

Table of Contents

File 1993-0010

Name: Midas Muffler - 101 North Avenue - Site Plan Review

P **S** A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.

r **e** Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page.

s **e** Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.

n **e**

d **d**

X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
X		Review Sheets
X		Receipts for fees paid for anything
		*Submittal checklist
X	X	*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map.
		Evidence of title, deeds, easements
		*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
X		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
X	X	*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Correspondence	X	X	Drainage Plan
X	X	Planning Clearance - approved - 6/10/93 - **	X	X	Grading and Drainage Plan
X	X	Handwritten notes	X		Floor Plan Schedules
X		CO Dept. Of Transportation State Hwy Access Permit	X		Exterior Elevations
X		E-mails	X		Wall Sections
X	X	Sign Permits - 7/16/93 - **	X		Sheet Titles
X	X	Certificate of Occupancy - 9/9/93	X		Interior Elevations Details
X	X	Warranty Deed - Bk 1982/Pg 695 - Not original - copy given to City Clerk for scanning purposes - **	X		Roof Plan Miscellaneous Det
X	X	Irrevocable letter of credit - copy	X		Kawner Galzing Details
X	X	Sign Detail	X		Section Maps
X	X	Site Plan	X		Plumbing Floor Plan
X	X	Landscape plan	X		Power Plan
X		Renovation Plan	X		Electrical Plan
X		Lube Shop			

JAN 18, 1993

\$ 260.00

Due AT Submittal

PLANNING CLEARANCE REQUIREMENTS
GRAND JUNCTION COMMUNITY DEVELOPMENT

BUILDING ADDRESS: 101 North Avenue FILE NO: _____

PROPOSAL: Midas Muffler & Lube Shop

DEVELOPER: Terry O'Connor TELEPHONE: 443-4575

O'CONNOR Construction

REQUIRED

- A. Impact Statement / Project Narrative
- M. Section 404 Permit (b)
- B. Site Plan
24" x 32" showing setbacks to all property lines and all streets which abut the parcel and easements. Prepared by a professional engineer. (Scale 1" = 50')
- N. Environmental Site Assessment
- C. Drainage & Grading Plan / Report
- O. Structural Information
 - 1) Heights, Elevations, Square Footage
 - 2) Percent of Building Coverage
 - 3) Setbacks
 - 4) Lighting (a)
 - 5) Signage Detail (a)(b)
 - 6) Fences (a)(b)
- D. Utilities Composite
Sewer, Water, Gas, Electric, TV, Telephone, Storm Drain, Irrigation, Ditches
- P. Subsurface Soils Investigation
- E. Landscaping / Screening / Buffering
 - 1) Types of Open Space (a)
 - 2) Maintenance
 - 3) Irrigation Rights
 - 4) Irrigation Plan
- Q. Sewer/Water Tap (Power of Attorney)
 - 1) Water Supply
 - 2) Water Usage
 - 3) Sewage Generation Estimates
- F. Revokable Permit for Landscaping
~~Roadway Plan / Profile~~ in R.O.W.
- R. Parking Plan
 - 1) Total Number (a)
 - 2) Handicapped Spaces / Symbols
 - 3) Space Dimensions / Striped Blocks
- G. Traffic Circulation Patterns
 - 1) Pedestrian / Bike paths / Crosswalks
 - 2) Curb Cuts (a)
 - 3) Dimensions of Curb Cuts / Driveways
 - 4) Internal Circulation Detail
- S. Improvements Agreement include cost of landscaping
see form prov. detd
- H. Traffic Analysis / Impact Study include in NARRATIVE
- T. Improvements Guarantee including \$2025.00
escrow for 1st Street improvement
- I. Floodplain Analysis and/or Permit (b)
- U. Application / Planning Clearance
- J. Geology Report / Soils Report
- V. Review Sheet
- K. Gamma Radiation Report
- W. Other: R.O.W. Required
 - a) NORTH AVENUE = 10'
 - b) 1ST STREET = 3'
 - c) the 15' x 15' x 21.21' triangle area located at NW corner of site.
- L. CDOT Access Permit (b)

ON SITE PLAN

include in NARRATIVE

on site PLAN

NUMBER OF REVIEW PACKETS REQUIRED: 5 to 7

- Community Development
- City Property Agent
- Police Department
- City Attorney
- City Traffic Engineer
- Building Department (optional)
- City Utilities Engineer
- Parks & Recreation
- GJ Drainage District
- City Development Engineer
- Fire Department
- CDOT (optional)

REQUIRED FOR ALL BUSINESS, COMMERCIAL, INDUSTRIAL, MULTI-FAMILY AND INSTITUTIONAL USES UNLESS EXEMPTED BY STAFF

10' of sidewalk is REQUIRED ALONG NORTH AVENUE, but 8' is Acceptable



An **IC Industries** Company

Midas Realty Corporation
Subsidiary of
Midas International Corporation
2555 East Chapman Avenue
Suite 702
Fullerton, CA 92631-3622
(714)870-0411

January 7, 1991

**RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT**

JAN 14 1991

Mr. Dave Thornton
City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

RE: 101 - 1st Street - New Midas Facility

Dear Mr. Thornton:

Listed below is the information you requested during our recent conversation regarding a typical Midas facility:

1. Average time a vehicle remains in a bay for the following services:
 - a. Exhaust service - 30 to 45 minutes
 - b. Brake service - 2 to 3 hours
2. Percentage of customers who wait in the shop for service vs. those who drop off their vehicles. -
 - a. Exhaust - 75% wait in shop
 - b. Brakes - 50% wait in shop
3. Early morning and late evening are the peak customer arrival/departure times.
4. The number of vehicles left overnight averages from zero to three. Typically these vehicles are placed inside the Midas facility at night for safety.
5. A six bay shop averages four employees and 15-20 repair jobs per day.
6. Midas requires that its sites be developed with 10 to 17 on-site parking stalls depending on the size of the facility. We have found that most city and county municipalities count the bays towards satisfying the parking requirements.

As I mentioned during our conversation, Midas Corporate is very concerned that our franchisees develop a workable site layout. We control this by requiring our franchisees to submit their site plans to our corporate office for approval prior to any construction occurring. If corporate approval is not granted the franchisee will not receive a franchise for that location.

Mr. Dave Thornton
January 7, 1991
Page Two

I hope this information provides a better understanding of our operation and leads to a workable solution of Terry O'Connor's parking problem.

If you have any other questions, please do not hesitate to call me at (916) 965-8217.

Sincerely,

Stephen L. Knapton

Stephen L. Knapton
Midas Realty Corporation

cc: Terry O'Conner
C.P. Levens
M. Lind
B. Baker
L. Walley

Complete exhaust system service, shock absorbers



3000 WALNUT STREET
BOULDER, CO. 80301
Phone 449-5808

January 11, 1991

Mr. David Thornton
Planning Department
City of Grand Junction
250 5th Avenue
Grand Junction, CO 81501

Dear David:

I have had a new site plan delivered to your office for our relocation of Midas and our new Frugal Lube Shop.

Parking has been the biggest issue we've had to deal with, and I would like to explain our thinking on parking requirements and actual needs.

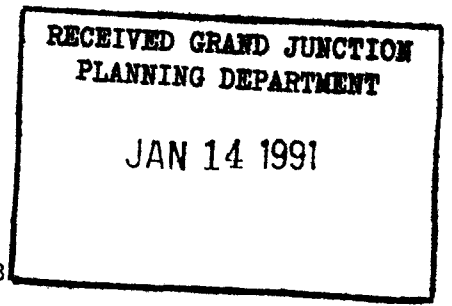
To begin with, we will have 3 employees at Midas and 2 at Frugal Lube.

Midas will have between 17-20 customers per day if we do the volume of business we hope to do after the relocation. Nationally, 60% of our customers wait for their car and don't require a parking place at all because we operate on appointments. According to our manager in Grand Junction, we usually have one car out of ten that that will leave their car all day. Most of the customers who leave their cars leave them for an hour or so and pick them up. I foresee our parking requirement to be as follows:

<u>Midas</u>	
Employees	3
Long Term Customers	1.7 - 2
Rest of Customers	5

<u>Frugal Lube</u>	
Employees	2
Customers	2

Total parking required for foreseeable future - 13



I hope this information is helpful to you in your decision making.
Please feel free to call if you have any questions.

Thanks again.

Sincerely,

A handwritten signature in black ink, appearing to read "Terry O'Connor", written in a cursive style.

Terry O'Connor

TJO:seb

cc: Garth Braun



March 29, 1991

Grand Junction Planning Department
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430

Terry O'Connor
O'Connor Construction
1600 38th Street, Suite 203
Boulder, Colorado 80301

Dear Terry,

After reviewing the site/landscaping plan for Midas Muffler Shop at 1st Street and North Avenue we received March 27th, the following items need to be addressed:

1. The existing curb cuts on North Avenue may be used for now, but when the right turn lane on First Street is constructed by the City, the west curb cut on North Avenue will be closed. At that time the east curb cut may be enlarged to 35 feet. Also, the following is needed:

a.) A revised plan showing future improvements on North Avenue & First Street to include the right turn lane, corner radius, and curb cuts.

b.) A signed improvements Agreement for (per drawing faxed to you on March 14, 1991):

1.) Curb and 4' sidewalk on 1st Street. (cost = \$25 per linear foot)

2.) Curb, gutter, sidewalk and driveway modifications on North Avenue. (costs for curb, gutter, sidewalk = \$30 per linear foot, driveway slabs = \$35 per sq. ft.) **YARD**

c.) An Improvements guarantee is required for these improvements either in the form of cash escrow or a bank letter of credit naming the City of Grand Junction.

2. Additional bumper blocks for parking spaces 1 thru 13 are needed to ensure no access on to the alley from the parking lot. (One block per space required.)

3. Legal description of additional R.O.W. along
(a) North Avenue (10 ft),
(b) 1st Street (1 ft) and
(c) the 15 ft by 15 ft by 21.21 ft triangle area located at the Northwest corner of the site to be deeded to the City of Grand Junction.

4. Site Plan needs to show new and existing property lines (see #3 above) and street monument lines.

5. A revokable permit for landscaping and signage in the right-of-way is required. Please contact Mr. Tim Woodmansee (City Property Agent at 244-1565) to begin this process. He is also the contact person for deeding the additional R.O.W. to the City.

6. We recommend that landscaping in the area to be reconstructed when right turn lane is installed, not be installed until after construction of turn lane.

7. All driveways within 1st Street and North Avenue R.O.W.'s shall be 8" thick concrete pavement in accordance with City Standard Drawing ST-1. (See Enclosed)

The City will design the grade for new curb, gutter & sidewalk for 1st Street and corner radius during April 1991. This will allow you to install the curb improvements along the 1st Street frontage. The right turn lane will be installed by the City during 1991 or 1992.

The above (including a revised site plan) must be addressed prior to issuance of a Planning Clearance for a building permit. If you have any questions please contact me at your earliest convenience.

Respectfully,

A handwritten signature in cursive script, appearing to read "Dave Thornton", written over a horizontal line.

Dave Thornton
Planner

cc: Don Newton, City Engineer

Enclosures: ST-1 drawing
Improvements Agreement form



1600 38th Street, Suite 203 Boulder, CO 80301 303/443-4575

January 25, 1993

City of Grand Junction
Planning Department
c/o Mr. Dave Thorton
250 North Fifth Street
Grand Junction, CO 81501

Dear Dave,

Thank you for your help in outlining the criteria we needed for submittal of our proposed plans for the Midas Muffler Shop at the corner of 1st Street and North Avenue.

As discussed, I will present an outline narrative letter as part of our submittal for the City's Planning Board clearance. I will use your Community Development Planning Check List Clearance Sheet as a model for directing our specific narrative information pertaining to the intent of this project.

A) Impact Statement/Project Narrative

The intent of this project submittal is to gain clearance to develop and build a Midas Muffler and Lube Shop at the property addressed as 101 North Avenue. As part of one submittal, we are asking for the planning clearance of both buildings. At this present time we will only be building the Midas Muffler Shop. The Lube Shop will not be built until possible time frame of 1994. Our intent of the site plan will remain as shown as to the final placement of the Lube Shop and surrounding amenities. We are planning to block out an area equal to the buildings footprint; it's sidewalks and northern drive exit from the buildings service bay. This area will be graded and used as a temporary addition to the landscaping. Elevation of this block out will be established as part of the final sub-grades needed for the Lube Shop. All drive accesses onto North Avenue and 1st Street will be completed with the Midas Muffler Shop as well as the entire parking lot, exterior lighting, and landscaping. As far as the interior design of the Lube Shop, we are planning changes to simplify the shop area. We will more than likely delete the basement portion of the Lube Shop and go to standard slab-on-grade construction.

Mr. Dave Thorton
January 25, 1993
Page 2

B) Site Plan - See plans.

C) Drainage and Grading Plan

1. Enclosed are copies of a topography map established and prepared by Daggett Surveying Inc., Grand Junction.
2. Drainage and Grading Plan prepared by O'Connor Construction, Boulder.

D) Utilities Composite

1. See site plan.
2. With regards to sewer and water, we will use the existing sewer tap presently coming off 1st Street, this service line will be used for the Midas building. If an additional sewer tap is needed for the Lube Shop we will plan for its tap at the time of the Lube Shop's development. There is an existing 3/4" water meter and line existing - we will be planning to use this line and by speaking to Mr. Bill Cheney it has been communicated we can opt for a 1" water meter at the same cost as a 3/4" meter and with credit due for the existing 3/4" meter. We are presently looking into the need of our shown 1 1/4' water line that goes from the Lube Shop and splitting to a 1" water line onto the Midas Shop.

E) Landscaping

1. See landscaping plans.
2. As per letter from Dave Thorton dated 08-20-91 we will comply with replacing our aspen trees shown in landscape area #3 to landscape area #2.

F) Revokable Permit

1. At the time of our first submittal to the Planning Department (09/91), it was discussed with a Mr. Tim Woodmansee by telephone that a revokable permit would not be needed because of use for landscaping. Please review this and comment.

G) Traffic Circulation Patterns

1. See plans for parking layout, curb, and gutter etc.
2. Anticipated traffic flow would be from 1st Street onto Midas/Lube lot with the possible exit onto North Avenue.

Traffic can enter from North Avenue, but only from East bound traffic. 1st Street would be able to accommodate traffic as an entrance and exit.

H) Traffic Analysis

1. Anticipated cars per day would be between 15-20 for the Midas Muffler Shop. The Lube Shop when built could generate possible more than the Midas Shop.

L) C Dot Access Permit

In speaking to Mrs. Rose Burditt of the Transportation Department, we are going to reapply for a new access permit.

O) Structural Information

1. See site plans/individual building plans.

R) Parking Plan

1. See site plan.
2. All information on site plan was established from correspondence from first application submittal.

S) Improvement Agreement

1. The anticipated cost for our landscaping contract will be around \$ 5,000.
2. R.O.W construction cost - See Exhibit B on Development Improvement Agreement sheet.

T) Improvement Guarantee

1. Escrow fund of \$ 2,025 for the curb and gutter at North and 1st Street can be provided. Please give more information on timing of new right turn lane from 1st Street onto North Avenue. Please also provide details needed for escrow funds.
2. On the additional R.O.W. dedications of 10'-0" on North Avenue and 3'-0" on 1st Street and the 15'-0" X 15'-0" X 21.21' triangle area located at the NW corner of the site. Signed Deed documents will follow.

Mr. Dave Thorton
January 25, 1993
Page 4

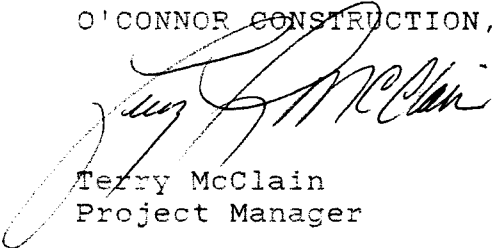
3. On the 8'-0" of sidewalk shown on our site plan along North Avenue, we will change this to be 6'-0" per recommendation from Dave Thorton to meet City's minimum standards.
4. I have also spoken with Mr. George Bennett of the Fire Department, confirming that our last fire flow survey was still valid as well as the flow fee we had paid for 10/91. You will find a copy of this survey included with this package.

We hope we have provided all information needed to start the review process for the project above.

If you have any questions, please feel free to contact our office at (303) 443-4575.

Sincerely,

O'CONNOR CONSTRUCTION, INC.



Terry McClain
Project Manager

TM:ci

Enclosures

MIDAS

10-93

Review Comments

1/29/93

1. Per previous agreement, off-site improvements on 1st Street are limited to a \$2000 cash contribution for curb and gutter. The City will eventually be constructing a right turn lane ~~and~~ ^{with} new curb, gutter, and sidewalk along the west side of the property.
2. Originally, 1.0 foot of additional ROW. was requested along 1st Street. Subsequent roadway design indicates that 3.0 feet are needed. Please revise the Site Plan and legal documents accordingly.
3. Unless a retaining wall is proposed along the alley (which is not currently shown on the Site Plan), the ^{proposed} contours on the grading plan will need to be ^{revised} ~~revised~~ to match existing contours at ~~the~~ site boundaries.
4. Building roof drains should be directed north to landscaped areas as much as possible. Also, a minor paved swale or valley pan should be placed along the north entrance to divert surface runoff from the north 1/3 of the site into ~~the~~ landscaped areas. Landscaped areas should be depressed to ^{be able to hold approximately 1000 +/- of} ~~at least~~ surface runoff. A ~~bleed-off~~

~~line to the A catch basin at the street corner~~
is available for ~~connecting a bleed-off line~~
to receive metered bleed-off from the
depressed landscape areas. ~~Approximately 1000 ft³~~
~~of detention volume is required in the north~~
~~landscaping areas outside of the proposed right~~
~~turn lane.~~

5. Remove note 1 on the site plan
6. ~~The trash receptacle~~ If the ~~the~~ proposed trash
receptacle is the roll-out type, it could be
made accessible for pick up in the alley. If
this is desired, the dumpster area should be closer
to the alley.
7. Currently, the alley is unpaved; therefore, the
developer is responsible for a partial ^{only alley} improvement
cost at the rate of \$22.50 per linear foot for
~~the~~ ~~the~~ along the south property line.

Comments by: Gerald Williams
 : Don Newton
 : ? (Plummer)

Community Development Review Comments

Project: Site Plan Review for Midas Muffler and Lube Shop
Location: 101 North Avenue
File: #10-93
Petitioner: Terry McClain

Comments by Dave Thornton, Planner, 244-1447

PLEASE RESPOND TO ALL REVIEW AGENCY COMMENTS
IN WRITING TO OUR OFFICE

Site Plan:

1. Dumpster location needs to be reconsidered. Perhaps closer to the alley for better pick-up would be more appropriate. Please contact Darren Starr at 244-1493 regarding the dumpster location.

2. Parking space #12 is unusable due to the space requirement needed to back a vehicle up. If the dumpster location is moved closer to the alley, this may alleviate the backing problem.

3. The number of parking spaces (16) is adequate base on the number of spaces that were shown to be needed by Midas back in 1991.

4. Site improvements included in the improvements agreement must be guaranteed by either cash or a bank letter or credit. The improvements agreement itself is to be recorded at the Mesa County Clerk and Recorder's office. Recording fees are \$5.00 per page. Petitioner is responsible for recording fees.

Landscaping:

1. Landscaping required is 160 sq ft for parking area and 1012 sq ft for North Avenue and 1st Street frontages, for a total of 1172 sq ft. A minimum of 3 trees and 40 percent shrub material is required in the landscaped areas. The amount of landscaping on site is approximately 700 sq ft. The number of shrubs and trees and amount of landscaping as proposed is acceptable.

2. There is some concern about site distance for a car parked in space #1 when pulling out. You may consider replacing the "Table Top Blue" with an "Old Gold".

3. Aspen trees may not survive in the landscaped area #3 due to intense heat from the sea of asphalt around them. You may want to consider planting another specie instead like a "Marshall's Seedless Ash" or a "Sunburst Honeylocust".

Signage:

1. Separate sign permits are required for all signs. Please note that all special event banners require a separate fee and are limited as to location and display time.
2. North Avenue sign allowance calculations:
 - (a) Midas building (2 X linear ft bldg facade facing North Ave) = 69 sq ft
 - (b) Lube Shop (2 X linear ft bldg facade facing North Ave) = 86 sq ft
 - (c) Maximum allowance for freestanding sign along North Ave (1.5 X linear ft of street frontage) = 183 sq ft
 - (d) Maximum allowance for total signage (freestanding + midas building + Lube shop) assigned to the North Ave street frontage not to exceed 183 sq ft.
3. 1st Street sign allowance calculations:
 - (a) Midas building (2 X linear ft bldg facade facing 1st Street) = 170 sq ft
 - (b) Lube Shop (2 X linear ft bldg facade facing 1st Street) = 72 sq ft
 - (c) Maximum allowance for freestanding sign along 1st Street (1.5 X linear ft of street frontage) = 203 sq ft
 - (d) Maximum allowance for total signage (freestanding + midas building + Lube shop) assigned to the 1st Street frontage not to exceed 203 sq ft.

Off site requirements:

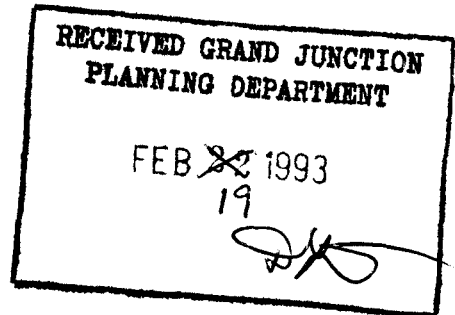
1. Petitioner is responsible for 1/2 alley improvements for that portion of alley adjacent to property. The cost is \$22.50 per linear ft. Total cost for 122 feet of frontage is \$2,745.00.
2. The following R.O.W. is required by deed to the City:
 - (a) North Avenue (10 ft)
 - (b) 1st Street (3 ft)
 - (c) the 15 ft by 15 ft by 21.21 ft triangle area located at the northwest corner of the site.
3. Escrowed funds to the City of Grand Junction for the amount of \$2,025 for curb and gutter along 1st Street which the City will install when the right turn lane is installed. You may escrow these funds along with the \$2,745.00 for alley improvements by issuing a check for the entire amount to the City of Grand Junction.
4. A highway access permit must be obtained from the Colorado Department of Transportation (CDOT).
5. A revokable permit is required for the landscaping in the R.O.W. Please contact Tim Woodmansee at 244-1565 to make application.



1600 38th Street, Suite 203 Boulder, CO 80301 303/443-4575

February 19, 1993

Mr. Dave Thornton
250 N. 5th Street
Grand Junction, CO 81501



Dear Mr. Thornton:

This letter is in response to the Review Comments made by you and your staff dated February 11, 1993. The File No. for the above-referenced job is #10-93. Below you will find our responses to these issues.

1. Response to Trash Dumpster Location by Fire Department. Please refer to the attached revised dumpster location. This new location has direct access by the alley and is 5 feet from any existing building.
2. Response to Development Engineering Issues.
 1. Addressed below.
 2. Architect is in process of moving ROW line as requested to meet the 3 feet required.
 3. Please find attached a revised site grading plan which more closely reflects existing conditions at alley, thus eliminating the need for a retaining wall.
 4. Please refer to revised drainage plan showing concrete drain pan and depressed landscape area.
 5. Architect is in process of removing Note 1.
 6. See revised plan showing dumpster location and accessibility.
 7. Addressed below.

A FULL SERVICE DESIGN-BUILD CONTRACTOR

3. Response to City Utilities Engineering Issues.

1. No grease trap is required because the building has no floor drains in shop area. The floor is sloped to pavement.
2. Fee to be paid prior to receipt of building permit.

4. Response to the Community Development Department Issues.

Site Plan

1. See attached revised dumpster location.
2. We will give up parking space #12 for new dumpster location.
3. Available parking will become 15 total. This is due to new dumpster location required by the Fire Department.
4. Recording fees will follow this letter along with revised plans as soon as they are complete.

Landscaping

- 1-3. It is my understanding that these comments are for our information only. There is no problem with the landscape design.

Signage

2. Total sign coverage for Midas Muffler (facing North Ave.) will be approximately 42 s.f., thus not exceeding the 183 s.f. allowed.
3. Total sign coverage for Midas Muffler (facing 1st Street) will be approximately 185 s.f., thus not exceeding the 203 s.f. allowed.

Off-Site Requirements

1. See below.
2. ROW will be recorded to the City as soon as our architect has made the revisions necessary.
3. A letter of credit will be given in the amount of \$4,770 prior to receipt of building permit.

4. Currently in permit process.
5. We are in the process of making application.

Thank you for your time and consideration. If you have any questions or require further information, please don't hesitate to call.

Sincerely,

O'CONNOR CONSTRUCTION



Nick Zimmer
Vice President/Operations

RIVERIA
MOTEL

EXISTING BUILDING

COMPRESSOR
ROOM

* RELOCATE
TRASH
ENCLOSURE
PER FIRE
CODE.

18'6"

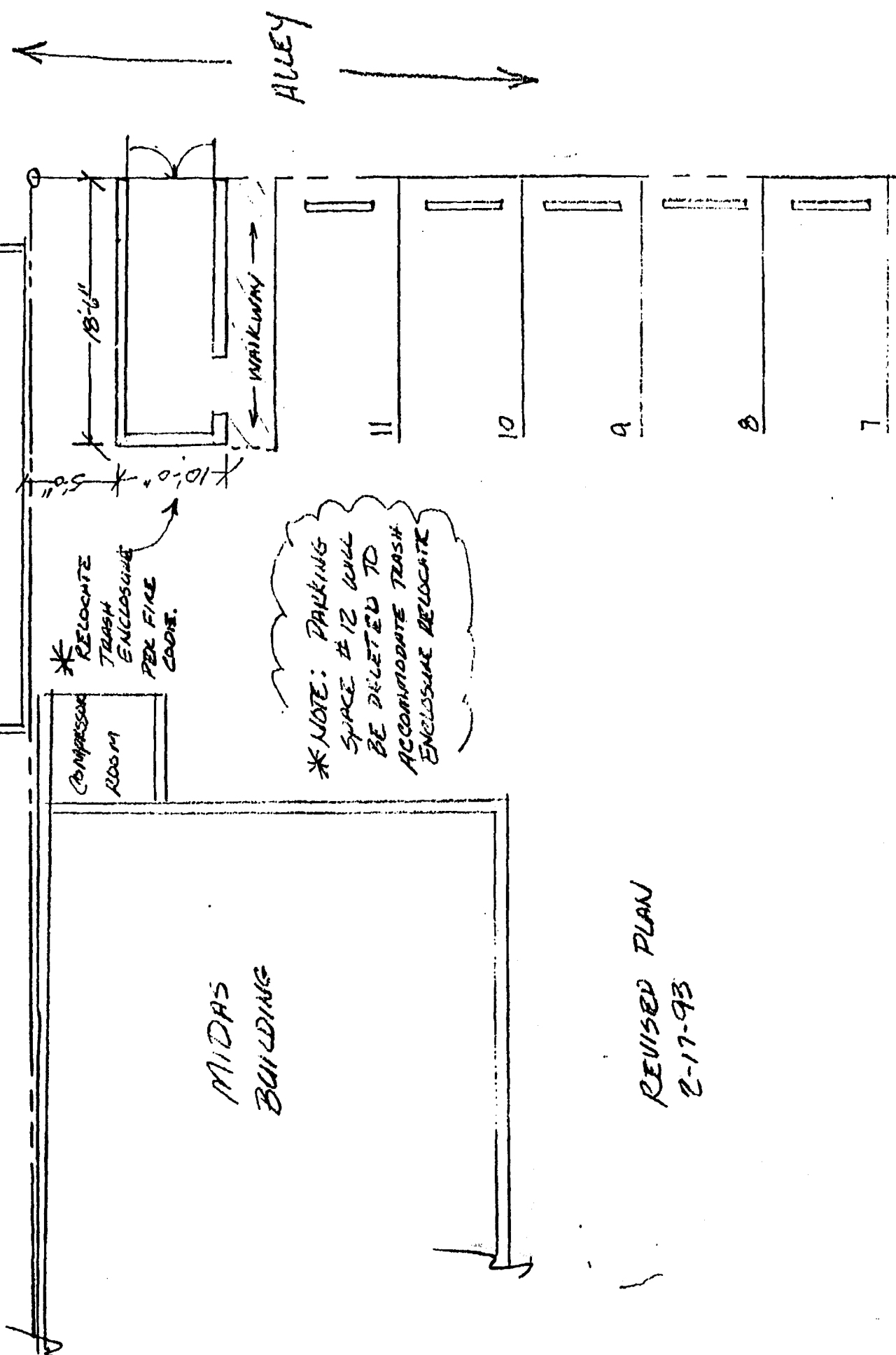
WALKWAY

ALLEY

* NOTE: PARKING
SPACE # 12 WILL
BE DELETED TO
ACCOMMODATE TRASH
ENCLOSURE RELOCATE

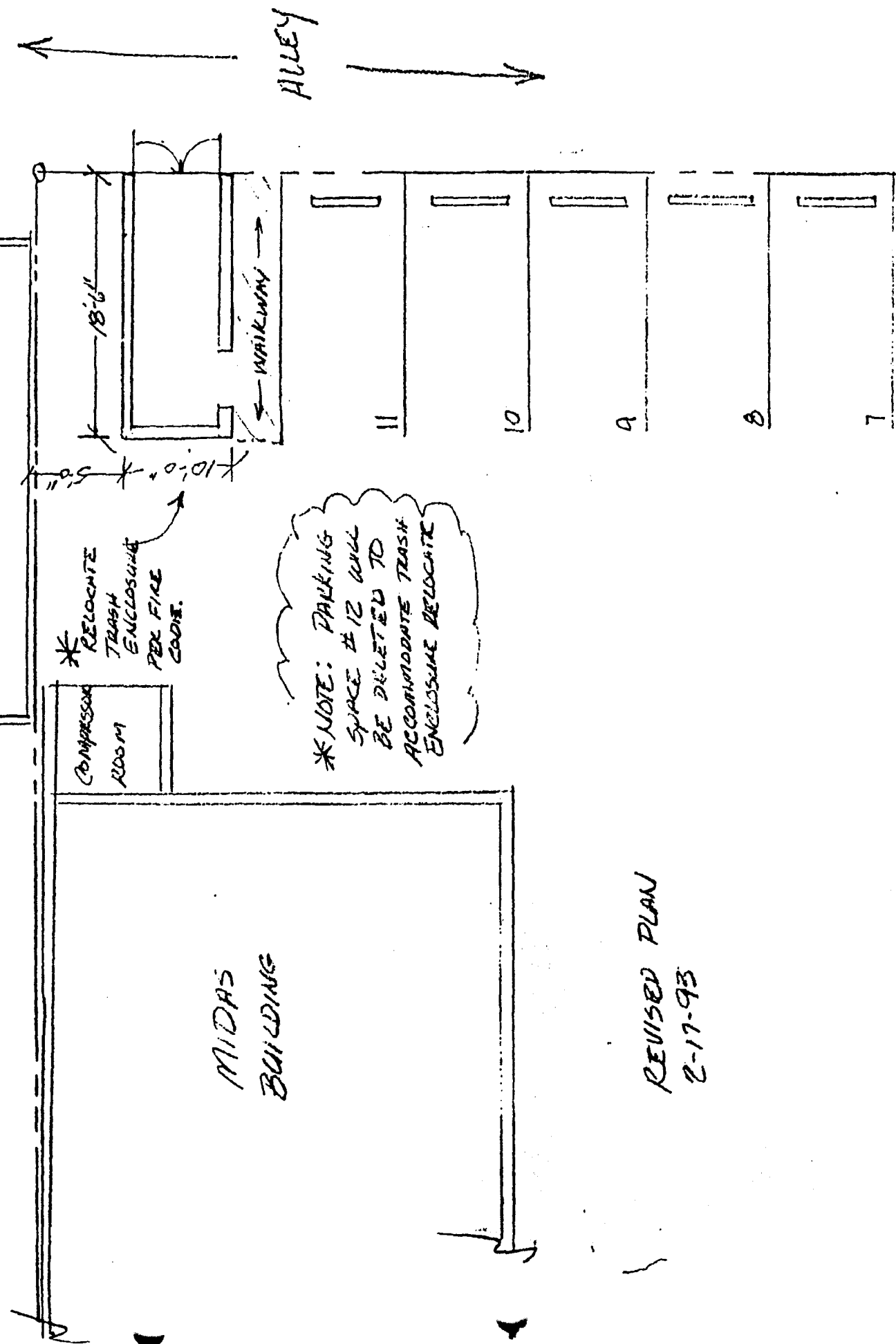
MIDAS
BUILDING

REVISED PLAN
2-17-93



RIVERIA
MOTEL

EXISTING BUILDING



* RELOCATE TRASH ENCLOSURE PER FIRE CODE.

* NOTE: PARKING SPACE #12 WILL BE DELETED TO ACCOMMODATE TRASH ENCLOSURE RELOCATE

MIDAS BUILDING

REVISED PLAN
2-17-93

ALLEY

18'6"

10'0" x 5'0"

WALKWAY

11

10

9

8

7

Fax

To: Grete Jansen

From: Kristen Ashbeck – 970/244-1437

Fax: (303) 381-1491

Pages: 3

Phone:

Date: September 20, 2000

Re: Midas Muffler at 101 North Avenue

For Review

Please Comment

Please Reply

Please Recycle

According to the attached records in our file (#10-93), the check in the amount of \$4,770.00 was to cover applicant's share of cost for future alley improvements (\$2,025.00) and 1st Street improvements (\$2,745.00). These were required payments in lieu of constructing the improvements. Thus any reference to this being an escrow payment was incorrect. The applicant used a letter of Credit to guarantee the other required improvements.

Please call if you have further questions.

BOULDER MUFFLER, INC.

09544

Combine check for #4770⁰²

\$ 2,745⁰⁰ for
Alley Improvements

\$ 2,025⁰⁰ for
improvements on
1ST Street

INVOICE NO.	AMOUNT	DISCOUNT	NET AMOUNT
-------------	--------	----------	------------

MIDAS MUFFLER
1st + North Ave.

\$ 4,770.00

ISTS: city of Grand Junction
BY IMPROVEMENTS

09544

BOULDER MUFFLER, INC.
d/b/a MIDAS MUFFLER
436 SOUTH FIFTH STREET
GRAND JUNCTION, COLORADO 81501-7703

NORWEST BANK
OF GRAND JUNCTION
GRAND JUNCTION, COLORADO

82-40/1021

CHECK NO.
09544

Four Thousand Seven Hundred Seventy and NO/100 Dollars

DATE

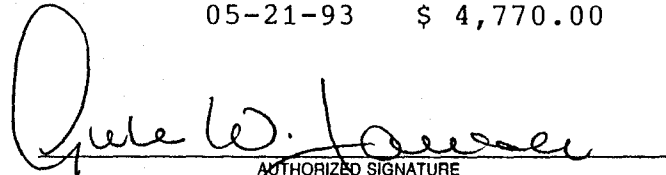
AMOUNT

05-21-93

\$ 4,770.00

PAY
TO THE
ORDER
OF:

CITY OF GRAND JUNCTION


AUTHORIZED SIGNATURE

⑈009544⑈ ⑆102100400⑆ 002 761 5⑈



IRREVOCABLE LETTER OF CREDIT

To: The City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

No. 3803
Date: 06/07/93
Expiry: 06/07/94
Amount: \$11,502.00

Project name: Midas Muffler and Lube Shop at 101 North Avenue

Dear Sirs:

We hereby establish our Irrevocable Letter of Credit in your favor in the amount of \$11,502.00 (Eleven thousand five hundred two and no/100 U.S. Dollars), available by drafts at sight. This Letter of Credit is issued for the account of Boulder Muffler, Inc., 1600 38th Street, Ste 203, Boulder, CO 80301 and is subject to the following terms and conditions:

DRAFTS. All drafts must be drawn on Bank One, Boulder, N.A., must be negotiated or presented to Bank One, Boulder, N.A. during our regular business hours on or before the expiration date stated above and must bear the reference, "Drawn on Bank One, Boulder, N.A. Letter of Credit No. 3803 dated June 7, 1993."


DOCUMENTS. All drafts must be accompanied by the following documents:

1. This original Letter of Credit.
2. A written statement purportedly signed by the City Manager, or the Director of Public Works, or the Director of Community Development of the City of Grand Junction, Colorado stating that such funds represent amounts due and owing.

OTHER TERMS AND CONDITIONS. This Letter of Credit is not transferable. It is subject to Article 5 of the Uniform Commercial Code as in effect in Colorado on the date of its issuance.

OBLIGATION OF ISSUER. Bank One, Boulder, N.A. agrees with the drawers, endorsers, and good faith holders of drafts drawn under and in compliance with the terms and conditions of this Letter of Credit that Bank One, Boulder, N.A. will duly honor such drafts upon presentation to this office.

Sincerely,



Donatella Scanniello, Vice President

dis in Mudas fell - 1st & North

10-93



January 23, 1995

Mr. Terry O'Connor
O'Connor Construction
1600 38th Street Suite 203
Boulder, CO 80301

City of Grand Junction, Colorado
250 North Fifth Street
81501-2668
FAX: (303) 244-1599

Dear Mr. O'Connor:

Enclosed is a plan sheet for the right turn lane on First Street at North Avenue in Grand Junction. As you can see on the plan, most of the landscaping in the right-of-way will need to be removed prior to construction.

Kathy Portner, City Planning Supervisor, has indicated the landscaping should be relocated to your site. I have enclosed her business card so that you may call her for more details about this and other questions about expanding your business.

This plan shows construction of 2' wide curb and gutter on First Street with sidewalk only around the radius on the corner. If it is possible for the city to acquire an additional 6' of right-of-way on First Street, then sidewalk could be constructed with the curb and gutter. Enclosed is a warranty deed prepared by Tim Woodmansee, City Property Agent. By signing this deed, you would be granting the additional right-of-way to the City of Grand Junction.

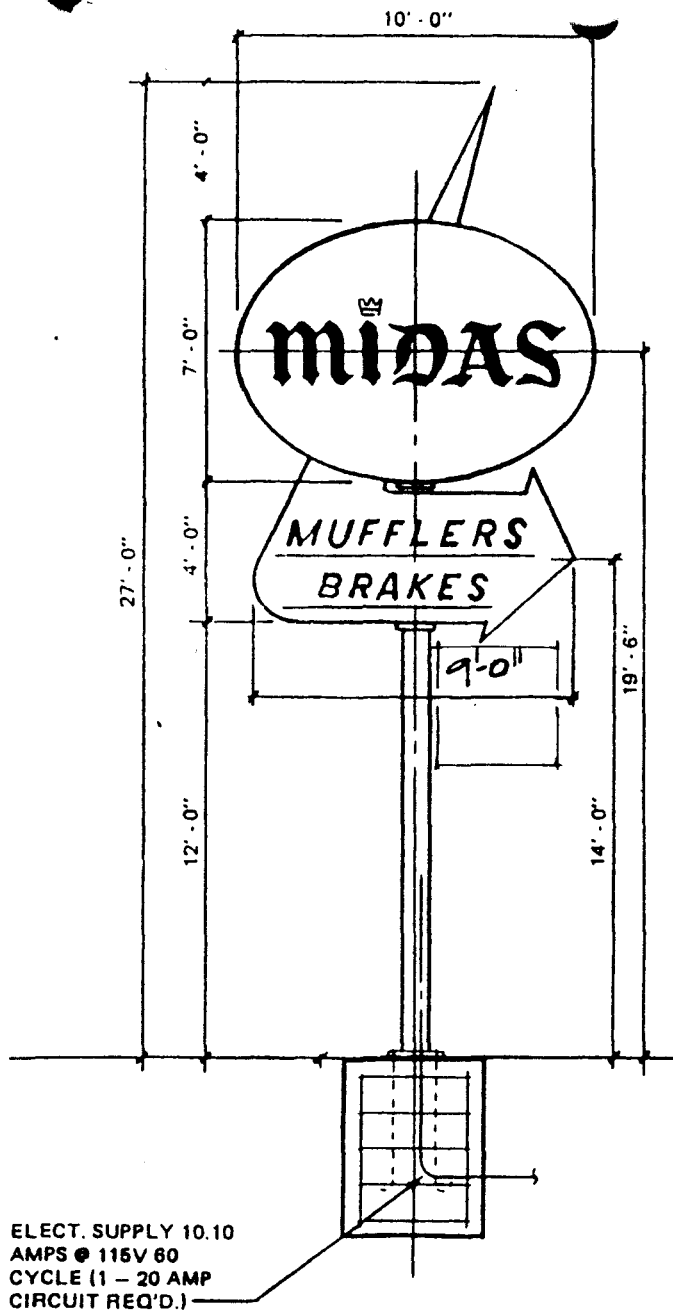
I am in the process of designing the project and assembling the contract documents, but no bid date has been set yet. I would like to award the contract in the spring. Some relocation work is necessary prior to actual construction. City crews will be relocating the signal pole, the fire hydrant and the water meter this week. I will be contacting Public Service to relocate the power pole. I would like to give you the opportunity to move your landscaping prior to construction. Please advise me of the date when you expect to have this completed and I will try to schedule the construction project after that date.

I appreciate your cooperation. I will keep you posted of the progress of the construction project. Please call me if you have any questions.

Sincerely,

Jody Kliska, P.E.
City Development Engineer

cc: Kathy Portner
Tim Woodmansee



SPECIFICATIONS:	
Square Footage	88.36
Volts	115
Amps	10.10
Watts	980

① SIGN DETAIL

NOTICE

Release of cooperation and the architect's cooperation. All consultants due care and perfection every contract ambiguity use of these immediately the architect and increase cooperate he shall relieve for all complaints without unauthorized responsibility of such character.

SHOP

ASPH.

CONC. SLAB



1ST STREET

NORTH AVENUE

34 89.56

35-00

36-00

4.9'

4.3'

ALLEY

6" SAN

WD BORD

CURB

ASPH.

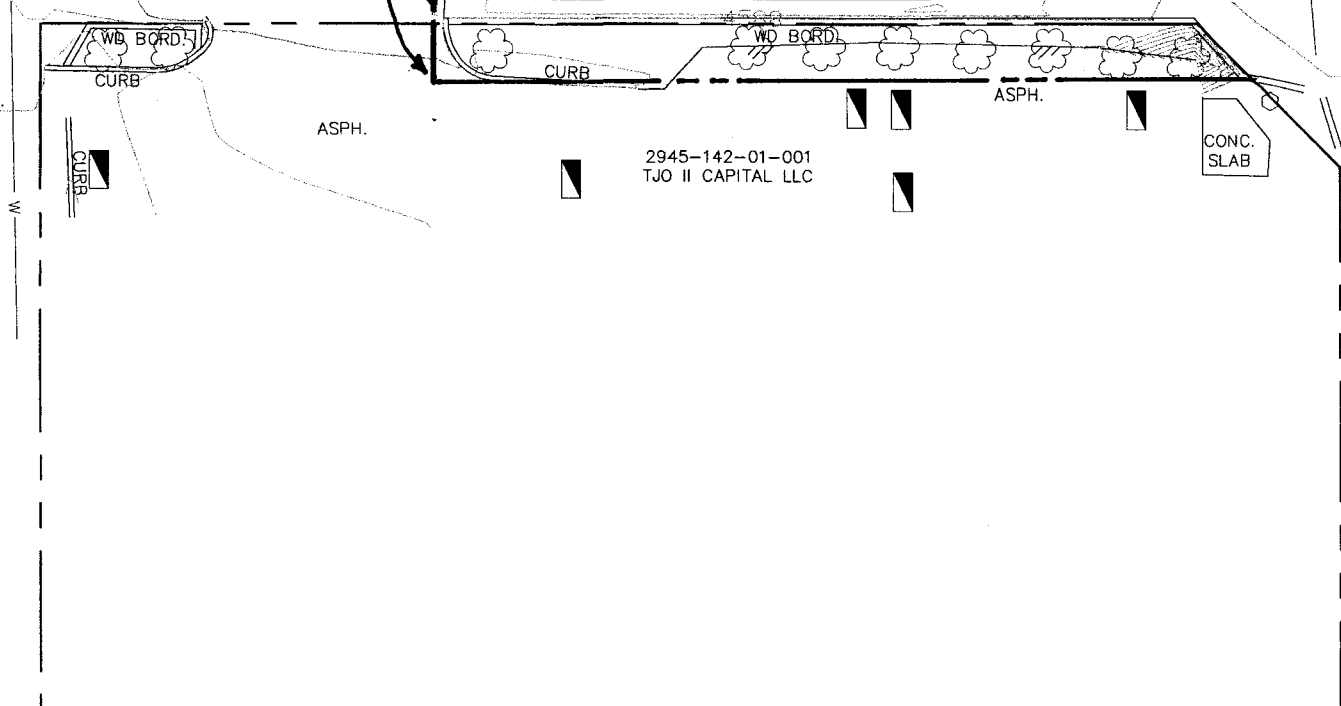
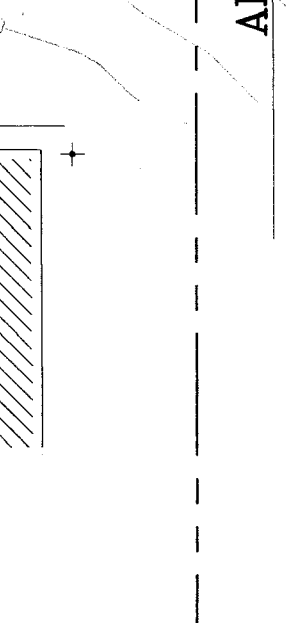
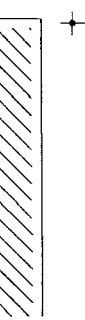
ASPH.

CURB

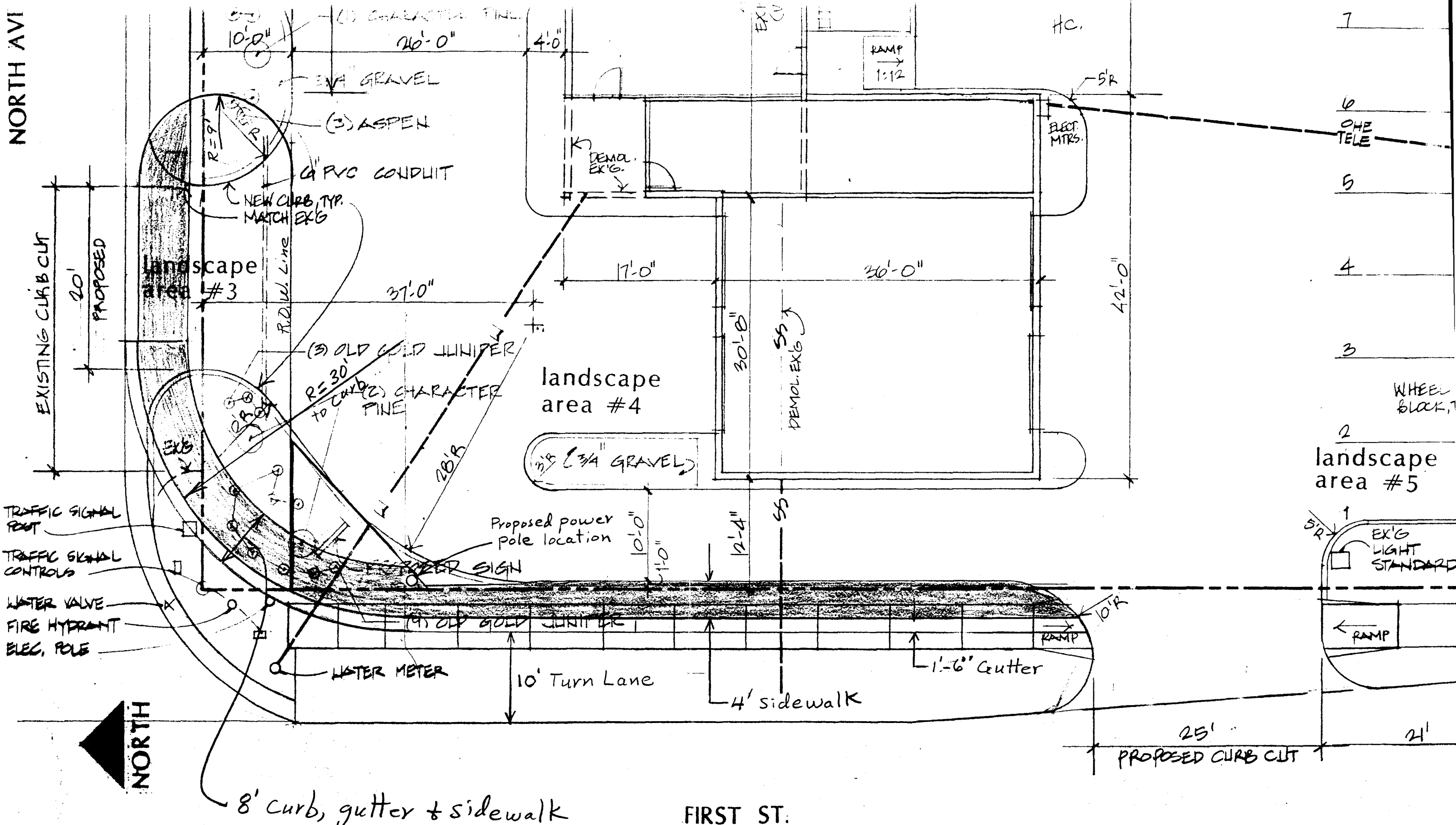
2945-142-01-001
TJO II CAPITAL LLC

ASPH.

CONC. SLAB



NORTH AVI



SITE PLAN / LANDSCAPE PLAN

1"=10'

- 7
- 6 ONE TELE
- 5
- 4
- 3
- 2 WHEEL BLOCK
- 1 landscape area #5 EX'G LIGHT STANDARD

8' curb, gutter & sidewalk

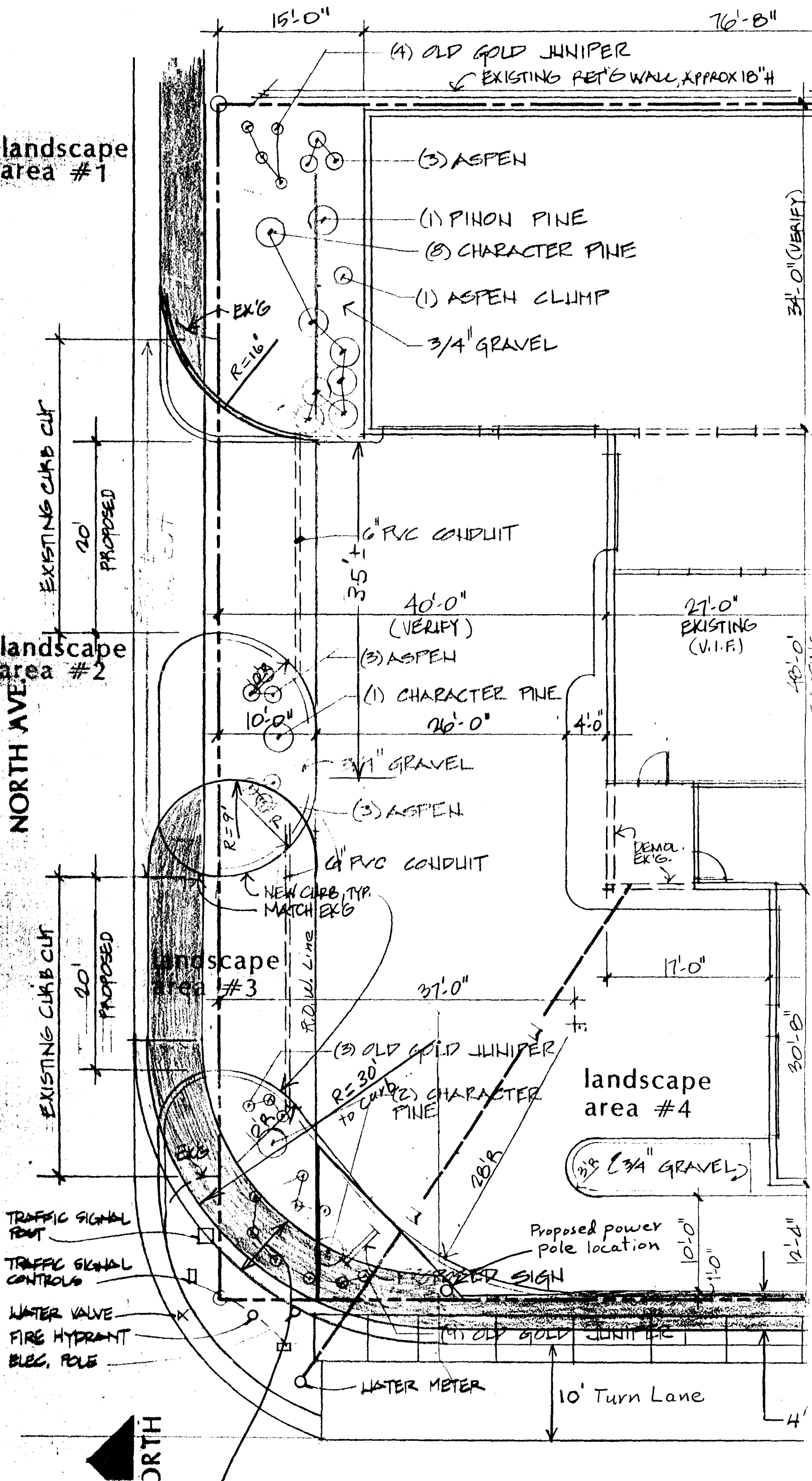
FIRST ST.

landscape area #1

landscape area #2

landscape area #3

landscape area #4



NORTH AVE.



- TRAFFIC SIGNAL FOOT
- TRAFFIC SIGNAL CONTROLS
- WATER VALVE
- FIRE HYDRANT
- ELEC. POLE

(4) OLD GOLD JUNIPER
 EXISTING PET'S WALL, APPROX 18" H

- (3) ASPEN
- (1) PINON PINE
- (8) CHARACTER PINE
- (1) ASPEN CLUMP
- 3/4" GRAVEL

6" PVC CONDUIT

40'-0" (VERIFY)

- (3) ASPEN
- (1) CHARACTER PINE

3/4" GRAVEL

- (3) ASPEN

6" PVC CONDUIT

NEW CURB, TYP. MATCH EX'G

- (3) OLD GOLD JUNIPER
- (2) CHARACTER PINE

3/4" (3/4" GRAVEL)

Proposed power pole location

(1) OLD GOLD JUNIPER

WATER METER

10' Turn Lane

EXISTING CURB CUT
20'
PROPOSED

EXISTING CURB CUT
20'
PROPOSED

27'-0" EXISTING (V.I.F.)

34'-0" (VERIFY)

40'-0"

30'-0"

12'-0"

4'

15'-0"

76'-8"

EX'G

R=16'

35'±

10'-0"

R=9'

37'-0"

17'-0"

10'-0"

11'-0"

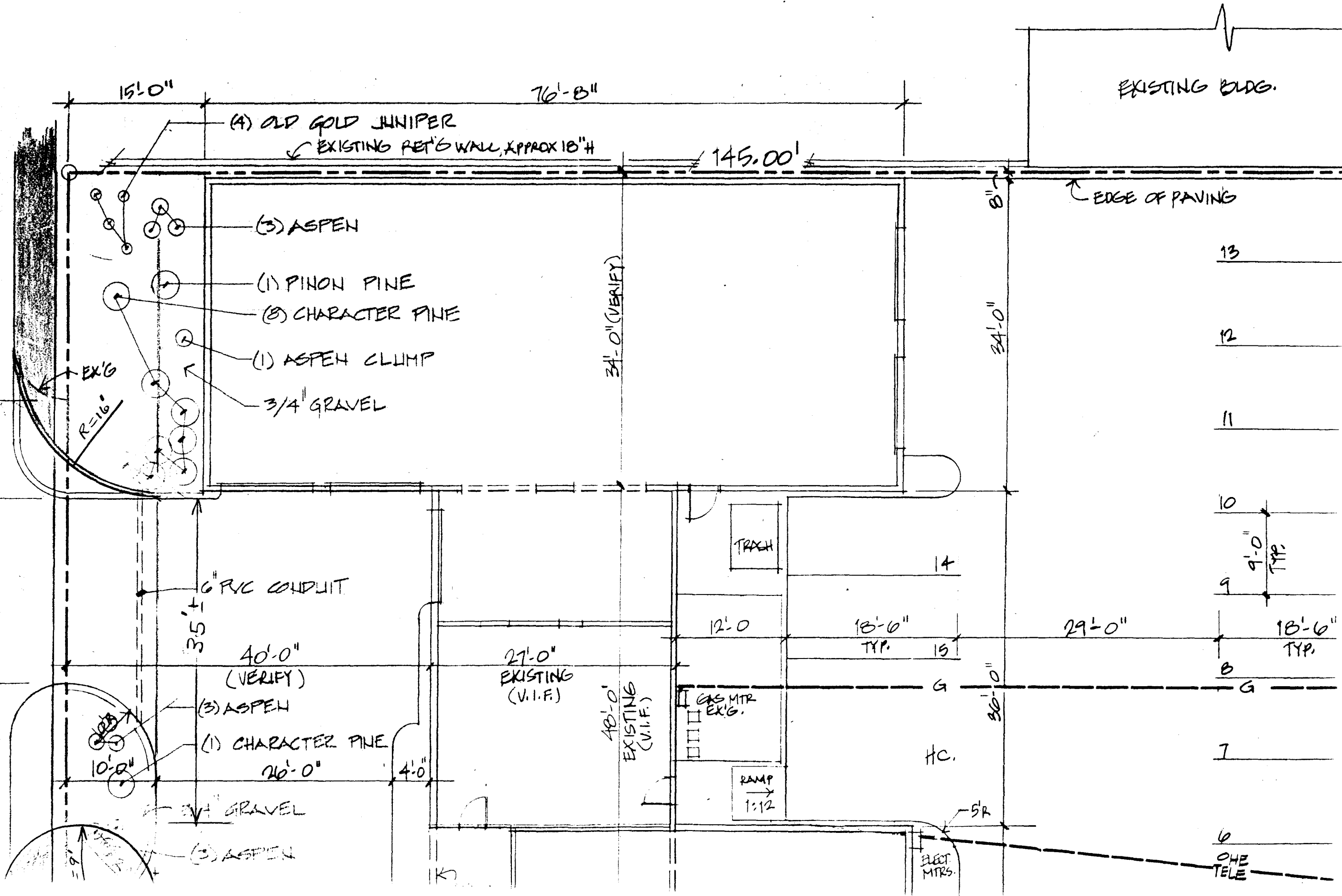
10'

4'

landscape area #1

landscape area #2

NORTH AVE.



15'-0" 76'-8"

(4) OLD GOLD JUNIPER
EXISTING RET'S WALL, APPROX 18" H

145.00'

EXISTING BLDG.

EDGE OF PAVING

(3) ASPEN
(1) PINON PINE
(8) CHARACTER PINE
(1) ASPEN CLUMP
3/4" GRAVEL

EX'G
R=16"

34'-0" (VERIFY)

34'-0"

13

12

11

10

9'-0" TYP.

9

29'-0"

18'-6" TYP.

8

EXISTING CURB CUT
20'
PROPOSED

6" PVC CONDUIT

3'-5" ±
40'-0" (VERIFY)

27'-0" EXISTING (V.I.F.)

40'-0" EXISTING (V.I.F.)

(3) ASPEN
(1) CHARACTER PINE
20'-0"

10'-0"

3/4" GRAVEL

(3) ASPEN

TRASH

14

12'-0"

18'-6" TYP.

15

GAS MTR EX'G.

H.C.

RAMP
1:12

5R

ELECT MTRS.

7

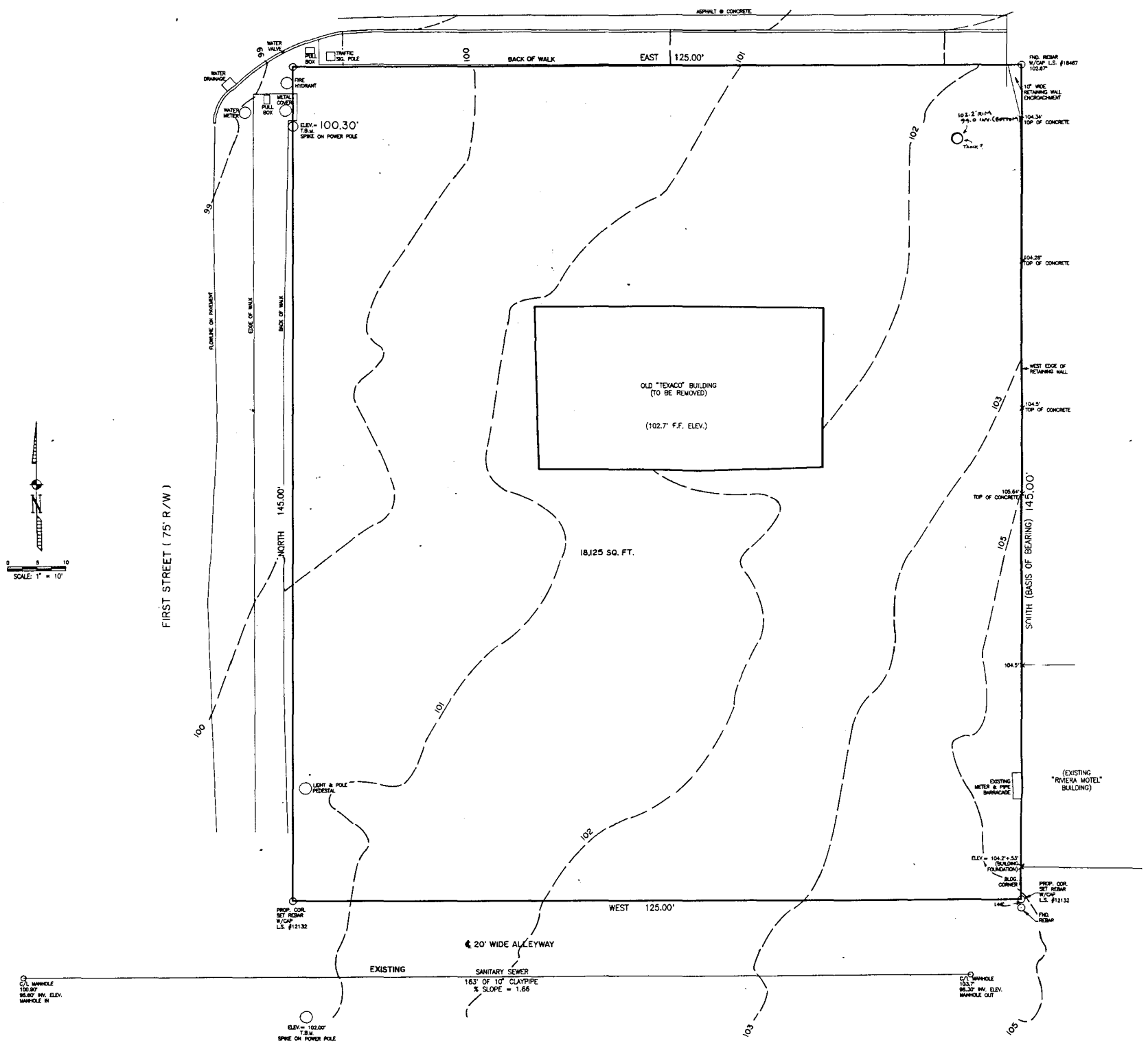
6
OHE TELE

A SURVEY FOR
O'CONNOR CONSTRUCTION
 101 NORTH AVENUE
 GRAND JUNCTION, COLORADO
 (MESA COUNTY)

PROPERTY DESCRIPTION

THAT PART OF LOTS 1, 2, 3, 4 AND 5, BLOCK 11, CITY OF GRAND JUNCTION, DESCRIBED AS BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, THENCE EAST 125 FEET; THENCE SOUTH 145 FEET; THENCE WEST 125 FEET; THENCE NORTH 145 FEET TO THE POINT OF BEGINNING, 101 NORTH AVENUE, GRAND JUNCTION, COLORADO.

NORTH AVENUE (80' R/W)



LEGEND:
 --- EXISTING GROUND CONTOURS
 (ELEVATIONS ASSUMED DATUM)
 X MARKS SPOT ELEVATION

THIS IS TO CERTIFY THAT THE ABOVE PLAT WAS PREPARED FROM FIELD NOTES OF ACTUAL SURVEYS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THE SAME ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Robert W. Savidge
 ROBERT W. SAVIDGE, L.S. No. 12132
 STATE OF COLORADO

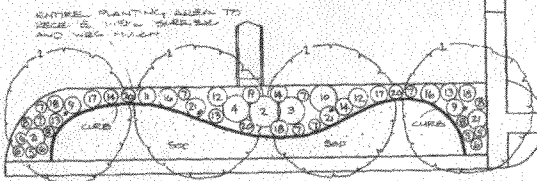
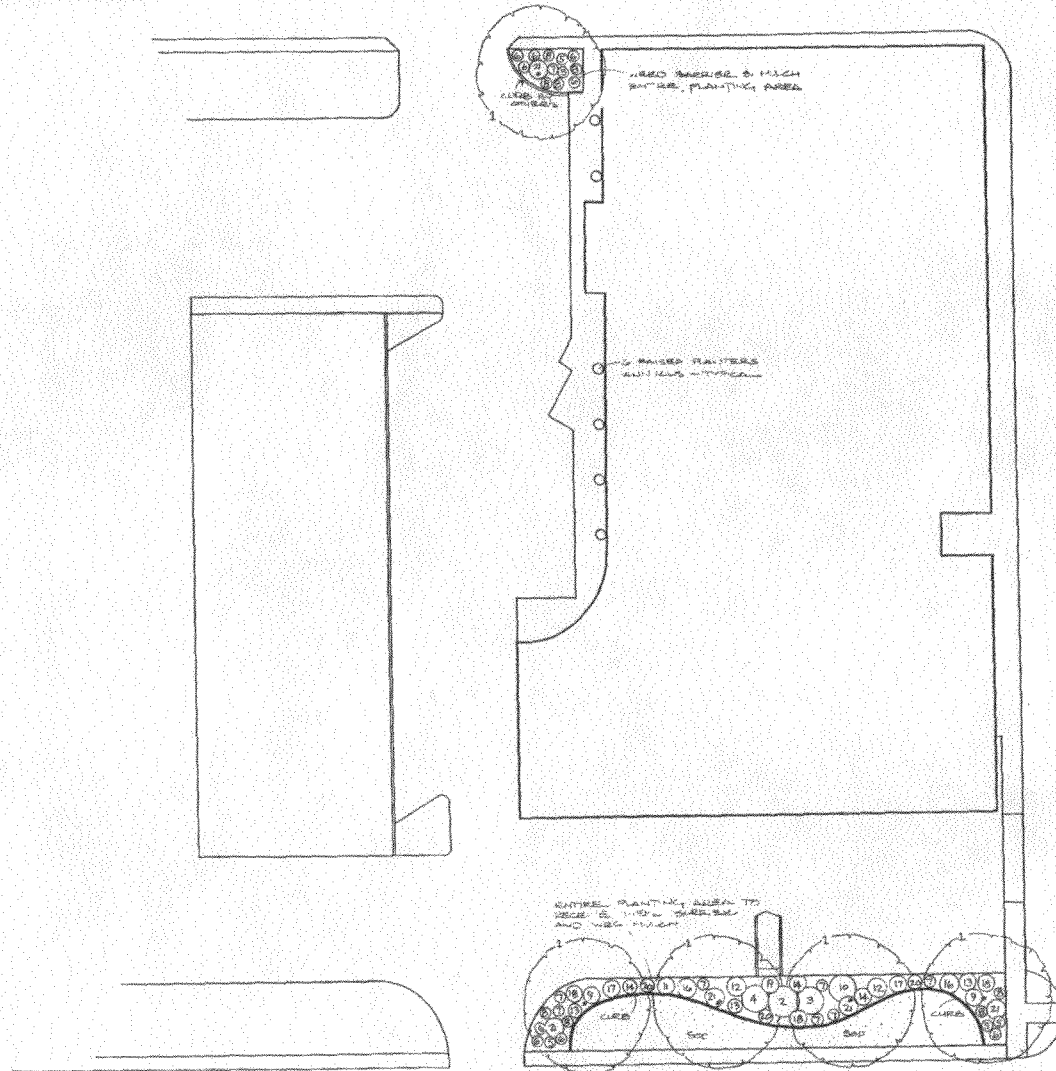
DATE: 8-23-91



REVISION | REV. BY | DATE

Daggett Surveying, Inc.
 2487 Industrial Blvd., Suite No. 2
 Grand Junction, Colorado 81505
 Ph. (303) 242-0201

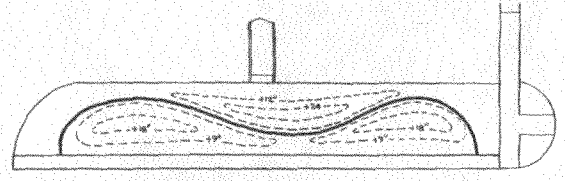
DATE DRAWN: 8-22-91
 Dwg. REF.: 8100011G



- PLANTING NOTES**
- ALCC specifications shall pertain; omit staking; add tree wrap for first winter.
 - For planting soil, amend approved landscape fill material with 25% peat moss by volume.
 - Raised planters to be filled with amended planting soil; raised planters to be planted with annual bedding plants as provided by Owner.
 - Guarantee plant materials for one growing season after acceptance of work.
 - Turf to be established by the installation of Bluegrass blend sod.

SCHEDULE OF PLANT MATERIALS

KEY	BOTANICAL / COMMON NAME	AMOUNT	SIZE
1	Gladiolus imbricatus 'Shademaster' Shademaster Heavyweight	8	2" Cal
2	Acer glabrum 'Flame' Amur Maple (shrub form)	1	6 Gal
3	Sambucus canadensis 'Aurea' Golden Elder	1	6 Gal
4	Viburnum opulus Snowball Viburnum	1	6 Gal
5	Berberis l. atropurpurea 'Rose Glow' Rose Glow Red Barberry	6	6 Gal
6	Cotoneaster apiculata Cranberrybush Cotoneaster	9	6 Gal
7	Potentilla fruticosa 'Gold Drop' Gold Drop Cinquefoil	8	6 Gal
8	Spiraea bumalda 'Gold Flame' Gold Flame Spiraea	8	6 Gal
9	Physocarpus opulifolius 'Darts Gold' Dart's Gold Ninebark	2	6 Gal
10	Cornus stolonifera 'Bailey' Bailey Redstem Dogwood	1	6 Gal
11	Cornus stolonifera 'Isant' Isant Dogwood	1	6 Gal
12	Prunus cistina Purpleleaf Sand Cherry	2	6 Gal
13	Prunus glandulosa 'alnensia' Pink Flowering Almond	3	6 Gal
14	Rhus glabra cuneolata Dwarf Smooth Sumac	3	6 Gal
15	Salix purpurea nana Dwarf Arctic Willow	2	6 Gal
16	Spiraea nipponica 'Snowmound' Snowmound Spirea	2	6 Gal
17	Wigilia florida 'Pink Princess' Pink Princess Weigela	3	6 Gal
18	Juniperus chinensis 'Mint Julep' Mint Julep Juniper	1	6 Gal
19	Juniperus chinensis 'Old Gold' Old Gold Juniper	3	6 Gal
20	Juniperus sibirica 'Scandia' Scandia Juniper	6	6 Gal
21			



MOUNDING DETAIL (20 scale)

GRADING NOTES

- Remove all trash, debris, rocks, vegetation, and undesirable soils from all planting areas.
- The surface of native soils within the planting areas shall be thoroughly de-compacted to a depth of 8" and left with an uneven surface before required landscape fill material is imported.
- Final grades shall be established as per the configuration shown on the mounding detail above. In the area where turf is to be established, the final grades adjacent to containing surfaces shall be recessed down to create a 1.5" lip. In shrub areas to receive mulch top dressing, final grades adjacent to containing surfaces shall be recessed down to create a 4". Subsequent placement of mulch (3.5"), shall leave a final lip of 8".
- All mounds shall be constructed of approved landscape fill materials which shall be a clean, friable, and evenly-graded sandy loam with salinity and fertility characteristics acceptable to good horticultural practices. Set levels shall be less than 3.0 mmhos/cm.
- Mounding shall transition smoothly and evenly from one containing surface to another, including integration of landscape curbing. All imported fill materials shall be settled by thorough wetting.

SITE IMPROVEMENTS

- Landscape Curbing - A landscape curb shall be installed as shown through the middle of the primary landscape area to separate the planting area from the turf area. Such curbing shall be 6", flat-top Curbio, or approved equal.
- Raised Planters - Six raised planters, provided by Owner, shall be installed in the locations shown. Such planters shall be leveled and attached with a waterproof seal.
- Weed Barrier - Shrub planting areas shall be completely covered with Nirescape II weed barrier; overlap seams 18"; pin all corners, seams, and every 6" with 6"x1" pins.
- Top Mulch - Cover all weed barrier with 3.5" of Western Red Cedar mulch.

Final
9/13/73

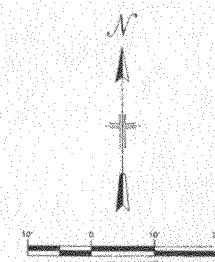
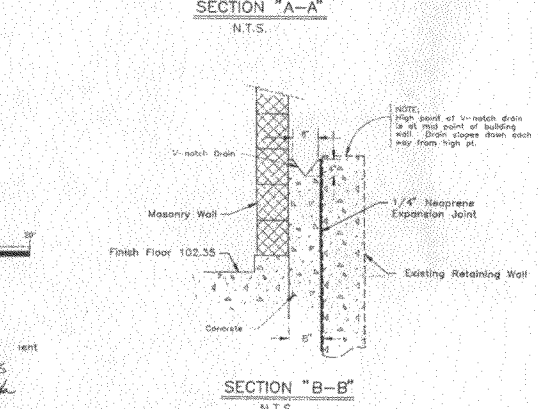
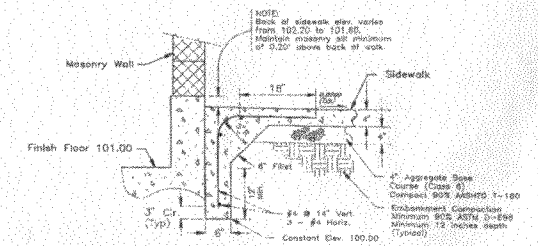
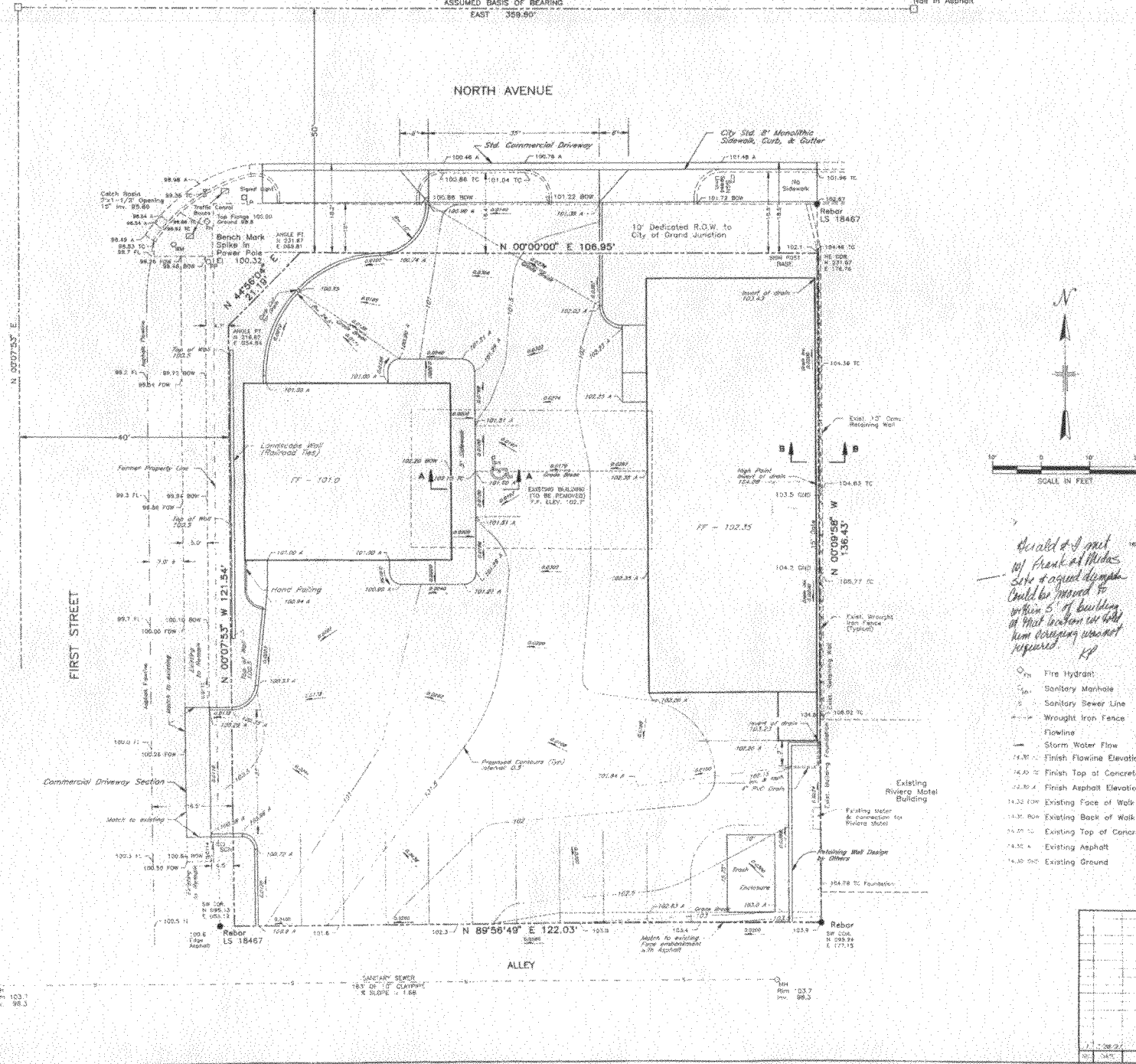
RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
OCT 6 1973

CITY MONUMENT
First Street &
North Avenue
Steel Pin w/washer

CITY MONUMENT
Second Street &
North Avenue
Hall in Asphalt

ASSUMED BASIS OF BEARING
EAST 359.50'

NORTH AVENUE



*Revised 8/8 mid
10' front of Midas
Side of original driveway
could be moved to
within 5' of building
at that location as this
has been determined was not
required LP*

FOR REVIEW
DATE 7/21/93
SIGNED [Signature]

- Fire Hydrant
- Sanitary Manhole
- Sanitary Sewer Line
- Wrought Iron Fence
- Flowline
- Storm Water Flow
- Finish Flowline Elevation
- Finish Top of Concrete
- Finish Asphalt Elevation
- Existing Face of Walk
- Existing Back of Walk
- Existing Top of Concrete
- Existing Asphalt
- Existing Ground

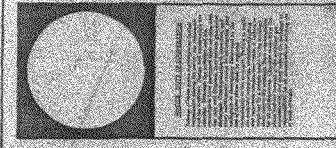
UTILITY LOCATIONS
Utility locations are approximate as provided by utility company location plans. Verify and field locate prior to any excavation, grading, or drilling. Utility Notification Center must be called two business days in advance. 1-800-922-1387.

- NOTES:**
- All construction shall conform and adhere to the City of Grand Junction, Department of Public Works and Utilities, Engineering Section, "Standard Specifications for Construction of Water Lines, Sanitary Sewers, Storm Drainage, and Irrigation Systems", "Detailed Streets Construction Specifications", and "Standard Details".
 - Survey information provided by Doggett Surveying, Inc., Grand Junction, Colorado, (303) 242-0201. Date of survey: 08/22/91, revised 02/05/93.
 - Pavement design by others.

RECORDED GRAND JUNCTION
PLANNING DEPARTMENT
JUL 10 1993
File # 10-93

DESIGN		DRAWN		SHEET	
10-93	J. O'CONNOR	10-93	J. O'CONNOR	1	OF
CHECKED	B.D.M.	APPROVED	W.E.L.		
DATE	07/04/93	DATE	07/04/93	1	1

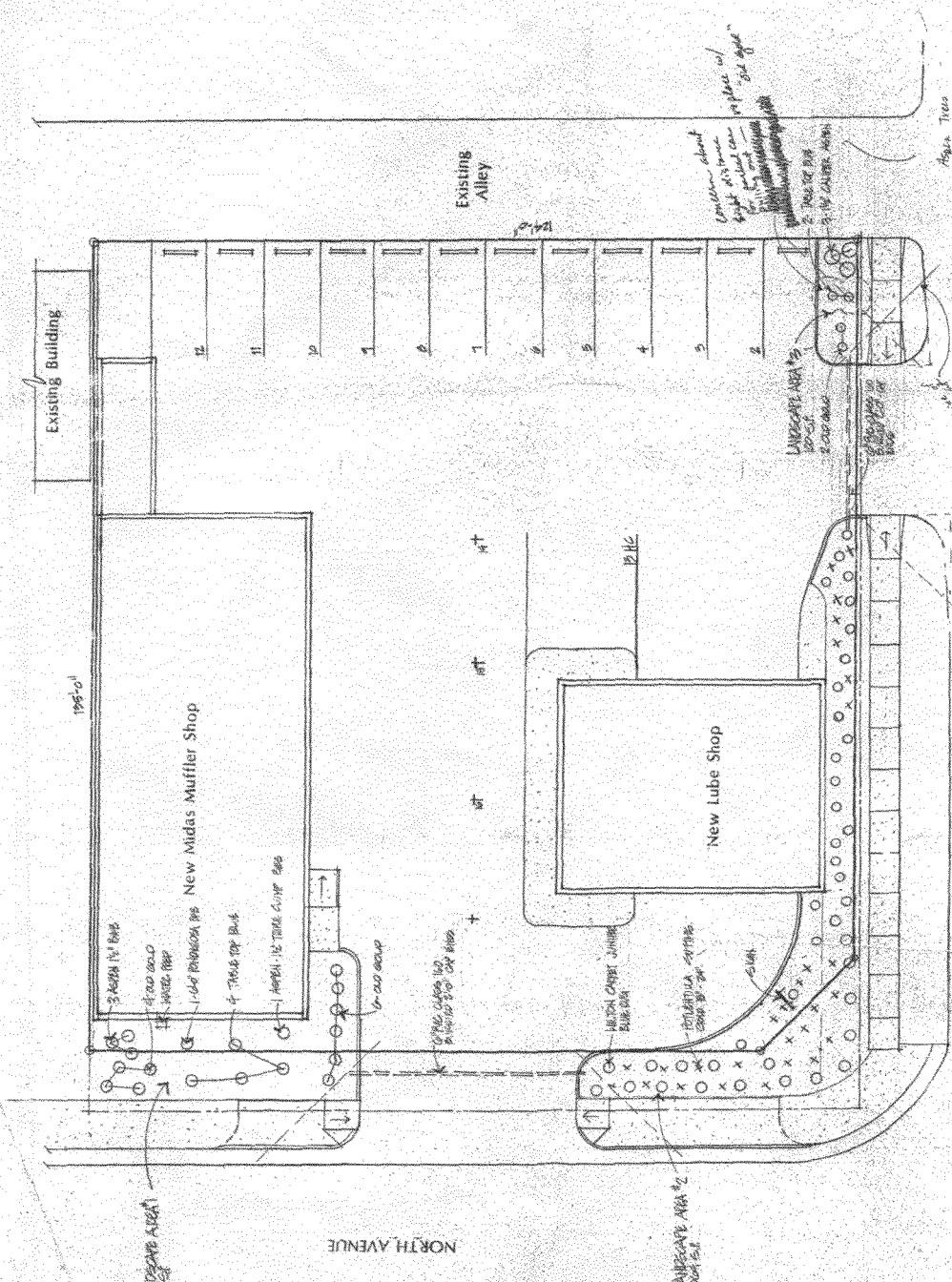
PREPARED FOR
O'CONNOR CONSTRUCTION
GRADING & DRAINAGE PLAN
MIDAS MUFFLER SHOP
101 NORTH AVENUE
GRAND JUNCTION, COLORADO



27-00
 27-01
 27-02
 27-03
 27-04
 27-05
 27-06
 27-07
 27-08
 27-09
 27-10
 27-11
 27-12
 27-13
 27-14
 27-15
 27-16
 27-17
 27-18
 27-19
 27-20
 27-21
 27-22
 27-23
 27-24
 27-25
 27-26
 27-27
 27-28
 27-29
 27-30
 27-31
 27-32
 27-33
 27-34
 27-35
 27-36
 27-37
 27-38
 27-39
 27-40
 27-41
 27-42
 27-43
 27-44
 27-45
 27-46
 27-47
 27-48
 27-49
 27-50
 27-51
 27-52
 27-53
 27-54
 27-55
 27-56
 27-57
 27-58
 27-59
 27-60
 27-61
 27-62
 27-63
 27-64
 27-65
 27-66
 27-67
 27-68
 27-69
 27-70
 27-71
 27-72
 27-73
 27-74
 27-75
 27-76
 27-77
 27-78
 27-79
 27-80
 27-81
 27-82
 27-83
 27-84
 27-85
 27-86
 27-87
 27-88
 27-89
 27-90
 27-91
 27-92
 27-93
 27-94
 27-95
 27-96
 27-97
 27-98
 27-99
 27-100

LUBE SHOP
 101 NORTH AVENUE
 GRAND JUNCTION, COLORADO

SCOTT MOORE ASSOCIATES
 ARCHITECTS - PLANNERS
 DEVELOPMENT CONSULTANTS
 2000 1/2 1/2
 GRAND JUNCTION, CO
 PHONE: 248-1111
 FAX: 248-1112
 CHECKED: JMB
 DESIGNED: JMB



LANDSCAPE PLAN
 7-101

GENERAL NOTES:
 ALL LANDSCAPE AREAS SHOWN WITH THIS SYMBOL ARE TO BE PLANTED WITH LANDSCAPE PLANTS AND TREES.
 ALL PLANTINGS IN THIS AREA ARE TO BE PLANTED WITH LANDSCAPE PLANTS AND TREES.

LANDSCAPE AREA #1
 LANDSCAPE AREA #1 BOUNDARY: 100' x 5'
 LANDSCAPE AREA #2 BOUNDARY: 100' x 5'
 LANDSCAPE AREA #3 BOUNDARY: 100' x 5'
 LANDSCAPING AND SITE PLANNING REQUIRED

AGRA TREES
 They are not shown in this location due to irregular lot under trees. Landscaping area #1, #2, and #3 are shown in the plan.

Also Agrar trees are shown in "Landscape" area #1, #2, and #3. I might have a boundary to the right of "Landscape" area #1, #2, and #3.

CONSTRUCTION NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.
 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION, COLORADO, ORDINANCES AND SPECIFICATIONS.