

February 3, 1993

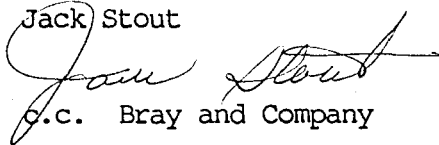
To Whom It May Concern:

I, Jack Stout am the owner of Grand Mesa Motors Inc. which is located at 657 North Avenue, Grand Junction, Colorado. I also own the parcel of land which is located immediately north of Bray and Company's ownership at the intersection of 7th Street and North Avenue. This letter should serve to confirm that I have given Bray and Company the right to use the southern ten (10) feet of my property for ingress and egress to their parking lot which is located immediately north of their office building. It is also understood that I may terminate this agreement at my will at any time for any reason with thirty (30) days notice to Bray and Company.

If you have any questions feel free to call me at 242-0337.

Sincerely,

Jack Stout

A handwritten signature in cursive script that reads "Jack Stout". The signature is written in dark ink and is positioned above the typed name and company name.

c.c. Bray and Company



To Whom It May Concern:

Our proposed addition will allow us to offer to our customers and clients much needed conference rooms and reception area. With the addition of substantial landscaping to our front entrance area, we believe that we will have one of the nicest looking buildings in the community. All of this area will be located at ground level and will include a new handicap restroom to accommodate ADA requirements.

We believe our new addition will be a pleasant improvement to the neighborhood, and most importantly it will allow us to continue to offer superior real estate related services to our customers and clients.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert L. Bray". The signature is fluid and cursive, written over a horizontal line.

Robert L. Bray, President
Bray and Company Realtors/BH&G

BRAY AND COMPANY BUILDING ADDITION
SITE PLAN REVIEW COMMENTS
FEBRUARY 3, 1993

1. **LANDSCAPING** - 672 sf of landscaping is required to be provided within the property boundaries (not within public right-of-way). Approximately 194 sf of planted areas are shown at the building entry, leaving a landscaping deficit on the site of 478 sf. A portion of this total square footage can be waived if additional planting areas are provided in the right-of-way of 7th Street and on one corner of the northern parking area. Provide a revised plan which includes additional landscaping as indicated on the attached marked up plan. Also include additional low-spreading shrubs 5-foot on center in the existing decorative rock area and in the abandoned driveway/decorative rock area.

A Revocable Permit will be required for landscaping in the public right-of-way. This can be obtained through the City Property Agent (Tim Woodmansee - 244-1565).

2. **ABANDONED DRIVEWAY** - Concrete driveway must be removed and replaced with landscaping. Petitioner must provide curb and gutter where the existing concrete driveway on 7th Street is to be removed and replaced. Revise plan to indicate this.
3. **PARKING** - Curbing and/or wheel stops must be provided in the northern parking area. Parking on the west side of the building (east side of alley) must have a maximum angle of 60 degrees. Striped area between spaces can be narrowed to adjust this. Eliminate one parking space on the east end of the northern parking area (see landscaping). Revise plan to reflect these changes.
4. **IMPROVEMENTS GUARANTEE** - Cash escrow or a Letter of Credit is required prior to obtaining a Building Permit to guarantee the landscaping, street, and parking improvements discussed in items 1 - 3 above.
5. **DUMPSTER** - Revise site plan to indicate location of dumpster.
6. **REZONE** - Existing parking and the counseling center use in the building at 640 Belford Avenue on parcel 2945-142-06-006 are not allowed uses in the Residential Multifamily 32 units per acre (RMF-32) zone. Application for a rezone of this parcel to a Limited Business (B-1) zone is required prior to issuance of a Planning Clearance for a Building Permit.
7. **FIRE DEPARTMENT** - Typical fire flow survey will be required for Building Permit.

February 4, 1993



Mr. Robert Bray
Bray & Company
1015 North Seventh Street
Grand Junction, CO 81501

Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430 FAX (303) 244-1599

RE: Addition to Bray & CO office building

Dear Mr. Bray:

The issue regarding the parking lot to the west of the Alpha Center has been discussed previously with Dennis and Levi Lucero wherein it has been noted that several parking spaces encroach into the Alpha Center lot. This results in those spaces being nonconforming because the zoning for the Alpha Center lot, which is currently RMF-32, does not allow parking lots. Only parking spaces required for an allowed use in the RMF-32 zone would be allowed. Dennis, Levi and I have discussed in the past that those parking spaces would not be an issue in this review as long as they are not counted toward the parking requirement needed by the Bray & Company building and its proposed addition. It initially appeared in our discussions that those spaces would not be needed to meet the parking requirements. Now that application has been made for site plan review, we find that for the Bray & Company building and its addition that those spaces are needed as part of the minimum parking requirement for the Bray addition. I would like to point out that previous discussions with Dennis and Levi did point out other options in obtaining parking spaces (i.e. angled parking) in the lot to the north of the Bray office building.

What this all means is that the portion of the parking lot currently existing on the Alpha Center lot must be brought into conformance through a rezone. By rezoning the Alpha Center lot to light business (B-1), the parking lot will then conform to the zoning and it will also negate the need for a Special Use permit currently required for the Alpha Center. The Alpha Center will be a permitted use in the B-1 zone.

It is not our intent to delay the building permit process any longer than is absolutely necessary to bring the Bray building and proposed addition into compliance with the Zoning and Development Code, therefore we will require that only the zoning application submittal for the Alpha Center lot be submitted for review through the rezone application process prior to issuance of a building permit for the addition. Please be aware that all issues that are identified through the site plan review process currently being done must be adequately satisfied prior to issuance of the building permit.

If you have any questions, please contact our office at your earliest convenience.

Respectfully,

A handwritten signature in black ink, appearing to read "Dave Thornton", is written over the typed name.

Dave Thornton
Planner

cc: Dennis and Levi Lucero
File #11-93

(bray.let)

**PLANNING CLEARANCE REQUIREMENTS
GRAND JUNCTION COMMUNITY DEVELOPMENT**

\$ 110⁰⁰

BUILDING ADDRESS: 1015 N. 7th St FILE NO: _____
PROPOSAL: Addition to Bray & Co Office Bldg
DEVELOPER: Lucero (Levi & ~~Fran~~ Dennis) TELEPHONE: 243-6471
REQUIRED Levi Lucero 242-6618

- A. Impact Statement / Project Narrative
- M. Section 404 Permit (b)
- B. Site Plan
24" x 32" showing setbacks to all property lines and all streets which abut the parcel and easements. Prepared by a professional engineer. (Scale 1" = 50')
- N. Environmental Site Assessment
- C. Drainage & Grading Plan / Report
- O. Structural Information
DISCUSS IN MEETING
 - 1) Heights, Elevations, Square Footage
 - 2) Percent of Building Coverage
 - 3) Setbacks
 - 4) Lighting (a)
 - 5) Signage Detail (a) (b)
 - 6) Fences (a) (b)
- D. Utilities Composite
Sewer, Water, Gas, Electric, TV, Telephone, Storm Drain, Irrigation, Ditches
- P. Subsurface Soils Investigation
- E. Landscaping / Screening / Buffering
NEED 672# of Landscaping
 - 1) Types of Open Space (a)
 - 2) Maintenance
 - 3) Irrigation Rights
 - 4) Irrigation Plan
- Q. Sewer/Water Tap (Power of Attorney)
 - 1) Water Supply
 - 2) Water Usage
 - 3) Sewage Generation Estimates
- F. Roadway Plan / Profile
- R. Parking Plan
SHOW ON SITE PLAN
 - 1) Total Number (a)
 - 2) Handicapped Spaces / Symbols
 - 3) Space Dimensions / Striped / Blocks*36 Required*
- G. Traffic Circulation Patterns
SHOW ON SITE PLAN
 - 1) Pedestrian / Bike paths / Crosswalks
 - 2) Curb Cuts (a)
 - 3) Dimensions of Curb Cuts / Driveways
 - 4) Internal Circulation Detail
- S. Improvements Agreement
- H. Traffic Analysis / Impact Study
- T. Improvements Guarantee
- I. Floodplain Analysis and/or Permit (b)
- U. Application / Planning Clearance
- J. Geology Report / Soils Report
- V. Review Sheet
- K. Gamma Radiation Report
- W. Other: _____
- L. ODOT Access Permit (b)

(a) Existing and Proposed (b) Requires a Separate Permit

NUMBER OF REVIEW PACKETS REQUIRED: 3

- Community Development
- City Property Agent
- Police Department
- City Attorney
- City Traffic Engineer
- Building Department
- City Utilities Engineer
- Parks & Recreation
- GJ Drainage District
- City Development Engineer
- Fire Department
- _____

REQUIRED FOR ALL BUSINESS, COMMERCIAL, INDUSTRIAL, MULTI-FAMILY
AND INSTITUTIONAL USES UNLESS EXEMPTED BY STAFF

CITY COUNCIL

DATE: February 17, 1993

CITY OF GRAND JUNCTION

STAFF: Tim Woodmansee, Property Agent

ACTION REQUESTED: Resolution authorizing the issuance of a Revocable Permit to allow the installation of landscape improvements in the public right-of-way for North 7th Street adjacent to Bray & Company Realtors at 1015 North 7th Street.

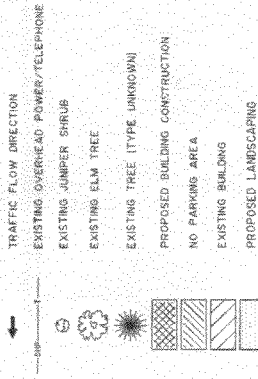
EXECUTIVE SUMMARY: The proposed action would allow beautification of the parkway between the curb and sidewalk together with the right-of-way behind the sidewalk adjacent to Bray & Company Realtors. Specific landscape improvements include low-spreading shrubs and decorative rock.

FISCAL IMPACT: None.

BACKGROUND/ISSUES: Bray & Company recently obtained approval to construct a building addition and related improvements at this location. A condition of this approval required the petitioner to landscape the adjoining 7th Street right-of-way. City Charter gives Council authority to allow private use of public right-of-way, provided such use is substantiated by resolution. The Revocable Permit essentially gives the adjacent landowners a license to use the right-of-way. The City may revoke the permit and require the landowners to restore the right-of-way to its original condition by giving 30 days written notice.

RECOMMENDATION: Review and adopt proposed resolution.

LEGEND

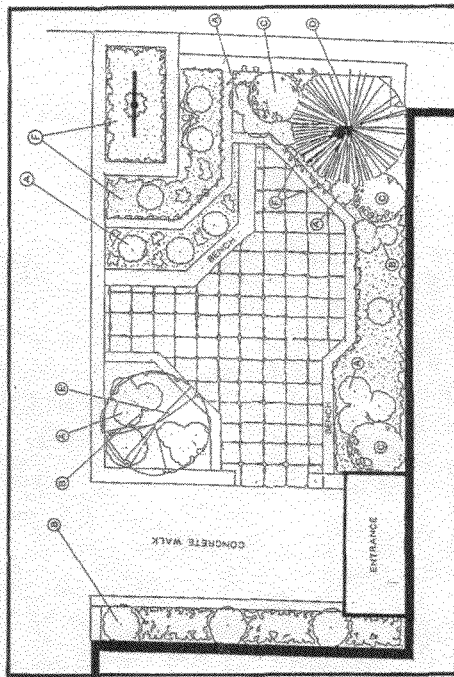
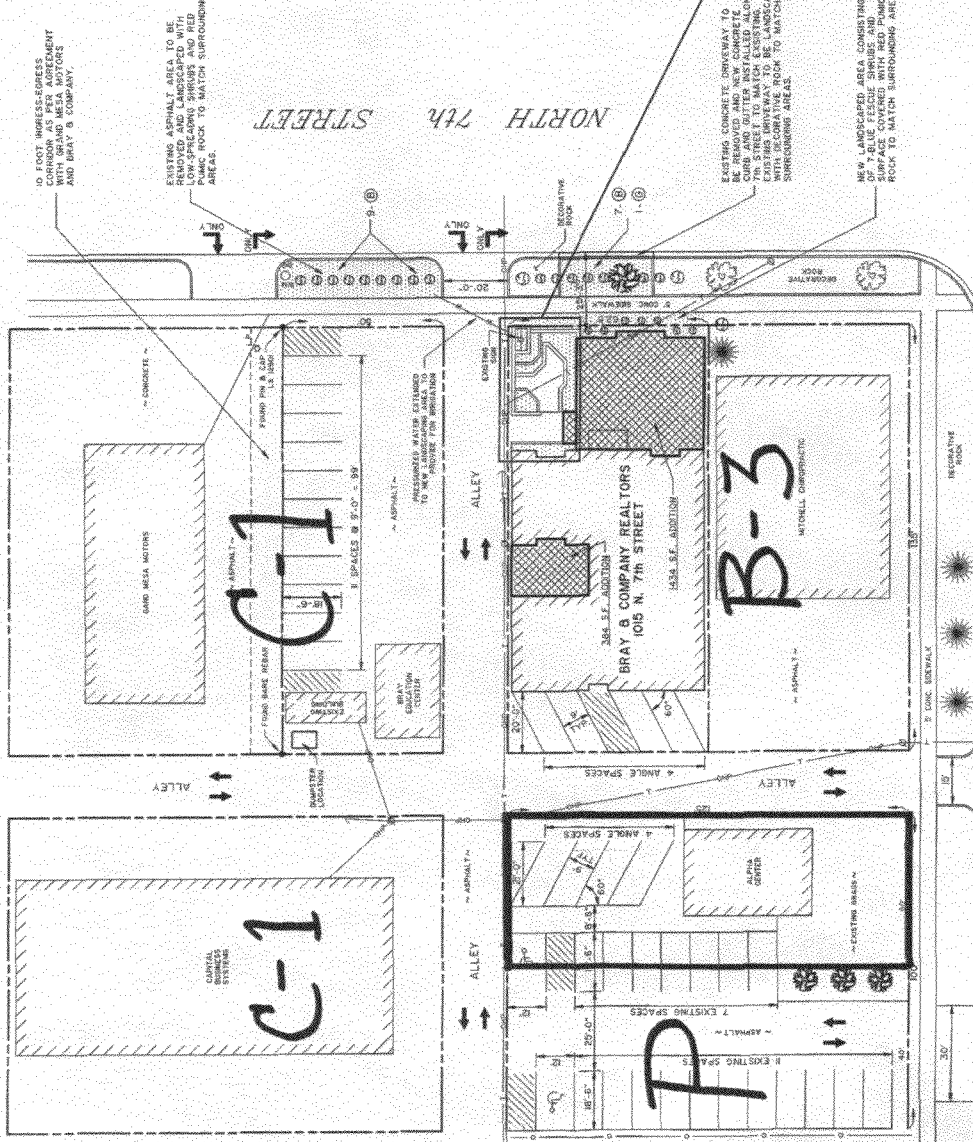


PARKING BREAKDOWN

TYPICAL	37
HANDICAP	2
TOTAL	39
REQUIRED	36

PLANT LIST

- (A) WILTON CARPET JUMPER
- (B) BLUE FESCUE SHRUB
- (C) GOLD COAST JUMPER
- (D) MUDDY PINE
- (E) LACEBARK PINE
- (F) VARIOUS GROUND COVER SPECIES
- (G) ASH TREE



ACCEPTED *LLP* *dlp/12/19*
 ANY CHANGES TO THIS PLAN SHALL BE MADE BY A SEPARATE SHEET.
 U.S. DEPARTMENT OF AGRICULTURE
 AND PROPERTY LINES

DATE	12/19/19
BY	DL
CHECKED	DL
SCALE	AS SHOWN
SHEET NO.	1 of 1

SITE PLAN
 BRAY & COMPANY BUILDING EXPANSION

GRAND JUNCTION, COLORADO

BY DENNIS LUCERO

REVISIONS
 1. DATE 2-7-23
 REVISION: REVISE LANDSCAPING AND PARKING CONFIGURATION.

BANNER
 ASSOCIATES, INC.
 2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81505 • 970.243.2242
 605 E. MAIN • SUITE 6 • GRAND JUNCTION, CO 81505 • 970.243.4887

REVISION	DATE	FOR

RMF-32
BELFORD AVENUE
B-3

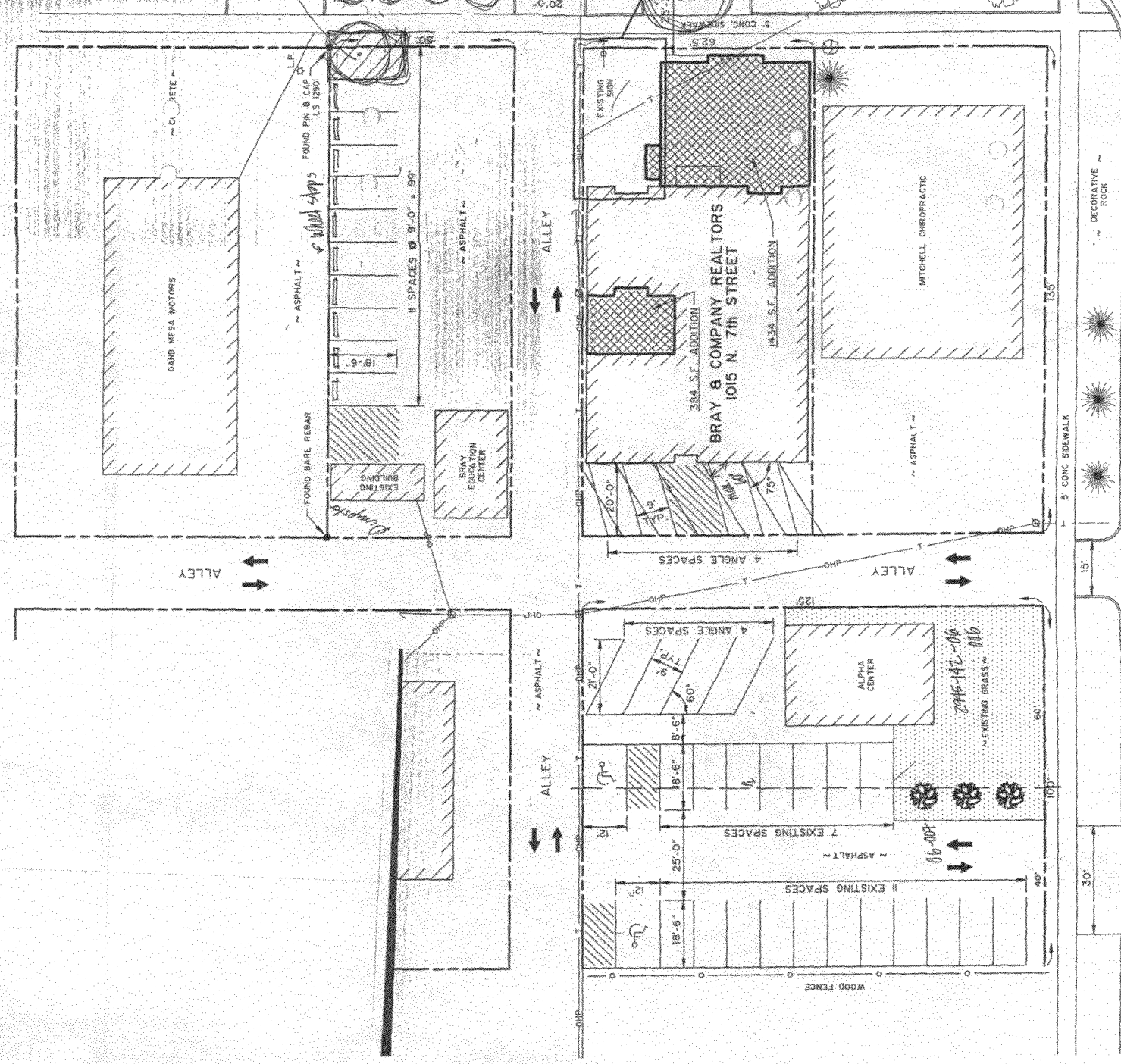
NORTH AVENUE

AVENUE

RMF-32

7TH AVENUE

FEET 20
GP



*provide landscaping
to match
13' x 14' = 465 sq ft
provide landscaping
to match
5' o.c. (9 shrubs)
to match
5' o.c. (9 shrubs)
provide
to match
5' o.c. (9 shrubs)
provide
to match
5' o.c. (9 shrubs)*

EXISTING CONCRETE DRIVEWAY TO BE ABANDONED AND LANDSCAPED WITH DECORATIVE ROCK TO MATCH SURROUNDING AREAS.

