IN FEET					
	CLASS OF PIPE (0.01" Crack D-Load)					
	Class II	Class III	Class IV	Class V	Class VI	Class VII
	Class VE II	Class VE III	Class VE IV	Class VE V	Class VE VI	Class VE VII
	Class HE II	Class HE III	Class HE IV	Class HE V	Class HE VI	Class HE VII
	1000 D	1350 D	2000 D	3000 D	4000 D	
PIPE INSTALLATION WITH 0.7 PROJECTION RATIO						
CIRCULAR	Min. to 18	Min. to 25	25+ to 37	37+ to 45		
ARCH	Min. to 18	Min. to 25	25+ to 37	37+ to 45		
VERTICAL ELLIPTICAL	Min. to 18	Min. to 25	25+ to 37	37+ to 45		
HORIZONTAL ELLIPTICAL	Min. to 18	Min. to 25	25+ to 37	37+ to 45	45+ to 62	
PIPE INSTALLATION WITH INDUCED TRENCH						
ALL TYPES	up to 35	up to 48	46+ to 75	75+ to 96		

GENERAL NOTES

All work shall be done in accordance with the Standard Specifications applicable to the project.
Minimum cover excluding pavement shall be 1 foot.
Fill heights greater than maximum allowed in the Height: of Fill Table on this sheet will require special design of structure.
Pipe design is based on safety factor of 1.33 on ultimate strength.
The heights of fill over top of pipe are based on unit weight of soil at 120 lbs. per cubic foot.
Pipe Class is determined from .01 inch crack D-load.
Bedding is Class B (Modified) with Settlement Ratio $R_w = 0.0$ (Yielding Bed).

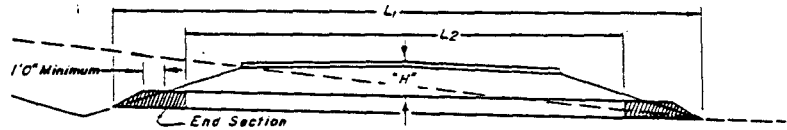
Changes in design factors will require compensating change in pipe design.
Minimum wall thickness dimensions are based on AASHTO Designation M 170 (Wall B) for Circular Pipe, AASHTO Designation M 206 for Arch Pipe and AASHTO Designation M 207 for Elliptical Pipe.
Spacing for multiple pipe installations shall conform to the details shown on M Standard for Excavation and Backfill for Structures.
When a culvert is to be extended with pipe of different material, the connection shall conform to the detail on plans or be approved.

NONREINFORCED CONCRETE PIPE
Nonreinforced Concrete Pipe conforming to AASHTO M-86 may be used in lieu of Reinforced Concrete Pipe shown herein, provided it meets the same D-Load to produce the Ultimate Load under the three-edge bearing method as specified for Reinforced Concrete Pipe in accordance with AASHTO M-170. Wall thickness of pipe may be increased as required to meet D-Load requirement.

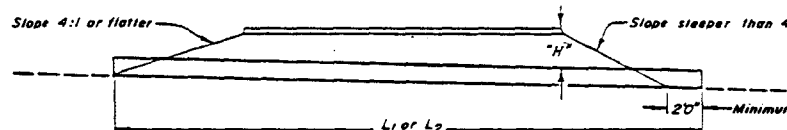
All requirements for Reinforced Concrete Pipe, except those referring to reinforcement, shall apply to Nonreinforced Concrete Pipe.

TRENCH INSTALLATION:
Installation and Maximum Fill Heights shall conform to the M Standard for "Pipe Sewer in Trench".

CONCRETE CULVERT WITH END SECTIONS



CONCRETE CULVERT WITHOUT END SECTIONS



"H" = Maximum height of fill over top of Culvert, including pavement.
 L_1 = Length of Culvert to be measured when placed in accordance with Section 617.
 L_2 = Length of Pipe to be measured when placed in accordance with Section 603.
Length of extension, when placed in accordance with Section 617, shall be the actual number of feet of new culvert required.

DEPARTMENT OF HIGHWAYS
STATE OF COLORADO
DIVISION OF HIGHWAYS
REINFORCED CONCRETE PIPE

Designed by M. R. H. Approved by J. R. B.
Made by J. R. B. Staff Design Engr.
Checked by R. S. M. Date: 4-19-68

**COLORADO DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ACCESS PERMIT**

SH No/MP/Side: F70A /31,36/R
Local Jurisdiction: City of Grand Jct
Dist/Section/Patrol: 30201
DOT Permit No.: 392061
Permit Fee: \$100.00
Date of Transmittal: 6-4-92

THE PERMITTEE:

John L. Moss
2519 I Road
Grand Junction, CO 81506

is hereby granted permission to construct and use an access to the state highway at the location noted below. The access shall be constructed, maintained and used in accordance with the terms and conditions of this permit, including the State Highway Access Code and listed attachments. This permit may be revoked by the issuing authority if at any time the permitted access and its use violate any of the terms and conditions of this permit. The use of advance warning and construction signs, flashers, barricades and flaggers are required at all times during access construction within State right-of-way in conformance with the MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, Part VI. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

LOCATION:

On the south side of State Highway F70A, a distance of 1900 feet east from Mile Post 31; 736 Horizon Drive, Grand Jct.

ACCESS TO PROVIDE SERVICE TO:

Taco Bell Restaurant (2600 sf).

OTHER TERMS AND CONDITIONS:

See attached sheet.

MUNICIPALITY OR COUNTY APPROVAL

Required only when the appropriate local authority retains issuing authority.

By (X) Not required Date _____ Title _____

Upon the signing of this permit the permittee agrees to the terms and conditions and referenced attachments contained herein. All construction shall be completed in an expeditious and safe manner and shall be finished within 45 days from initiation. The permitted access shall be completed in accordance with the terms and conditions of the permit prior to being used. **The permittee shall notify** Dale Gilden **with the Colorado Department of Transportation in** _____ **at** 242-4126 **at least 48 hours prior to commencing construction within the State Highway right-of-way.**

The person signing as the permittee must be the owner or legal representative of the property served by the permitted access and have full authority to accept the permit and all its terms and conditions.

Permittee (X) John L. Moss HTLE Date 6-9-92

This permit is not valid until signed by a duly authorized representative of the Department.

DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO

By (X) [Signature] Date 6/9/92 Title Access Adm
(Date of issue)

COPY DISTRIBUTION:

Required; 1 District (Original) 2 Applicant
Make copies as necessary for: Local Authority Inspector MTCE Patrol Traffic Engineer

Previous Editions are Obsolete and will not be used

CDOT Form #101

7/91

- 1 Local ordinance requires a construction permit from City of Grand Junction.
- 1 Driveway shall be constructed * feet wide with * foot radii. Surfacing for driveway approach is required as follows: *" of class * gravel in *, *" lifts; *" of class * gravel in *, *" lifts.
- 2 Also *" of HBP in *, *" lifts of grade E, EX, or equivalent. The asphalt cement in the HBP shall be AC 10.
- 3 Fill/cut slopes shall be at a *:1 slope on the roadway and at 6:1 on the access approach.
- 4 * Access shall be constructed per plans provided with application. When a traffic signal at the service road intersection with Horizon Dr. is warranted permittee shall pay their proportional cost of design, materials and construction for said traffic light.
- 5 A new * culvert shall be used. All culverts (side drains) installed in open ditches shall have flared end sections.
- 6 No drainage from this site shall enter onto the surface of the highway. All existing drainage structures shall be extended to accommodate all new construction and safety standards.
- * Construct Division of Transportation Type 2 (section B) curb at or behind the property line to prevent access at locations other than approved driveway.
- 7 Contractor shall follow the applicable construction specifications set for by the Department of Transportation in the latest manual Standard Specifications for Road and Bridge Construction. The property owner is responsible for any utilities disrupted by the construction of this driveway and all expenses incurred for repair. Any damage to any existing highway facilities shall be repaired prior to continuing other work. Compaction of sub-grade, embankments and backfill shall comply with Section 203.11 of the Department of Transportation Standard Specifications. The first 20 feet beyond the closest highway lane, including speed change lanes, shall slope down and away from the highway at a 2% grade to ensure proper drainage control. All excavations on utility lines, culverts, other trenches or tunnels shall meet the requirements of Colorado Department of Transportation, OSHA, Colorado Industrial Commission and the Colorado Division of Mines, whichever applies. The area around the new work shall be well graded to drain, top soiled, fertilized, mulched and reseeded.
- 8 Compaction of Hot Bituminous Pavement (HBP) shall comply with Section 401.17 of the Department of Transportation Standard Specifications. If frost is present in the sub-grade, no surfacing material shall be placed until all frost is gone or removed. Saw or score asphalt to assure a straight edge for patching.
- 9 Work shall BEGIN AFTER 8:30 A.M. and all equipment shall be off the roadway BEFORE 3:30 P.M. each day.

TACO
BELL
FILE

Bennett B.
Comm. Rep.



City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

February 27, 1992

Mr. Robert Moston
District Engineer
Colo. Dept. of Transp.
222 South 6th Street
Grand Junction, CO 81501

RE: I-70 and Horizon Drive

Dear Mr. Moston:

The City of Grand Junction has been in contact with your district regarding the installation of traffic signals at the interchange of I-70 and Horizon Drive. Warrants have been conducted and satisfied, and your office has apparently applied for hazard elimination funds. Over the years, the development has built up around this area and has created some serious traffic concerns; the most recent is a proposed Taco Bell.

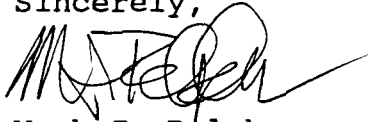
On Tuesday, March 3, 1992, at 7:30 P.M., the City Planning Commission will hold a public hearing regarding the proposed Taco Bell restaurant. The City is seriously considering requiring Taco Bell, among other things, to escrow funds for a future traffic signal and to reconstruct an existing median to accommodate a left hand turn lane.

This issue becomes complicated by the DOT's existing right-of-way, their plans for pursuing traffic signals, and the existing traffic patterns. The location of access for the Hilton Hotel, Burger King, the I-70 on/off ramps, and now Taco Bell make this area one of the major traffic concerns of the City.

The City requests an update from the DOT on your schedule and layout for traffic signals for this area. I realize that this is short notice, but some information would be appreciated in time for the public hearing. In addition, the City would like your comments on an ultimate solution to this problem.

Since we have additional development compounding this problem, the City would like to work with the DOT in solving this issue and hold Taco Bell accountable for their share of the impact. Perhaps Taco Bell will influence your ability to obtain funding.

Sincerely,



Mark J. Relph
Public Works Manager

cc: J. Shanks, Dir. of Public Works & Utilities
B. Boeschstein, Dir of Community Development
Public Works Staff
Chuck Dunn, DOT
J. Nall, DOT
file

file\mr\sm\I-70



Moss, Inc./Sierra Bells Inc.
A Franchisee of Taco Bell Corp.
715 Horizon Drive, Suite 380
Grand Junction, Colorado 81506
Telephone 303 245 0898
Fax 303 245 0899

March 5, 1992

Grand Junction City Council
250 N. 5th.
Grand Junction, Colorado 81501

Dear Councilman,

On Tuesday March 3, 1992 Moss Inc. (Taco Bell) appeared before the Grand Junction Planning Commission to request a Conditional Use to build a Taco Bell restaurant at 736 Horizon Drive, Grand Junction.

We were denied approval, 5-0, based on two conditions. These two conditions were: (1) That we could not build the Taco Bell restaurant until there was a traffic signal installed at Horizon Drive & I-70. (2) That we did not satisfy the code for on-site parking requirements.

Because of being denied approval, we requested that we be allowed to appeal before the City Council. I would like to explain why we feel we have a legitimate reason to appeal.

Regarding the traffic signal:

We were aware that the increased traffic on Horizon Drive would be a concern to all parties involved. After several meetings, prior to the Planning Commission meeting, between Dave Thornton (City Planner), Don Newton (City Engineer), and Dave Tontoli (Traffic Engineer), at least one meeting on site. It was concluded that if a median located on Horizon Drive was rebuilt to allow for a left turn lane it would assist traffic coming from the North on Horizon Drive. Moss Inc. agreed to pay for this median located in the State right-of-way. It was also agreed to improve the State Access Road located on the North side of proposed site. Moss Inc. agreed to widen the road to 36 feet, and add curb, gutter, and sidewalk. The addition of widening the road to 36 feet would allow for three turning lanes for egress and ingress to Horizon Dr.

Moss Inc. then volunteered to give to the City of Grand Junction a letter stating that we would be glad to give to the city a sum of \$15,000.00 as our share of participation at time of installation of a traffic signal.

Chuck Dunn of the Colorado Department of Transportation told Don Newton that they were trying to obtain funding to install two traffic signals on Horizon Drive at the on and off ramp locations. He also stated that the State would not allow the City to install a third traffic signal until they could all be installed at the same time.

Conclusion::

The City Planning Staff, City Engineer, City Traffic Engineer, and Moss Inc. felt that we had worked out a very equitable situation to help traffic flow on Horizon Drive.

Traffic signals could not be installed in the State right-of-way without the States approval, and the State will not give approval

until they have funding to install all three traffic signals. All of this was explained to the Planning Commission members. For them to deny our approval because of something the City of Grand Junction and Moss Inc. has no control over creates a hardship on Moss Inc. or anyone else who chose to develop this property.

Regarding on-site parking requirements:

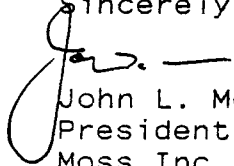
This property is a unique site because there is a large expanse of land that is State-Right-of-Way located between the property and Horizon Drive. The State has agreed to lease this property to Taco Bell for 5 years, with two 5 year options, for a sum to be determined by the State appraiser. We would be allowed to use this tract of land for parking and we would also do extensive landscaping on said property (See Site Plan). Based on the computation of 1 parking space for every 3 seats of restaurant seating, we would be required to provide 30 parking spaces. Our site plan allows for a total of 52 parking spaces, an amount that the Planning Department and Moss Inc. felt was more than sufficient. The Planning Commission felt that according to the code all 30 parking spaces had to be located on site. They also felt that they would be setting a precedent by allowing Moss Inc. to use the State right-of-way for off site parking.

Conclusion:

Bennett Boeschstein (Director of Community Development), Dave Thornton, (City Planner), and Moss Inc. agreed that according to their interpretation of the Code we are allowed in a commercial zoned area to have parking available within two hundred feet of the property, but within a zone allowing a parking use. The State right-of-way property is adjacent to this site and is zoned for additional parking. We felt the site had been designed according to the letter of the code. The Planning Commissions remarks that we would be setting a precedent by putting parking off site is also in error. There are presently many commercial sites located along North Ave., Horizon Drive, and throughout the City of Grand Junction that use adjacent property for required parking according to the city code.

Thank you in advance for your consideration.

Sincerely,



John L. Moss
President
Moss Inc./SBI Inc.



Michael Saelens
Real Estate & Development
Moss Inc./SBI Inc.

cc: Mr. Don Newton, City Engineer
Mr. Bennett Boeschstein, Director of Community Development
Mr. Dave Thornton, City Planner
Mr. Dave Tontoli, City Traffic Engineer

CERTIFICATE OF OCCUPANCY

BUILDING DEPARTMENT
CITY OF GRAND JUNCTION
(OR MESA COUNTY)

PERMIT # 42071 m

DATE 9-14-92

PERMISSION IS HEREBY GRANTED TO Lobar Inc. TO OCCUPY THE

BUILDING SITUATED AT 736 Horizon

LOT _____ BLOCK _____ FILING _____ SUBDIVISION _____

TAX SCHEDULE NUMBER 2701-364-00-030

FOR THE FOLLOWING PURPOSE: new tacc Bell

THIS CERTIFICATE ISSUED IN CONFORMITY TO SECTION 307, UNIFORM BUILDING CODE

INSPECTOR [Signature]
City Planning [Signature]

9-14-92

file # 5-92



City of Grand Junction, Colorado
250 North Fifth Street
81501-2668
FAX: (303) 244-1599

September 22, 1994

Mr. John Moss, President
Moss Inc./Sierra Bells Inc.
715 Horizon Drive, Suite 380
Grand Junction, Colorado 81506

Dear Mr. Moss:

The City of Grand Junction has begun construction of signals at the intersections of I-70 off-ramps and Horizon Drive and at the intersection of the access road and Horizon Drive. We anticipate the signal construction will be complete on or about October 17, 1994.

Enclosed is an invoice for \$15,000 for your contribution to the signal project. This can be paid directly to the City of Grand Junction Finance Department.

If you have any questions about the progress of the signal work, please feel free to call me at 244-1591. Thank you for your contribution to this project.

Sincerely,

A handwritten signature in cursive script that reads "Jody Kliska".

Jody Kliska, P.E.
Development Engineer

cc: Mark Relph
Kathy Portner

Taco Bell Staff Report
736 Horizon Drive
File # 5-92

Request is for approval of a conditional use permit for a drive-thru restaurant and site plan approval in an Highway Oriented (HO) Zone.

Phase one which is what is now being reviewed is the restaurant and site improvements. Phase two will be an office building and phase three will be a small retail building. Both phases I & II will be submitted and reviewed at a later date.

Emphasize at beginning that this is phase I any other phases II or III will be reviewed separately and must stand alone as far as parking and landscaping is concerned.

The restaurant construction is anticipated for the summer of 1992.

Referring to the site plan:

- square footage of landscaping meets code. (7400+ sq ft proposed and 7,199 sq ft required). Proposed landscaping includes 19 trees. 15 are required.
- Number of parking spaces is sufficient. 52 parking spaces are proposed. ~~32~~²⁴ are required by code (one per three seats). The interior of the restaurant will seat ~~98~~⁴⁰ people. The outdoor patio will seat 26.
- 524 square feet of signage is being proposed. This includes 2 freestanding signs at 228 sq ft each and 4 wall signs (one on each side of the building) at 17 sq ft each. The total signage allowed for the entire parcel is 671 sq ft.
- petitioner has agreed to:
 - 1) construct any fire hydrant(s) necessary for compliance to fire code including extending the 8" Ute water line from the west side of Horizon Drive to service the hydrant(s).
 - 2) obtain all necessary permits/agreements/leases from State Highway for construction and use of state highway ROW.
 - 3) execute an avigation easement with the Walker Airport Authority.
 - 4) improve the State Access road by widening and repaving (including curb, gutter, sidewalk) back as far as required by the first phase. The road will be 36' wide beginning at Horizon Drive back to a depth of 65' and will taper down to a width of 24'.
 - 5) rebuild median located on Horizon Drive on the North end of Taco Bell site to allow for a left turn lane.
 - 6) contribute their portion up to \$15,000 for the future installation of a traffic signal at the I-70 / Horizon Drive interchange.
 - 6) All review agency summary sheet comments.

Staff recommends approval subject to review agency summary sheet comments.

Larry Jimm

Council
Fuji Drive
11/22 c:55
11/22/94
OK

5-92

MEMO

DATE: November 22, 1994

TO: Mr. Mark Achen

FROM: Mr. John L. Moss
715 Horizon Drive, Suite 380
Grand Junction, CO
81506



PHONE: 1/303/245-0898

SUBJECT: \$15,000.00 Horizon Drive Traffic Light

Dear Mark:

Please find enclosed a check for \$15,000.00 to the City of Grand Junction. This is the amount I agreed to pay toward the traffic light next to my Horizon Drive Taco Bell. I am pleased with the light and the way the City Council handled this payment.

File in Taco Bell file

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
NOV 23 1994

SUGGESTED MOTIONS

ITEM: #5-92 (Page 1 of 1)

PETITIONER: Moss, Inc. Mike Saelens

PROPOSAL: A request for Conditional Use Permit to construct a Taco Bell Drive-Thru Restaurant in an Highway Oriented (HO) Zone.

PRESENTED BY: Dave Thornton

COMMENTS: SEE REVIEW AGENCY SUMMARY SHEET COMMENTS

APPROVAL: "Mr. Chairman, on item #5-92, a request for a Conditional Use Permit to construct a Taco Bell Drive-Thru Restaurant in a Highway Oriented Zone, I move that we approve this subject to the Review Agency Summary Sheet comments."

DENIAL:

"Mr. Chairman, on item #5-92, a request for a Conditional Use Permit to construct a Taco Bell Drive-Thru Restaurant in a Highway Oriented Zone, I move that we deny this request for the following reasons:" (STATE REASONS)

5-0

1 - Does not meet the parking req'd of the Zoning And Development Code by providing ~~the number~~ with parking located off site when it could provide onsite.

2 - Adding to traffic safety issue on Horizon Drive without requiring a traffic light at time of development

AVIGATION EASEMENT

BOOK 1905 PAGE 417

THIS EASEMENT is made and entered into by and between the WALKER FIELD, COLORADO, PUBLIC AIRPORT AUTHORITY, a body corporate and politic and constituting a political subdivision of the State of Colorado, hereinafter called GRANTEE, and _____
Horizon Drive Enterprises Inc.
hereinafter, GRANTOR;

WHEREAS, Grantee is the owner and operator of Walker Field Airport situated in the County of Mesa, State of Colorado, and in close proximity to the land of Grantor, and Grantee desires to obtain and preserve for the use and benefit of the public a right of free and unobstructed flight for aircraft landing upon, taking off from, or maneuvering about said airport; and

WHEREAS, Grantor is the owner in fee simple of that certain parcel of land situated in the County of Mesa, State of Colorado, to wit: SEE ATTACHED ADDENDUM "A"

NOW, THEREFORE, in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, the Grantor, for himself, his heirs, administrators, executors, successors and assigns, does hereby grant, bargain, sell and convey unto the Grantee, its successors and assigns, for the use and benefit of the public, an easement and right of way appurtenant to Walker Field Airport, for the passage of all aircraft ("aircraft" being defined for the purposes of this instrument as any device known or hereafter invented, used or designed for navigation or flight in the air) by whomsoever owned and operated, in the navigable airspace above the surface of Grantor's Property to an infinite height above said Grantor's property, together with the right to cause in said airspace such noise and vibrations, smoke, fumes, glare, dust, fuel particles and all other effects that may be caused by the normal operation of aircraft landing at or taking off from or operating at or on said Walker Field Airport, and Grantor hereby waives, remises and releases any right or cause of action which Grantor now has or which Grantor may have in the future against Grantee, its successors and assigns, due to such noise, vibrations, smoke, fumes, glare, dust, fuel particles and all other effects caused by the normal operation of such aircraft.

FURTHER, Grantor hereby covenants, for and during the life of this easement, that Grantor:

(a) shall not hereafter construct, permit or suffer to maintain upon said land any obstruction that extends into navigable airspace required for use of said airport runway surfaces; (Navigable airspace is defined for the purpose of this instrument

as airspace at and above the minimum flight altitudes, including take off and landing, as prescribed in Federal Aviation Administration Federal Air Regulations Part 91, and as such regulations are amended.)

(b) shall not hereafter use or permit or suffer use of said land in such a manner as to create electrical or electronic interference with radio communication or radar operation between the installation upon Walker Field Airport and aircraft, or to make it difficult for flyers to distinguish between airport lights and others or to result in glare in the eyes of flyers using the said airport, or to impair visibility in the vicinity of the airport, or otherwise to endanger the landing, taking off or maneuvering of aircraft.

Grantor agrees the aforesaid covenants and agreements shall run with the land for the benefit of Grantee, its successors and assigns, until said airport shall be abandoned and shall cease to be used for public airport purposes.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal on this 20 day of May, A.D. 1992.

John J. Mason

President HDE INC.
(Title)

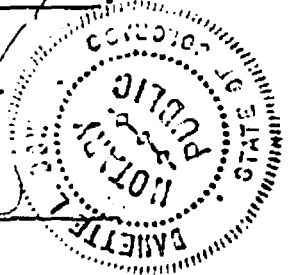
STATE OF COLORADO ;
) ss.
COUNTY OF MESA)

The foregoing instrument was acknowledged before me this 20 day of May, A.D. 1992, by John J. Mason

My Commission expires: October 18, 1994

Nanette J. New

Notary Public



ADDENDUM "A"

Beginning at the Southwest corner No. 1, whence the Southwest corner of the NW 1/4 SE 1/4 of Section 36, Township 1 North, Range 1 West of the Ute Meridian bears West 659.44 feet, thence East 329.72 feet to the Southeast corner No. 2, thence North 00°02' East 83.42 feet to the Northeast corner No. 3, thence North 45°50' West 313.39 feet to the North corner No. 4, thence South 51°25' West 134.15 feet to the Northwest corner No. 5, thence South 0°02' West 217.83 feet to Corner No. 1, the point of beginning.

Mesa County, Colorado

GOLDEN, MUMBY, SUMMERS, LIVINGSTON & KAY LLP

ATTORNEYS AT LAW
1000 WEST 14TH AVENUE, SUITE 400
DENVER, COLORADO 81502

Post-it® Fax Note	7671	Date	12/19	# of pages	1
To	Debbie Kovarik				
From	Dan Wilson				
Co./Dept.	Co.				
Phone #	Phone #				
Fax #	Fax #				

AREA CODE 970
TELEPHONE 242-7322
FAX 242-0693

December 19, 1997

*cc: Dan Houston
Tim Woodmasee*

37393

Dan E. Wilson, Esq.
City Attorney
250 North 5th Street
Grand Junction, CO 81502

DRAFT

Re: Lot 1, V.C.B. Minor Subdivision

Dear Dan:

Confirming our telephone conversations regarding the City's purchase of Lot 1, V.C.B. Minor Subdivision, the following matters have been agreed to by the City and Horizon Drive Enterprises, Inc.

1. The City agrees for a term of forty (40) years that no food or drink (except water and except vending machines for the sale of snack food and beverages, snack food shall not include sandwiches and meals) shall be sold to or for the benefit of the public on Lot 1, V.C.B. Minor Subdivision.

2. The City agrees for a term of twenty (20) years Lot 1, V.C.B. Minor Subdivision shall be used solely as a visitor and tourist facility as described in paragraph 5.1 of the original lease with Horizon Drive Enterprises, Inc. or for such other uses as may be approved in writing by Horizon Drive Enterprises, Inc., which approval shall not be withheld unreasonably.

3. The City has represented that in the event the Colorado Department of Transportation access permit for Lot 2, V.C.B. Minor Subdivision is revoked, the conditional use permit for Lot 2 will require an additional three (3) parking spaces. In the event of a termination of the access permit, the City will provide parking on Lot 1, V.C.B. Minor Subdivision for the benefit of Lot 2 sufficient to meet the conditional use permit requirements.

Dan E. Wilson, Esq.
December 19, 1997
Page 2

Please return a copy of this letter acknowledging the agreement of the City to the matters set forth above.

Sincerely,

GOLDEN, MUMBY, SUMMERS, LIVINGSTON & KANE, LLP

DRAFT
J. Richard Livingston

JRL:jlc
cc: John Moss

K:\LIV\MOS\JOH\HDEWILSON.ILT

To: DANW (Dan Wilson)
From: David Thornton
Subject: Re: VCB Warranty Deed
Date: 12/22/97 Time: 4:00PM

Originated by: TIMW @ CITYHALL on 12/19/97 2:02PM
Replied by: DANW @ CITYHALL on 12/19/97 2:55PM

Dan,

Letter looks great to me. Thanks,
DT

To: TIMW (Tim Woodmansee),David Thornton
Cc: johns,debbiek,ronl,marka
From: Dan Wilson
Subject: Re: VCB Warranty Deed
Date: 12/19/97 Time: 2:55PM

Originated by: TIMW @ CITYHALL on 12/19/97 2:02PM
Replied by: DANW @ CITYHALL on 12/19/97 2:55PM

Thanks for the corrections to the warranty deed. They will be incorporated.
I'm faxing to Debbie, and copying to Tim and Dave, Rich Livingston's proposed letter agreement, which will replace the reversion/conditional language in the deed. As you can see, title will be subject to the 40 year food restriction (per the original agreement), the 20 year use of the VCB as a VCB (per original agreement), and improved language concerning parking: if the state right of way is revoked for parking for Taco Bell, we must provide three parking spaces on the VCB site. Recall that the original agreement called for five spaces, without consideration of the state right of way. This is good. John Moss is feeling the Christmas spirit!
Once Debbie approves the letter, we are ready to close. We should have this done Monday or Tuesday.

9-8-92

39 Parking Spaces

115 SEATS
(90 inside 25 outside)

= 39 Spaces Req'd
39 Spaces Provided on Site

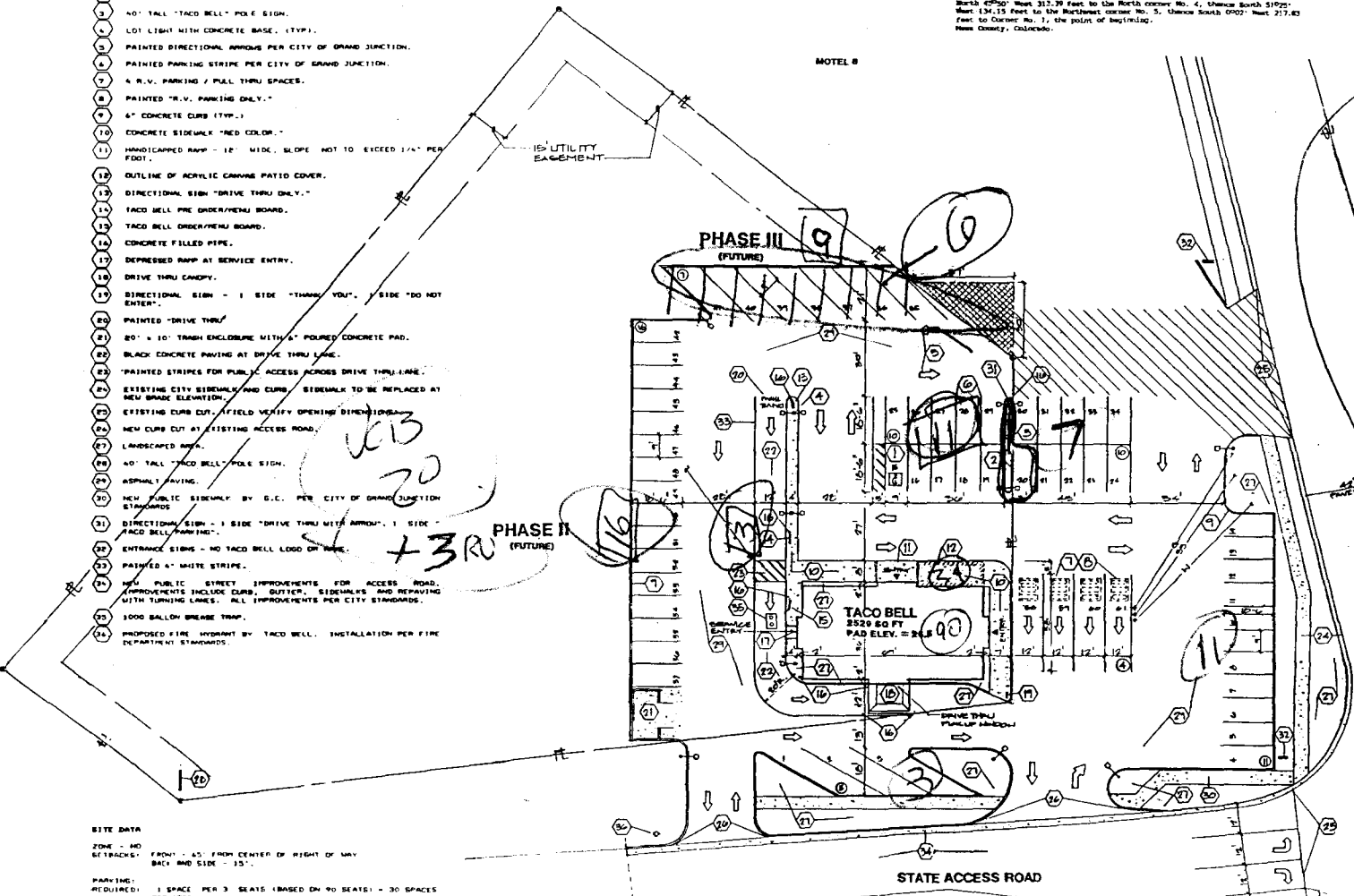


TACO BELL RESTAURANT
736 HORIZON DR.
GRAND JUNCTION, CO

DRAWN BY	
DATE	5-10-72
PROJECT NO.	C-1140
PLAN NO.	
NO. 1	
REV.	
Mark Austin ASA	
P.O. Box 8879	
Calabasas, CA 91301	
818-271-9838	
P.O. Box 216	
Greenwood, VT	
05033-0216	
Philip Gilbert ASA	
John Adams Ave	
Downs Falls, CA 95928	
774-284-8271	



- SITE PLAN TAG NOTES:**
- 1 9' x 18'-6" HANDICAPPED PARKING SPACE WITH HANDICAPPED PARKING SYMBOL AND 3' WIDE STRIPPED ACCESS AREA. HANDICAPPED SYMBOLS TO MEET CITY STANDARDS.
 - 2 CURBED PLANTER AREA.
 - 3 40" TALL "TACO BELL" POLE SIGN.
 - 4 LOT LIGHT WITH CONCRETE BASE. (TYP.)
 - 5 PAINTED DIRECTIONAL ARROWS PER CITY OF GRAND JUNCTION.
 - 6 PAINTED PARKING STRIPE PER CITY OF GRAND JUNCTION.
 - 7 A R.V. PARKING / PULL THRU SPACES.
 - 8 PAINTED "R.V. PARKING ONLY."
 - 9 6" CONCRETE CURB (TYP.)
 - 10 CONCRETE SIDEWALK "RED COLOR."
 - 11 HANDICAPPED RAMP - 12" WIDE, SLOPE NOT TO EXCEED 1/4" PER FOOT.
 - 12 OUTLINE OF ACRYLIC CANVAS PATIO COVER.
 - 13 DIRECTIONAL SIGN "DRIVE THRU ONLY."
 - 14 TACO BELL PRE ORDER/MENU BOARD.
 - 15 TACO BELL ORDER/MENU BOARD.
 - 16 CONCRETE FILLED PITS.
 - 17 DEPRESSED RAMP AT SERVICE ENTRY.
 - 18 DRIVE THRU CANOPY.
 - 19 DIRECTIONAL SIGN - 1 SIDE "THANK YOU", 1 SIDE "DO NOT ENTER".
 - 20 PAINTED "DRIVE THRU"
 - 21 20' x 10' TRASH ENCLOSURE WITH 6" POURED CONCRETE PAD.
 - 22 BLACK CONCRETE PAVING AT DRIVE THRU LANE.
 - 23 PAINTED STRIPES FOR PUBLIC ACCESS ACROSS DRIVE THRU LANE.
 - 24 EXISTING CITY SIDEWALK AND CURB. SIDEWALK TO BE REPLACED AT NEW GRADE ELEVATION.
 - 25 EXISTING CURB CUT. FIELD VERIFY OPENING DIMENSIONS.
 - 26 NEW CURB CUT AT EXISTING ACCESS ROAD.
 - 27 LANDSCAPED AREA.
 - 28 40" TALL "TACO BELL" POLE SIGN.
 - 29 ASPHALT PAVING.
 - 30 NEW PUBLIC SIDEWALK BY D.C. PER CITY OF GRAND JUNCTION STANDARDS.
 - 31 DIRECTIONAL SIGN - 1 SIDE "DRIVE THRU WITH ARROW", 1 SIDE "TACO BELL PARKING".
 - 32 ENTRANCE SIGNS - NO TACO BELL LOGO OF NAME.
 - 33 PAINTED 4" WHITE STRIPE.
 - 34 NEW PUBLIC STREET IMPROVEMENTS FOR ACCESS ROAD. IMPROVEMENTS INCLUDE CURB, GUTTER, SIDEWALKS AND REPAVING WITH TURNING LANES. ALL IMPROVEMENTS PER CITY STANDARDS.
 - 35 5000 BALLON BREAKE TRAP.
 - 36 PROPOSED FIRE HYDRANT BY TACO BELL. INSTALLATION PER FIRE DEPARTMENT STANDARDS.



- LEGEND**
- LOT LIGHT
 - POLE SIGN (TYPE 1)
 - ▶ DIRECTIONAL SIGN (TYPE 11)
 - ORDER BOARD (TYPE 111)
 - BUILDING SIGN (TYPE 112)
 - ⇄ DIRECTIONAL ARROWS
 - ▭ CONCRETE

Dec 1997 Survey

13
16
6
11

36 on site

21 off site + 4 RV'S

SITE DATA

ZONE - M0
SETBACKS: FRONT - 25' FROM CENTER OF RIGHT OF WAY
BACK AND SIDE - 15'

PARKING:
REQUIRED: 1 SPACE PER 3 SEATS (BASED ON 90 SEATS) = 30 SPACES REQUIRED

PROPOSED: 61 SPACES INCLUDING R.V. PARKING.

AREA WITHIN PROPERTY LINES (INCLUDING ACQUIRED LAND)

BUILDING AREA	2,589 SQ. FT.
PAVED AREA (INCLUDING DRIVE THRU)	18,897
TRASH ENCLOSURE	800
LANDSCAPING	197
SIDEWALK	1,471
EXISTING HILLSIDE TO REMAIN (FUTURE)	48,218
TOTAL PROPERTY	71,002 SQ. FT.

AREA AT DEVELOPED AREA BEYOND PROPERTY LINES

PAVED AREA (LANDSCAPING)	25,724 SQ. FT.
SIDEWALK	490
TOTAL PROPERTY	26,214 SQ. FT.

33 parking Spaces on site
28 parking Spaces off site on State R.O.W.

PRELIMINARY SITE PLAN
SCALE: 1" = 20'

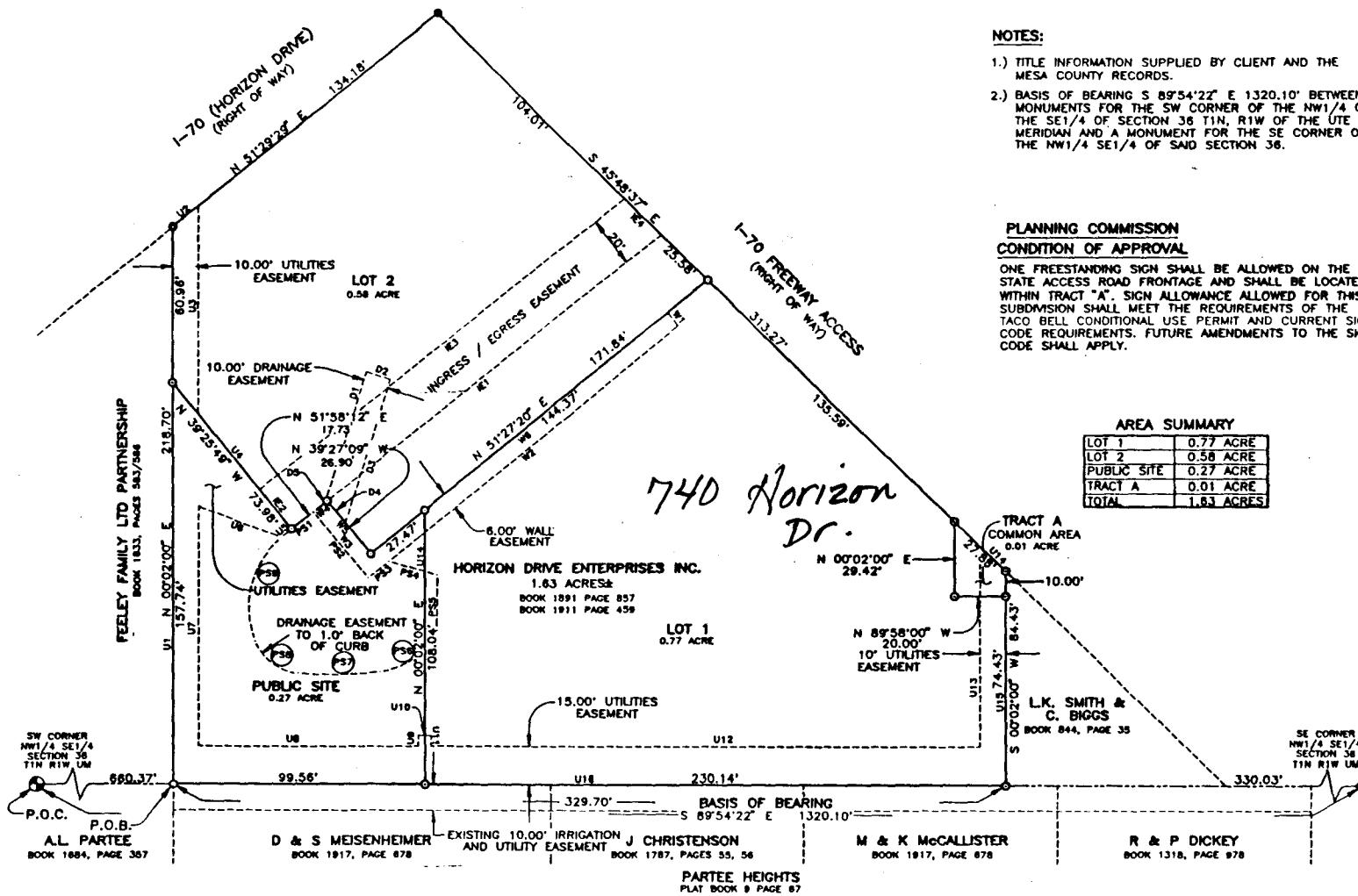
10 spaces were gained by restriping

61

V.C.B. MINOR SUBDIVISION

PROPERTY LOCATED IN THE SE1/4 OF SECTION 36, T1N, R1W, U.M.

KNOW ALL MEN
That the undersigned
owner of that r
State of Colorado
North, Range 1
of the Mesa Co
property being r



NOTES:

- 1.) TITLE INFORMATION SUPPLIED BY CLIENT AND THE MESA COUNTY RECORDS.
- 2.) BASIS OF BEARING S 89°54'22" E 1320.10' BETWEEN MONUMENTS FOR THE SW CORNER OF THE NW1/4 OF THE SE1/4 OF SECTION 36 T1N, R1W OF THE UTE MERIDIAN AND A MONUMENT FOR THE SE CORNER OF THE NW1/4 SE1/4 OF SAID SECTION 36.

PLANNING COMMISSION CONDITION OF APPROVAL

ONE FREESTANDING SIGN SHALL BE ALLOWED ON THE STATE ACCESS ROAD FRONTAGE AND SHALL BE LOCATED WITHIN TRACT "A". SIGN ALLOWANCE ALLOWED FOR THIS SUBDIVISION SHALL MEET THE REQUIREMENTS OF THE TACO BELL CONDITIONAL USE PERMIT AND CURRENT SIGN CODE REQUIREMENTS. FUTURE AMENDMENTS TO THE SIGN CODE SHALL APPLY.

AREA SUMMARY

LOT 1	0.77 ACRE
LOT 2	0.58 ACRE
PUBLIC SITE	0.27 ACRE
TRACT A	0.01 ACRE
TOTAL	1.63 ACRES

Commencement of the South Ute Meridian found Me NW1/4 SE1/4 1320.10' there to: T NW1/4 S Beginning to a point Thence run a distance intersecting Southwest-ning S a dis Right-43 feet 1/4 of se said South of Beginn

That said ow Minor Subdivision

That said ow its successors or for the installatio facilities; (2) To Utilities forever, t installation, opera not be limited to, facilities, telephon facilities, together and across said brush; provided, h in a reasonable a and assigns foreve detention, retention of Lot 1 and Lot Ingress and Egress their invitee; (5) property which is repair of a retain Lot 2, their succe Common Area for related facilities; labeled as Public

IN WITNESS WHERE its name and corp

ATTES By

(STATE OF COLOR (COUNTY OF MESA

The foregoing plat 1994, by For Horizon Drive My Commission as Witness by hand

This plat of the V of Mesa, and Sta

City Manager

(STATE OF COLOR (COUNTY OF MESA

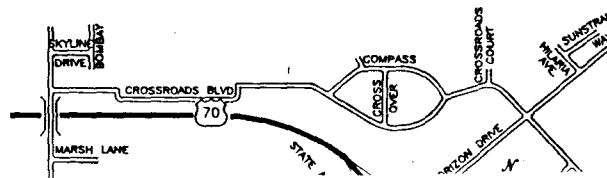
I hereby certify th this do No. Page

Fee

EASEMENT TABLE		PUBLIC SITE DRAINAGE EASEMENT	
LINE	BEARING	LINE	DISTANCE
V	186.81'	PS1	N51°58'12"E 14.78'
V	20.03'	PS2	N39°27'09"W 33.65'
H	184.57'	PS3	N51°27'20"E 10.50'
H	20.21'	PS4	N74°27'15"W 19.96'
		PS5	N00°09'54"E 21.69'

CURVE RADIUS DELTA LENGTH TANGENT			
PS6	28.57'	58°36'11"	29.22' 16.03'
PS7	161.12'	11°27'05"	32.20' 16.15'
PS8	20.28'	64°01'54"	22.65' 12.67'
PS9	36.31'	73°18'00"	46.45' 27.01'

DRAINAGE EASEMENT



To: David Thornton
From: Scott Harrington
Subject: Fwd: Re: VCB Warranty Deed
Date: 12/12/97 Time: 9:14AM

Originated by: DEBBIEK @ CITYHALL on 12/11/97 11:19AM
Replied by: DANW @ CITYHALL on 12/11/97 11:52AM
Forwarded by: SCOTTH @ CITYHALL on 12/12/97 9:14AM (CHANGED)

Here's Dan e-mail. My understanding is that Dan's in today but not Monday or Tuesday so today is the only chance to talk with him before the closing. Again, my apologies for dumping this on you.

***** ORIGINAL MESSAGE FOLLOWS *****

Good questions. The original agreement provided for the six spaces. Livingston and I thought the best way to handle the requirement is by this provision in the deed. However, if the reason for the six spaces is to comply with the City's land use approvals of the Taco Bell site and lot split, wouldn't we be better off if the deed provision for the six spaces were only in effect so long as the City required the six spaces of Taco Bell. For instance, if our parking requirement went away....Or, if the Taco Bell site were changed to another use...If you agree this is worthwhile, I'll inquire of Livingston.

Another question: the deed as written doesn't specify where the spaces are. To avoid future contention, I'd be inclined to say that the VCB can designate, from time to time, the location of the six spaces. Thoughts?

Did I tell you that we are scheduled for closing next Thursday, 11 a.m. at First American? Can you check to make sure our money will be ready? Call if you have questions...

WEDNESDAY?

250-3999

To: David Thornton
From: Scott Harrington
Subject: Fwd: Re: VCB Warranty Deed
Date: 12/12/97 Time: 9:12AM

Originated by: DEBBIEK @ CITYHALL on 12/11/97 11:19AM
Replied by: DANW @ CITYHALL on 12/11/97 11:52AM
Replied by: DEBBIEK @ CITYHALL on 12/11/97 12:22PM
Forwarded by: SCOTTH @ CITYHALL on 12/12/97 9:12AM (CHANGED)

I think Bobbie already asked you to take a look at this. This is the message I received from Debby, and I'll send one from Wilson on the same subject. If you could, I'd like you to make this a priority. VCB will be purchasing the Visitor's Center property on Thursday and this just came up. I'd give you a hand but I already planned to be out of the office most of today. Thanks for your help on this.

***** ORIGINAL MESSAGE FOLLOWS *****

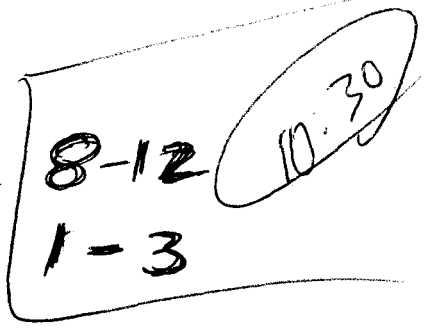
Thanks, we didn't have the closing information. Irene will arrange to have the check available for Thursday, Dec. 18th. Could either Tim or Scott help me answer the question of "did we arrange for the ingress, egress and five parking spaces because of the cities parking space requirements"? Is this just a formality so that we can coexist on these two plots? Is there any possibility that if we identify five spaces for Taco Bell, that at some point they could begin sending their employees up to park in our lot? With this agreement could they put up signage that points up to the VCB for additional Taco Bell parking.....?

I agree that we should adjust the agreement if the use of their land or ours changes to another use.

I'm anxious to re-learn why it is we did what we did five years ago. Thanks for everyone's prompt attention to this! Debbie.

- Minor Sub
- VCB's site PLAN

SIGNAGE - shared TRACT
Ingress / Egress
COMMON between TRACTS



April 9th 1992 = 34 on site parking spaces

1:15

5-92

SIGN CALCULATION



Aggregate total
 Signage for permit C.U.
 = 671 ft

517 ft
 for entire site

15 ft over

one installed pole sign
 one 240 ft

ON Rd A - 21 ft of signage
 with 84 ft of signage

470 ft of signage
 201 ft of signage

one of signage

LIMITS

HORIZON 70 COURT

FARM SITE

U.S. B.F.

2

30

113

023

041

022

026

055

113

048

030

025

111

111

111

111

111

087

09

110

114

08

08

05

005

005

005

005

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005

005

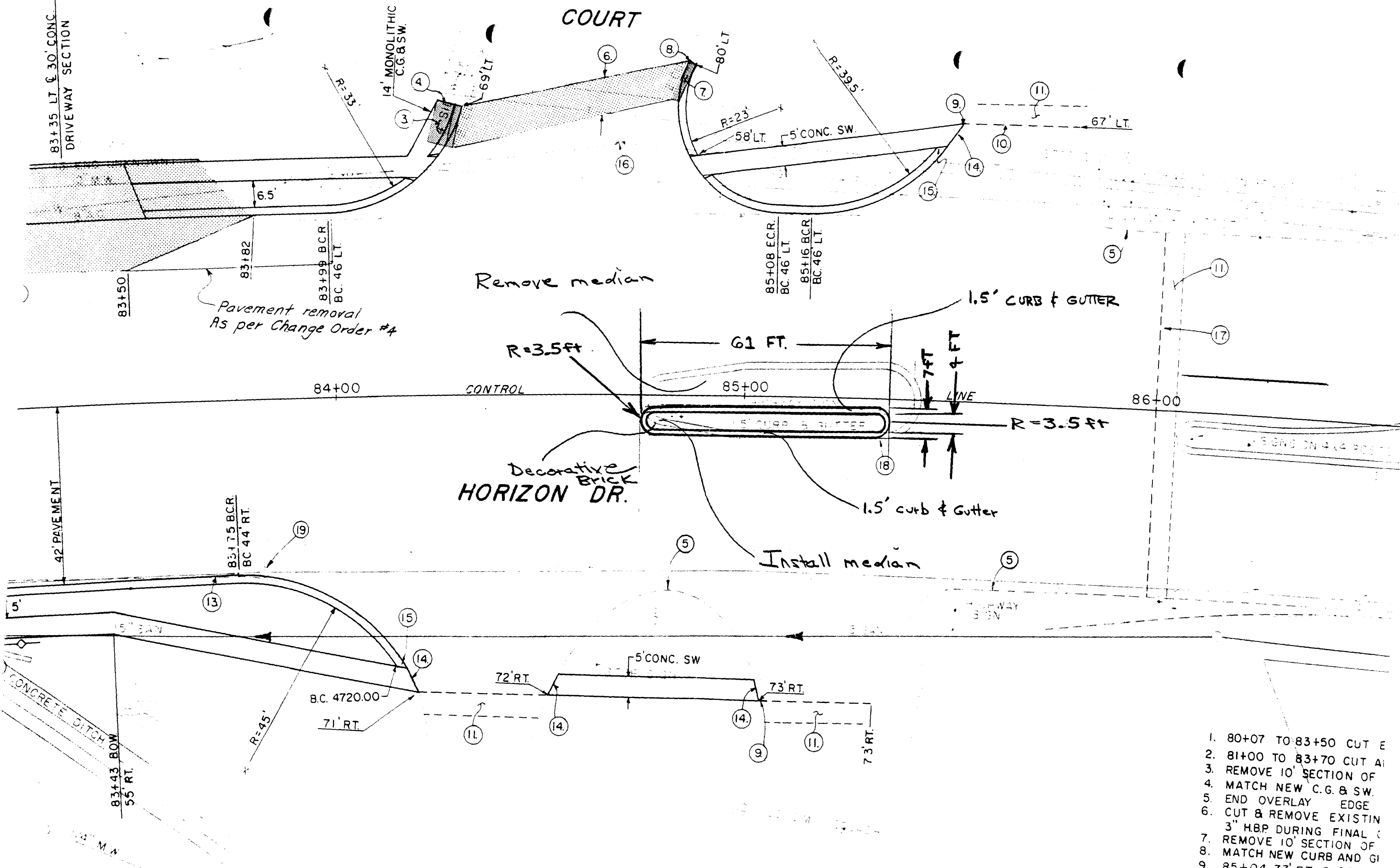
005

005

005

005

005



Pavement removal
As per Change Order #4

Remove median

Decorative
BRICK
HORIZON DR.

Install median

1. 80+07 TO 83+50 CUT E
2. 81+00 TO 83+70 CUT A
3. REMOVE 10' SECTION OF
4. MATCH NEW C.G. & SW.
5. END OVERLAY EDGE
6. CUT & REMOVE EXISTING
3" H.B.P. DURING FINAL C
7. REMOVE 10' SECTION OF
8. MATCH NEW CURB AND GI
9. 85+04, 73' RT. & 85+52
10. END ASPHALT OVERLAY &
11. FEATHER OVERLAY THIC
12. 82+95 TO 83+25. 56' RT.



Exit I70 RAMP

ENTER I70 East RAMP

8" white

Raised Median

HILTON

Horizon Ct.

STATE ACCESS Rd

Hilton

Install Double yellow

Taco Bell entrance

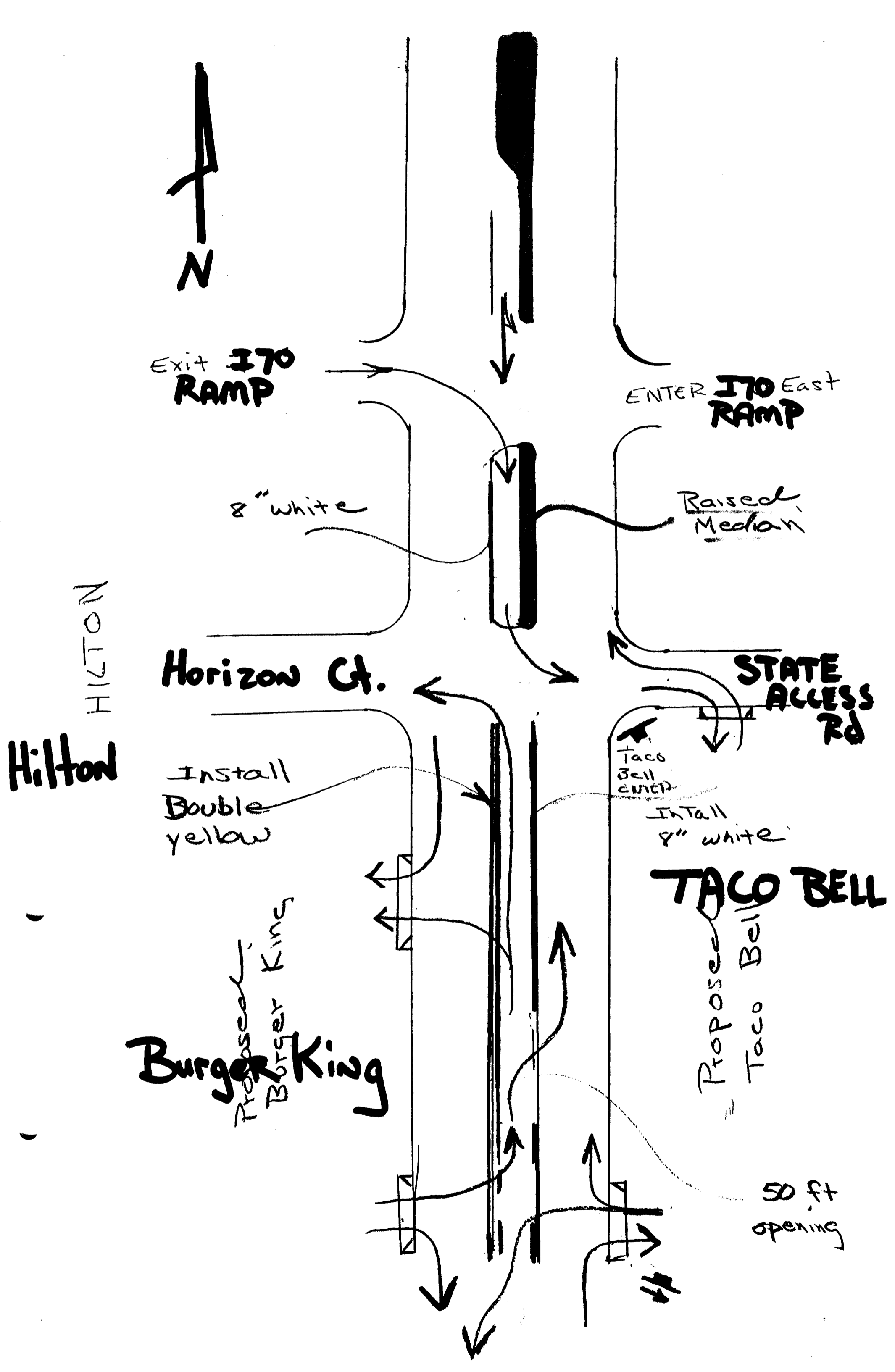
Install 8" white

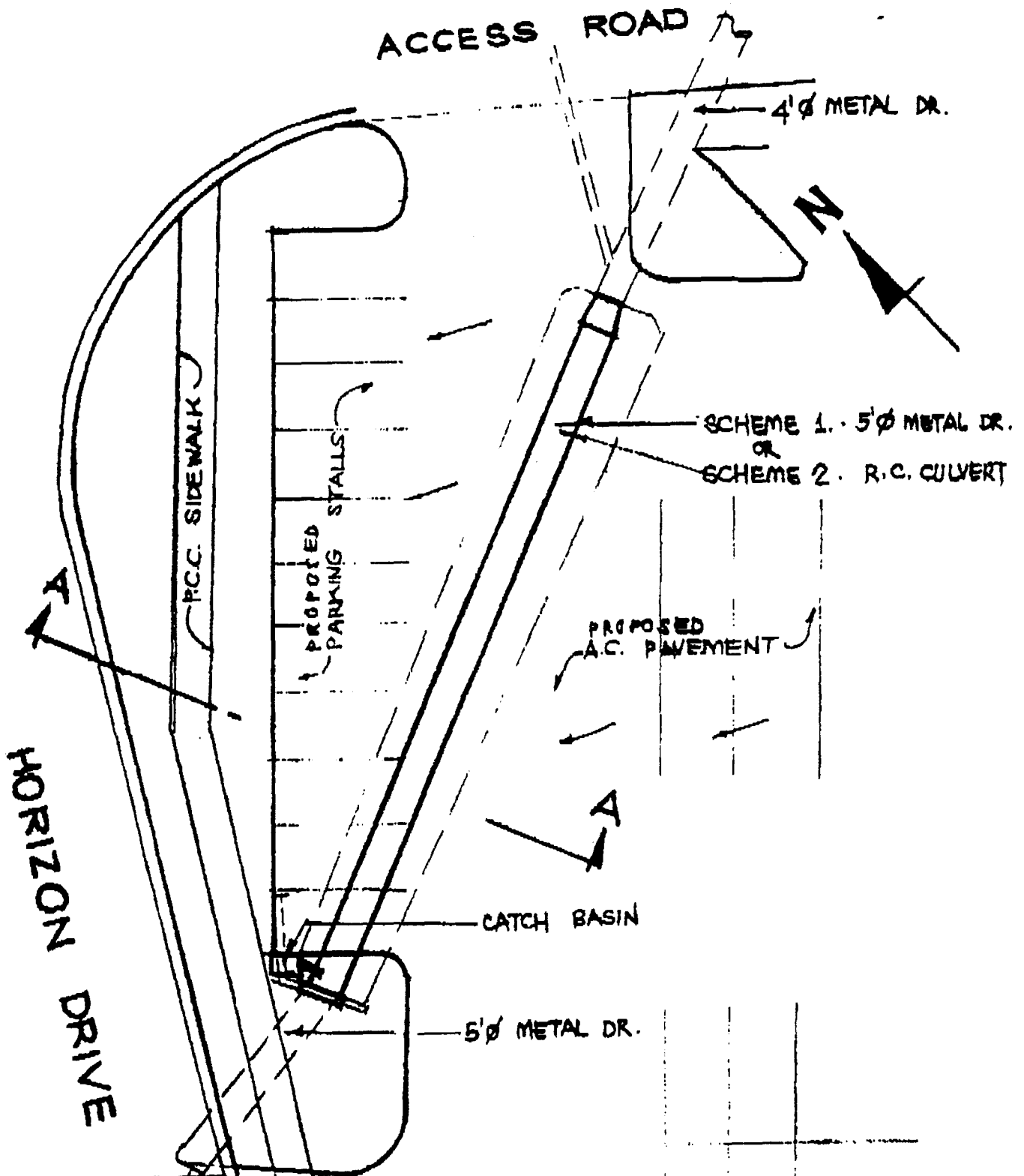
TACO BELL

Proposed Burger King

Proposed Taco Bell

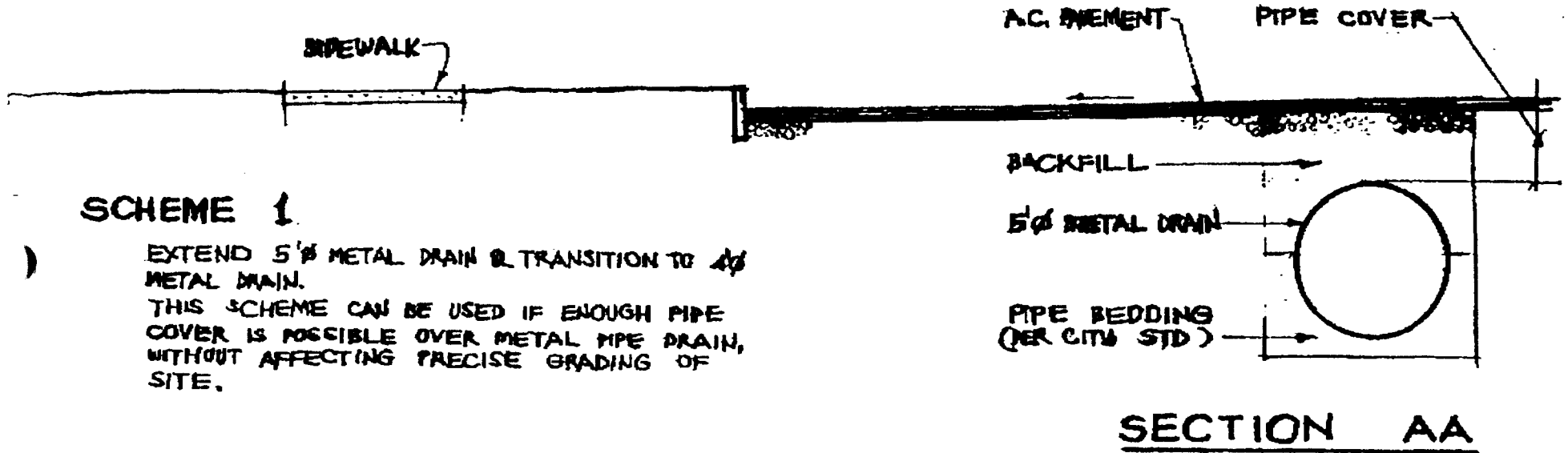
50 ft opening





RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 MAR 0 2 1992

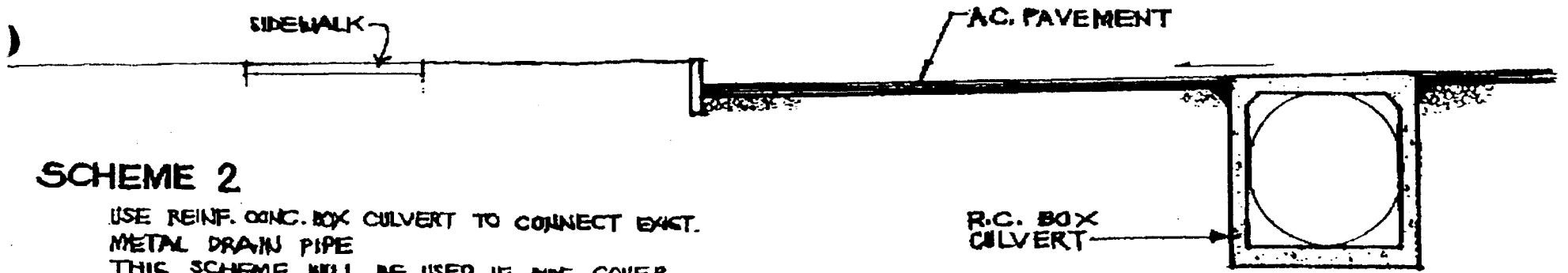
PROPOSED TACO BELL
 SITE



SCHEME 1

EXTEND 5' Ø METAL DRAIN & TRANSITION TO 48" METAL DRAIN.
 THIS SCHEME CAN BE USED IF ENOUGH PIPE COVER IS POSSIBLE OVER METAL PIPE DRAIN, WITHOUT AFFECTING PRECISE GRADING OF SITE.

SECTION AA



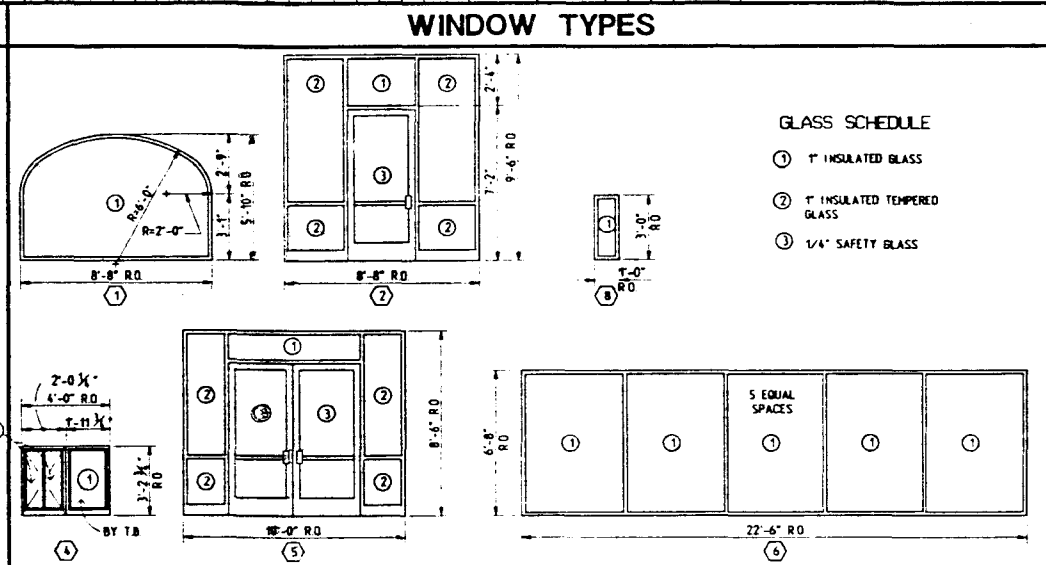
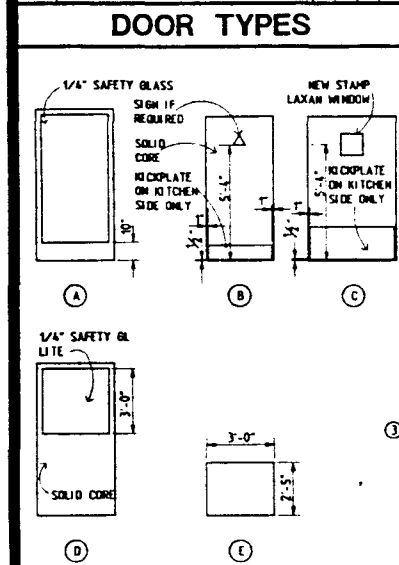
SCHEME 2

USE REINF. CONC. BOX CULVERT TO CONNECT EXIST. METAL DRAIN PIPE
 THIS SCHEME WILL BE USED IF PIPE COVER IS NOT POSSIBLE OVER PIPE DUE TO PRECISE GRADING LIMITATIONS. TOP OF R.C. BOX CULVERT WILL BE PART OF TRAVEL WAY.

SECTION AA

DOOR SCHEDULE

DOOR NO.	DOOR SIZE	DOOR TYPE						MATERIAL		BUTTS				LOCKS						CLOSERS			KICK PLATE		THRESH.		DOOR STOP		DETAIL	REMARKS
		A	B	C	D	E	F	DOOR	FRAME	1	2	3	4	1	2	3	4	5	6	1	2	3	1	2	1	2	1	2		
<p>HARDWARE SUPPLIERS: H.C. TO ORDER LOCKS FROM H & P BUILDERS SUPPLY INC. TEL. (703) 438-7000 ATTN: MR. JERRY WARDEN ARCHITECTURE SPECIALTIES TEL. (703) 327-2000 ATTN: MR. RALPH SHARP FOLLY INTERIOR CO. TEL. (504) 444-1701 ATTN: MR. DONALD SHARP</p> <p>GENERAL NOTES: 1. ALL HARDWARE SHALL BE PROVIDED & INSTALLED BY THE G.C. EXCEPT AS NOTED. 2. ALL HARDWARE SHALL BE US200 UNLESS NOTED. 3. ALL DOORS SHALL BE REVERSED ALIKE. 4. RECESSED STEEL FRAMES SHALL BE 100% STEEL.</p>																														
1	3'-6" X 7'-0" X 1 3/4"							WOOD	WOOD																					
2	(2) 3'-0" X 7'-0" X 1 3/4"							WOOD	WOOD																					
3	3'-0" X 6'-8" X 1 3/4"							WOOD	WOOD																					
4	3'-0" X 6'-8" X 1 3/4"							WOOD	WOOD																					
5	4'-0" X 6'-8" X 1 3/4" *** BY G.C.							WOOD	WOOD																					
6	3'-0" X 6'-8" X 1 3/4"							WOOD	WOOD																					
7	3'-0" X 6'-8" X 1 3/4"							WOOD	WOOD																					
8	3'-0" X 6'-8" X 1 3/4"							WOOD	WOOD																					
9	3'-0" X 6'-8" X 1 3/4"							WOOD	WOOD																					



ROOM FINISH SCHEDULE

ROOM NO.	ROOM TITLE	FLOORS	BASES	WALLS	CLG.'S	CLG. HGT.	DOORS	FRAMES	TRIMS	REMARKS
100	DINING AREA	2	6 7	14	18 19	20	23			
101	CUSTOMER AREA	2	6 7	14	19	20	23			
102	SERVING AREA	1	5	11 12	17	19	21A	24A	27 28	
103	KITCHEN AREA	1	5	11 12	17	19	21A	24A		
104	WORK AREA	1	5	13	17	19	21A	24A	28	
105	COOLER	1	5							COOLER IS A PACKAGE UNIT
106	PANTRY AREA	1	5	13	17	19	21A	24A		
107	MEN'S TOILET	2	7	11	18	19	21A	24A		
108	WOMEN'S TOILET	2	7	11	18	19	21A	24A		
109	OFFICE	1	5	14	18	19	21A	24A	27 28	
110	EMPLOYEE	1	5	14	18	19	21A	24A	27 28	

ROOM FINISH SCHEDULE NOTES

FLOORS:
 1 TL-2 QUARRY TILE
 2 TL-1 SEE INTERIOR DESIGN SHT 10-2

BASES:
 5 TL-2 QUARRY TILE-COVE
 6 ALUMINUM KAMMER STOREFRONT NO. 40 DARK BRONZE
 7 TL-1 SEE INTERIOR DESIGN SHT 10-2

WALLS:
 10 GYPSUM BOARD PAINTED SEE 10-2
 11 TL-3 CERAMIC TILE
 12 SEE INTERIOR DESIGN SHT 10-2
 13 MARBLE REINFORCED FIBERGLASS PANEL
 14 ML-1 SEE INTERIOR DESIGN SHT 10-2
 14A STAINLESS W/DURROCK

CEILING:
 17 SUSPENDED CEILING TILE
 18 GYPSUM BOARD PAINTED
 19 SUSPENDED ACOUSTICAL TILE

DOORS:
 20 ALUMINUM
 21 ML-3 SEE INTERIOR DESIGN SHT 10-2
 21A WOOD/METAL-PAINTED

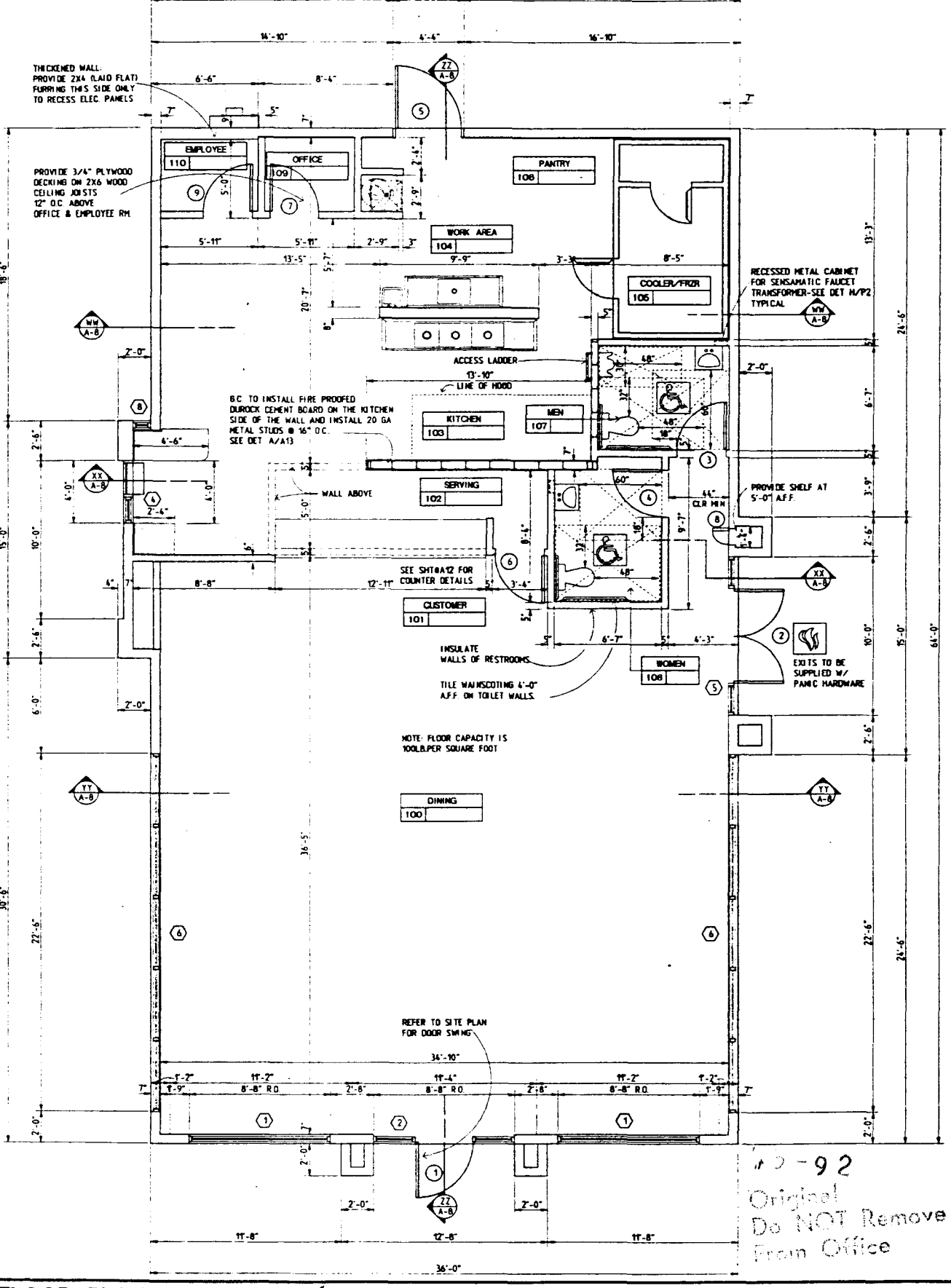
FRAMES:
 23 ALUMINUM
 24 ML-3 SEE INTERIOR DESIGN SHT 10-2
 24A WOOD/METAL-PAINTED

TRIM & SHELVING:
 27 SHELVING PAINTED
 28 PLASTIC LAMINATE

NOTES:
 1 ALL CERAMIC WALL TILE SHALL HAVE GREY GROUT
 2 SUSPENSION SYSTEM FOR LAY-IN TILE TO BE CHICAGO METALLIC 1860-41 FIRE RATED EXPOSED GRID WITH WHITE ALUMINUM CAP
 3 ALL AMERICAN CLEAN CANYON RED TILE TO HAVE GREY GROUT (NATURAL CONCRETE)
 4 ON TACO BELL SUPPLIED DECOR ITEMS, THE G.C. IS TO REFER TO THE 10 SHEETS FOR TILE BASE TO BE FURNISHED AND INSTALLED BY M.H.
 5 WALL TEXTURE TO BE SPRAYED BY DRYWALL INSTALLER

NOTES:

1. DIMENSIONS SHOWN ARE NOMINAL TO THE FACE OF GYP BOARD AND/OR FACE OF PLYWOOD SHEATHING.
2. ALL INTERIOR WALLS WHICH HAVE RECESSED OR SURFACE MOUNTED EQUIPMENT TO BE PROVIDED WITH PROPER BLOCKING OR REINFORCING.
3. ALL INTERIOR GYPSUM BOARD TO BE 5/8" TYPE 'X'.
4. PROVIDE 3/4" ACX PLYWOOD OVER STUDS PRIOR TO INSTALLATION OF GYP. BD. FOR ENTIRE FACE OF WALL AT SINGLE AND TRIPLE COMPARTMENT SINK LOCATIONS.



FLOOR PLAN SCALE: 1/4" = 1'-0"

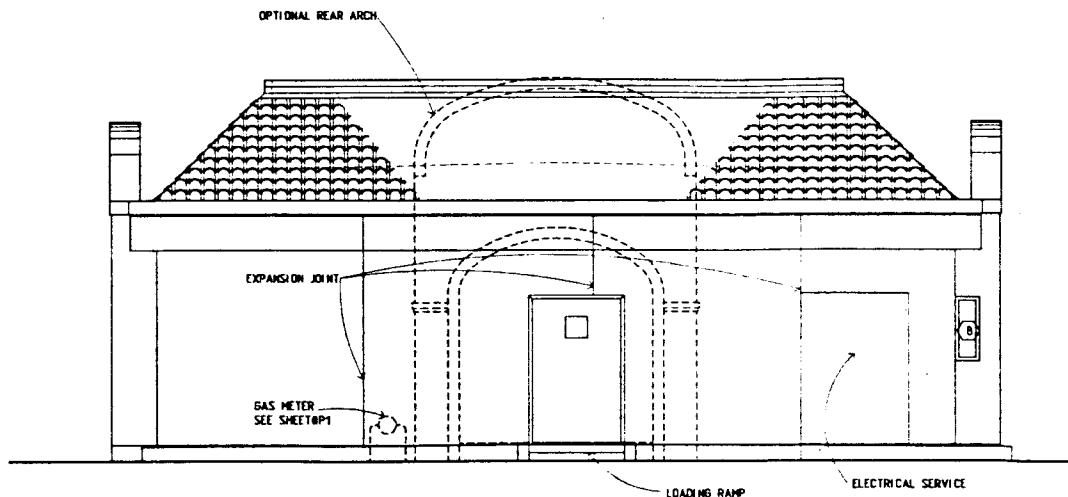
FLOOR PLAN SCHEDULES

MSOH FRAME

6-1-91

A3

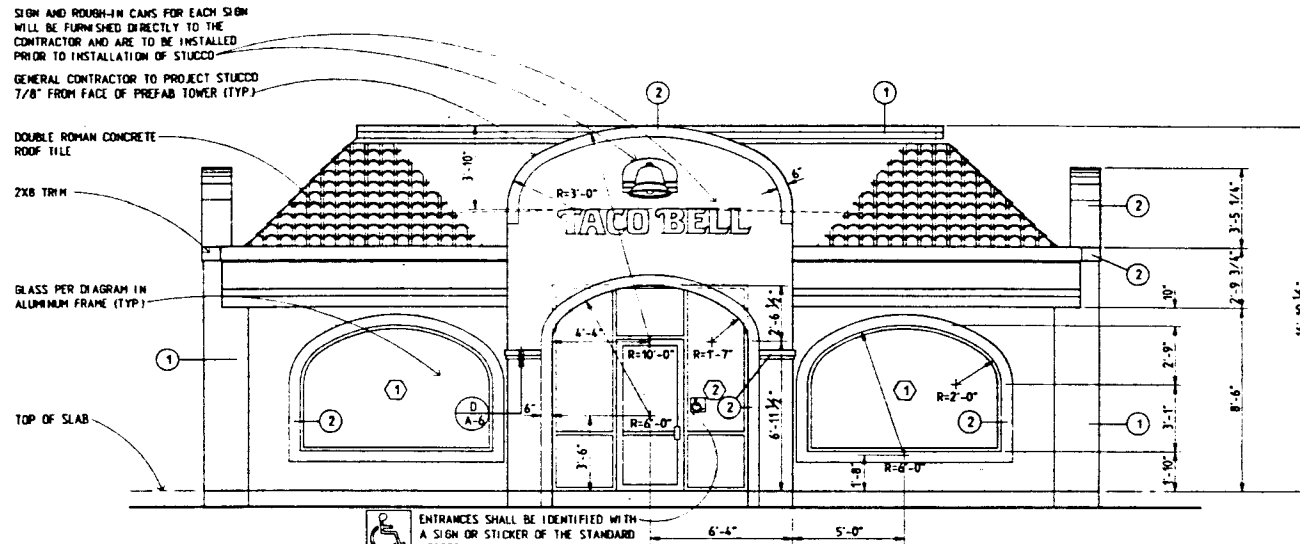
10-92
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 From Office



REAR ELEVATION

NOTE: REAR DOOR & ELECTRICAL BOX TO RECEIVE EXTERIOR FINISH NO. 1

SCALE: 1/4" = 1'-0"

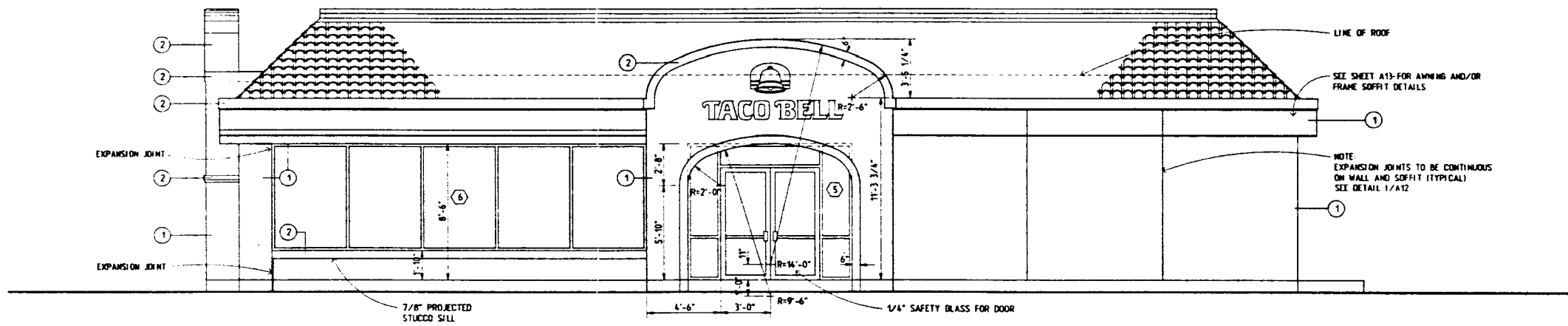


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SURFACE	FINISH
STUCCO OR OPTIONAL DRYVIT	(1)
PROJECTED SURROUNDS, PROJECTED BAND	(2)
FASCIA, FASCIA FLASHING	(2)
PARAPET FLASHING	(1)
LIGHT POLES	(2)
EXPOSED UTILITY PIPES AND CONDUIT	(1)
METAL DOORS AND FRAMES	(1)
SHEET METAL FASCIA TRIM	(1)
GAS METER AND ELECTRICAL SERVICE	(1)

- FINISHES:**
- (1) BENJAMIN MOORE HOORBARO EXTERIOR LATEX NO. 103-1072 (CB-10)
 - (2) BENJAMIN MOORE HOORBARO EXTERIOR LATEX NO. 103-1128 (CB-16)
- STUCCO NOTES:**
1. COLD JOINTS WILL NOT BE ACCEPTABLE UNDER ANY CIRCUMSTANCES.
 2. MESH AS SPECIFIED SHALL NOT OVERLAP AT CONTROL JOINTS.
 3. MESH OVERLAPS SHALL NOT COINCIDE WITH PLYWOOD JOINTS.
 4. MESH WITH GRID EXCEEDING 2" X 2" WILL BE REJECTED.
 5. USE OF FASTENERS OTHER THAN GALVANIZED NAILS WILL NOT BE ACCEPTED.
 6. SCARIFICATION AS SPECIFIED SHALL ALWAYS BE IN THE HORIZONTAL DIRECTION.
 7. INT. DRYWALL WILL ALWAYS BE INSTALLED PRIOR TO APPLICATION OF STUCCO.
 8. DRYVIT OPTION:
 - (1) #108 MANOR WHITE
 - (2) #112 SANDLEWOOD BEIGE



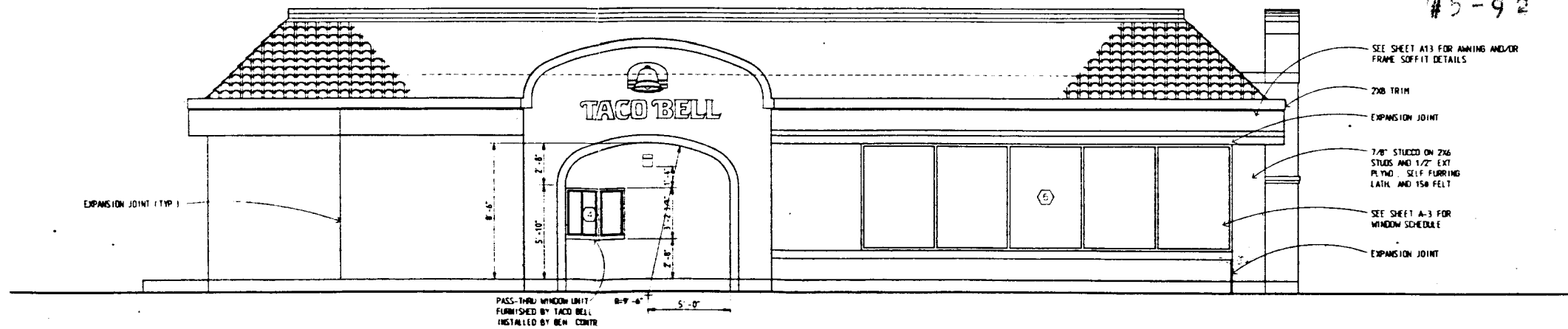
RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

1. CAULK ALL WALL AND ROOF PENETRATIONS.
2. APPLY ONE COAT OF WATERPROOFING TO ALL HORIZONTAL STUCCO SURFACES ONLY.
3. SEE SPECIFICATIONS FOR WALLING AND REQUIREMENTS FOR 1/2" EXTERIOR GRADE PLYWOOD.
4. ALTERNATE MATERIALS ALUMINUM FRAMING:
 - VISTA WALL (214) 551-6100
 - U.S. ALUMINUM - PAUL ADLER (214) 268-6230
5. CAULK ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB (EXTERIOR AND INTERIOR).
6. STUCCO FINISH TO BE "LIGHT LACE" AS SPECIFIED BY THE STUCCO MANUFACTURERS ASSOCIATION. ALTERNATE "MEDIUM DASH", MACHINE APPLIED.
7. ARCH RADIUS DIMENSIONS ARE GIVEN FOR GENERAL CONTRACTOR'S REFERENCE ONLY.
8. DOUBLE ROMAN CONCRETE ROOF TILE TO BE ORDERED FROM:

LIFE TILE REALTO, CA. TEL. (714) 822-4407	WESTILE LITTLETON, COLORADO TEL. 1-800-433-8453
FLORIDA TEL. (813) 676-9405	NORHER TILE CORONA, CA. TEL. (714) 737-3888
KATY, TX TEL. (713) 371-2634	ATLANTIC REGION BALTIMORE TEL. (301) 335-8822
CASA GRANDE, ARIZONA TEL. (602) 336-8100	
9. WOOD TRIM ON FASCIA TO BE "C SELECT" (PMP-CHOICE) S4S.
10. DEEP RED CLAY MISSION TILE MAY BE USED WHEN APPROVED BY TACO BELL. INSTALLATION OF CUT TILE AT TOP AND CORNER RIDGES SHALL BE WITH MORTAR AND NOT WIRE HOOKS.



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL NOTES

EXTERIOR ELEVATIONS

Original
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#5-92

MSOH FRAME
6-1-91
A7

DIRECTIONAL SIGNS

16" x 36 7/8" DF C-P Anchor Bolt Mounted Directional Sign

Double face sign with flat pan polycarbonate faces. Choice of seven standard copy selections plus arrow and Taco Bell logo. Can be ordered in any combination.

Sign box is of extruded aluminum and is constructed to meet 35 PSF wind load. Electrical meets standards of National Electric Code and Underwriters Laboratories, Inc. Sign bears U.L. label.

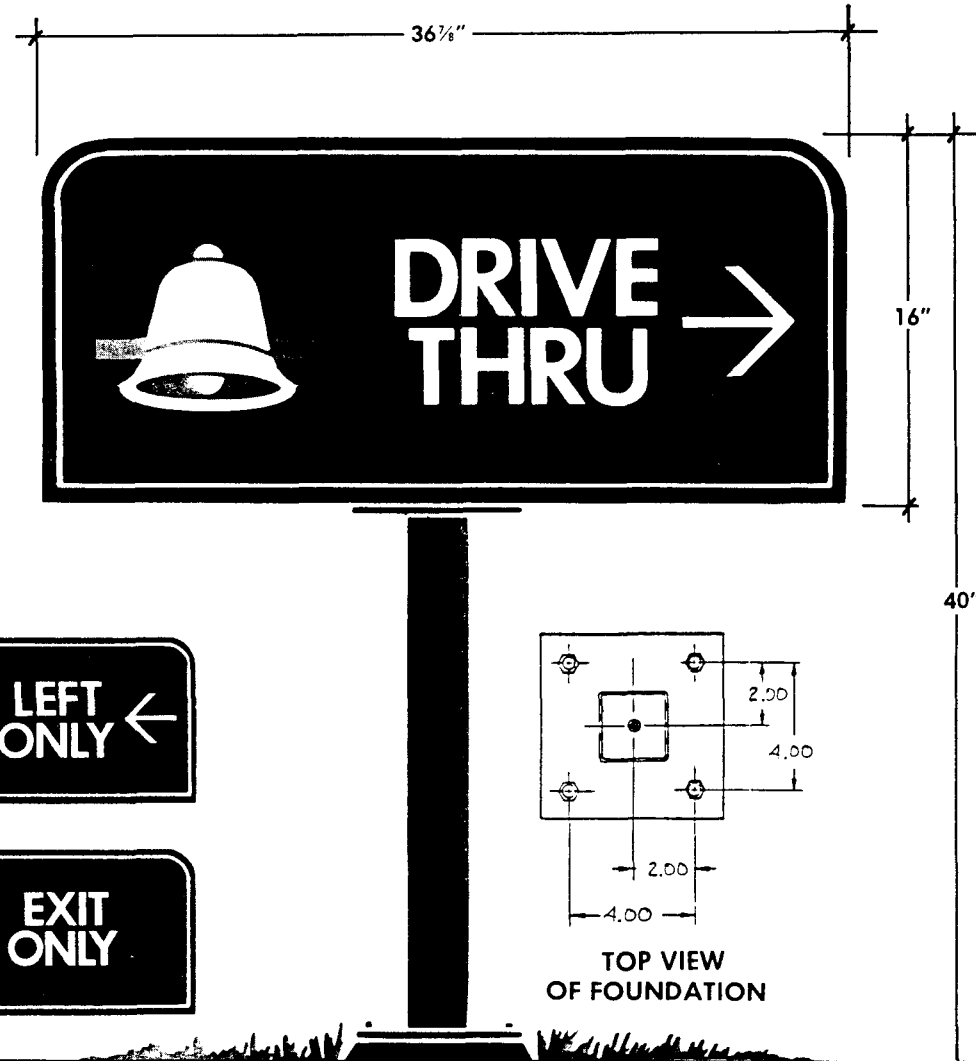
Sign is supplied with a 3" x 3" square steel tube with base plate.

Foundation supplied by General Contractor. Four 1/2" anchor bolts required.

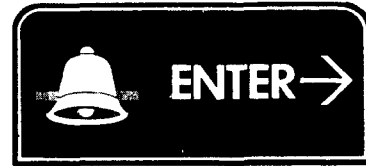
Electrical Specifications:

Lamps: (2) 36T12 H/O C.W.
 Ballast: (1) Jefferson 256-1311
 Conn. Load: 1.17 AMPS
 Circuits: (1) 15 AMP

Service sign by: Sliding face
 Lifting Weight: 28 lbs.



0-2

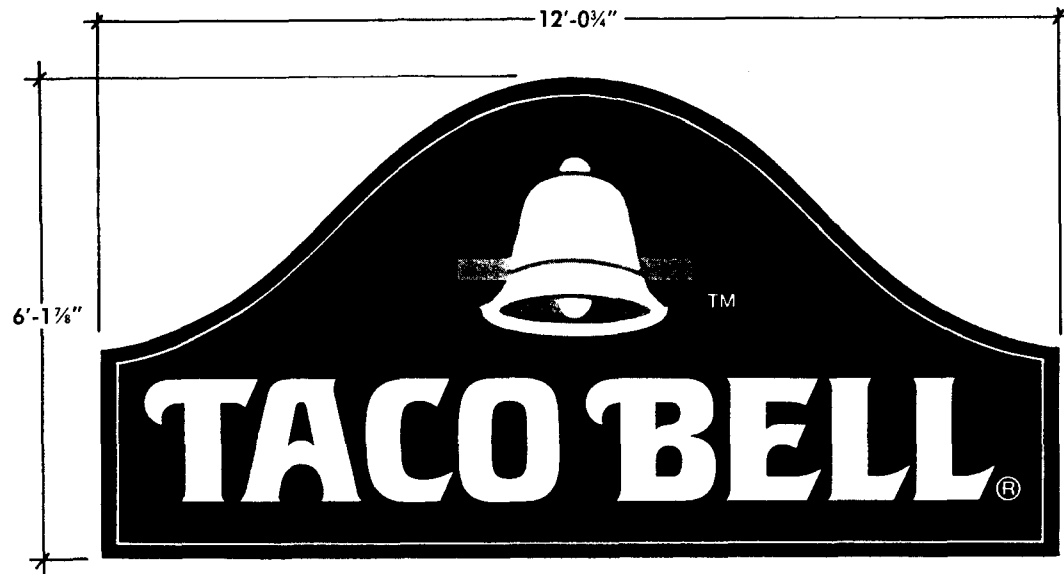


Plasti-Line, Inc.

Original Remove
 Do NOT
 From Office

5-92

BUILDING MOUNTED SIGNS



B-1 72 Square Feet 6'-1 7/8" x 12'-0 3/4" Mission Building Sign

Single face sign with one-piece, prescreened face of polycarbonate, pan embossed. Sign box is of extruded aluminum and designed to meet 30 PSF wind load. Electrical meets standards of National Electric Code and Underwriters Laboratories, Inc. Sign bears U.L. label.

Electrical Specifications:

Lamps:	F36T12 H/O C.W. (1) F48T12 H/O C.W. (2) F64T12 H/O C.W. (1) F72T12 H/O C.W. (6)
Ballast:	Jefferson 262-272 (1) Jefferson 262-472 (2) Jefferson 262-001 (6)
Conn. Load:	7.5 AMPS
Circuits:	15 AMP (1)

Service sign by: Remove Face
Lifting Weight: 550 lbs.



B-2 17 Square Feet 2' x 3' Mini Bell with 15" Neonized Letters

Mini Bell

2' x 3' Mini Bell logo is a single face sign with one-piece, prescreened face of polycarbonate, pan embossed. Sign box is extruded aluminum with Kydex back and designed to meet 30 PSF wind load. Electrical meets standards of National Electrical Code and bears U.L. label.

Electrical Specifications:

Lamps:	U6-36T12 H/O C.W. (2) U6-24T12 H/O C.W. (2) F24T12 H/O C.W. (1)
Ballast:	Jefferson 262-448 (1) Jefferson 262-001 (2)
Conn. Load:	2.0 AMPS
Circuits:	15 AMP (1)

Service sign by: 42 lbs.
Lifting Weight: Remove Face

Letters

Individually mounted neonized embossed letters, internally illuminated with remote transformer boxes behind wall. Individual letters are 15" high and the entire unit covers 8'-9" in length.

Electrical Specifications:

Transformer:	France 7560-P (2)
Lamps:	12 MM Neon Tubing
Voltage:	120 Volts
Total Conn. Load:	4.0 AMPS
Circuit:	20 AMP (1)

Service sign by: Remove faces
Lifting Weight: TACO- 80 lbs., BELL- 80 lbs.

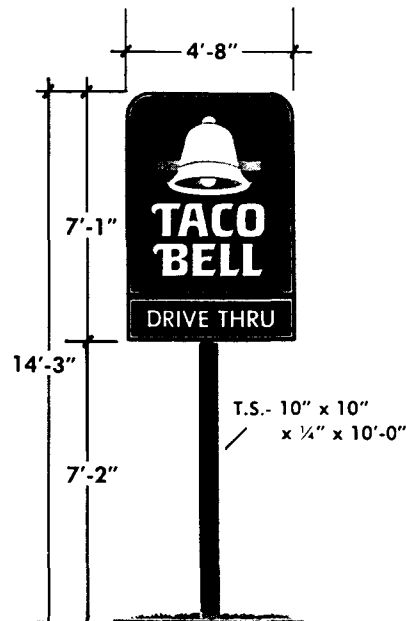
102
 Original remove
 from other

GROUND MOUNTED LOGO SIGNS

Ground Mounted Logo Signs

Double face sign with one-piece, prescreened logo faces of polycarbonate. Logo faces are pan embossed with white border. Appendage faces are one-piece, prescreened polycarbonate and are embossed with white border. Optional copy reading: DRIVE THRU or WELCOME.

Sign box is extruded aluminum. Electrical meets standards of National Electric Code and bears U.L. label.

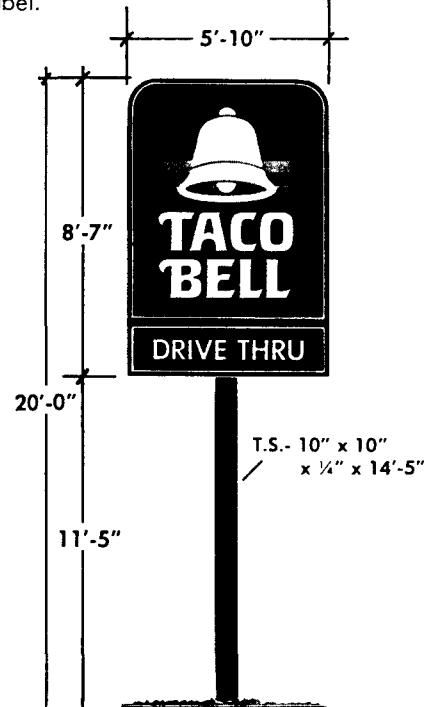


P1 32 Square Feet
7'-1" x 4'-8" DF C-P Logo Sign
at 15' OAH

Electrical Specifications:

Lamps: 84T12 H/O C.W. (4)
Ballast: Jefferson 262-484-100
Conn. Load: 3.85 AMPS
Circuits: 15 AMPS (1)

Service sign by: Hinged Face
Lifting Weight: 230 lbs.
Maximum Design
Wind Load: 30 PSF

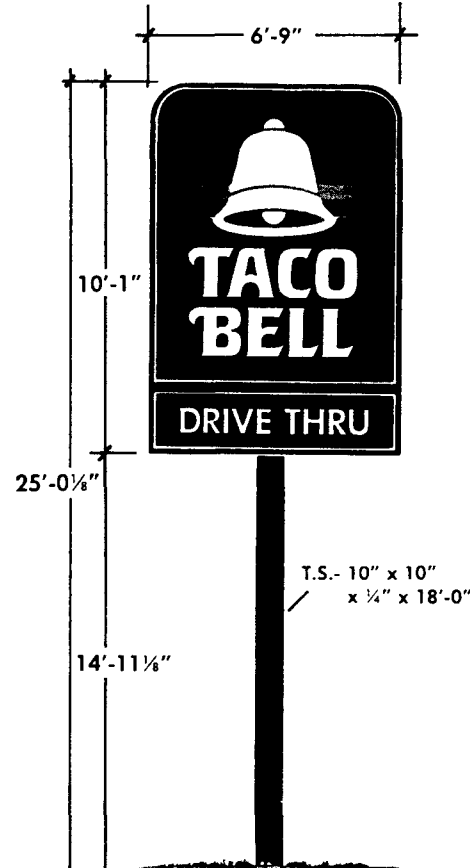


P2 50 Square Feet
8'-7" x 5'-10" DF C-P Logo Sign
at 20' OAH

Electrical Specifications:

Lamps: F96T12 H/O C.W. (6)
Ballast: Jefferson 262-002
Conn. Load: 5.4 AMPS
Circuits: 15 AMPS (1)

Service sign by: Hinged Face
Lifting Weight: 290 lbs.
Maximum Design
Wind Load: 35 PSF

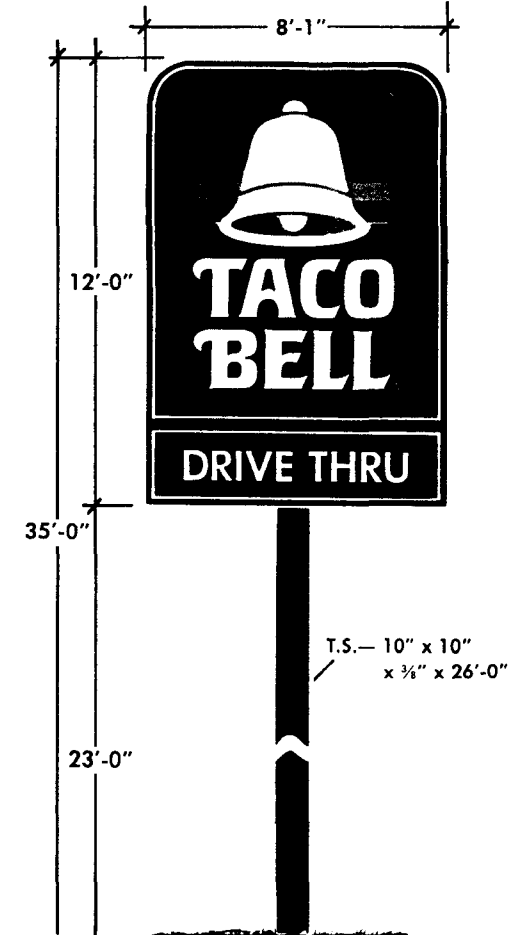


P3 69 Square Feet
10'-1" x 6'-9" DF C-P Logo Sign
at 25' OAH

Electrical Specifications:

Lamps: 117T12 H/O C.W. (6)
Ballast: Jefferson 262-496-100 (2)
Conn. Load: 7.7 AMPS
Circuits: 15 AMPS (1)

Service sign by: Hinged Face
Lifting Weight: 490 lbs.
Maximum Design
Wind Load: 30 PSF



P4 97 Square Feet
12'-0" x 8'-1" DF C-P Logo Sign
at 35' OAH

Electrical Specifications:

Lamps: F60T12 H/O C.W. (2)
F64T12 H/O C.W. (2)
F84T12 H/O C.W. (8)
Ballast: Jefferson 262-464 (2)
Jefferson 262-484 (2)
Jefferson 262-002 (8)

Conn. Load: 13.1 AMPS
Circuits: 20 AMP (1)
Service sign by: Hinged Face
Lifting Weight: 1205 lbs.
Maximum Design
Wind Load: 30 PSF

Original Remove from Office

5-92

23 PAINTED STRIPES FOR PUBLIC ACCESS ACROSS DRIVE THRU LANE.

24 EXISTING CITY SIDEWALK AND CURB, SIDEWALK TO BE REPLACED AT NEW GRADE ELEVATION.

25 EXISTING CUPE CUT. (FIELD VERIFY OPENING DIMENSIONS).

26 NEW CUPE CUT AT EXISTING ACCESS ROAD.

27 LANDSCAPED AREA.

28 40' TALL "TACO BELL" POLE SIGN.

29 ASPHALT PAVING.

30 NEW PUBLIC SIDEWALK BY G.C. PER CITY OF GRAND JUNCTION STANDARDS

31 DIRECTIONAL SIGN - 1 SIDE "DRIVE THRU WITH ARROW", 1 SIDE "TACO BELL PARKING".

32 ENTRANCE SIGNS - NO TACO BELL LOGO OR NAME.

33 PAINTED 4" WHITE STRIPE.

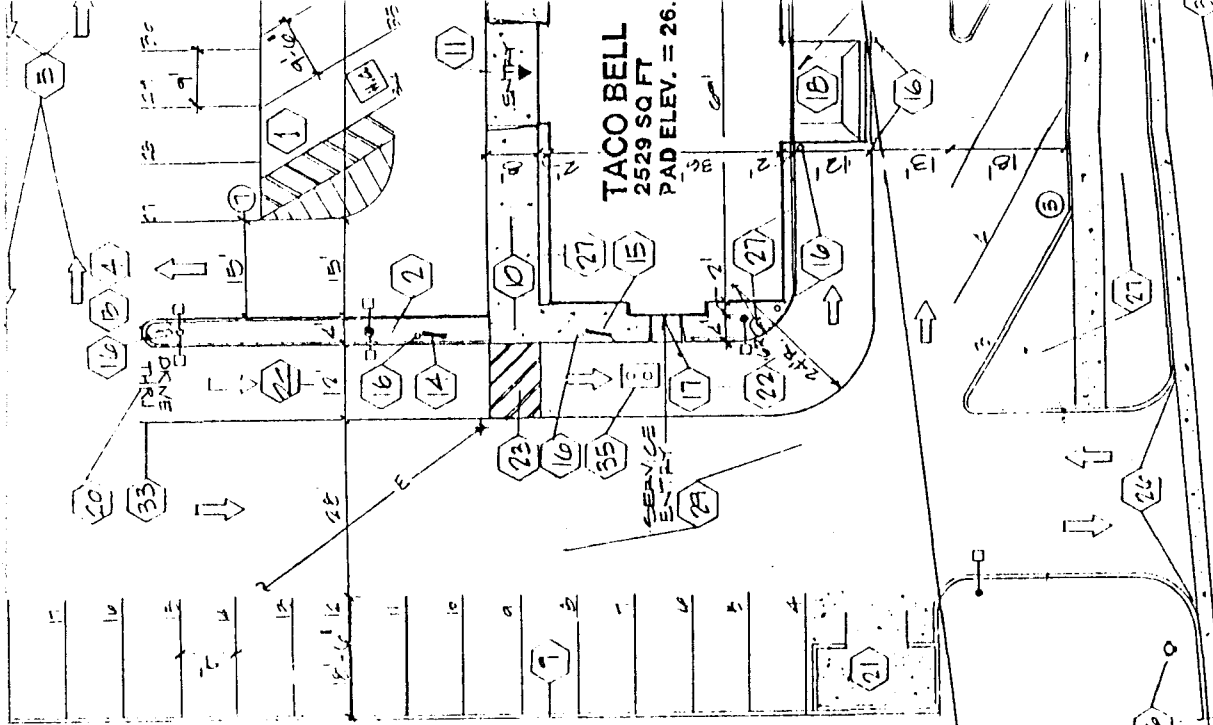
34 NEW PUBLIC STREET IMPROVEMENTS FOR ACCESS ROAD. IMPROVEMENTS INCLUDE CURB, GUTTER, SIDEWALKS AND REPAVING WITH TURNING LANES. ALL IMPROVEMENTS PER CITY STANDARDS.

35 1000 GALLON GREASE TRAP.

36 PROPOSED FIRE HYDRANT BY TACO BELL. INSTALLATION PER FIRE DEPARTMENT STANDARDS.

PHASE II (FUTURE)

TACO BELL
2529 SQ FT
PAD ELEV. = 26'



STATE R.O.W

STA

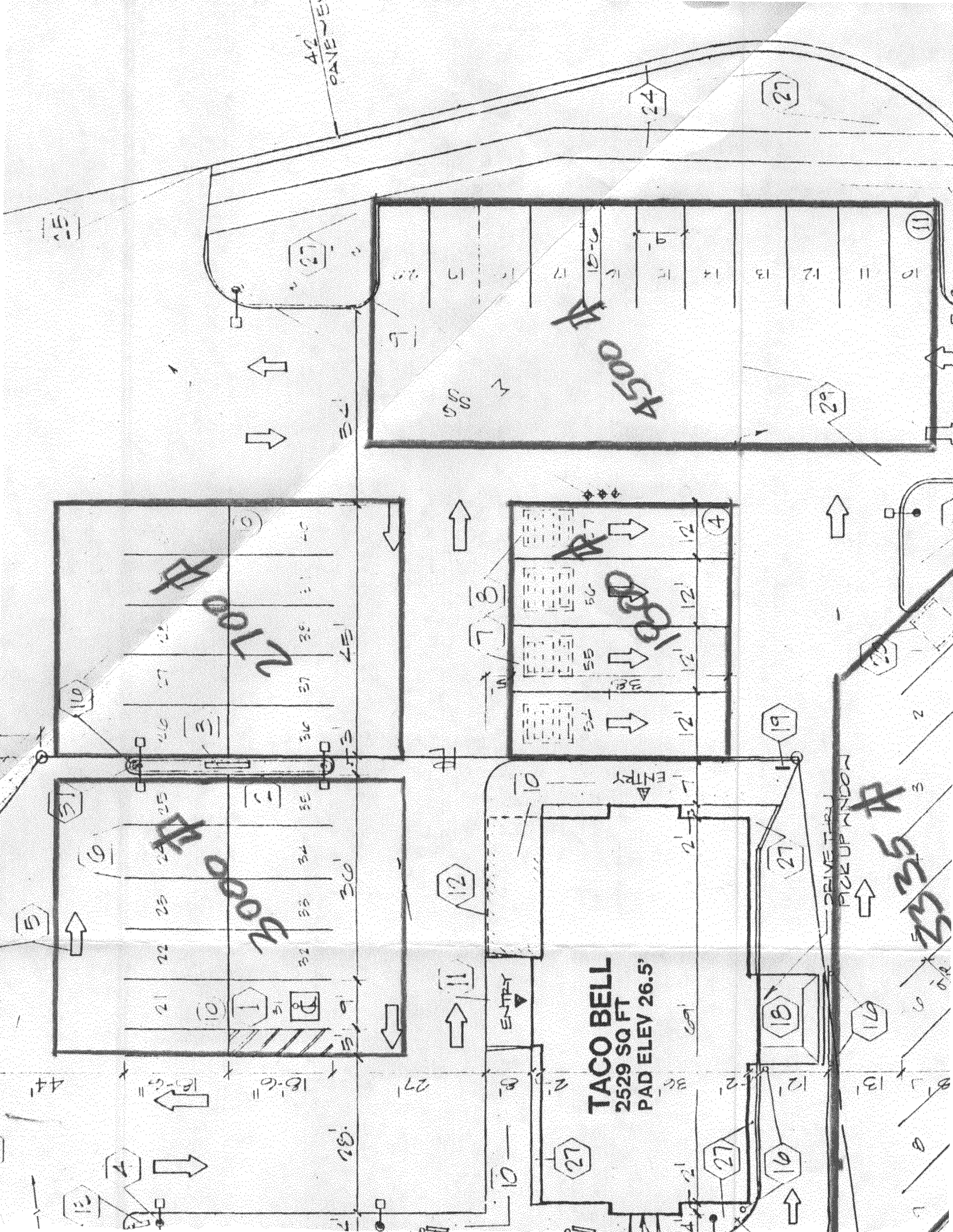
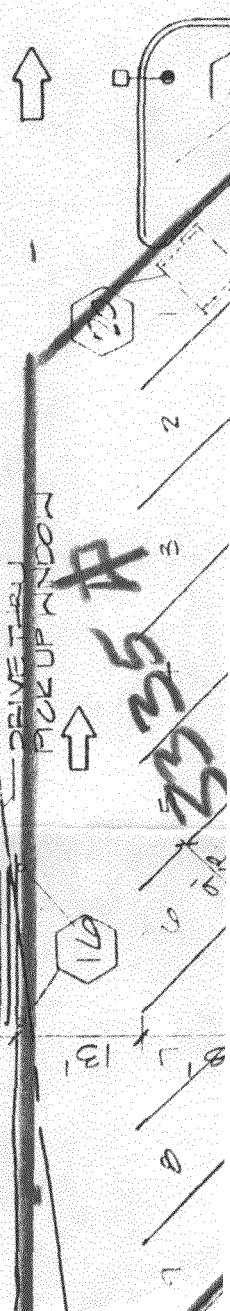
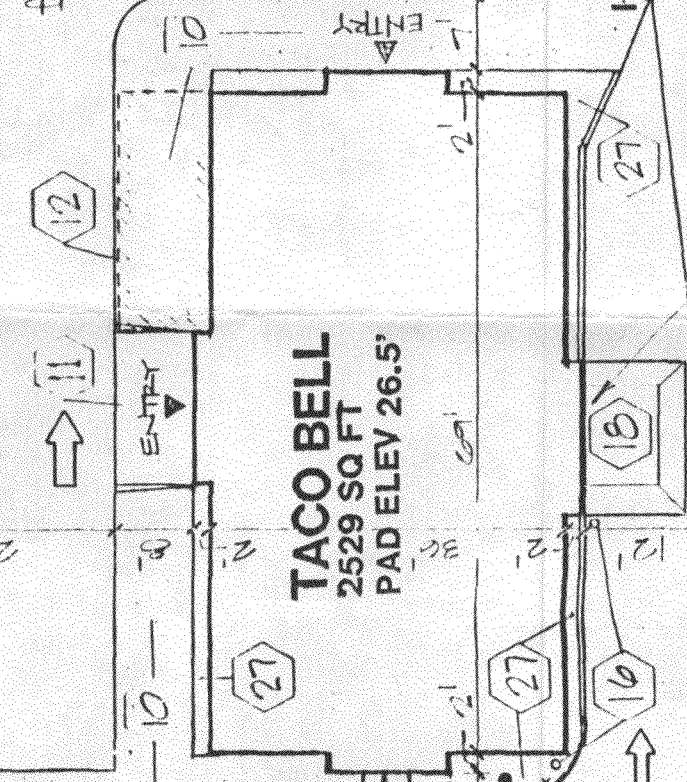
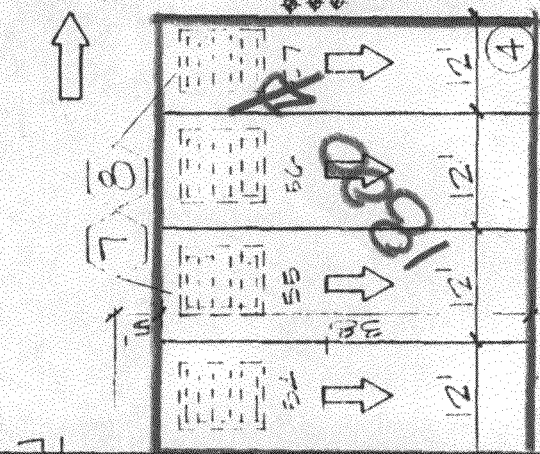
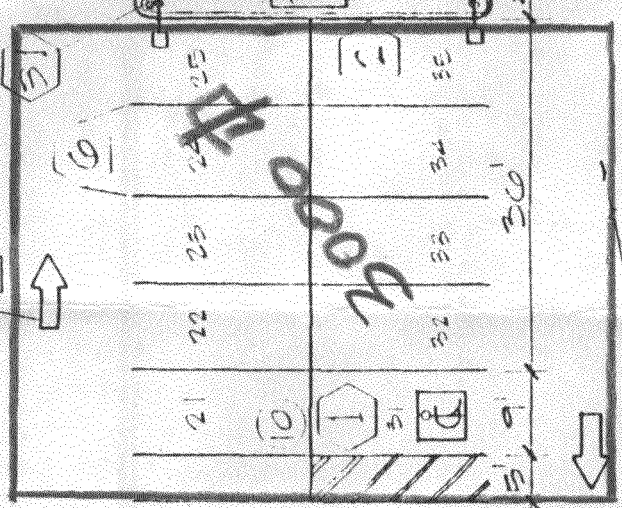
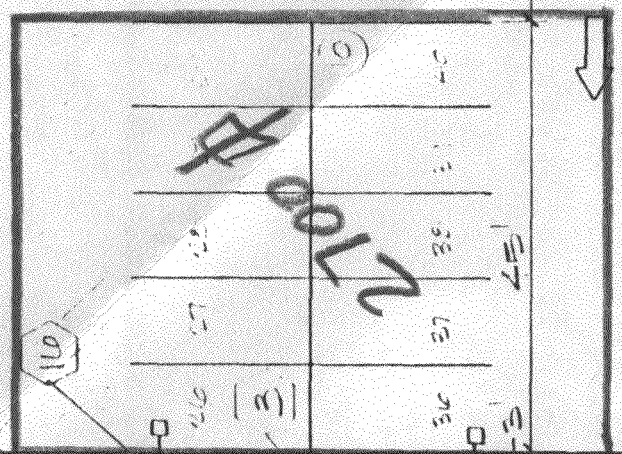
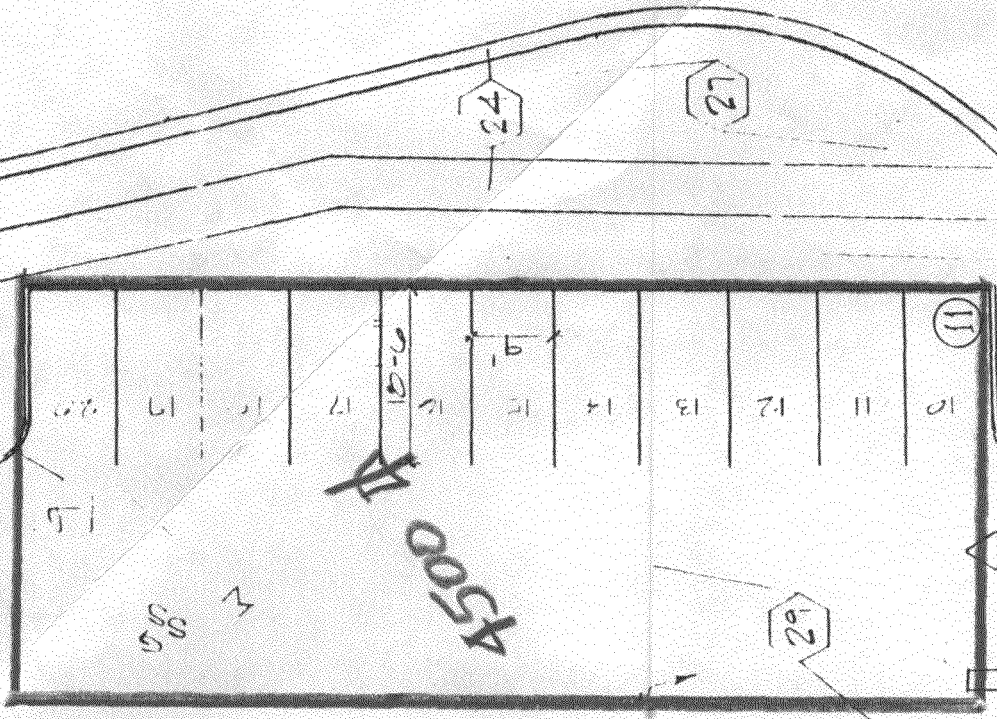
SITE DATA

ZONE - HO
SETBACKS:
FRONT - 65' FROM CENTER OF RIGHT OF WAY
BACK AND SIDE - 15'

PARKING:
REQUIRED: 1 SPACE PER 3 SEATS (BASED ON 90 SEATS) = 30 SPACES
REQUIRED

REQUIREMENTS FOR ALL PARKING

42' PAVEMENT



Landscaping Required

5% of parking Area
= 989 #

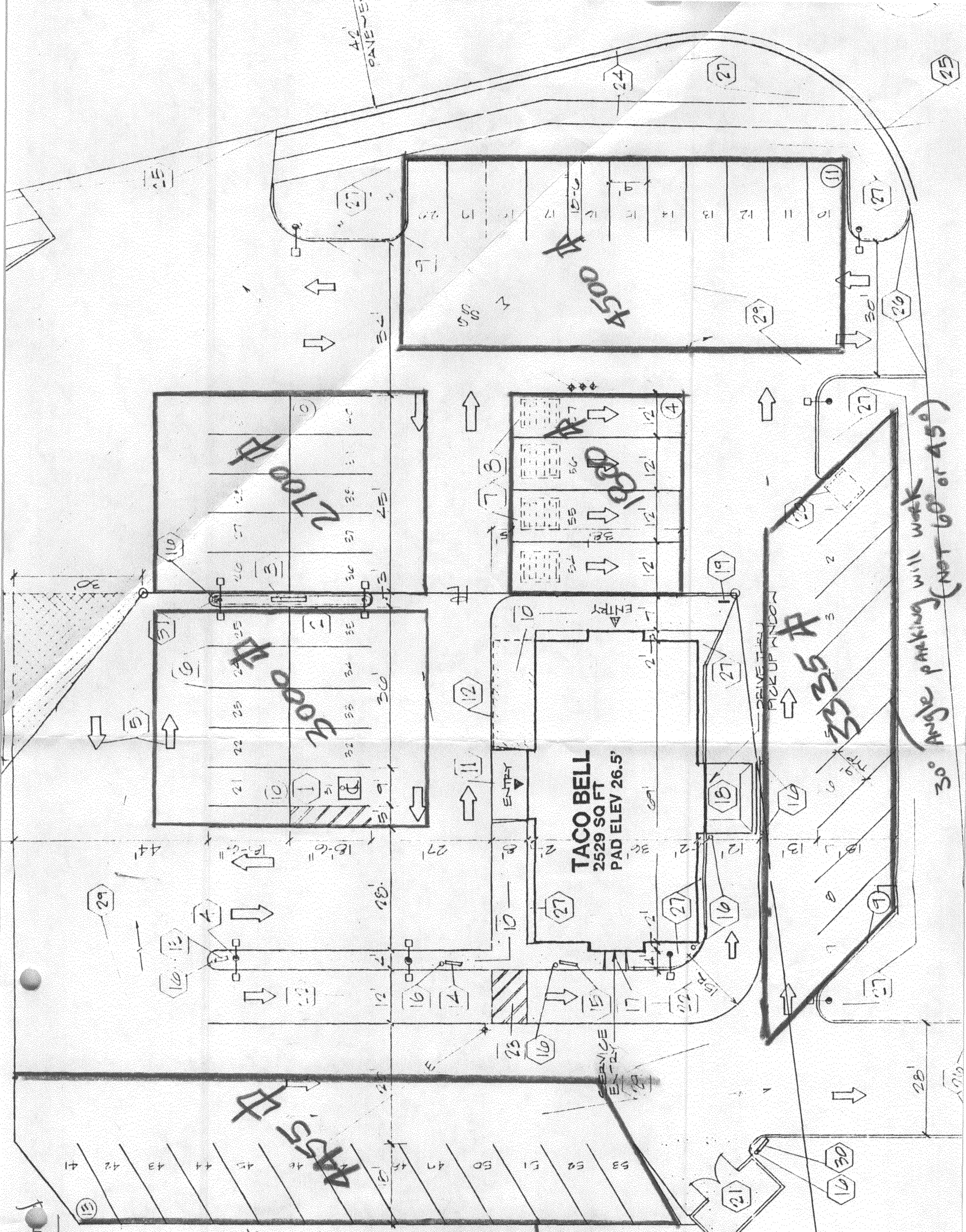
Plus
75% of Frontyard
SETBACK

Horizon Dr. = 1509 #
STATE Access Rd = 4701 #

GRAND TOTAL =

7,199 #

45° ANGLE
PARKING



SITE PLAN TAG NOTES:

- 1 7' x 18' x 4" HANDICAPPED PARKING SPACE WITH HANDICAPPED PARKING SYMBOL AND 3' WIDE STRIPPED ACCESS AREA. HANDICAPPED SYMBOLS TO MEET CITY STANDARDS.
- 2 CURBED PLANTER AREA.
- 3 40" TALL "TACO BELL" POLE SIGN.
- 4 LOT LIGHT WITH CONCRETE BASE. (TYP.)
- 5 PAINTED DIRECTIONAL ARROWS PER CITY OF GRAND JUNCTION.
- 6 PAINTED PARKING STRIPE PER CITY OF GRAND JUNCTION.
- 7 4 R.V. PARKING / PULL THRU SPACES.
- 8 PAINTED "R.V. PARKING ONLY."
- 9 4" CONCRETE CURB (TYP.)
- 10 CONCRETE SIDEWALK "RED COLOR."
- 11 HANDICAPPED RAMP - 12" WIDE, SLOPE NOT TO EXCEED 1/4" PER FOOT.
- 12 OUTLINE OF ACRYLIC CANVAS PATIO COVER.
- 13 DIRECTIONAL SIGN "DRIVE THRU ONLY."
- 14 TACO BELL PRE ORDER/MENU BOARD.
- 15 TACO BELL ORDER/MENU BOARD.
- 16 CONCRETE FILLED PIPE.
- 17 DEPRESSED RAMP AT SERVICE ENTRY.
- 18 DRIVE THRU CANOPY.
- 19 DIRECTIONAL SIGN - 1 SIDE "THANK YOU", 1 SIDE "DO NOT ENTER".
- 20 PAINTED "DRIVE THRU"
- 21 80' x 10' TRASH ENCLOSURE WITH 4" POLISHED CONCRETE PAD.
- 22 BLACK CONCRETE PAVING AT DRIVE THRU LANE.
- 23 PAINTED STRIPES FOR PUBLIC ACCESS ACROSS DRIVE THRU LANE.
- 24 EXISTING CITY SIDEWALK AND CURB. SIDEWALK TO BE REPLACED AT NEW GRADE ELEVATION.
- 25 EXISTING CURB CUT. FIELD VERIFY OPENING DIMENSIONS.
- 26 NEW CURB CUT AT EXISTING ACCESS ROAD.
- 27 LANDSCAPED AREA.
- 28 40" TALL "TACO BELL" POLE SIGN.
- 29 ASPHALT PAVING.
- 30 NEW PUBLIC SIDEWALK BY D.C. PER CITY OF GRAND JUNCTION STANDARDS.
- 31 DIRECTIONAL SIGN - 1 SIDE "DRIVE THRU WITH ARROW", 1 SIDE "TACO BELL PARKING".
- 32 ENTRANCE SIGNS - NO TACO BELL LOGO OR NAME.
- 33 PAINTED 4" WHITE STRIPE.
- 34 NEW PUBLIC STREET IMPROVEMENTS FOR ACCESS ROAD. IMPROVEMENTS INCLUDE CURB, GUTTER, SIDEWALKS AND REPAVING WITH TURNING LANES. ALL IMPROVEMENTS PER CITY STANDARDS.
- 35 1000 GALLON BREASE TRAP.
- 36 PROPOSED FIRE HYDRANT BY TACO BELL. INSTALLATION PER FIRE DEPARTMENT STANDARDS.

Beginning at the Southeast corner No. 1, thence the Southeast corner of the NW 1/4 SE 1/4 of Section 36, Township 1 North, Range 1 West of the One Meridian bears West 69.46 feet, thence East 329.72 feet to the Southeast corner No. 2, thence North 07°02' East 83.42 feet to the Northwest corner No. 3, thence North 49°50' West 313.39 feet to the North corner No. 4, thence South 51°00' West 134.15 feet to the Northwest corner No. 5, thence South 0°02' West 217.83 feet to Corner No. 1, the point of beginning.
Hess County, Colorado.

- LEGEND
- LOT LIGHT
 - POLE SIGN (TYPE I)
 - ▶ DIRECTIONAL SIGN (TYPE III)
 - ◀ ORDER BOARD (TYPE III)
 - BUILDING SIGN (TYPE IV)
 - ⇄ DIRECTIONAL ARROWS
 - ▬ CONCRETE

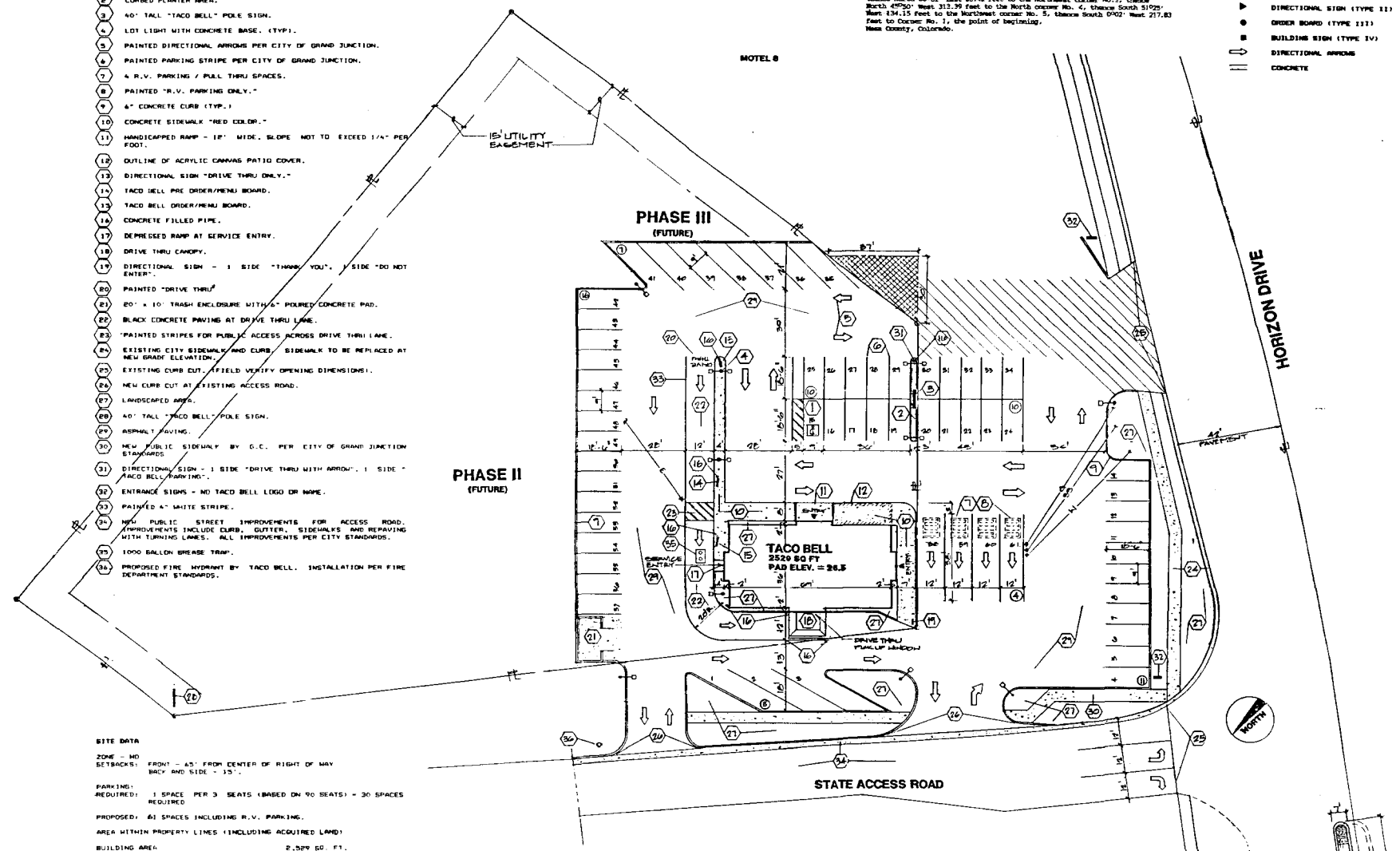


TACO BELL RESTAURANT
736 HORIZON DR.
GRAND JUNCTION, CO

DRAWN BY	
DATE 5-10-72	
PROJECT NO. C-1140	
PLAN	HECK
NO. 1	
NO. 2	
NO. 3	
NO. 4	
NO. 5	
NO. 6	
NO. 7	
NO. 8	
NO. 9	
NO. 10	
NO. 11	
NO. 12	
NO. 13	
NO. 14	
NO. 15	
NO. 16	
NO. 17	
NO. 18	
NO. 19	
NO. 20	
NO. 21	
NO. 22	
NO. 23	
NO. 24	
NO. 25	
NO. 26	
NO. 27	
NO. 28	
NO. 29	
NO. 30	
NO. 31	
NO. 32	
NO. 33	
NO. 34	
NO. 35	
NO. 36	



A



SITE DATA

ZONE - NO
SETBACKS: FRONT - 65' FROM CENTER OF RIGHT OF WAY
BACK AND SIDE - 15'

PARKING:
REQUIRED: 1 SPACE PER 3 SEATS (BASED ON 90 SEATS) = 30 SPACES
REQUIRED

PROPOSED: 61 SPACES INCLUDING R.V. PARKING.

AREA WITHIN PROPERTY LINES (INCLUDING ACQUIRED LAND)

BUILDING AREA	2,287 SQ. FT.
PAVED AREA (INCLUDING DRIVE THRU)	18,287
TRASH ENCLOSURE	200
LANDSCAPING	187
SIDEWALK	1,471
EXISTING HILLSIDE TO REMAIN (FUTURE)	48,218
TOTAL PROPERTY	71,002 SQ. FT.

AREA AT DEVELOPED AREA BEYOND PROPERTY LINES

PAVED AREA	25,224 SQ. FT.
LANDSCAPING	4,002
SIDEWALK	600
TOTAL PROPERTY	29,826 SQ. FT.

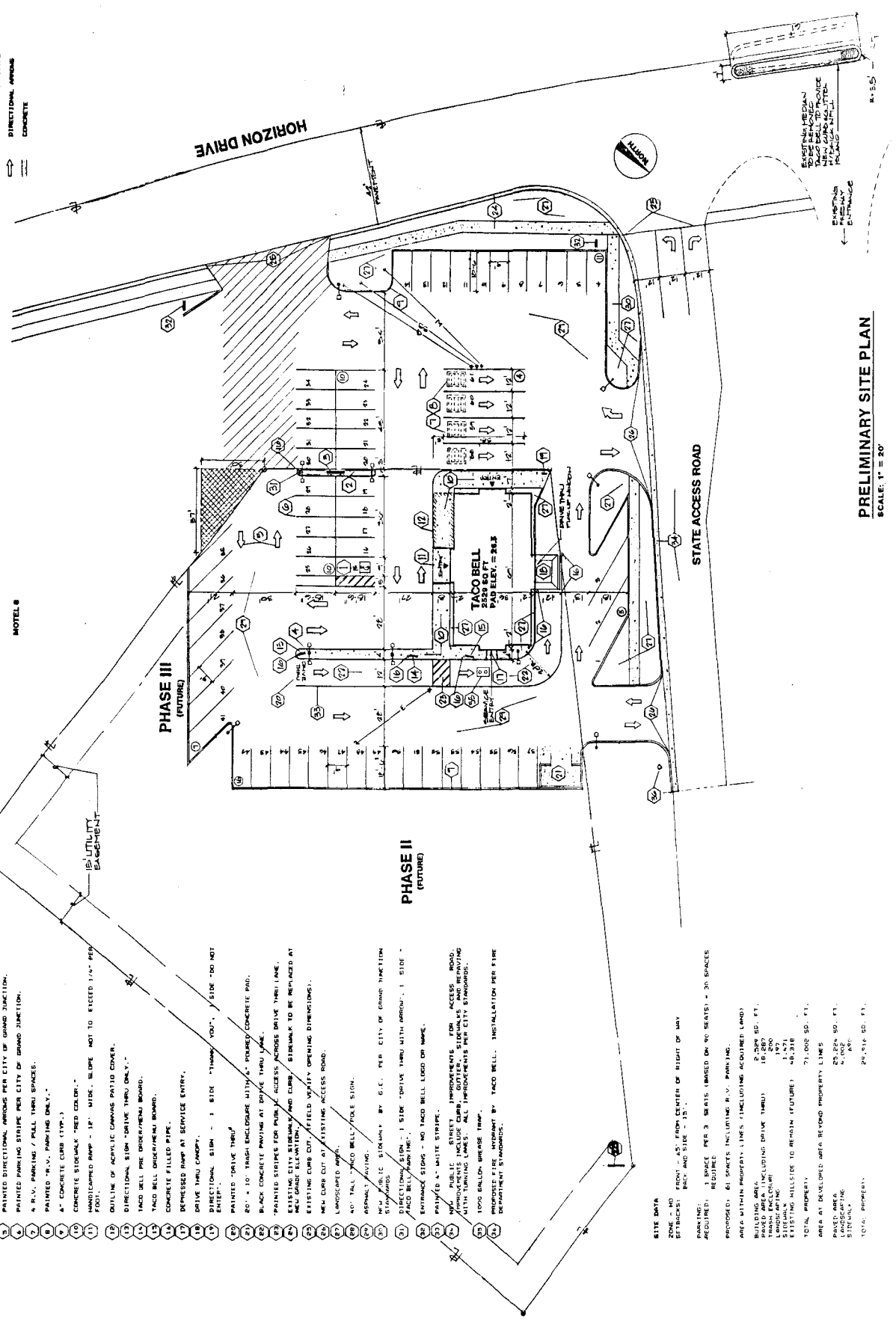
RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
MAR 12 1992

PRELIMINARY SITE PLAN
SCALE: 1" = 20'

LEGEND

- LOT LIGHT
- POLE SIGN (TYPE I)
- DIRECTIONAL SIGN (TYPE II)
- OPEN BOARD (TYPE I/III)
- BUILDING SIGN (TYPE IV)
- DIRECTIONAL ARROWS
- CONCRETE

Including at the Southwest corner No. 1, across the Southwest corner of the No. 2, and along the North side of the No. 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



PRELIMINARY SITE PLAN
 SCALE: 1" = 20'

SITE PLAN TAG NOTES:

- 1. VULNERABLE HAZARDOUS WASTE WITH UNIDENTIFIED PARKING SYMBOL AND 3" WIDE STRIPPED ACCESS AREA. UNIDENTIFIED SYMBOLS TO MEET CITY STANDARDS.
- 2. CURVED PLANTER AREA.
- 3. 40" TALL "TACO BELL" POLE SIGN.
- 4. LOT LIGHT WITH CONCRETE BASE, 11'X17'.
- 5. PRINTED DIRECTIONAL ARROWS PER CITY OF GRAND JUNCTION. PRINTED PARKING STRIPES PER CITY OF GRAND JUNCTION.
- 6. 4 R.V. PARKING / PULL THRU SPACES.
- 7. PAINTED "R.V. PARKING ONLY."
- 8. CONCRETE CURB (11'X17').
- 9. CONCRETE SIDEWALK "RED COLOR."
- 10. HANDICAPPED RAMP - 12" WIDE, SLOPE NOT TO EXCEED 1/4" PER FOOT.
- 11. OUTLINE OF ACYCLIC CURVING PATIO CORNER.
- 12. DIRECTIONAL SIGN "DRIVE THRU ONLY."
- 13. TACO BELL PRE ORDER/MENU BOARD.
- 14. TACO BELL ORDER/MENU BOARD.
- 15. CONCRETE FILLED PIPE.
- 16. DEPRESSED RAMP AT SERVICE ENTRY.
- 17. DRIVE THRU CANYON.
- 18. DIRECTIONAL SIGN - 1 SIDE "THANK YOU", 1 SIDE "DO NOT ENTER".
- 19. PAINTED "DRIVE THRU"
- 20. 20' x 10' TRASH ENCLOSURE WITH 4" POLYMER CONCRETE PAD.
- 21. BLACK CONCRETE PAVING AT DRIVE THRU LANE.
- 22. PAINTED STRIPES FOR PUBLIC ACCESS ACROSS DRIVE THRU LANE.
- 23. EXISTING CITY SIDEWALK AND CURB. SIDEWALK TO BE REPLACED AT EXISTING CURB CUT. AT FIELD VERIFY OPERATING DIMENSIONS.
- 24. NEW CURB CUT AT EXISTING ACCESS ROAD.
- 25. LANDSCAPED AREAS.
- 26. 40" TALL "TACO BELL" POLE SIGN.
- 27. ASPHALT PAVING.
- 28. NEW PUBLIC SIGNAGE BY G.E. PER CITY OF GRAND JUNCTION STANDARDS.
- 29. DIRECTIONAL SIGN - 1 SIDE "DRIVE THRU WITH ARROW", 1 SIDE "TACO BELL PARKING".
- 30. PAINTED 4" WHITE STRIPES.
- 31. ENRANCE SIGN - NO TACO BELL LOGO OR NAME.
- 32. PUBLIC STREET IMPROVEMENTS FOR ACCESS ROAD. IMPROVEMENTS INCLUDE CURB, GUTTER, SIDEWALKS AND REPAIRING WITH TURNING LINES. ALL IMPROVEMENTS PER CITY STANDARDS.
- 33. 1000 GALLON WRECK TRAP.
- 34. PROPOSED FIRE HYDRANT BY TACO BELL. INSTALLATION PER FIRE DEPARTMENT STANDARDS.

SITE DATA

- ZONE - MD
- FRONT SETBACK - 50' FROM CENTER OF RIGHT OF WAY
- REAR AND SIDE SETBACKS - 10'
- PARKING REQUIREMENT - 1 SPACE PER 3 SEATS (BASED ON 90 SEATS) = 30 SPACES REQUIRED

PROPOSED: 61 SPACES INCLUDING R.V. PARKING.

AREA WITHIN PROPERTY LINES (INCLUDING ACQUIRED LAND)

- BUILDING AREA: 2,500 SQ. FT.
- PAVED AREA (INCLUDING DRIVE THRU): 10,000 SQ. FT.
- LANDSCAPING (INCLUDING SIDEWALKS): 1,000 SQ. FT.
- EXISTING HILLSIDE TO REMAIN (FUTURE): 48,378 SQ. FT.

TOTAL PROPERTY: 71,000 SQ. FT.

AREA AT DEVELOPER AREA BEYOND PROPERTY LINES

- PAVED AREA: 25,000 SQ. FT.
- LANDSCAPING: 5,000 SQ. FT.

TOTAL PROPERTY: 30,000 SQ. FT.

3-27-92



TACO BELL RESTAURANT
736 HORIZON DR.
GRAND JUNCTION, CO

DATE: 3-20-92
PROJECT NO: C-1140

ALLEN, B. J.

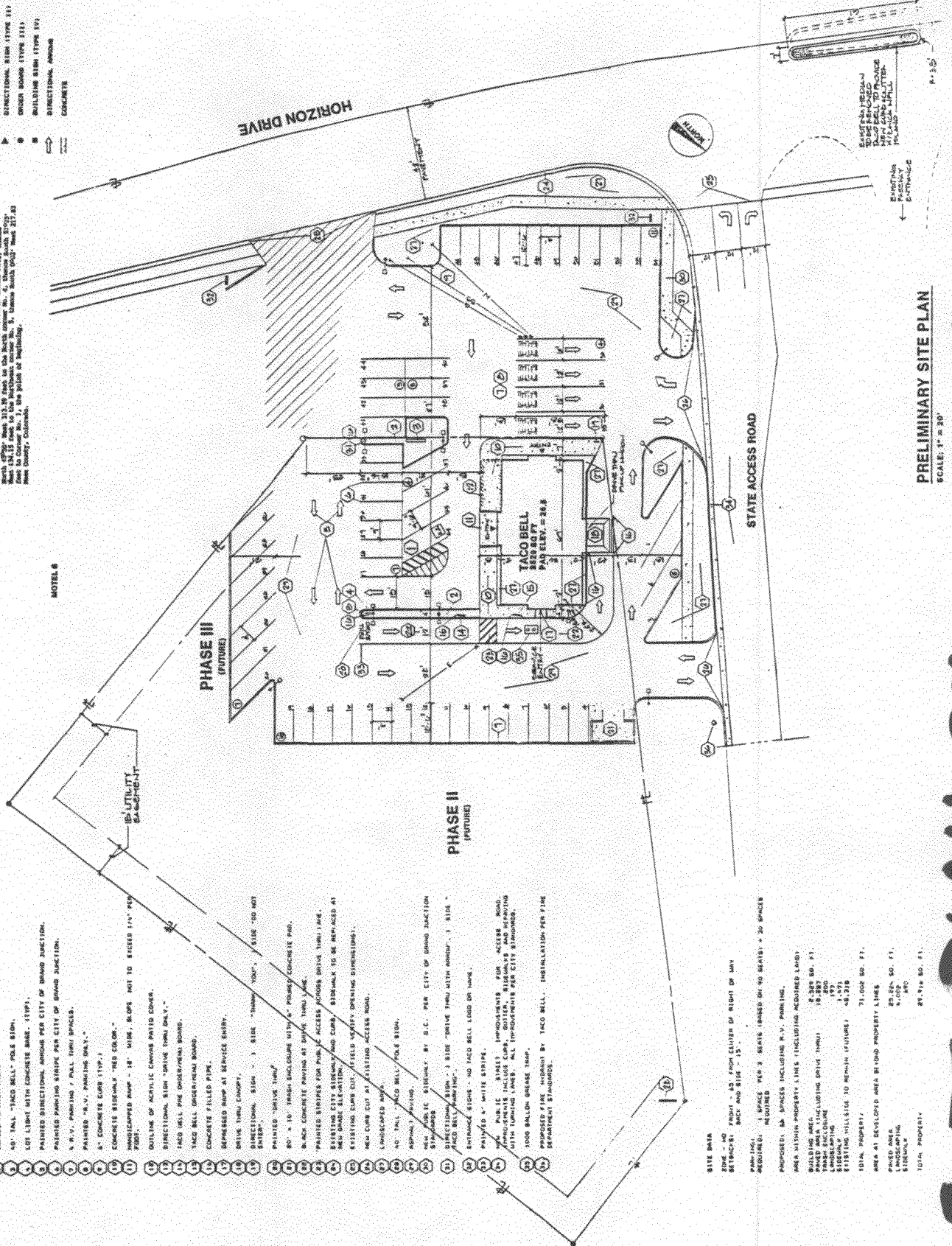
3000 South 4th St.
Grand Junction, CO 81505

Philip G. Allen, AIA
Interior Design Inc.
220 West 1st St.
Grand Junction, CO 81501



- LEGEND**
- LOT LINE
 - POLE SIGN (TYPE 1)
 - DIRECTIONAL SIGN (TYPE 31)
 - ORDER BOARD SIGN (TYPE 31)
 - BUILDING SIGN (TYPE 31)
 - DIRECTIONAL ARROW
 - CONCRETE

Noting 41, the Southwest corner of 1, across the Southwest corner of the NW 1/4 of 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



PRELIMINARY SITE PLAN
SCALE: 1" = 30'

SITE PLAN SHOWING MINOR CHANGE



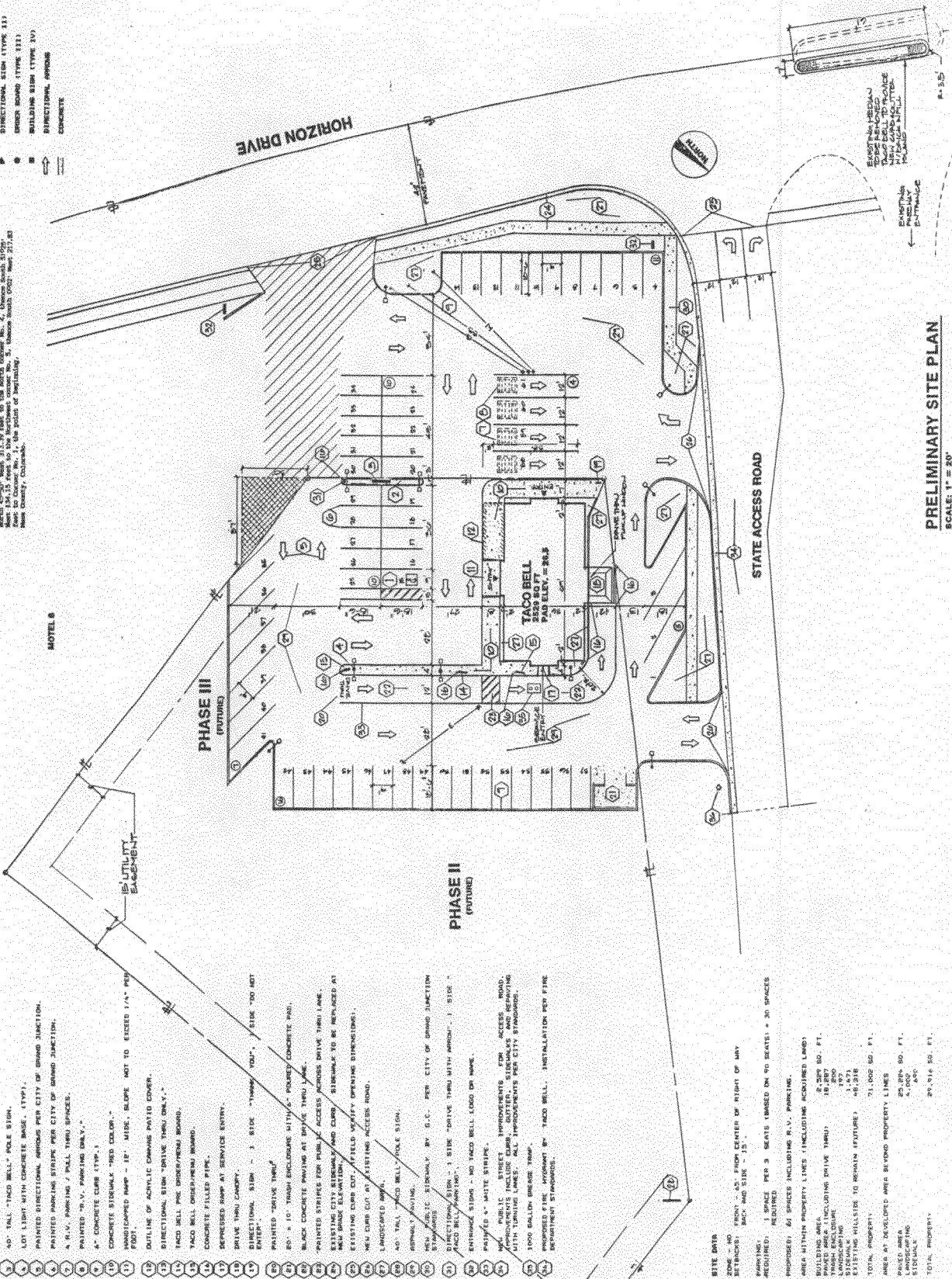
TACO BELL RESTAURANT
736 HORIZON DR.
GRAND JUNCTION, CO

DRAWN BY: [Signature]
DATE: 5-10-72
PROJECT NO. C-1142



- LEGEND
- LOT LIGHT
 - POLE SIGN (TYPE 2)
 - DIRECTIONAL SIGN (TYPE 1)
 - DIRECTIONAL SIGN (TYPE 1)
 - DIRECTIONAL SIGN (TYPE 2)
 - BUILDING SIGN (TYPE 3)
 - DIRECTIONAL SIGN
 - CONCRETE

Notations in the southeast corner No. 1, show the southeast corner of the lot as 7/8 of 1/4 of Section 36, Township 1 North, Range 1 West of the 10th Meridian. The south line of the lot is 1/4 mile long. The east line is 1/4 mile long. The lot is bounded on the north by the 1/4 mile long line of the 10th Meridian, on the south by the 1/4 mile long line of the 10th Meridian, on the east by the 1/4 mile long line of the 10th Meridian, and on the west by the 1/4 mile long line of the 10th Meridian.



- SITE PLAN NOTES**
1. 18" x 18" UNIMOUNTED PARKING SPACE WITH UNIMOUNTED INDICATED SYMBOLS TO MEET CITY STANDARDS.
 2. CURBED PLANTER AREA.
 3. 40" TALL "TACO BELL" POLE SIGN.
 4. LOT LIGHT WITH CONCRETE BASE - (TYPE 1).
 5. PAINTED DIRECTIONAL ARROWS PER CITY OF GRAND JUNCTION.
 6. PAINTED PARKING STRIPS PER CITY OF GRAND JUNCTION.
 7. A.R.V. PARKING / PULL THRU SPACES.
 8. PAINTED "A.R.V. PARKING ONLY".
 9. CONCRETE CURB (TYPE 1).
 10. CONCRETE SIDEWALK "SLO COLOR".
 11. UNIMOUNTED RAMP - 12" WISE, SLOPE NOT TO EXCEED 1/4" PER FOOT.
 12. OUTLINE OF ASPHALT DRIVEWAY PAVILION COVER.
 13. DIRECTIONAL SIGN "DRIVE THRU ONLY".
 14. TACO BELL PRE ORDER/PICKUP BOARD.
 15. TACO BELL ORDER/PICKUP BOARD.
 16. CONCRETE FILLED PIT.
 17. DEPRESSION RAMP AT SERVICE ENTRY.
 18. DRIVE THRU CANOPY.
 19. DIRECTIONAL SIGN - 1 SIDE "THRU ONLY", 1 SIDE "NO NET ENTRY".
 20. PAINTED "DRIVE THRU".
 21. 8" x 10" TRASH ENCLOSURE WITH "A" POLYESTER CONCRETE WALL.
 22. BLACK CONCRETE PAVING AT DRIVE THRU LAKE.
 23. PAINTED STRIPES FOR PUBLIC ACCESS ACROSS DRIVE THRU LAKE.
 24. EXISTING CITY SIGNAGE AND CURB. SIGNAGE TO BE REPLACED AT MAIN DRIVE ELEVATION.
 25. EXISTING CURB CUT AT FIELD "WIDE" OPENING DIMENSIONS.
 26. NEW CURB CUT AT EXISTING ACCESS ROAD.
 27. LANDSCAPED AREA.
 28. 40" TALL TACO BELL POLE SIGN.
 29. ASPHALT PAVING.
 30. NEW PUBLIC SIDEWALK BY S.C. PER CITY OF GRAND JUNCTION STANDARDS.
 31. DIRECTIONAL SIGN - 1 SIDE "DRIVE THRU WITH ARROW", 1 SIDE "TACO BELL ONLY".
 32. ENTRANCE SIGN - NO TACO BELL LOGO ON NAME.
 33. PAINTED "WHITE STRIPE".
 34. NEW PUBLIC STREET IMPROVEMENTS FOR ACCESS ROAD WITH TURNING LANES. ALL IMPROVEMENTS PER CITY STANDARDS.
 35. 1000 GALLON BRASS TRAP.
 36. APPROVED FIRE EXTINGUISHER BY TACO BELL. INSTALLATION PER FIRE DEPARTMENT STANDARDS.

SITE DATA

ZONE - NO FRONT - 40' FROM CENTER OF RIGHT OF WAY
BACK AND SIDE - 15'

REQUIREMENT	SPACE PER 3 SEATS (BASED ON 90 SEATS = 30 SPACES)
REQUIRED	
PROPOSED	
AREA WITHIN PROPERTY LINES (INCLUDING ACQUIRED LAND)	1,000 SQ. FT.
PAVED AREA INCLUDING DRIVE THRU	18,287
TRASH ENCLOSURE	1,000
STAIRS	1,471
EXISTING WALKWAYS TO REMAIN (FUTURE)	40,218
TOTAL PROPERTY	71,000 SQ. FT.
AREA AT DEVELOPER AREA BEYOND PROPERTY LINES	24,224 SQ. FT.
PAVED AREA	4,000
STAIRS	1,471
TOTAL PROPERTY	27,716 SQ. FT.

PRELIMINARY SITE PLAN
SCALE: 1" = 20'

Site Plan Approved by City Council 3/18/92

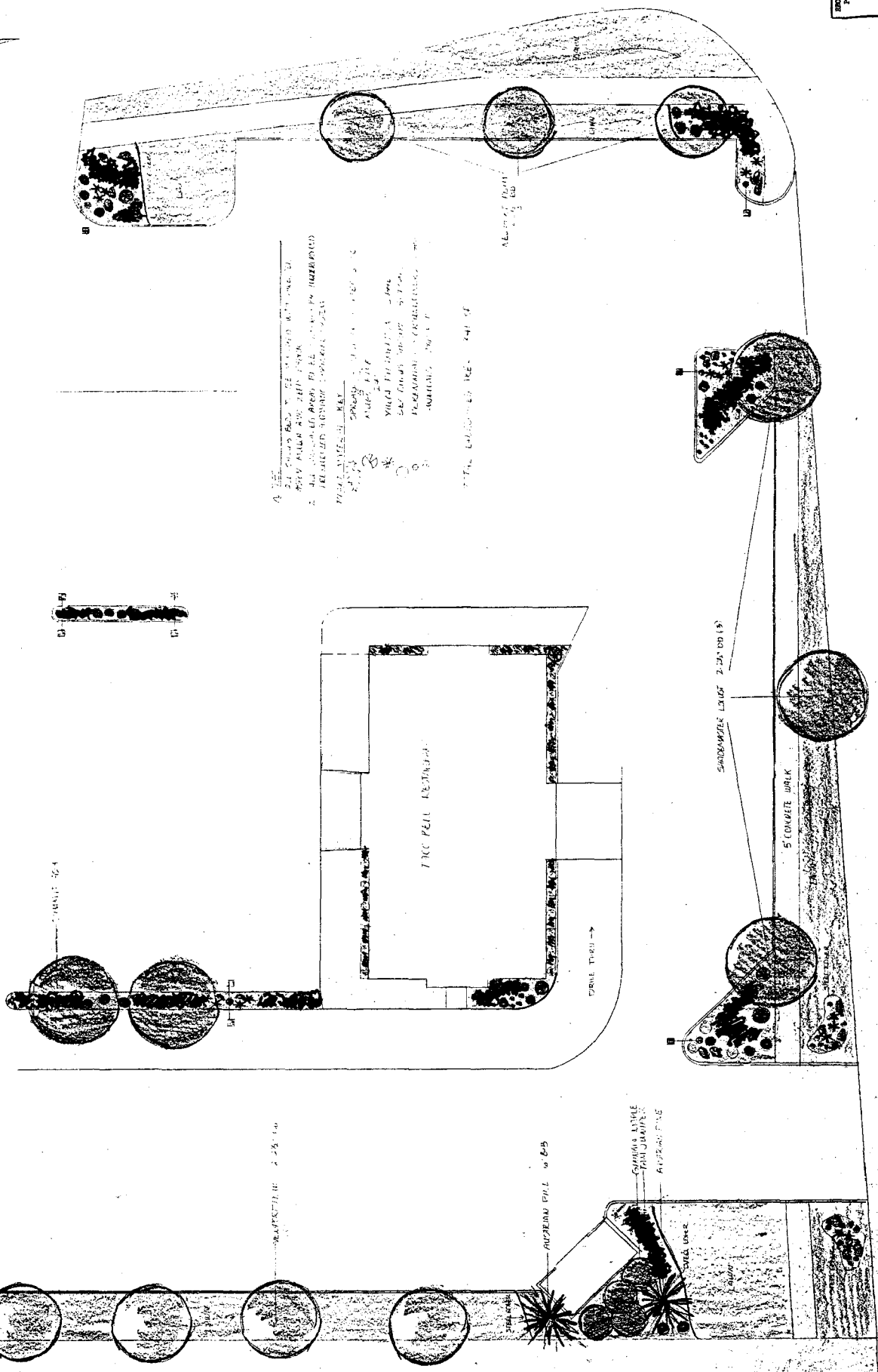
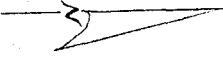
REV/NO	BY	DATE	DESCRIPTION

Ted Bell Restaurant
 736 Howard Ln.
 Larchmont, N.Y.

Clarke & Co.
 2306 K Road
 Grand Avenue, Columbus 61002
 (603) 241-4372

DRAWN BY: MLC
 CHECKED BY: []
 DATE: 2-27-92
 SCALE: 1" = 70'
 JOB NO.: []
 SHEET: 1 / 1
 OF SHEETS: 1

SUBMITTED GRASS JUNCTION
 PLANNING DEPARTMENT
 MAR 08 1992
 FILE # 592



PLANTING KEY
 1. 2" CALAMUS BUSH
 2. 4" CALAMUS BUSH
 3. 6" CALAMUS BUSH
 4. 8" CALAMUS BUSH
 5. 10" CALAMUS BUSH
 6. 12" CALAMUS BUSH
 7. 14" CALAMUS BUSH
 8. 16" CALAMUS BUSH
 9. 18" CALAMUS BUSH
 10. 20" CALAMUS BUSH
 11. 22" CALAMUS BUSH
 12. 24" CALAMUS BUSH
 13. 26" CALAMUS BUSH
 14. 28" CALAMUS BUSH
 15. 30" CALAMUS BUSH
 16. 32" CALAMUS BUSH
 17. 34" CALAMUS BUSH
 18. 36" CALAMUS BUSH
 19. 38" CALAMUS BUSH
 20. 40" CALAMUS BUSH
 21. 42" CALAMUS BUSH
 22. 44" CALAMUS BUSH
 23. 46" CALAMUS BUSH
 24. 48" CALAMUS BUSH
 25. 50" CALAMUS BUSH
 26. 52" CALAMUS BUSH
 27. 54" CALAMUS BUSH
 28. 56" CALAMUS BUSH
 29. 58" CALAMUS BUSH
 30. 60" CALAMUS BUSH
 31. 62" CALAMUS BUSH
 32. 64" CALAMUS BUSH
 33. 66" CALAMUS BUSH
 34. 68" CALAMUS BUSH
 35. 70" CALAMUS BUSH
 36. 72" CALAMUS BUSH
 37. 74" CALAMUS BUSH
 38. 76" CALAMUS BUSH
 39. 78" CALAMUS BUSH
 40. 80" CALAMUS BUSH
 41. 82" CALAMUS BUSH
 42. 84" CALAMUS BUSH
 43. 86" CALAMUS BUSH
 44. 88" CALAMUS BUSH
 45. 90" CALAMUS BUSH
 46. 92" CALAMUS BUSH
 47. 94" CALAMUS BUSH
 48. 96" CALAMUS BUSH
 49. 98" CALAMUS BUSH
 50. 100" CALAMUS BUSH

AVIGATION EASEMENT

BOOK 1905 PAGE 417

THIS EASEMENT is made and entered into by and between the WALKER FIELD, COLORADO, PUBLIC AIRPORT AUTHORITY, a body corporate and politic and constituting a political subdivision of the State of Colorado, hereinafter called GRANTEE, and Horizon Drive Enterprises Inc. hereinafter, GRANTOR;

WHEREAS, Grantee is the owner and operator of Walker Field Airport situated in the County of Mesa, State of Colorado, and in close proximity to the land of Grantor, and Grantee desires to obtain and preserve for the use and benefit of the public a right of free and unobstructed flight for aircraft landing upon, taking off from, or maneuvering about said airport; and

WHEREAS, Grantor is the owner in fee simple of that certain parcel of land situated in the County of Mesa, State of Colorado, to wit: SEE ATTACHED ADDENDUM "A"

NOW, THEREFORE, in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, the Grantor, for himself, his heirs, administrators, executors, successors and assigns, does hereby grant, bargain, sell and convey unto the Grantee, its successors and assigns, for the use and benefit of the public, an easement and right of way appurtenant to Walker Field Airport, for the passage of all aircraft ("aircraft" being defined for the purposes of this instrument as any device known or hereafter invented, used or designed for navigation or flight in the air) by whomsoever owned and operated, in the navigable airspace above the surface of Grantor's Property to an infinite height above said Grantor's property, together with the right to cause in said airspace such noise and vibrations, smoke, fumes, glare, dust, fuel particles and all other effects that may be caused by the normal operation of aircraft landing at or taking off from or operating at or on said Walker Field Airport, and Grantor hereby waives, remises and releases any right or cause of action which Grantor now has or which Grantor may have in the future against Grantee, its successors and assigns, due to such noise, vibrations, smoke, fumes, glare, dust, fuel particles and all other effects caused by the normal operation of such aircraft.

FURTHER, Grantor hereby covenants, for and during the life of this easement, that Grantor:

(a) shall not hereafter construct, permit or suffer to maintain upon said land any obstruction that extends into navigable airspace required for use of said airport runway surfaces; (Navigable airspace is defined for the purpose of this instrument

as airspace at and above the minimum flight altitudes, including take off and landing, as prescribed in Federal Aviation Administration Federal Air Regulations Part 91, and as such regulations are amended.)

(b) shall not hereafter use or permit or suffer use of said land in such a manner as to create electrical or electronic interference with radio communication or radar operation between the installation upon Walker Field Airport and aircraft, or to make it difficult for flyers to distinguish between airport lights and others or to result in glare in the eyes of flyers using the said airport, or to impair visibility in the vicinity of the airport, or otherwise to endanger the landing, taking off or maneuvering of aircraft.

Grantor agrees the aforesaid covenants and agreements shall run with the land for the benefit of Grantee, its successors and assigns, until said airport shall be abandoned and shall cease to be used for public airport purposes.

IN WITNESS WHEREOF, the Grantor has hereunto set his hand and seal on this 20 day of May, A.D. 1992.

John J. Mass

President HRE INC.
(Title)

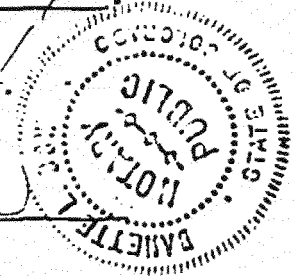
STATE OF COLORADO ;
) ss.
COUNTY OF MESA)

The foregoing instrument was acknowledged before me this 20 day of May, A.D. 1992, by John J. Mass

My Commission expires: October 18, 1994

Marjette F. New

Notary Public



ADDENDUM "A"

Beginning at the Southwest corner No. 1, whence the Southwest corner of the NW 1/4 SE 1/4 of Section 36, Township 1 North, Range 1 West of the Ute Meridian bears West 659.44 feet, thence East 329.72 feet to the Southeast corner No. 2, thence North $00^{\circ}02'$ East 83.42 feet to the Northeast corner No. 3, thence North $45^{\circ}50'$ West 313.39 feet to the North corner No. 4, thence South $51^{\circ}25'$ West 134.15 feet to the Northwest corner No. 5, thence South $0^{\circ}02'$ West 217.83 feet to Corner No. 1, the point of beginning.

Mesa County, Colorado