

Table of Contents

File 1993-0015

Name: St. Joseph's Church - Minor Subdivision CUP & Alley Vacation-3rd & White Ave.

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
---------------------------------	---------------------------------	--

X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
X		Review Sheets
X		Receipts for fees paid for anything
		*Submittal checklist
X	X	*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map.
		Evidence of title, deeds, easements
X	X	*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
X	X	*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
		*Petitioner's response to comments
X	X	*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Action Sheet - no date or outcome listed	X		Utility Easement - not completed - can't see listed on Mesa Co. Recorded docs
X		Daily Sentinel Newspaper Articles 3/19/94, 3/4/92	X	X	Replat of Lots 1 through 10 of Block 80
		Notice of Public Hearing mail-outs - 3/1/93	X	X	Site Grading Plan
X	X	Planning Commission Meeting Agenda - 3/9/93 - **	X	X	Utility Composite
X		Commitment to Insure from Abstract & Title Co. of Mesa Co., Inc. - 1/23/93	X	X	Site Plan
X	X	Correspondence	X	X	Parking Narrative Plan
X		Agreements not conveyed to City	X	X	Subdivision Narrative Form
X		Legal Ad - 3/2/93, 3/10/93	X	X	City Council Minutes - 4/7/93. 9/1/93
X		Utility Easement - referenced on plat? - don't see completed easement version in file. -	X		Fire Dept. Building Permit Clearance Form
X		Certification of Plat	X		E-mails
X	X	White Street Elevation	X	X	Development Improvements Agreement with Release of Improvements Agreement - delivered to City Clerk for retention and scanning - **

CITY ATTORNEY

Dan Wilson

244-1505

The second sentence of the parking agreement should be revised to read as follows:
"The parties hereby agree that ST. JOSEPH'S ROMAN CATHOLIC CHURCH shall be able to use the parking lot known as _____ for parking purposes on Saturdays after 5:00 p.m. and on Sundays all day."

CITY ENGINEER

Don Newton

244-1559

See attached comments.

DEVELOPMENT ENGINEER

Gerald Williams

244-1590

CITY PROPERTY AGENT

Tim Woodmansee

244-1565

CITY UTILITIES ENGINEER

Bill Cheney

244-1590

Water: No comment.

Sewer: (1) A letter from an authorized representative of the church committing to the installation of a new sewer line north of the proposed church if the sewer line under the proposed church should fail for any reason is required. Without such an agreement the sewer line with manholes will have to be relocated in the easement north of the church. (2) A 20' sewer line easement shall remain in place if the alley R.O.W. is vacated. The "utility easement" under the proposed church should not be vacated unless the sewer line is moved. (3) Move west manhole to center of north/south easement in case future construction is required. Construct stub out to north in each manhole. (4) Move gas and electric to one side or other of 20' easement in case sewer line has to be reconstructed at some future date. (5) What does crosshatching mean under proposed church around sewer line on the Sheet U-1? (6) An additional Plant Investment Fee for sewer service is required. Contact City Utility Billing to determine amount.

COMMUNITY DEVELOPMENT DEPARTMENT

Kristen Ashbeck

244-1437

See attached comments.

OTHER REVIEW AGENCIES:

ST. JOSEPH'S CATHOLIC CHURCH FILE #15-93
PLAN REVIEW BY DON NEWTON
2-16-93

PLAT: What is the purpose of Tract A? Why not dedicate this as right-of-way?

SHEET G-1 SITE GRADING PLAN

Please label or show symbols in legend for existing and proposed curbs, gutters, v-pans, etc.

Provide details showing the shape, volume and elevations of landscaped and other areas proposed to be used as runoff detention areas.

Why are border curbs and building stairs shown on the public sidewalk along the north side of White Avenue? These will obstruct the alignment of the existing sidewalk and should be located out of the right-of-way. The public sidewalk should remain unobstructed.

Show elevations of grate, outlet pipe and inlet pipe at storm inlet on N.E. corner of 3rd & White.

There is a low point in the curb at elevation no. 57. Will water drain away from this location? No pavement elevations are shown in parking lot.

What is the height of curbs above pavement surface? Show typical cross sections or details.

Is the curb height consistent throughout the project?

Show details/elevations where curbs and gutters connect to public sidewalks.

How is drainage contained and conveyed across sidewalk at proposed curb cut on White Avenue? Show details.

The existing driveway cut on 3rd Street shall be closed and replaced with curb and gutter. A drain trough or V-pan will be required to convey drainage to 3rd Street.

SHEET A1.0 SITE PLAN

The curb cut on Grand Avenue could be widened per City standards or left as is until Grand Avenue is reconstructed in 1994. If the driveway is not widened before the street is reconstructed, then it should be signed and used as a one-way exit.

Parking lot layout does not meet minimum stall length requirements. The lot is not wide enough for four rows of parking unless stalls are set at 50 degree angle and one way (single lane aisles) are used.

The handicap parking stalls shown do not meet A.D.A. specifications.

The existing fence along the north side of the parking lot encroaches approximately 3 feet into the public right-of-way. The fence must be relocated to or behind the property line prior to reconstruction of Grand Avenue (spring 1994).

15-93

**ST. JOSEPH'S CATHOLIC CHURCH
REVIEW COMMENTS - COMMUNITY DEVELOPMENT DEPARTMENT
KRISTEN ASHBECK 244-1437**

EASEMENT VACATION / FINAL PLAT

1. Indicate utilities easement retained in western portion of vacated alley.
2. Revise setbacks to read: Front: 25 feet from centerline of street (White Avenue) and 45 feet from centerline of street (Grand Avenue).
3. Revise dedication statement to indicate that Tract A is to be maintained by the St. Joseph's Catholic Church.
4. Petitioner must obtain approval of Utilities Coordinating Committee (UCC) - earliest meeting March 10, 1993.
5. If the intention is that the entire width of the access drive be dedicated to the City as an alley, then a 24-foot right-of-way is required to match the site plan rather than the 20-foot right-of-way shown on the plat as submitted.

CONDITIONAL USE / SITE PLAN

1. CIRCULATION

- Indicate direction of traffic flow through parking area. It does not appear to function well as shown.
- Curb cut on Grand Avenue should not be widened until Grand Avenue is improved (Summer 1994). Until such time, the Church should sign and use this as a one-way exit only.
- If no longer needed for access into the site, the curb cuts on Third Street for vacated alley and the western end of White Avenue should be removed and replaced with curb, gutter, sidewalk and landscaping to match the rest of the rights-of-way.
- There is some concern with circulation of vehicles for school drop-off and pick-up. Teachers and other school staff should not be allowed to park in the on-site lot so it is left open to be used as a play yard and for the vehicles waiting to pick up students in the afternoon. In addition, instructions for circulation through the site should be given to those picking up students.

2. PARKING

- On-site parking area must meet code requirements for stall and aisle dimensions.
- Indicate striped aisles on accessible spaces.
- Total requirement per code is 217 spaces-new church and 12 spaces-school. Due to the shared parking opportunities available during the peak use periods of the church (Sundays), the agreements submitted with surrounding property owners are adequate, if revised per City Attorney comments, to meet the total parking requirement.
- If the on-site parking area is not to be used during school days, where do teachers and administrative staff of the school park during the day?

3. LANDSCAPING

- Total landscaped area on site is adequate; however, 5 percent of the parking area is to be landscaped.
- At a minimum, the end-islands on the eastern side of the parking area must be landscaped rather than striped.
- Please submit more detailed plans which indicate plant spacing, size and species within the "xeriscape shrub beds". Although these are "xeriscape", irrigation is required to any plantings.
- The north facade of the new church is very visible from Grand Avenue -- provide some plantings to soften the building edge and screen some of the concrete ramp and transformer.
- Additional foundation plantings would also help soften the building edge of the east facade.

4. GENERAL

- A revocable permit approved by the City Council is required for steps and landscaping which encroach into White Avenue right-of-way.
- Is there any signage proposed? If so, provide a detail and indicate location(s) on the site plan.

15-93

CD REVIEW COMMENTS / 3

- Revise Improvements Agreement to reflect any additional off-site improvements and landscaping requirements based on the above comments.
- Recording fees to be paid by the petitioner prior to building permit application: Final Plat (\$10.00); Site Plan (\$10.00); Improvements Agreement (\$5.00 per page). Check made payable to Mesa County Clerk and Recorder.

GRAND JUNCTION DRAINAGE

John Ballagh 242-4343

There are no existing or planned Grand Junction drainage district facilities which are in the vicinity of the location.

GRAND VALLEY RURAL ELECTRIC

Perry Rupp 242-0040

GRAND VALLEY WATER USERS

G.W. Klapwyk 242-5065

PUBLIC SERVICE

Dale Clawson 244-2695

Electric and Gas: Request that vacated alley from 3rd St. 124.22' east be labeled as utility easement.

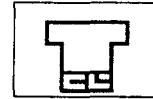
U.S. WEST

Leon Peach 244-4964

The vacated portion of alley on the east-west direction each side of the new church will need to be retained as a utility easement.

UTE WATER

Gary R. Mathews 242-7491

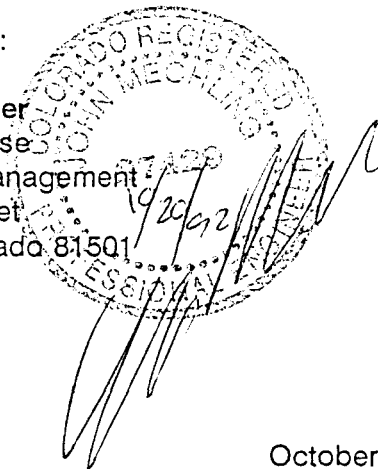


CTL/THOMPSON, INC.
CONSULTING GEOTECHNICAL AND MATERIALS ENGINEERS

SOILS AND FOUNDATION INVESTIGATION
ST. JOSEPH CATHOLIC CHURCH
3rd Street and White Ave.
Grand Junction, Colorado

Prepared For:

Mr. Teo Prinster
c/o Kevin Nourse
Alpine Construction Management
1111 S. 12 Street
Grand Junction, Colorado 81501



15 92
10/20/92

Job No. 19338

October 20, 1992

TABLE OF CONTENTS

SCOPE 1

SUMMARY OF CONCLUSIONS 1

SITE CONDITIONS 1

PROPOSED CONSTRUCTION 2

SUBSURFACE CONDITIONS 2

SITE GRADING 3

BUILDING FOUNDATION 4

SLAB-ON GRADE FLOORS 6

CONCRETE 7

SURFACE DRAINAGE 7

LIMITATIONS 8

FIGURE 1 - LOCATIONS OF TEST HOLES

FIGURE 2 - SUMMARY LOGS OF TEST HOLES

FIGURE 3 THROUGH 6 - SWELL/ CONSOLIDATION TEST RESULTS

TABLE 1 - SUMMARY OF LABORATORY TEST RESULTS

SCOPE

This report presents the results of our soils and foundation investigation for the new St. Joseph Catholic church building at the northeast corner of 3rd Street and White Avenue in Grand Junction, Colorado. We explored the subsurface conditions at the site to provide foundation recommendations for the building. This report includes a description of the subsurface conditions found in our test holes, a recommended foundation system and geotechnical criteria and construction criteria for details influenced by the subsoils. Our report was prepared from data developed during our field exploration, engineering analysis and our experience. A summary of our conclusions is presented below.

SUMMARY OF CONCLUSIONS

1. Our test holes penetrated Portland cement or asphaltic concrete over 22 to 29.5 feet of soft to medium stiff sandy clays underlain by very dense sandy gravels with cobbles and boulders. A 2.5 foot thick layer of silty sands and an 11.5 foot thick layer of clay, man-made fill were penetrated below the pavement at our TH-3 and TH-4 locations respectively. Free ground water was measured in all test holes at depths of 13 to 24 feet the day of drilling.
2. We recommend founding the building with driven piling. Driven steel piles would be end bearing and driven to "refusal" in the very dense gravels.
3. The church floor can be slab-on-grade bearing on structural fill (see "Floor Slabs and Exterior Flatwork" section).
4. Good surface grading is important. The ground surface should be shaped to cause water to run off rapidly away from the building (see "Surface Drainage" section).

SITE CONDITIONS

The site is at the northeast corner of 3rd Street and White Avenue near downtown Grand Junction. A large building housing a bank was to the east and a post office was

to the south across White Avenue. Retail businesses and small single family residences occupied adjacent blocks.

The new building will be at the site of an existing parking lot east of the existing church and southeast of the existing school. The church and school will remain. The ground surface at the new building site was paved with the exception of landscaping adjacent to the existing church and school building.

PROPOSED CONSTRUCTION

The new church building will be one story tall with 48 foot steeple. Framing will be with steel studs and the exterior will be brick veneer. Maximum wall loads will be 4,000 psf and maximum column loads will be 75 kips. Slab-on-grade floors will be subjected to light loads. No basement is planned. If the construction or the loads finally selected differ, we should be advised to permit us to review our conclusions.

SUBSURFACE CONDITIONS

Five (5) test holes were drilled with a 4-inch diameter continuous flight power auger at the locations shown on Fig. 1 to investigate subsurface conditions. Drilling was directed by our representative who logged the soils and obtained samples. Locations of our test holes are shown on Fig. 1, summary logs on Fig. 2, and the results of laboratory tests are shown on Fig. 2 and Table 1 attached.

Our test holes penetrated 6 inches of Portland cement or asphaltic concrete over 22 to 29.5 feet of soft to medium stiff sandy clays underlain by very dense sandy gravels with cobbles and boulders. A 2.5 foot thick layer of silty sands and 11.5 foot thick layer

of clay man-made fill was found below the pavement in our TH-3 and TH-4 locations. Free groundwater was measured at depths 13 to 24 feet the day of drilling.

During the drilling of test hole TH-5 our field team smelled an odor from the hole. Drilling at the site was suspended, but finally resumed when we were able to supplement our drilling team with one of our environmental engineers. Drilling of the holes drilled subsequent to TH-5 was environmentally monitored and the water and soils sampled and tested for volatile organic compounds. The water and soil samples tested showed no evidence of petroleum products, petroleum deviations or other volatile compounds. TH-5 was re-drilled and samples from the holes were field screened with a photionization device and no volatiles was detected.

The personnel of the drilling team that smelled the odor from TH-5 reported dizziness and nausea. Tests of the personnel revealed no evidence of contamination. The dizziness and nausea disappeared within 24 hours.

SITE GRADING

Site grading plans were not available at the time of this writing. Slab-on-grade subgrade elevations will be approximately the existing pavement subgrade elevation (Figure 2). We found soft to medium stiff sandy clays, loose silty sands and clay man-made fill at the assumed floor subgrade elevation. The extent and the condition of the man-made fill is not known and will not be known until excavation. The existing fill appeared variable in density and is not in our opinion suitable for slab-on-grade subgrade. The existing fill should be removed and replaced with structural fill as discussed below. We suggest a representative of our office be on site to aid the contractor in determining location and extent of fill and to confirm its removal. We

recommend at least 2 feet of sand or sand and gravel fill be placed below slabs. A geotextile fabric should be placed on the soft clay subgrade to prevent the granular structural fill from mixing into and with the clays.

Areas to receive fill should be stripped of topsoil, existing pavement, vegetation and organic and all existing fill and the stripped surface scarified to at least 6 inches, moisture conditioned to within 2 percent of optimum moisture content and compacted to at least 90 percent of the standard Proctor maximum dry density (ASTM D 698). Structural fill placed to replace existing soils and raise grades can be constructed with clays similar to on site clays or sands or sand and gravels with 100 percent finer than 3 inches, a maximum liquid limit of 35 percent and a maximum plastic index of 20 percent placed in 6 inch maximum loose lifts at 2 percent below to 2 percent above optimum moisture content and compacted to at least 95 percent of standard Proctor maximum dry density (ASTM D 698) with a heavy tractor towed roller or self-propelled compactor. The roller or compactor should have the option to compact soils with no vibration.

Samples of the soils proposed for the structural fill should be submitted to our office for approval prior to transporting to the site. Swelling soils will not be acceptable for structural fill. Placement and compaction of fill should be observed and tested by a representative of our firm during construction. The performance of the fill is critical to the performance of floor slabs.

BUILDING FOUNDATION

We considered spread footings and driven pile foundations for the building. We believe settlements resulting in unsightly cracking in walls would occur if the building is founded with spread footings. In our opinion the building should be founded with piling.

The total estimated settlement of piles driven to refusal in the gravels is about 1 inch and a differential settlement between individual piles will be about one half of the actual total settlement.

Design criteria for steel H-piles and heavy walled, concrete filled, closed end steel pipes is presented below:

Driven Piles

1. Piles should be steel-H sections (HP10 x 57 or larger) or heavy walled, concrete filled, closed end, steel pipes. Tip reinforcement should be provided to reduce pile damage during hard driving. The maximum allowable service stress of 12,000 psi should not be exceeded. We estimate an HP10 x 57 pile driven to a "set" of an average 0.5 inch per blow for the last 18 inches with a pile hammer delivering at least 18,000 foot-pounds of energy will penetrate the gravels 5 to 8 feet. The capacity of piles in compression driven as described above will be the structural capacity of the piles. Downdrag applied to the piles from consolidation of the natural clays should be considered in pile design if more than floor loads are placed on the clays.
2. Lateral resistance to horizontal loads can be provided by battered piles. It is normal to assume a battered pile can resist the same axial loads as a vertical pile of the same type and size and driven to the same elevation. The vertical and horizontal components of the load will depend upon the batter. Batter should not exceed 1:4 (horizontal to vertical). The modulus of horizontal subgrade reaction is used to design piles to resist lateral loading. The modulus of horizontal subgrade reaction increases with the depth. The following equation should be used for calculation of the modulus of horizontal subgrade reaction:
$$K_H = N_h \times \frac{Z}{D}$$
where K_h = the coefficient of horizontal subgrade reaction
 Z = depth in feet, and
 D = pile diameter in feet
 N_h = 10 ton/ft³
3. Piles placed closer than three diameters, center to center, should be evaluated to determine their reduced capacity;
4. The pile driving hammer should be operated at the manufacturers recommended stroke and speed when the "set" is measured;

5. The contractor should select a driving hammer and cushion combination which is capable of installing selected piles without overstressing the piles. The contractor should submit a pile driving plan and the pile hammer/cushion combination to the structural engineer for evaluation in advance of pile installation;
6. A representative of our office should observe and keep records of penetration resistance, pile lengths and other factors which could effect the performance of the foundation.

SLAB-ON GRADE FLOORS

The subgrade will be natural clays and or structural fill at the elevation we assumed for the floor elevation (Fig. 2). The topsoil, pavement , vegetation and organics, existing man-made fill and other deleterious materials should be removed from under the floor. Structural fill should be constructed as we recommended under "Site Preparation" section.

The vertical movement of the floor must not be restricted. Frequent control joints should be provided. The American Concrete Institute (ACI) recommends minimum joint spaces of 15 to 20 feet.

We recommend the following design and construction criteria for the slab-on-grade floors.

1. Provide 4 inches of clean gravel under the floor to act as a leveling course and to break capillary rise;
2. Slabs should be separated from exterior walls and interior bearing members with a joint which allows free movement of the slabs.
3. The slabs should be moderately reinforced with reinforcing bars or wire mesh carried through slab joints;
4. Interior backfill along foundation walls and in utility trenches should be compacted to at least 95 percent of ASTM D 698.

CONCRETE

A near surface soil sample selected for testing had 1.30 percent water soluble sulfates. This percentage of water soluble sulfates could cause severe damage to concrete exposed to the soils. We recommend Type V cement with a maximum water/cement ratio of 0.45 be used in concrete that will come in contact with the foundation soils.

SURFACE DRAINAGE

Good surface drainage is important to the performance of foundations and concrete slabs. The risk of wetting of soils below the floors can be reduced by carefully planned and maintained surface grading. We recommend the following precautions be observed during construction and at all times after the building is completed.

1. Wetting or drying of excavations should be avoided.
2. The ground surface surrounding the exterior of the building should be sloped to cause rapid run-off of surface water away from the building in all directions. Pavements adjacent to the building should be sloped to cause water to drain away from the building.
3. Interior and exterior backfill of foundation walls should be moistened and compacted to at least 95 percent of the maximum dry density determined by a standard Proctor test (ASTM D 698).
4. Plastic membranes should not be used to cover the ground surface immediately surrounding the building. These membranes tend to trap moisture and prevent normal evaporation from occurring. Geotextile fabric such as Mirafi or Tytar can be used on the ground surface immediately surrounding the building for weed growth control and allowing evaporation to occur.
5. Roof downspouts should discharge well beyond the limits of the backfill. Splash blocks or extensions should be provided at all downspout and discharge points.

LIMITATIONS

Our test holes were spaced to obtain a reasonably accurate picture of the subsurface. Variations in the surface conditions not indicated by our test holes will occur. We should observe pile driving and excavation to confirm the soils are as we anticipated from our test holes and we should observe and test fill placement.

Our report is based on conditions disclosed by our test holes, results of laboratory testing, engineering analyses and our experience. Criteria presented reflects the proposed building as we understand it. We should be advised if the final design differs from our assumptions to permit us to re-evaluate our conclusions.

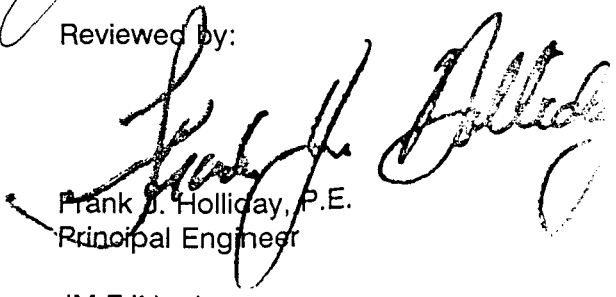
This investigation was conducted in a manner consistent with the level of care and skill ordinarily exercised by the members of our profession currently practicing under similar conditions in the locality of this project. No other warranty, express or implied, is made. If we can be of further service or if you have questions regarding this report, please call.

CTL/THOMPSON, INC.



John Mechling, P.E.
Branch Manager

Reviewed by:

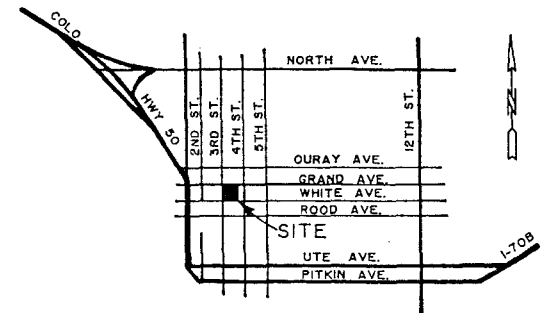
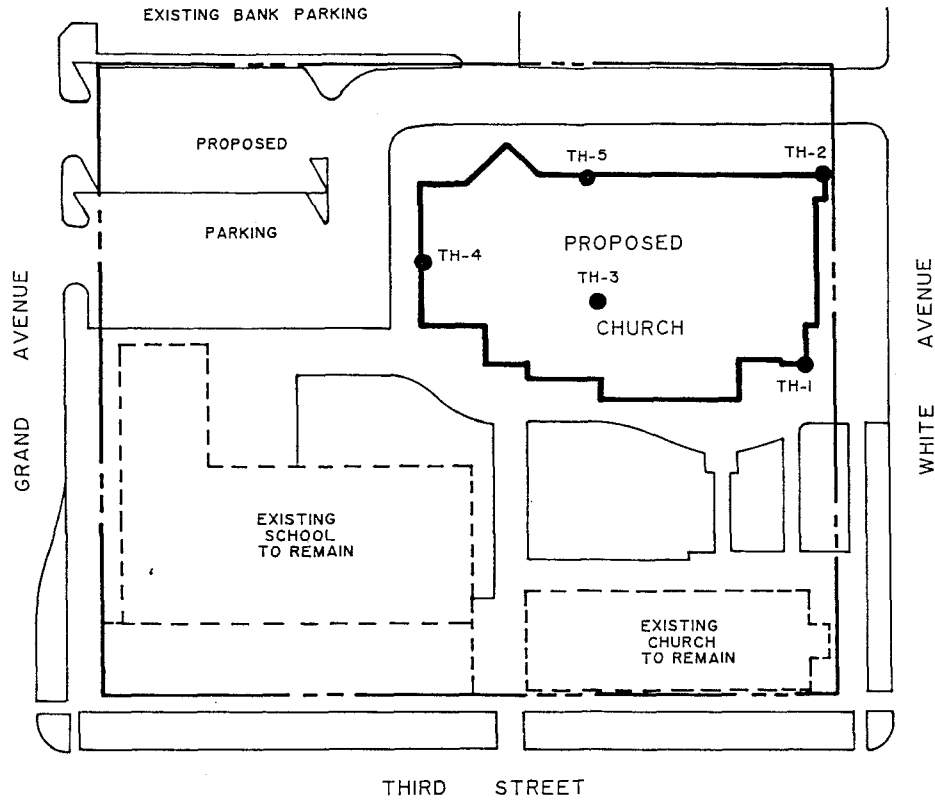


Frank J. Holliday, P.E.
Principal Engineer

JM:FJH:cd
(3 copies sent)

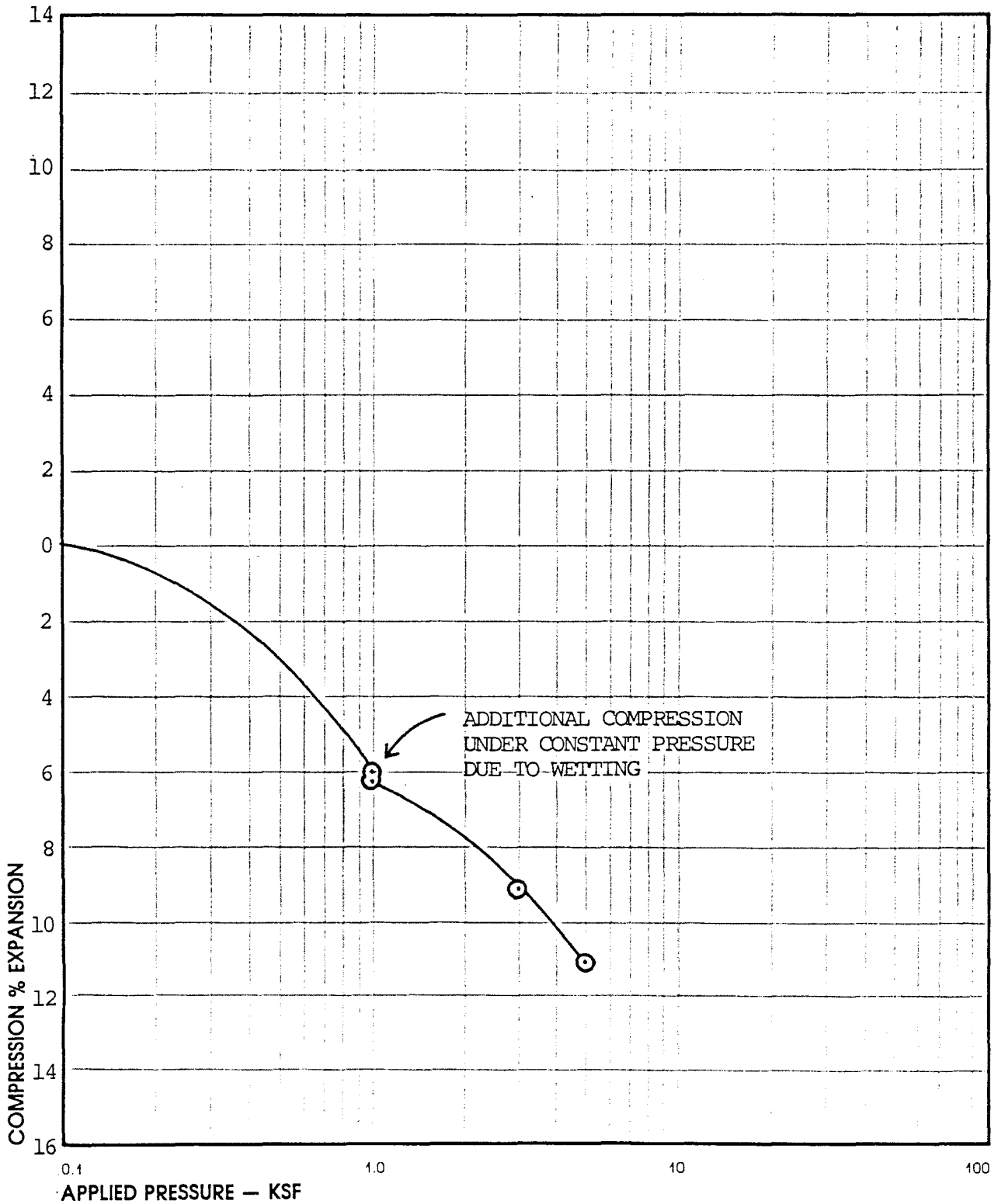
**ST. JOSEPH'S CATHOLIC CHURCH
GRAND JUNCTION, COLORADO**

SCALE: 1" = 50'



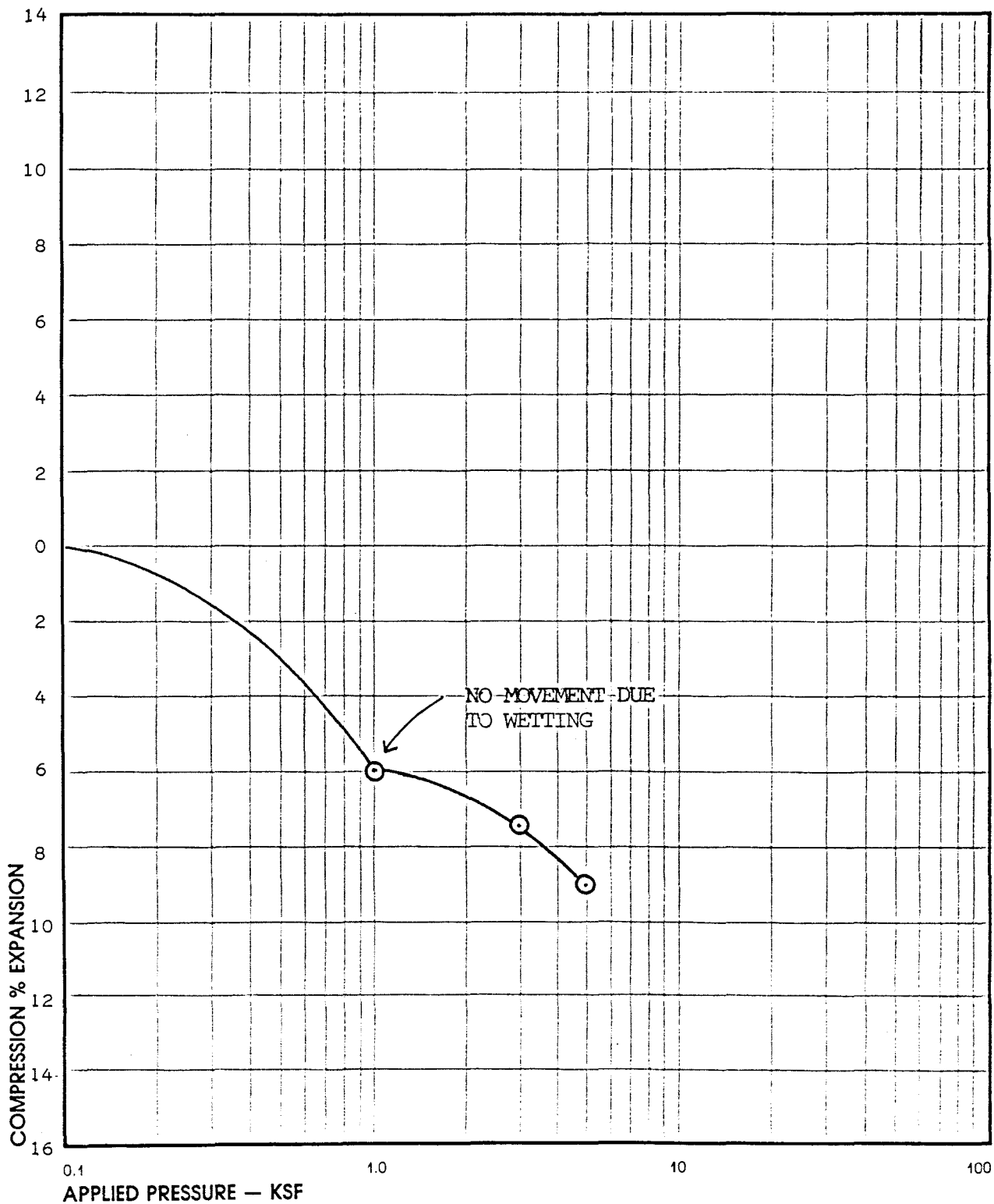
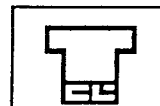
VICINITY MAP
NO SCALE

LOCATIONS OF TEST HOLES



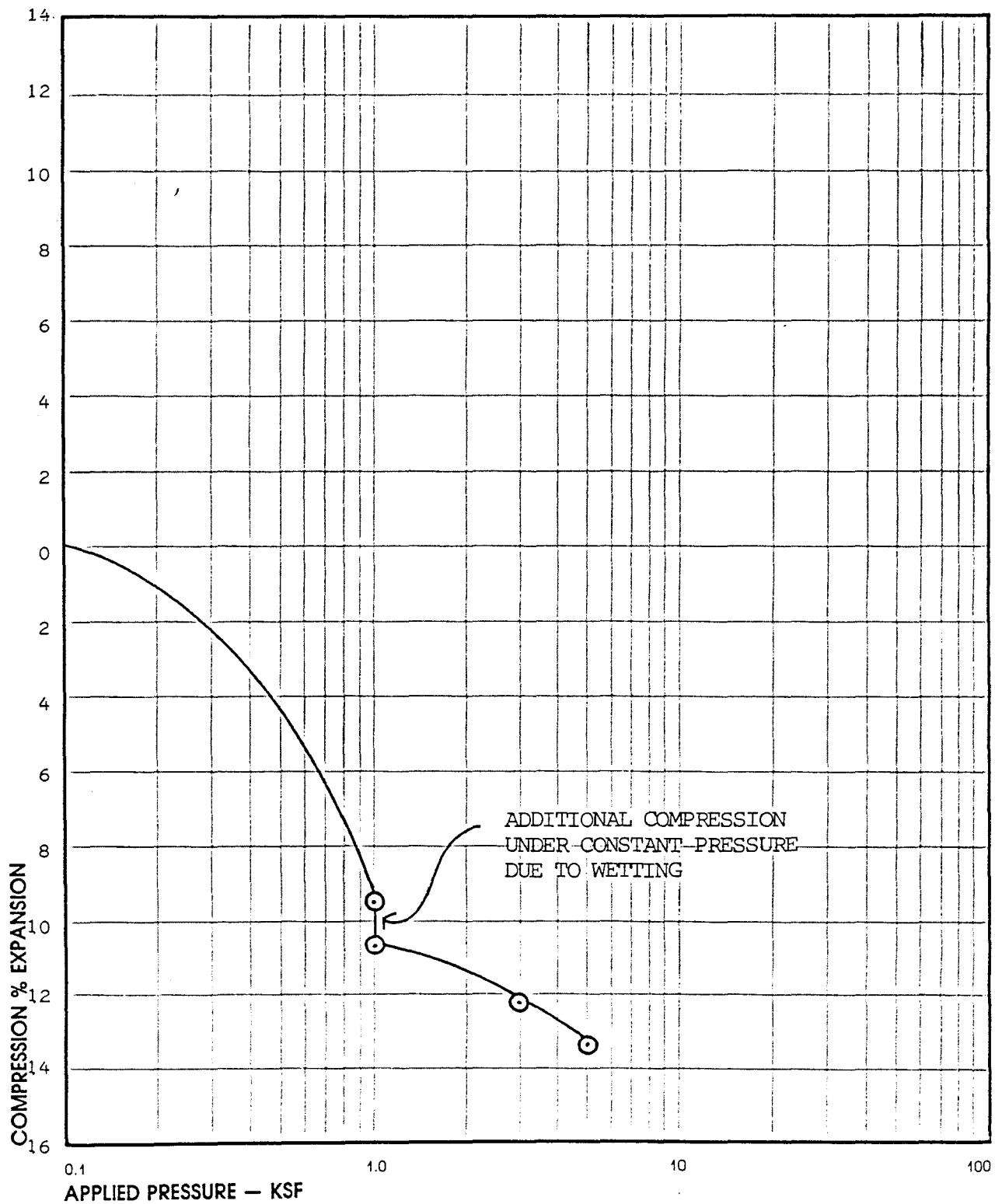
Sample of CLAY, SANDY (CL)
From TH-1 AT 4 FEET

NATURAL DRY UNIT WEIGHT = 104 PCF
NATURAL MOISTURE CONTENT = 19.4 %



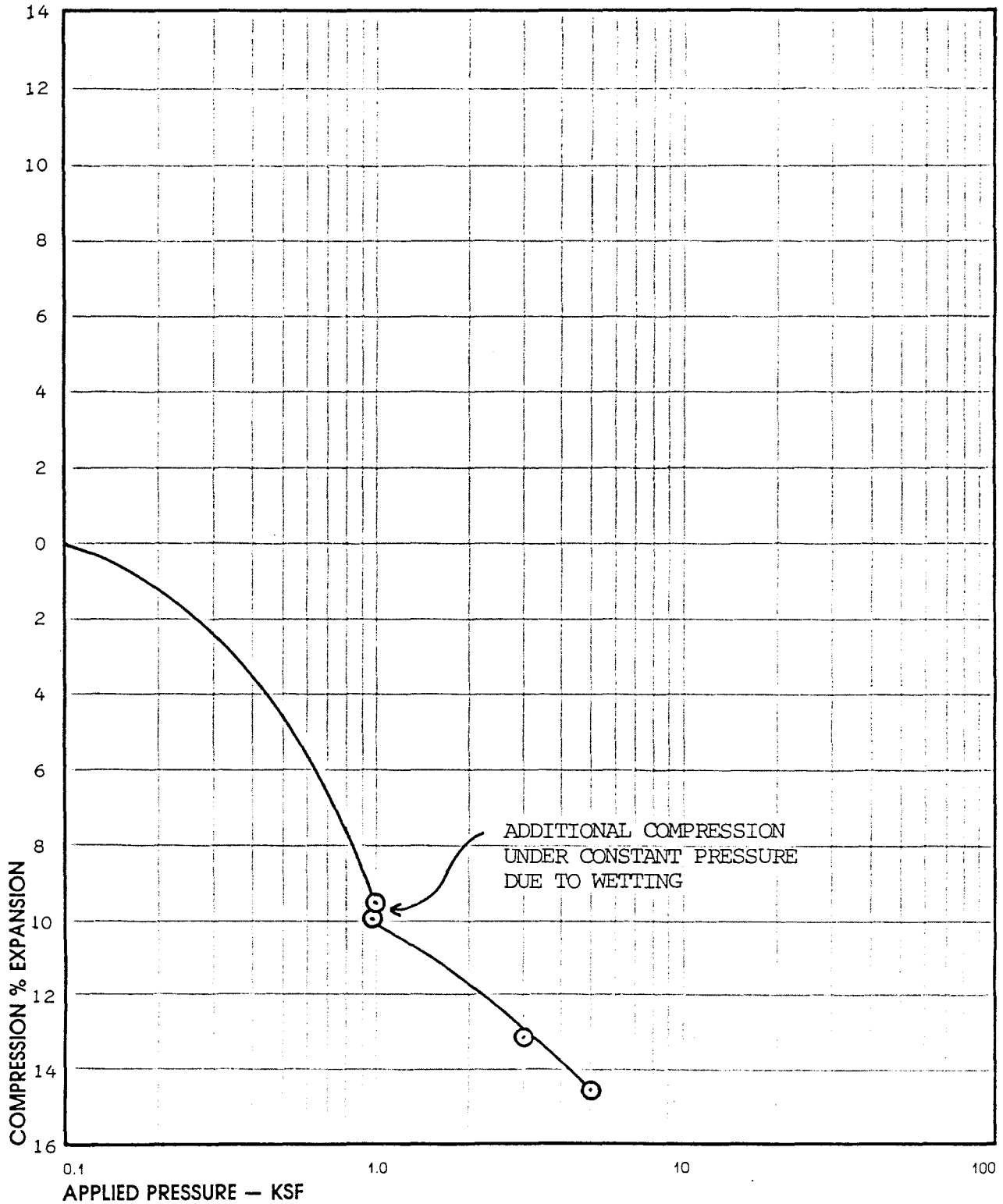
Sample of CLAY, SANDY (CL)
From TH-2 AT 4 FEET

NATURAL DRY UNIT WEIGHT = 90 PCF
NATURAL MOISTURE CONTENT = 23.4 %



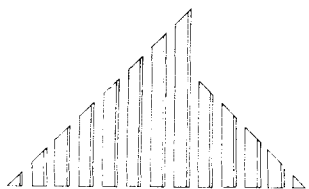
Sample of CLAY, SANDY (CL)
From TH-3 AT 9 FEET

NATURAL DRY UNIT WEIGHT = 96 PCF
NATURAL MOISTURE CONTENT = 24.3 %



Sample of CLAY, SANDY (CL)
From TH-4 AT 4 FEET

NATURAL DRY UNIT WEIGHT = 101 PCF
NATURAL MOISTURE CONTENT = 20.6 %

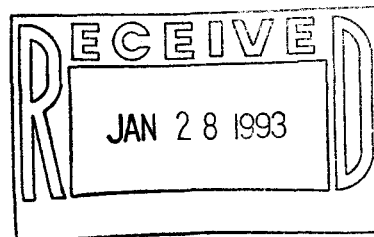


ABSTRACT & TITLE CO.
OF MESA COUNTY, INC.

Issuing Agent For:
TRANSAMERICA
TITLE INSURANCE COMPANY

January 27, 1993

Handwritten notes:
To
Dan Wilson
5/2/93



Dan Wilson, City Attorney
City of Grand Junction
City Hall
Grand Junction, CO 81501

Re: St. Joseph's Church

Dear Dan;

At the request of Teo Prinster, I am enclosing a title commitment for the property owned by the Bishop of Pueblo.

If you have any questions regarding the commitment, please give me a call.

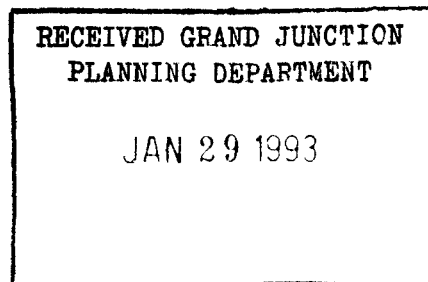
Yours truly,

Handwritten signature: G. Dale Williams

G. Dale Williams

GDW:m

cc: Teo Prinster





City of Grand Junction, Colorado
250 North Fifth Street
81501-2668
FAX: (303) 244-1599

MEMORANDUM

DATE: February 26, 1993
TO: Paul Gallasch, David Owen Tryba Architects
FROM: Don Newton, City Engineer *Don*
SUBJECT: St. Joseph's Church Parking Layout

I received your revised parking layout by FAX on February 25, 1993 and have the following comments:

1. The parking stall dimensions should be perpendicular to the stall lines. Show the parking angle on the plan.
2. The concrete wheel stops in the center of the lot should be eliminated unless there is sufficient width between them to allow for vehicle overhang.
3. The parking stall at the N.W. corner of the lot should be eliminated. It is too close to the street and fence.

xc: Kristen Ashbeck

TO: Kris Ashbeck
FROM: Don Newton
DATE: March 8, 1993
SUBJ: St. Joseph's Catholic Church

Comments on revised plans received March 2, 1993

1. Sheet G-1: The 4" P.V.C. drainage pipe between the detention area and street inlet will be the owners responsibility for maintenance. The type of pipe should be specified as SDR - 35. (minimum thickness).
- no 2. Where the new alley intersects, the sidewalk on White Avenue, there should be a slight invert (rather than crown in the alley cross-section.)

Also, the gutters should be tilted to drain away from the curbs at the sidewalk. Transition alley from crown section to invert at center as required by grades.
3. Sheet A1.0: In Note N, add the words "by owner" after the words "property line".

MEMORANDUM

RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 MAR 02 1993

TO Community Development Department
 City of Grand Junction

FROM Paul J. Gallasch *pkp*
 David Owen Tryba Architects

DATE 1 March 1993

SUBJECT St. Joseph's Catholic Church
 324 White Avenue
 Minor Subdivision, Conditional Use and Alley Vacation

The following represents the responses to the comments by various city agencies received by memorandum dated 19 February 1993 (attached).

<u>Agency</u>	<u>Response</u>
Fire Department	Alpine C.M. will submit fire alarm plans and building plans to determine fire flow requirements.
City Attorney	Parking agreement will be updated as noted and resubmitted by the Owner.
Public Service	Alley from Third Street 124.22' east will be labeled as a utility easement.
US West	The vacated portion of the alley on the east-west direction on each side of the new church will be retained as a utility easement.
City Engineer	<p><u>Plat</u> Tract A will be eliminated. The R.O.W. has been expanded east to the property line. See revise plat attached.</p> <p><u>Sheet G-1 / Grading Plan</u> All comments have been addressed by Banner and Associates, the project's consulting civil engineers. See revised Grading Plan (G-1) attached.</p> <p><u>Sheet A1.0 / Site Plan</u> The curb cut on Grand Avenue will be left as is until Grand Avenue is reconstructed in 1994. Until that time it will be signed and used as a one-way exit only. See revised parking layout.</p> <p>The existing fence along the north side of the parking lot will be relocated to the north property line prior to reconstruction of Grand Avenue (Spring, 1994).</p>

Community
Development
Department

Easement Vacation/Final Plat

All comments have been addressed. See revised Plat prepared by Banner and Associates.

Conditional Use/
Site Plan

The parking lot layout has been revised. See new Site Plan attached.

The curb cut on Grand Avenue will be left as is until Grand Avenue is reconstructed in 1994. Until that time it will be signed and used as a one-way exit only.

We feel the curb cut on Third Street will continue to be used (after the new church is constructed) by parishioners, etc. entering the grounds from adjacent parking areas across Third Street. Since part of the sidewalk will need to be replaced due to utility relocation we propose closing the alley (by new curb/gutter) and installing a HCAP flare similar to new HCAP flares on the corner of Third Street and White Avenue. This solution will still allow pedestrian traffic to enter the complex while improving the overall building site.

After construction is completed, instructions regarding circulation throughout the site will be given to those picking up students.

Parking

See revised parking layout on Site Plan.

Landscaping

The southernmost end island on the east side of the parking lot will have a planter bed. See revised Site Plan.

Please see revised Site Plan for additional detail regarding "xeriscape planter beds".

As the north side of the church will receive minimal sunlight throughout the year, our intention was not to install the same level of landscaping present in the remainder of the site. Additionally, any plantings would inhibit snow melting and therefore cause a possible hazardous situation. Masonry screen walls will be used to block views of the transformer and to surround the handicap ramp. The north side of the church has been redesigned architecturally to include windows to soften the facade.

General

- There is no signage proposed at this time.
- The improvements agreement has been revised to reflect any additional off site/landscaping improvements based upon these review comments.
- The entry on White Avenue has been redesigned so as not to encroach into the City R.O.W. A R.O.W. vacation application has been initiated to allow the original design.

xc: Steve Colony, Alpine C.M.
David Chase, Banner/Assoc.

STAFF REVIEW

FILE: 15-93

DATE: March 4, 1993

STAFF: Kristen Ashbeck

REQUEST: Easement and Alley Vacation, Conditional Use, Final Plat and Height Variance

LOCATION: 330 White Avenue

APPLICANT: St. Joseph's Catholic Church for Bishop Arthur Tafoya

EXISTING LAND USE: Church, Church School and Parking

PROPOSED LAND USE: Church, Church School and Parking

SURROUNDING LAND USE:

NORTH: Business

SOUTH: Business

EAST: Business

WEST: Business

EXISTING ZONING: Retail Business (B-3)

PROPOSED ZONING: Retail Business (B-3)

SURROUNDING ZONING:

NORTH: Retail Business (B-3) and Public Zone (PZ)

SOUTH: Retail Business (B-3)

EAST: Retail Business (B-3)

WEST: Retail Business (B-3)

RELATIONSHIP TO COMPREHENSIVE PLAN: This proposal is consistent with the following implementation policies of the Downtown Development Strategy: provide for the redevelopment of properties at levels of intensity appropriate for downtown; provide for the renovation of historic structures; support a parking system which encourages shared use and accommodates the multi-purposes of the Central Business District; and alleys will be vacated to accommodate new development provided that such vacation is necessary and the developer holds title to adjacent properties.

STAFF ANALYSIS:

Alley and Easement Vacation. The proposed vacations meet the criteria set forth in Section 8-3 of the Zoning and Development Code. A new utility easement and alley are dedicated on the plat. Existing gas and electric lines will be relocated to the new utility easement. A three-dimensional easement is dedicated under the proposed building for the existing sanitary sewer line.

Circulation and Parking. The total parking requirement per Code is 217 spaces-new church and 12 spaces-school. This is accommodated on-site (35 spaces) and through shared parking opportunities available during the peak use period of the church (Sundays). Some of the leased parking is within 200' of the site per the existing parking code (Section 5-5-1 A.) and all of it is within 500' of the site as required in the new downtown parking text amendment (approved by Council at March 3, 1993 hearing).

The revised parking layout meets Code standards. The access on Grand Avenue will not be widened until the Grand Avenue improvements are completed in the Summer of 1994. Until then, it is to be signed and used as a one-way exit only from the parking lot. The Church should still consider requiring school instructors and staff to park elsewhere so the on-site lot is left open for a play yard and for vehicles waiting to pick up students in the afternoon.

New Building Height. Per Section 5-1-6 A. of the Grand Junction Zoning and Development Code, the Planning Commission may increase the maximum height for structures in the B-3 zone by up to 25%. This does not apply to the spire as it is exempt per Section 5-1-6 C of the Code. The proposed church is to have a roof ridge line height of 47.5' -- a 19% increase above the 40' height allowed in the B-3 zone. The increase is requested for several interior design and urban design reasons (see project narrative). The new building will still conform with, without overpowering, the scale of the existing buildings in the St. Joseph's complex as well as those on surrounding parcels.

White Avenue Right-of-Way Encroachment. The original site plan submitted shows the front steps and some landscaping encroaching into the right-of-way of White Avenue by 6 feet. It was determined that this could not be allowed without vacating that portion of the right-of-way. The petitioner has submitted an application for a right-of-way vacation to be heard by the Planning Commission in April. However, the preferred plan is that originally submitted with the addition of landscaping on the east side of the steps to soften the abrupt corner which extends into the pedestrian area. This encroachment will not disturb pedestrian traffic along White Avenue as there will be 15' of sidewalk provided in front of the building and the steps do not extend far enough to disrupt use of the sidewalk ramp at the alley.

5.0000
12.5000

STAFF RECOMMENDATIONS:

1. Easement Vacation: Approval
2. Alley Vacation: Approval
3. Final Plat: Approval
4. Conditional Use and Height Variance: Approval of the revised site plan AND approval of the original site plan if the portion of the White Avenue right-of-way is approved. Any approval should be subject to the following conditions: a) all fees to be paid by the petitioner - Plant Investment, recording, and planning clearance; b) submittal of landscape and irrigation plans; c) written approval by the Fire Marshal and Building Inspector that the proposed structure meets all applicable public safety standards; and d) submittal of all original signed documents.

+ fee schedule and have to be approved and submitted
+ petitioner has to submit a site plan and a site plan
otherwise, the fee schedule is as follows
... ..

March 15, 1993



City of Grand Junction, Colorado
81501-2668
250 North Fifth Street

Mr. David O. Tryba
David Owen Tryba Architects
1601 Arapahoe Street Suite 401
Denver, Colorado 80202

Dear Mr. Tryba,

At the March 9, 1993 hearing, the Grand Junction Planning Commission recommended approval of your application for Alley/Easement Vacations, Final Plat, and Conditional Use Permit for St. Joseph's Church located at 330 White Avenue in Grand Junction. This approval is subject to the following conditions being adequately met:

1. City Council approval of the alley and easement vacations (first reading March 17, 1993 and second reading April 7, 1993).
2. Submit Landscape and Irrigation Plans and revised building elevations.
3. Address City Engineer comments dated March 8, 1993.
4. Address City Utilities Engineer comments dated February 19, 1993.
5. Provide written approval by the Fire Marshal and Building Inspector that the proposed structure with a height variance meets all applicable public safety standards.
6. Submit all original signed documents.
7. Submit revised signed parking agreements.
8. Payment of the Plant Investment Fee prior to applying for a Building Permit.

In addition to the above items, the petitioner must meet the following requirements:

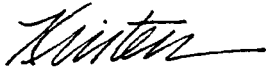
9. Submit a Letter of Credit relative to the Improvements Agreement.
10. Provide one (1) full-size mylar and one (1) 11" x 17" reduced mylar of the Site Plan.

15-93 / March 15, 1993 / 2

11. Once all City and property owner signatures have been obtained, provide two (2) full-size mylars and one (1) 11" x 17" reduced mylar of the Final Plat.
12. Provide payment for recordation of the Final Plat (\$10.00), the Site Plan (\$10.00), and the Improvements Agreement (\$45.00) made payable to Mesa County Clerk and Recorder).

Please call if you have any questions regarding these requirements.

Sincerely,



Kristen Ashbeck
Planner

xc: Steve Colony, Alpine CM.

GRAND JUNCTION CITY COUNCIL
AGENDA ITEM SUMMARY:

DATE:
STAFF:

March 17, 1993
Community Development
Kristen Ashbeck

ACTION REQUESTED:

Council approval of vacation of two utilities easements and two alleyways through the St. Joseph's Catholic Church property located on the northeast corner of Third Street and White Avenue.

EXECUTIVE SUMMARY:

The proposed vacations meet the criteria set forth in Section 8-3 of the Zoning and Development Code provided that a plat is recorded which delineates appropriate easements for the new, relocated utility services.

BACKGROUND/ISSUES/OPTIONS:

St. Joseph's Catholic Church, located on the northeast corner of Third Street and White Avenue, is proposing to construct a new church on the southeast corner of the property (currently used as a parking lot). In order to do so, the existing easement and alleyways which run through this portion of the property must be vacated and the existing utilities relocated. The petitioner has submitted a plat which dedicates a new north-south alley and a new utility easement north of the proposed building. Existing gas and electric lines will be relocated to the new utility easement. A three-dimensional easement is dedicated under the proposed building for the existing sanitary sewer line. Vacation of the easement must be conditioned on the plat being recorded.

RECOMMENDATION:

Staff recommends approval. Planning Commission recommended approval at their March 9, 1993 hearing.

OFFICE OF THE BISHOP
1001 N. Grand Avenue
Pueblo, Colorado 81003
(719) 544-9861



March 29, 1993

Mr. Bill Cheney, Utility Engineer
City of Grand Junction
250 North 5th Street
Grand Junction, Colorado 81501

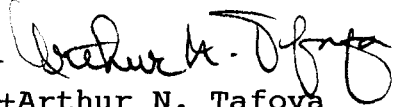
Re: St. Joseph Catholic Church, Grand Junction, Colorado

Dear Mr. Cheney:

The St. Joseph Catholic Church will install two (2) new manholes and a new PVC sewer line under the new building when it is constructed. The Roman Catholic Church recognizes that should the new line fail, a new sewer line and two (2) new manholes will have to be built around the rear of the church to maintain service to upstream users.

With this letter of commitment, the Roman Catholic Church, in the event of failure of the line below the building, agrees to pay all costs associated with relocation of a new sewer line around the church per City of Grand Junction standards. The new easement has been designed to allow room for the sewer line, should it be required.

Sincerely yours,

+ 
+Arthur N. Tafoya
Bishop of Pueblo



DEVELOPMENT APPLICATION
 Community Development Department
 250 North 5th Street Grand Junction, CO 81501
 (303) 244-1430

A Receipt _____
 Date _____
 Rec'd By _____
 File No. 15-93

We, the undersigned, being the owners of property situated in Mesa County,
 State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input checked="" type="checkbox"/> Subdivision Plat/Plan <u>1 Lot</u>	<input checked="" type="checkbox"/> Minor <input type="checkbox"/> Major <input type="checkbox"/> Resub		<u>3rd & white</u>		
<input type="checkbox"/> Rezone				From: To:	
<input type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final				
<input checked="" type="checkbox"/> Conditional Use			<u>3rd Street & white AVE</u>	<u>B-3</u>	<u>CHURCH</u>
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Text Amendment					
<input type="checkbox"/> Special Use					
<input checked="" type="checkbox"/> Vacation Alley			<u>bet. 3rd & 4th AND WHITE AVE. & GRAND AV.</u>	<u>B-3</u>	<input checked="" type="checkbox"/> Right-of-Way (Alley) <input type="checkbox"/> Easement

<input checked="" type="checkbox"/> PROPERTY OWNER	<input checked="" type="checkbox"/> DEVELOPER	<input checked="" type="checkbox"/> REPRESENTATIVE
<u>BISHOP ARTHUR TAFOYA</u>	<u>ST. JOSEPH'S CATHOLIC CHURCH</u>	<u>DAVID O. TRYBA</u>
Name	Name	Name
<u>1001 N. GRAND AVENUE</u>	<u>230 N. 3RD STREET</u>	<u>1601 ARAPAHOE ST., STE. #401</u>
Address	Address	Address
<u>PUEBLO, CO 81003-2915</u>	<u>GRAND JUNCTION, CO 81501</u>	<u>DENVER, CO 80202</u>
City/State/Zip	City/State/Zip	City/State/Zip
<u>(719) 544-9861</u>	<u>(303) 243-0209</u>	<u>(303) 629-9363</u>
Business Phone No.	Business Phone No.	Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

[Signature] Signature of Person Completing Application 4/01/93 Date

[Signature] Signature of Property Owner(s) - Attach Additional Sheets if Necessary

#15 92
1992-01-15

COLORADO NATIONAL BANK-GR. JCT 950 17TH ST., #2400 DENVER, CO 80202-2828	COLORADO NATIONAL BANK-GR. JCT. P.O. BOX 968 GRAND JUNCTION, CO 81502-0968	SHAFT I 200 GRAND AVE., #318 GRAND JUNCTION, CO 81501-7840
TWO HUNDRED GRAND PROPERTIES P.O. BOX 2564 GRAND JUNCTION, CO 81502-2564	CHAMBER OF COMMERCE-GR. JCT. 360 GRAND AVENUE GRAND JUNCTION, CO 81501-2465	JAMES R. ARNOTT PATRICIA C. 2669 PARADISE DRIVE GRAND JUNCTION, CO 81506-1714
ROBERT C. REECE TAMARA 330 GRAND AVENUE GRAND JUNCTION, CO 81501-2464	THOMAS H. NIELSEN, ETAL 8599 315 ROAD SILT, CO 81652	UNITED STATES POSTAL SERVICE 4TH & WHITE GRAND JUNCTION, CO 81501
V. DEMERCURIO 303 OURAY AVENUE GRAND JUNCTION, CO 81501-2449	MICHAEL W. MARSH 315 OURAY AVENUE GRAND JUNCTION, CO 81501-2449	LIBERTY BAPTIST COLLEGE, ETAL C/O LINDA KERR 3150 BEAR STREET COSTA MESA, CA 92626-2926
DAVID J. SINGLETARY P.O. BOX 2826 GRAND JUNCTION, CO 81502-2826	FIRST ASSEMBLY OF GOD, INC. 402 GRAND AVENUE GRAND JUNCTION, CO 81501-2534	FIRST NATIONAL BANK-G.J. C/O FBS PROPERTIES MGMT. P.O. BOX 522 MINNEAPOLIS, MN 55480-0522
ST. JOSEPHS CATHOLIC CHURCH 314 WHITE AVENUE GRAND JUNCTION, CO 81501-2454	GUS L. ELIOPOULIS, ETAL C/O ELIO ENTERPRISE 1006 RANNEY CRAIG, CO 81625-2336	UNITED STATES BANK OF GR. JCT. TRUSTEE-O O & E I TAYLOR P.O. BOX 908 #951975/176 GRAND JUNCTION, CO 81502-0908
CENTRAL BANK OF GR. JCT. C/O FBS PROPERTIES MGMT. P.O. BOX 522 MINNEAPOLIS, MN 55480-0522	THE BISHOP OF PUEBLO 1001 N. GRAND AVENUE PUEBLO, CO 81003-2915	HOME LOAN & INVESTMENTS CO. 145 N. 4TH STREET GRAND JUNCTION, CO 81501-2541
AVCO FINANCIAL SERVICES OF CO. ATTN: REAL ESTATE DEPT. 3349 MICHELSON DRIVE IRVINE, CA 92715-1606	UNITED STATES POSTAL SERVICE REGIONAL COUNSEL WESTERN REGION SAN FRANCISCO, CA 94099-0001	VALLEY FEDERAL SAVINGS & LOAN RTC-RECEIVER ATTN: K. TAYLOR 1515 ACADEMY BLVD. COLORADO SPRINGS, CO 80909-2700
REYNOLD R. REMINGTON 3337 NORTHRIDGE DRIVE GRAND JUNCTION, CO 81506-1925	WILLIAM BRUCE CARMAN 374 RODELL DRIVE GRAND JUNCTION, CO 81503-1794	ARTHUR N. TAFOYA BISHOP OF PUEBLO 314 WHITE AVENUE GRAND JUNCTION, CO 81501-2454
DWIGHT E. ESPE DOROTHY B. ESPE 249 GRAND AVENUE GRAND JUNCTION, CO 81501-7816	BISHOP OF PUEBLO GRAND VALLEY CATHOLIC OUTREACH P.O. BOX 246 GRAND JUNCTION, CO 81502-0246	ANNABELLE PITTS 578 SHOSHONE GRAND JUNCTION, CO 81504-5605

PROJECT NARRATIVE
ST. JOSEPH'S CHURCH
324 WHITE AVENUE
GRAND JUNCTION, CO

PROVIDED
BY PETITIONER

EXISTING FACILITIES AND BACKGROUND

The site presently contains the old St. Joseph's Church, Holy Family Catholic School, the Rectory, a garage/storage building and asphalt parking areas.

The school educates children in grades 4, 5 and 6. There are (2) classes of each grade, with an average school population of approximately 145 students daily. Classes start about 8:00 a.m. daily and are finished at 3:00 p.m. The school year runs from September through May. Youth groups of between 10 and 25 persons occasionally meet at the school in the evening. The school has a nursery that is utilized for small children during Sunday morning services. No changes in the school size or operation is anticipated when the proposed new church is built.

St. Joseph's Catholic Church presently has a seating capacity of approximately 400 persons. Mass is held in the church daily according to the following schedule:

Monday-Saturday	7:00-7:30 a.m. - morning mass - these are usually attended by approximately 40-45 people.
Saturday	5:30 p.m. mass
Sunday	8:00 a.m., 9:30 a.m. and 11:00 a.m. mass
Other	Weddings and funerals will be held at various times as required. Funerals during the week are usually attended by approximately 50 persons per service. Weddings are usually held on Saturdays. Weddings and funerals combined may average up to (1) service per week throughout the year.

The old church building will be retained on the site when the proposed new church is built. Longer range plans call for the old church to be converted into chapel, meeting rooms and fellowship spaces.

The two clergymen presently living in the existing rectory will be relocated to a new residence off site. The rectory and the garage will then be demolished to make room for the new church and landscaped areas. No additional living quarters are planned for the site.

THE PROPOSED NEW CHURCH AND SITE DEVELOPMENT

The proposed new church structure will be a 16,012 SF building with a balcony for seating and a basement for mechanical equipment. The church will be built on White Avenue near the southeast corner of the site. The exterior facades will be made up of ground-faced colored concrete masonry walls with precast concrete sills and beams. The roof will be pitched to compliment the existing church. Other special features will include a Bride's Room, restrooms, Sacristy, Meditation Chapel, Reconciliation Rooms, choir area, choir practice area, organ and piano. Please review the attached site and building plans for additional details.

The new church will seat 650 persons. The schedule of services will be the same as for the existing church.

The quantity of existing asphalt paving on the site will be reduced and more grass and landscaped areas will be provided.

Traffic flow into and off the site will be improved with the proposed site plan. A drive will enter the site from White Avenue on the south. The drive will route traffic to the parking lot north of the new church and out an exit on Grand Avenue.

DRAINAGE

Historic drainage from the site will be reduced with construction of the new church. A major portion of the runoff on site and from roof drainage for the new church will be directed to a depressed grass area, which will then be piped to an adjacent catch basin.

SITE UTILITIES/ALLEYS

The proposed new church will rest on the site above an existing utility easement and alley right-of-way (R.O.W.).

We propose to relocate the alley R.O.W. to the east side of the site along the new entrance drive. The remaining portion of the alley R.O.W. will be vacated.

We propose to grant a new east/west utility easement across the rear of the new church and connect to the existing easement on each side of the new church. The overhead electric and buried gas lines will be re-routed underground around the rear of the new church. Removing the overhead utilities will visually improve the area.

The existing utility easement below the new church will not be vacated. We propose to install a new sewer manhole on each side of the church and install a new 8" C900 (waterline pipe) sewer line below the church to replace the existing 6" claypipe sewer line. The church will be constructed on piling and concrete grade beams, so no adverse loads will be placed on the sewer line.

BUILDING HEIGHT OF NEW CHURCH

We respectfully offer these primary objectives for the new St. Joseph's Church to the City of Grand Junction Planning Commission to allow variation from the established standards.

The ridge line (center) of the proposed building extends beyond the maximum allowable height range (40'-0") by 7'-6". We are petitioning allowance of the increased height for the following reasons:

The design objective was to match the profile and slope of the existing church for a more architecturally compatible complex.

Due to increased width to accommodate the larger congregation the overall height of the roof is increased. The roof height is at an absolute minimum to accommodate the proposed balcony seating of 200 and allow for emergency egress and minimum building code compliance for head room at the stairs.

The suggested height increase is compatible with the surrounding area and usage and will not cause any adverse impact in terms of blocked light, views, or loss of privacy.

The proposed increase in height equates to an increase in 13,000 cubic feet, less than 2% of the total volume of the entire church.

This additional space is also intended to increase the drama of the worship area and enhance its architectural character.

BUILDING COVERAGE/OPEN SPACE

The following calculations show the percentages of building coverage and open space on the site: (Building square footage is footprint only)

AREA	SQ. FT.	%
Total Property	73,573	100%
New Church	12,300	16.7%
Existing Church	4,831	6.5%
Existing School	14,932	20.3%
Parking/Drive	17,737	24.1%
Open Space	23,773	32.3%

ADJACENT LAND USE/ZONING

The present zoning on the site and on each adjacent block is 'B-3' (business) with the exception of the post office property at the northeast corner of 3rd Street and Grand Avenue. It is zoned

'PZ' (Public zone).

The attached map identifies the land uses for the adjacent areas.

FLOODPLAIN ANALYSIS

We have reviewed the November 1976 edition of Flood Hazard Information, Colorado River & Tributaries, Grand Junction, CO. Based on information on plate 31, sheet 344, the site is not located within the 100 year or 500 year floodplain.

GAMMA RADIATION SURVEY

Prior to obtaining a building permit for the new church, we will contact the Colorado Department of Health for a Gamma Radiation Survey.

SOILS REPORT

A copy of the subsurface soils report is included in this package.

IMPROVEMENTS GUARANTEE

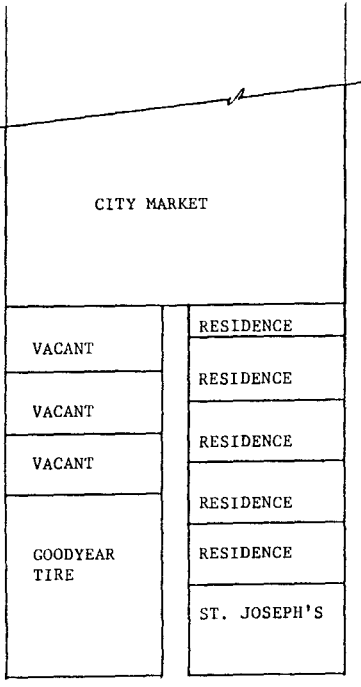
An improvements guarantee will be provided in the form of a letter of credit from a local bank prior to applying for a building permit.

DEVELOPMENT SCHEDULE

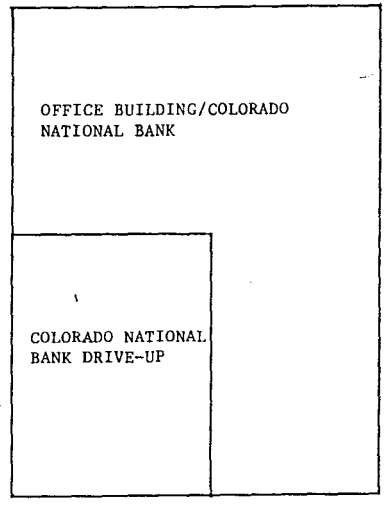
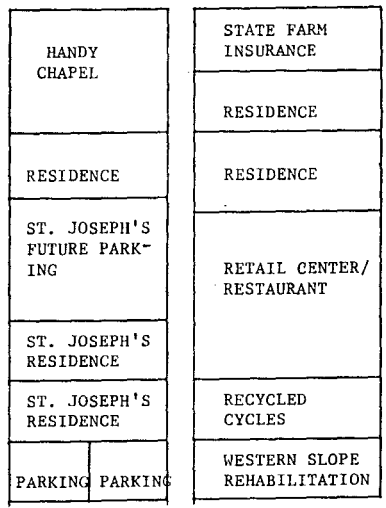
The following is the proposed construction schedule for the new St. Joseph's Church:

February 1993 - Grant new easement to utility companies
March 1993 - Start utility relocation
April 12, 1993 - Approximate construction start date
April-October 1993 - Building construction
April-October 1993 - Landscape and sitework
November 1, 1993 - Building/sitework complete

26

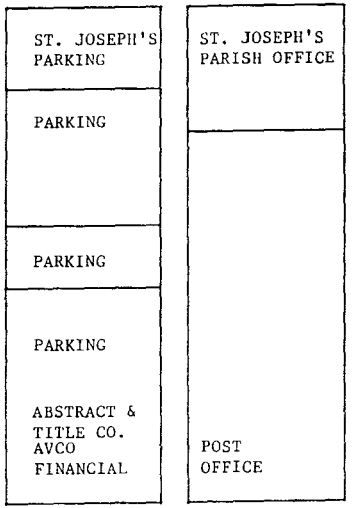


2ND STREET

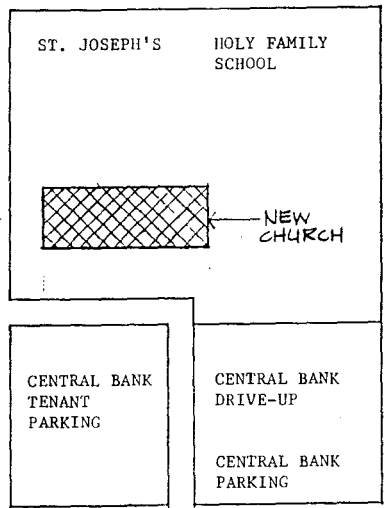


3RD STREET

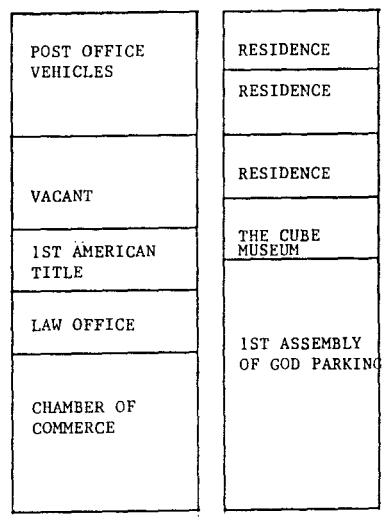
ROAD AVE.



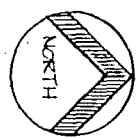
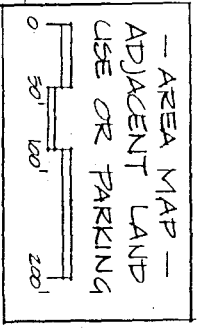
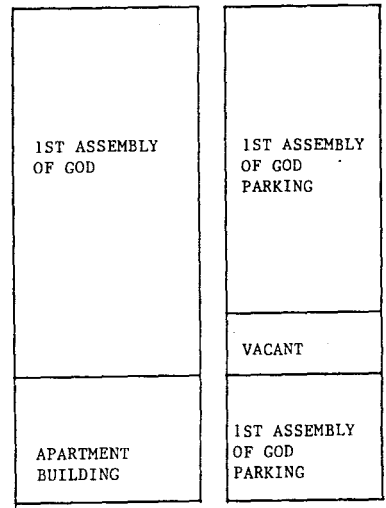
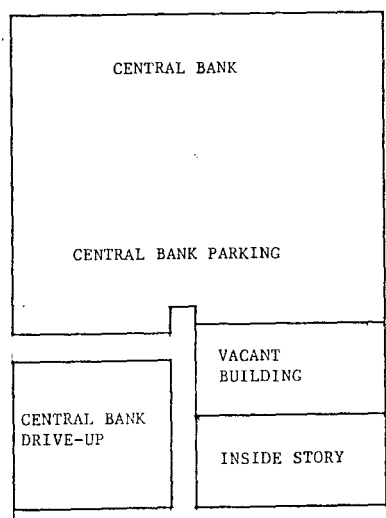
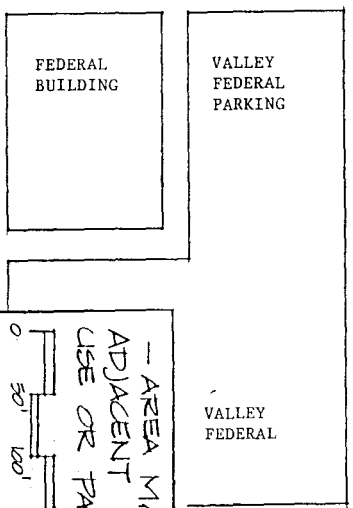
WHITE AVE.



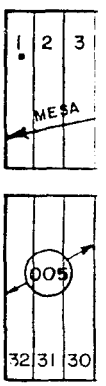
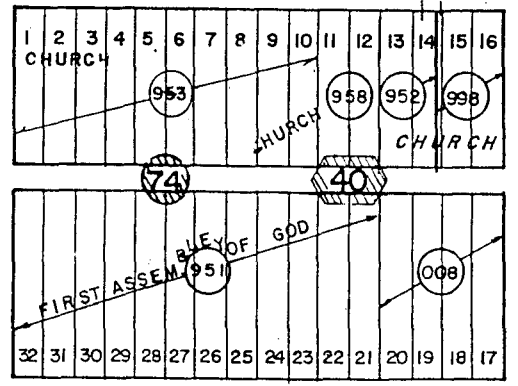
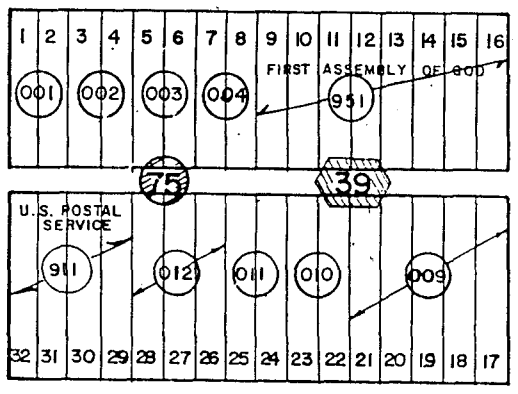
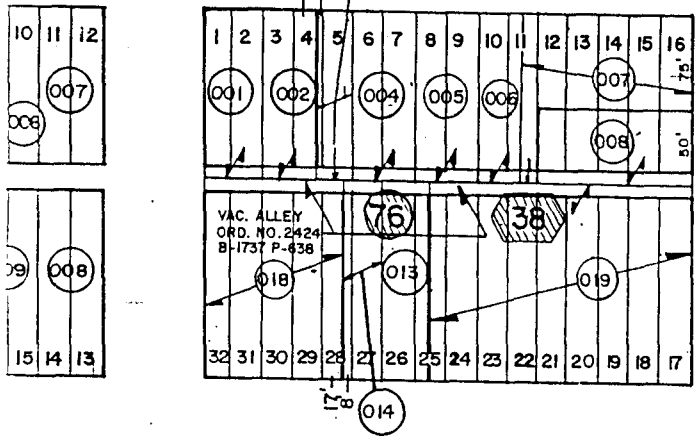
GRAND AVE.



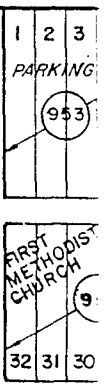
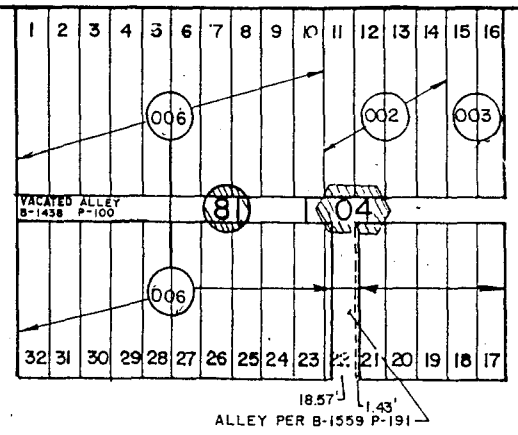
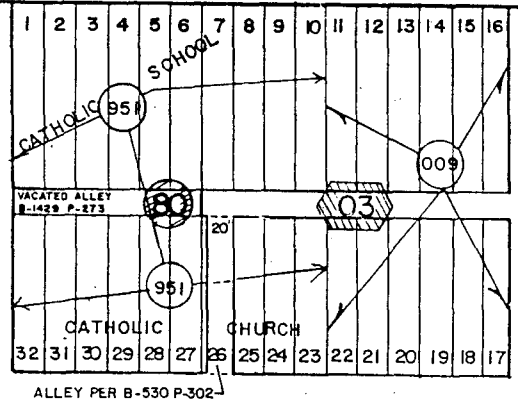
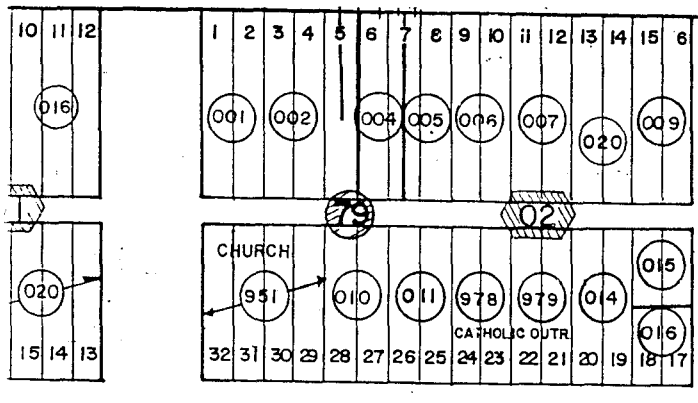
4TH STREET



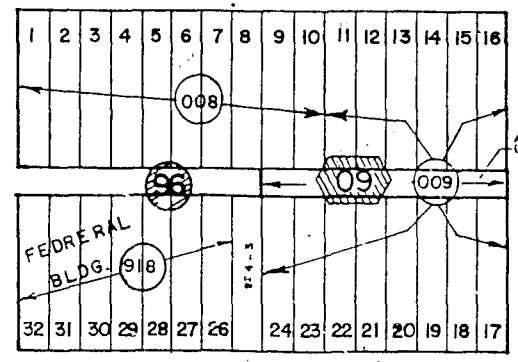
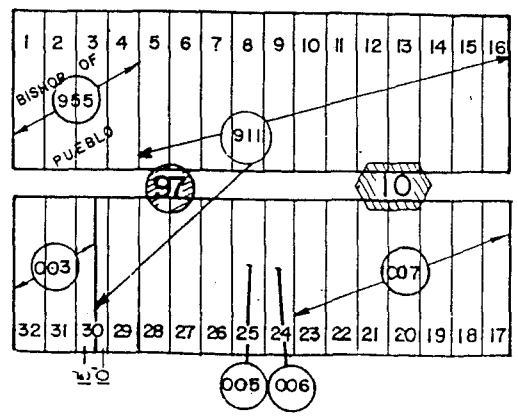
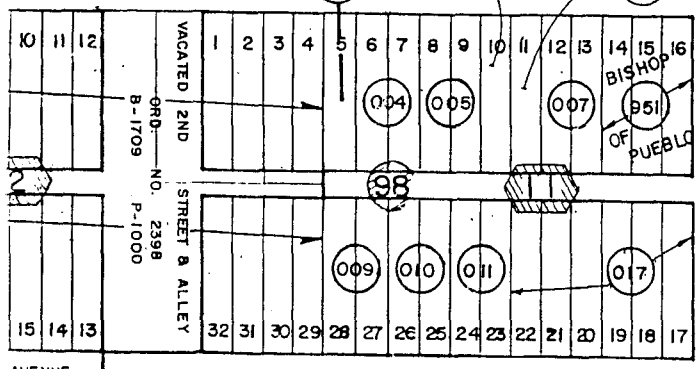
5TH STREET



GRAND AVE.



WHITE



ROAD

AVENUE 2398

PARKING NARRATIVE
ST. JOSEPH'S CATHOLIC CHURCH
324 WHITE AVENUE
GRAND JUNCTION, COLORADO

PARKING REQUIRED

During the week, the school is required to have two (2) parking spaces per classroom. The school has six (6) classrooms X two (2) spaces = 12 required spaces for school activities.

The parish office on the corner of 3rd Street and White Avenue has two (2) parking lots to handle church business during the week.

The new church will seat 650 persons for Sunday mass. Base on a requirement of one (1) parking space per three (3) seats a minimum of 217 spaces is required.

PARKING SPACE AVAILABLE

The following parking spaces are available at all times on church owned property: (Please refer to the attached map for parking lot locations.)

Parking on site adjacent to the new church and the school: 39 spaces

Parish office parking and parking lot south of parish office: 34 spaces

Parking at St. Joseph's old convent property: 5 spaces

Parking at St. Joseph's property located on the 200 block of White Avenue: (This parking is not fully developed at this time, but plans are to complete the work soon.) 50 spaces

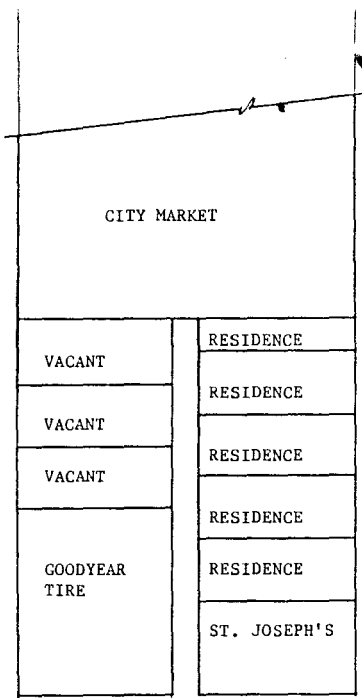
Total St. Joseph's owned parking spaces available weekdays: 128 spaces

The following on-street parking spaces are within one (1) block of the new church and are based on a 75% factor to account for other uses:

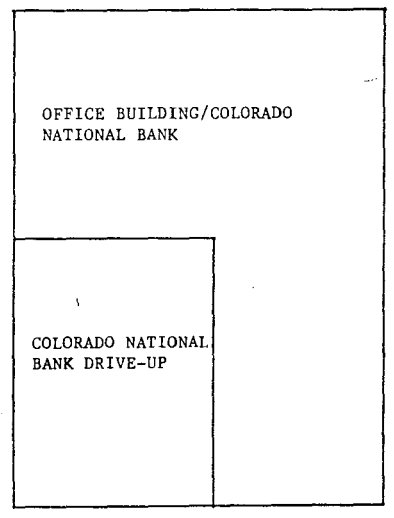
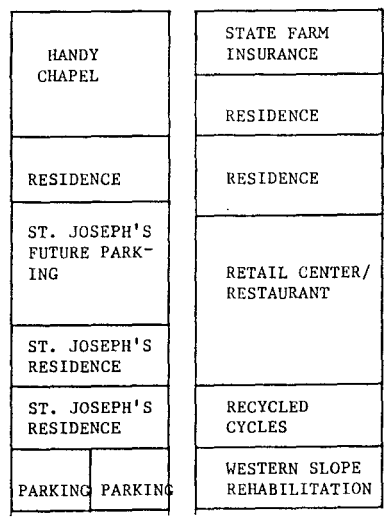
136 total spaces X .75 = 102 spaces

The following commercial property parking lots are available to St. Joseph's Catholic Church for weekend use based upon the attached agreements: (Please refer to the attached map for parking lot locations.)

Central Bank-Grand Junction:	143 spaces
Colorado National Bank-Grand Junction:	174 spaces
Home Loan & Investment Co.:	<u>31 spaces</u> [?] <i>on map</i>
Total spaces available on weekends:	578 spaces

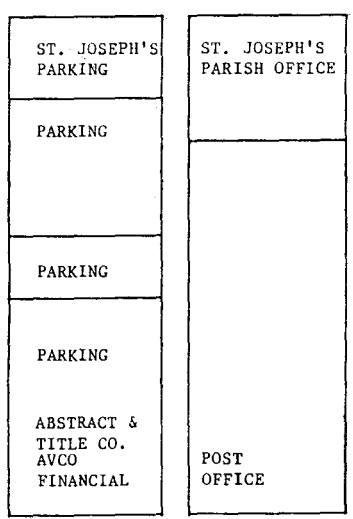


2ND STREET

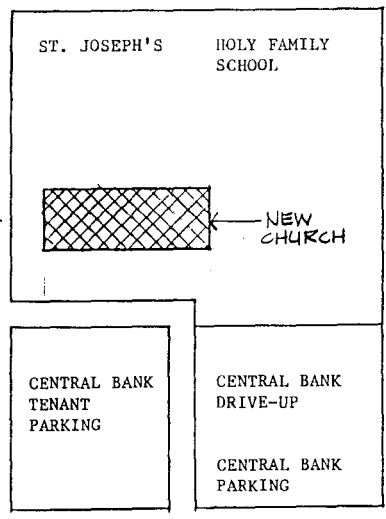


3RD STREET

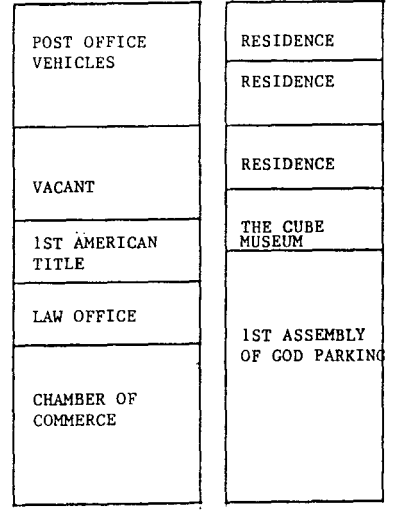
ROOD AVE.



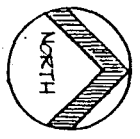
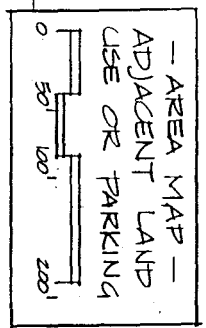
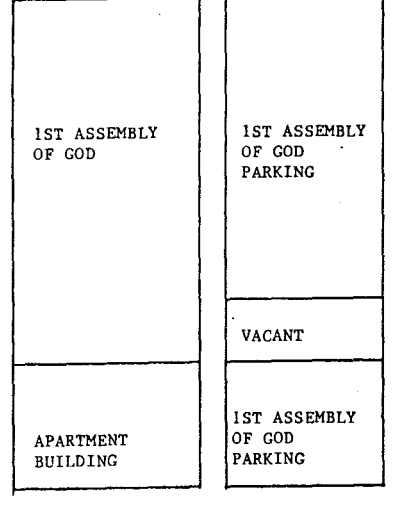
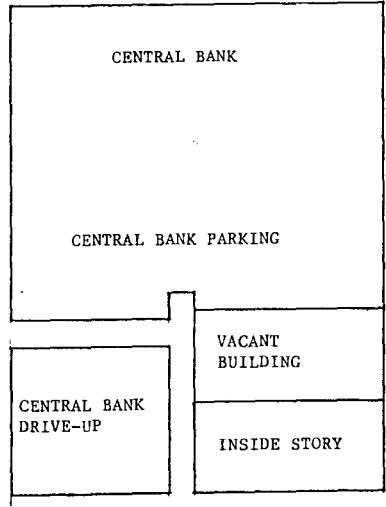
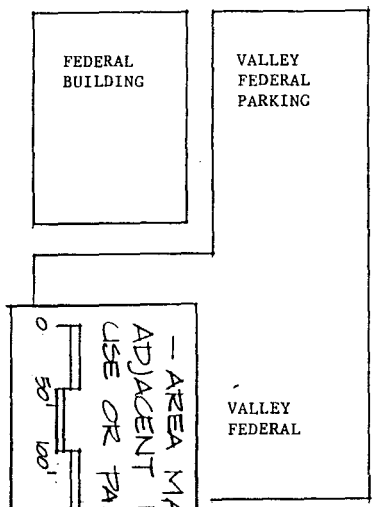
WHITE AVE.



GRAND AVE.



4TH STREET



5TH STREET

AGREEMENT

THIS AGREEMENT is between ST. JOSEPH'S ROMAN CATHOLIC CHURCH, a party, and COLORADO NATIONAL BANK-GRAND JUNCTION, a party. The parties hereby agree that ST. JOSEPH'S ROMAN CATHOLIC CHURCH shall be able to sue the parking lot known as 200 Grand Avenue, Grand Junction, Colorado with its parking spaces on Saturday after 5:00 p.m. and on Sunday. During these periods of time, Colorado National Bank-Grand Junction would not be using the spaces. This Agreement is to take effect as of February 1, 1993, and will remain in effect until February 1, 1998. ST. JOSEPH'S ROMAN CATHOLIC CHURCH, in consideration of the use of the parking spaces as set for above, agrees to pay Colorado National Bank-Grand Junction the sum of \$1.00 per year.

The parties agree that if this Agreement is going to be modified or terminated, that notice of this modification or termination will be given by certified mail to the City of Grand Junction, ninety (90) days prior to any modification or termination, addressed as follows:

Attention Community Development Director
City of Grand Junction
250 North 5th Street
Grand Junction, Colorado 81501

Dated this 29th day of January, 1993.

ST. JOSEPH'S ROMAN CATHOLIC CHURCH

By: John J. Cortez

COLORADO NATIONAL BANK-GRAND JUNCTION

By: Michael J. ...

AGREEMENT

THIS AGREEMENT is between ST. JOSEPH'S ROMAN CATHOLIC CHURCH, a party, and CENTRAL BANK-GRAND JUNCTION, a party. The parties hereby agree that ST. JOSEPH'S ROMAN CATHOLIC CHURCH shall be able to use the parking lot known as 422 White Avenue, Grand Junction, Colorado with its parking spaces on Saturday after 5:00 p.m. and on Sunday. During these periods of time, Central Bank-Grand Junction would not be using the spaces. This Agreement is to take effect as of February 1, 1993, and will remain in effect until February 1, 1998. ST. JOSEPH'S ROMAN CATHOLIC CHURCH, in consideration of the use of the parking spaces as set for above, agrees to pay Central Bank-Grand Junction the sum of \$1.00 per year.

The parties agree that if this Agreement is going to be modified or terminated, that notice of this modification or termination will be given by certified mail to the City of Grand Junction, ninety (90) days prior to any modification or termination, addressed as follows:

Attention Community Development Director
City of Grand Junction
250 North 5th Street
Grand Junction, Colorado 81501

Dated this 29th day of January, 1993.

ST. JOSEPH'S ROMAN CATHOLIC CHURCH

By: John Costanzo

CENTRAL BANK-GRAND JUNCTION

By: Regina Allen President

AGREEMENT

THIS AGREEMENT is between ST. JOSEPH'S ROMAN CATHOLIC CHURCH, a party, and HOME LOAN & INVESTMENT CO., a party. The parties hereby agree that ST. JOSEPH'S ROMAN CATHOLIC CHURCH shall be able to use the parking lot known as 145 North 4th Street, Grand Junction, Colorado with its parking spaces on Saturday after 5:00 p.m. and on Sunday. During these periods of time, Home Loan & Investment Co. would not be using the spaces. This Agreement is to take effect as of February 1, 1993, and will remain in effect until February 1, 1998. ST. JOSEPH'S ROMAN CATHOLIC CHURCH, in consideration of the use of the parking spaces as set for above, agrees to pay Home Loan & Investment Co. the sum of \$1.00 per year.

The parties agree that if this Agreement is going to be modified or terminated, that notice of this modification or termination will be given by certified mail to the City of Grand Junction, ninety (90) days prior to any modification or termination, addressed as follows:

Attention Community Development Director
City of Grand Junction
250 North 5th Street
Grand Junction, Colorado 81501

Dated this 29th day of January, 1993.

ST. JOSEPH'S ROMAN CATHOLIC CHURCH

By: John Costanzo

HOME LOAN & INVESTMENT CO.

By: Mon. Duplissac Pres.

SUBDIVISION SUMMARY FORM

City of Grand Junction

TYPE OF SUBMISSION

Preliminary Plan _____
Final Plat/Plan X

Subdivision Name: ST. JOSEPH'S CATHOLIC CHURCH Filing _____

Location of Subdivision: TOWNSHIP 1.S. RANGE 1.W. SECTION 14 1/4 SW

UTE MERIDIAN

Type of Subdivision	Number of Dwelling Units	Area (Acres)	% of Total Area
() SINGLE FAMILY	_____	_____	_____
() APARTMENTS	_____	_____	_____
() CONDOMINIUMS	_____	_____	_____
() MOBILE HOME	_____	_____	_____
() COMMERCIAL	<u>N.A.</u>	<u>1.70</u>	<u>100</u>
() INDUSTRIAL	<u>N.A.</u>	_____	_____

ALLEY Street	<u>0.07</u>	<u>4.1</u>
Walkways	_____	_____
Dedicated School Sites	_____	_____
Reserved School Sites	_____	_____
Dedicated Park Sites	_____	_____
Reserved Park Sites	_____	_____
Private Open Areas	_____	_____
Easements	<u>0.17</u>	<u>10.2</u>
Other (specify) PROPOSED BUILDING	<u>0.28</u>	<u>16.6</u>

Estimated Water Requirements OVERALL SITE USAGE FOR WATER gallons/day.
AND SEWER UNCHANGED

Proposed Water Source _____

Estimated Sewage Disposal Requirement _____ gallons/day.

Proposed Means of Sewage Disposal _____

813 92

FRED A. WEBER
P.O. BOX 2000 5026
GRAND JUNCTION, CO 81502
PH 244-1822, 244-1823

APRIL 1, 1993

REVIEW NO. SB-16-93

REPLAT OF
LOTS 1 TO 10 INCLUSIVE,
LOTS 23 TO 32 INCLUSIVE,
AND ALLEY, ALL OF BLOCK 80
CITY OF GRAND JUNCTION
MESA, COUNTY, COLORADO

PETITIONER: BISHOP ARTHUR TAFOYA
230 N. 3RD ST.
GRAND JUNCTION, CO
PH: 243-0209

SURVEYOR: WALLACE E. BEEDLE
Banner Associates, Inc.
2777 Crossroads Blvd.
Grand Junction, CO 81506

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

APR 02 1993

THE FOLLOWING ISSUES NEED TO BE RESOLVED PRIOR TO RECORDING
THE PLAT:

1. DEDICATION:
 - a. Course 1: Should N 01° 55' 59" W be N 01° 55' 59" E?
 - b. The designation of the replat as Lot 33 of Block 80 may confuse references to the replat. Please, consider using notation such as Lot A so that the original lot and block designation are not easily confused with the new designations.
2. TITLE:
 - a. A concise and descriptive title is required instead of the lengthy reference shown in the title block. This title should also be shown at the top of the plat.
 - b. The section, township, range and meridian are required in the title block.
3. The alley shown on Lot 26 should be referenced by the Book and Page shown on the Assessor's map (Bk530, Pg 302).
- 4. A copy of the deed showing current ownership is required.
5. A benchmark is required.

PLEASE, CALL IF WE CAN BE OF ASSISTANCE.

title insurance sufficient?

SINCERELY,
FRED WEBER *K.S.*
COUNTY SURVEYOR

cc: City of Grand Junction Community Development

GRAND JUNCTION FIRE DEPARTMENT

FIRE FLOW SURVEY
GPM REQUIRED

No: C12-93

Establishment St. Joseph's Church Date 4-20-93

Location 300 Blk White Ave. Contactee Alvin C. Stone 245-2505

- 1. A. Type of construction Type III - The Catholic Church
- B. Ground floor area 12,007 sq ft
- C. Height and number of stories 48 ft 1 #
- D. Total floor area (if needed) 12,007 sq ft
- E. Required fire flow to nearest 250 gpm; shall not be less than 500 nor more than,
 - 1. 8000 for W/F, H/T, or ordinary construction
 - 2. 6000 for F/R, N/C, or a normal 1 story building of any type construction2,000 GPM

- 2. Occupancy type Low Hazard - Church
Credit or charge not to exceed 25%
Judgment 25% 500 GPM
Subtotal 1,500 GPM

- 3. Credit up to 50% of subtotal in item #2 if fully sprinklered. When F/R or N/C construction & low fire hazard, credit up to 75% (with water & valve supervision)
Judgment 10% / A GPM
Subtotal _____ GPM

- 4. Add surcharge to item #2 for exposures within 150' (consider all sides but do not exceed 75% of item #2)

Front	<u>10</u>	%
Left	<u>10</u>	%
Right	<u>5</u>	%
Rear	<u>10</u>	%

 Judgment + 35% 525 GPM
Subtotal 2,025 GPM

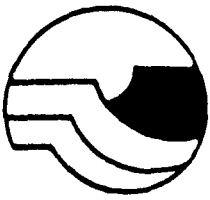
5. Summation of #2-#3(if any)+#4(if any) Subtotal _____ GPM

6. Consider notes 1 thru 10 Subtotal _____ GPM

7. Total required fire flow (nearest 250 gpm and not to exceed 12000) Total 2,000 GPM

Show sketch plan, notes, & computations on back by Bennett

Existing fire protection utilities are adequate.



Mesa County Public Works Department
Building Inspection Division

750 Main Street • P.O. Box 20000 • Grand Junction, Colorado 81502-5005 • Ph. (303) 244-1631

May 10, 1993

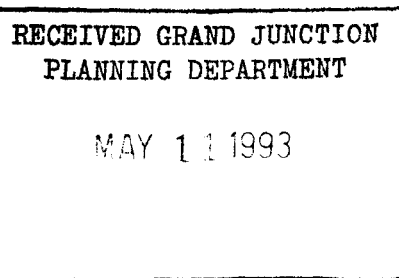
To Whom It May Concern:

We have approved the building plans for the St. Joseph's Catholic Church to be constructed at 330 White Avenue. The drawings show a maximum height of 48' which is in line with Uniform Building Code requirements.

Please contact me at 244-1656 if you need more information.

Sincerely,

Robert L. Lee
Assistant Building Official



ACCESS AGREEMENT

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
JUN 14 1993

between Central Bank Grand Junction, N.A. and Alpine C.M., Inc.

Alpine C.M., Inc. has requested that Central Bank Grand Junction, N.A. agree to the proposed changes to the sewer service to the Bank's Drive-up facility as indicated on the attached Site Plan, Scope of Work and Proposed Schedule. (Exhibit "A"). Central Bank Grand Junction, N.A. agrees to the work proposed on the Exhibit "A" upon the following conditions:

1. Access to Central Bank Property. All work to be completed on the Bank's Property must be completed during hours when the drive-up facility is closed and the work must be completed in such a manner as to not interfere with the Bank's parking lot or drive-up operation. Hours of work are to be co-ordinated with the Bank President, Doug Aden. Access to the parking lot is restricted to the time necessary for Alpine C.M., Inc. to complete the proposed work.

2. Alpine C.M., Inc. will, prior to their access to the Property, provide Central Bank Grand Junction, N.A. with the following documents:

- 1. Certificates of Insurance - Liability and Workers Compensation.
- 2. Copy of Permit from the City of Grand Junction to complete work as proposed.

3. Alpine C.M., Inc. agrees that this work is to be completed at no expense to the Bank and the Bank shall be held harmless for any and all liability related to this project. Alpine C.M., Inc. further agrees that the work will comply with all local codes and requirements and that Central Bank will be provided with a copy of the Final Inspection as completed by the City of Grand Junction and the one year guarantee as required by the City of Grand Junction.

4. Alpine C.M., Inc. will, prior to access to the Central Bank's property, provide Central Bank with copies of all lien waivers and bonds that will protect the Central Bank from any exposure or liability toward the costs of this project.

CENTRAL BANK GRAND JUNCTION, N.A.

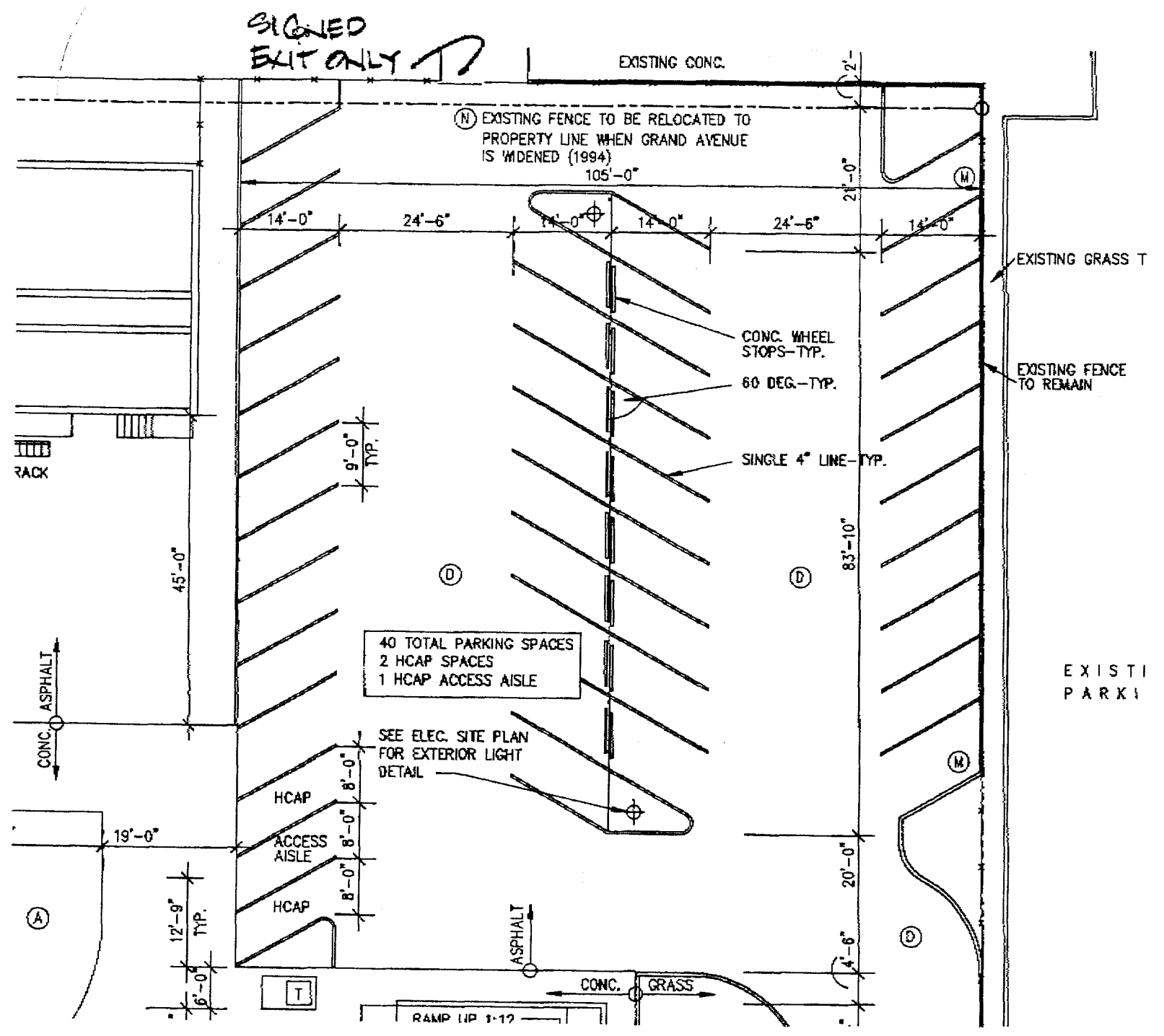
By: Douglas E. Aden
Douglas E. Aden, President

Date: 6-14-93

ALPINE C.M., INC.

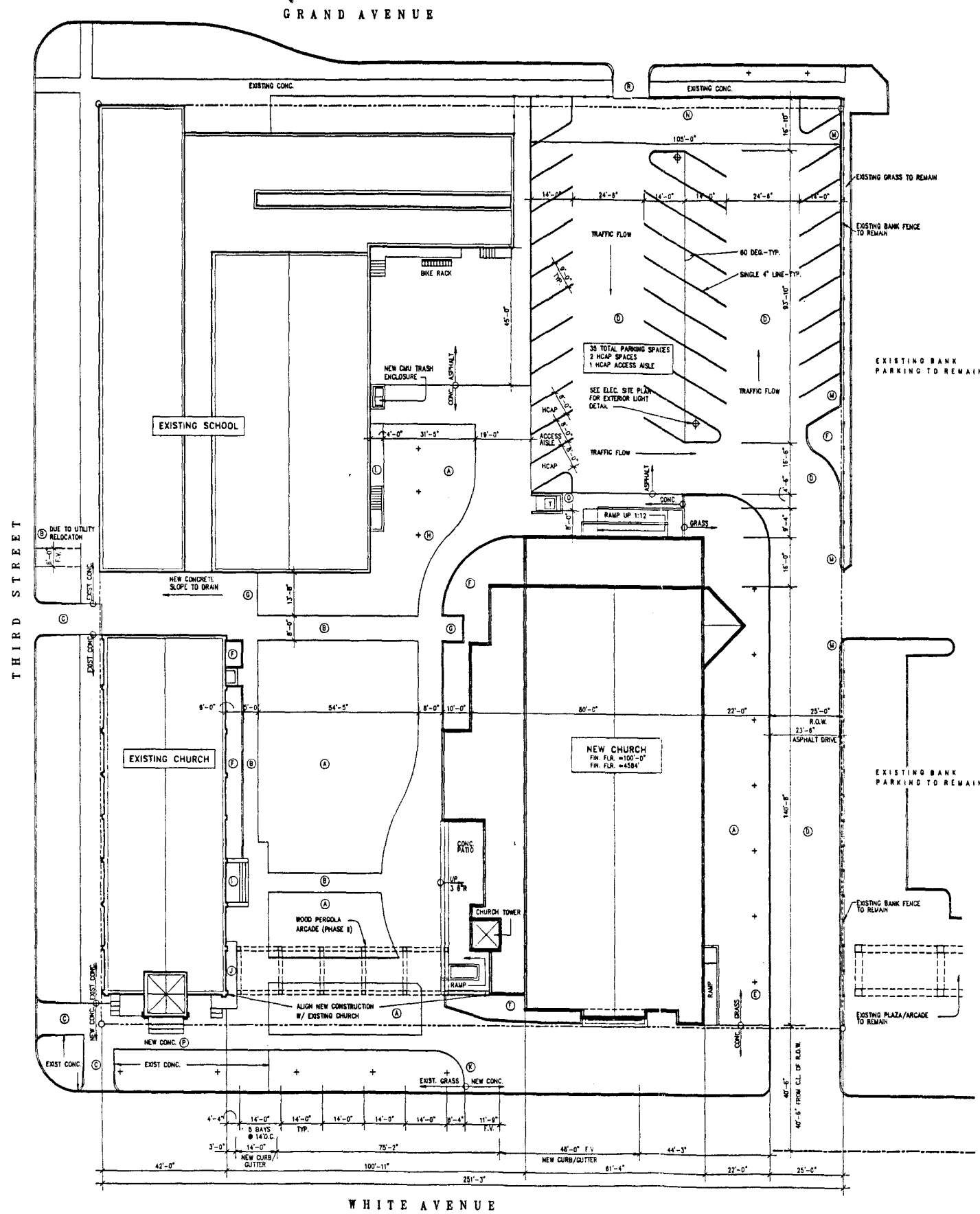
By: V. Kevin Nourse
(Name and Title)
V. KEVIN NOURSE, PRESIDENT

Date: June, 14, 1993



ST. JOSEPH'S SITE PLAN.
 REVISED PARKING LAYOUT.
 25 FEB 93.
 1" = 20'-0"

DAVID OWEN TRYBA ARCHITECTS
 1601 Arapahoe St., Denver, Colorado
 8 0 2 0 2



SITE PLAN NOTES

1. ALL CONCRETE FLAT WORK SHALL SLOPE AWAY FROM THE BUILDING AT A SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
 2. ALL CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY ARE TO BE ACCORDING TO THE CITY OF GRAND JUNCTION STANDARDS.
 3. PROVIDE EXPANSION JOINTS (E.J.) AND CONSTRUCTION JOINTS (C.J.) WHERE ALL NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION. SEE DRAWINGS.
 4. COORDINATE STAGING AREAS, STORAGE AREAS, CONSTRUCTION FENCING REGULATIONS, AND VEHICLE ACCESS REQUIREMENTS WITH THE CITY OF GRAND JUNCTION.
 5. SEE SPECIFICATIONS AND GENERAL NOTES (SHEET A0.0) FOR ADDITIONAL INFORMATION.
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING GRADING AND COORDINATING NEW GRADING REQUIREMENTS.
 7. SEE LANDSCAPE AND IRRIGATION DRAWINGS FOR NEW LANDSCAPE WORK.
 8. ALL EXISTING TREES, H/C RAMPS AND CONCRETE TO REMAIN UNLESS NOTED OTHERWISE.
- (A) NEW GRASS AREA TO BE IRRIGATED W/CITY OF GRAND JUNCTION WATER
 (B) NEW CONCRETE WALK IN ACCORDANCE W/CITY OF GRAND JUNCTION STANDARDS
 (C) NEW HCAP RAMP/CURB CUT IN ACCORDANCE W/CITY OF GRAND JUNCTION STANDARDS
 (D) EXISTING ASPHALT TO RECEIVE NEW 2" ASPHALT TOPPING AND STRIPING IN ACCORDANCE W/CITY OF GRAND JUNCTION STANDARDS
 (E) 1 NEW IMPERIAL HONEY LOCUSTS 2" CAL. @21' O.C. 1ST TREE: 14'-0" NORTH OF SOUTH PROP. LINE AND 27'-8" WEST OF EAST PROP. LINE
 (F) NEW PLANTER BED: INFORMAL GROUPINGS OF ONE OR MORE OF THE FOLLOWING:
 SAN JOSE JASMINE-4" DIAMETER
 SNOW MOUNTAIN SPirea-4" DIAMETER
 GOLDEN VICARY PRIVE-5" DIAMETER
 OSTREA PLUM-4" DIAMETER
 GOLD DROP POTENTILLA-3" DIAMETER
 (G) FUTURE STATUARY
 (H) 3 NEW SPRING SNOW FLOWERING CRAB TREES 3" CAL. @4' O.C. 1ST TREE: 17'-0" EAST OF EXIST. SCHOOL BUILDING ALIGNED WITH NORTH EDGE OF NEW CHURCH
 (I) NEW EXT STAIRS AND FUTURE HCAP RAMP (PHASE II)
 (J) EXISTING RAMP TO REMAIN UNTIL PHASE II
 (K) REMOVE EXIST GRASS 8'-4" EAST OF EASTERN MOST TREE ON WHITE STREET LANDSCAPE STRIP. REPLACE W/NEW CONCRETE/CURB AND OUTTER TO NEW ENTRY DRIVE AT EAST PROPERTY LINE.
 (L) NEW CONC. WALK, TO INTO EXIST. STAIRS
 (M) NEW CONC. CURB, TO INTO EXIST. IN ACCORDANCE W/CITY OF GRAND JUNCTION STANDARDS
 (N) EXISTING FENCE TO BE RELOCATED TO PROPERTY LINE WHEN GRAND AVENUE IS WIDENED (1994)
 (O) CMU SCREEN WALL W/PRECAST CAP
 (P) NEW CONCRETE WALK REQUIRED BY INSTALLATION OF UNDERGROUND DRAINAGE PIPE-SEE GRADING PLAN AND NEW HCAP ACCESS RAMPS
 (Q) SIGNED "ONE-WAY" "EXIT ONLY"

**S. T. JOSEPH'S
CATHOLIC CHURCH**
GRAND JUNCTION, COLORADO

**DAVID OWEN TRYBA
ARCHITECTS**

ISSUE: _____ DATE: _____
CONSTRUCTION DOCUMENTS 1 MARCH 1993

JOB NUMBER: 9112.0
SHEET TITLE: SITE PLAN
SHEET NUMBER: _____



A1.0

REPLAT OF LOTS 1 TO 10 INCLUSIVE, LOT 23 TO 32 INCLUSIVE, AND ALLEY, ALL OF BLOCK 80, CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

CLERK AND RECORDER'S CERTIFICATE

State of Colorado)
 County of Mesa) ss
 I hereby certify that this Replat of Lots 1 to 10 Inclusive, Lots 23 to 32 Inclusive, and Alley, all in Block 80 of the City of Grand Junction, Mesa County, Colorado, was filed for record in the office of the County Clerk and Recorder of Mesa County at _____ o'clock _____ M., on this _____ day of _____ A.D., 1993, Page _____ Reception Number _____

Clerk and Recorder _____

Deputy _____

CITY APPROVAL

This Replat of Lots 1 to 10 Inclusive, Lots 23 to 32 Inclusive, and Alley, all in Block 80 of the City of Grand Junction, Mesa County, Colorado, was approved and accepted on this _____ day of _____ A.D., 1993.

City Manager _____

Chairman, Grand Junction City Planning Commission _____

President of Council _____

City Planner _____

Grand Junction City Engineer _____

City Community Development Director _____

CERTIFICATE OF OWNERSHIP AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS that the Saint Joseph's Roman Catholic Church being the sole owner of record of Lots 1 through 10 Inclusive, Lots 23 through 32 Inclusive, the vacated alley (Book 1429, Page 273) adjacent to the area shown on the plat herein, the east 20 feet of Lot 26, all in Block 80 of the City of Grand Junction, Mesa County, Colorado as shown on the plat recorded in Book 4 Page 17 of the records of the Mesa County Clerk and Recorder's Office do hereby replat said property into Lot 33, and vacated alley as shown in the plat herein and more particularly described as follows:

DESCRIPTION OF LOT 33, AND ALLEY TOGETHER.

Beginning at the southwest corner of Lot 32 which is identical with the southwest corner of Block 80 which is located in a part of the SW 1/4 of Section 14, Township 1 South, Range 1 West, 10th Meridian;

1. Thence N 0° 00' 00" W, 293.45 feet;
2. Thence S 89° 00' 44" E, 232.24 feet;
3. Thence S 0° 00' 00" W, 293.06 feet;
4. Thence W 87° 09' 13" W, 232.25 feet to the Point of Beginning.

The tract so described above contains 1704 acres more or less and includes Lot 33 with 1.621 acres more or less, and the new alley with 0.083 acres more or less all as shown in the plat herein.

Said Owner does hereby vacate existing alleys and utility easements in accordance with the plat shown herein and does hereby dedicate to the City of Grand Junction for the use of the Public hereto these portions of said real property which are labeled UTILITY EASEMENTS in the plat shown herein as perpetual easements for installation and maintenance of utilities and drainage facilities, including but not limited to electric lines, gas lines, water lines, sewer lines, and telephone lines together with the right to run, install, place and brush with the perpetual right of ingress and egress for the installation and maintenance of such utilities.

Said Owner does hereby dedicate to the City of Grand Junction for the use of the Public forever that easement labeled 3 Dimensional Sewer Easement in the plat shown herein for the installation and maintenance of a sewer line together with the perpetual right of ingress and egress for the purpose of installation and maintenance of said sewer line.

Streets, roads, and alleys shown on the plat herein are hereby dedicated to the City of Grand Junction forever for the use of the Public.

All such easements and rights shall be utilized in a reasonable and prudent manner.

SAMT JOSEPH'S ROMAN CATHOLIC CHURCH

By
 Bishop Arthur Tefoye
 Pueblo, Colorado

ACKNOWLEDGEMENT OF OWNERSHIP

State of Colorado)
 County of Mesa) ss

On this the _____ day of _____, 1993, personally appeared Bishop Arthur Tefoye who acknowledged to me that he executed the foregoing Certificate of Ownership and Dedication for Saint Joseph's Roman Catholic Church for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal.

My commission expires _____

Notary Public _____

Address _____

NOTES:

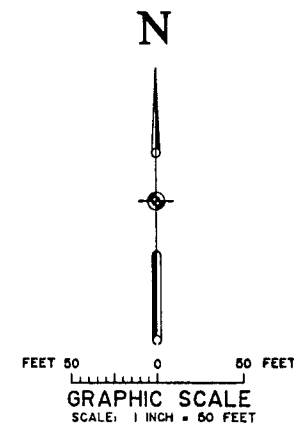
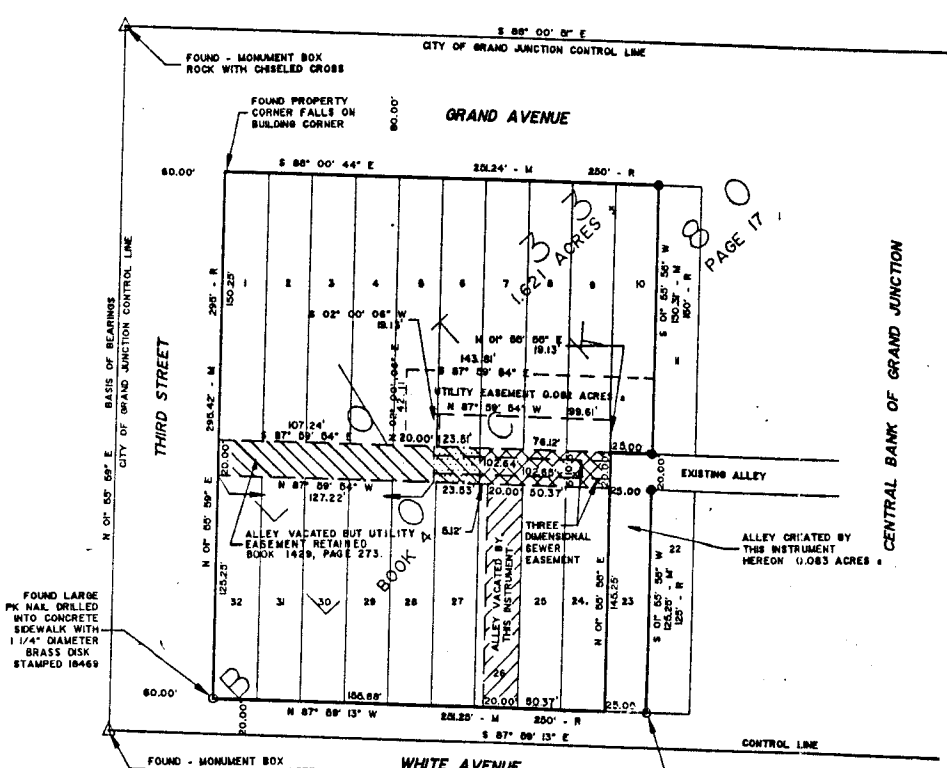
1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
2. BASIS OF BEARING - THE CITY OF GRAND JUNCTION CONTROL LINE ON 3RD STREET BETWEEN GRAND AVENUE AND WHITE AVENUE MARKED BY A MONUMENT AS SHOWN HEREON AT EACH END AND HAVING A BEARING OF N 0° 00' 00" E WHICH IS BASED ON CITY OF GRAND JUNCTION, Q.L.S.
3. ZONING: B3
4. SET BACKS:
 REAR AND SIDE = 0 FEET UNLESS ABUTTING RESIDENTIAL AND THEN SET BACK IS 10 FEET.
 FRONT: 25 FEET FROM CENTERLINE OF WHITE AVENUE, 45 FEET FROM CENTERLINE OF GRAND AVENUE.
 5. THE THREE DIMENSIONAL SEWER EASEMENT IS AN UNDERGROUND CORRIDOR WITH HORIZONTAL LOCATION AND DIMENSIONS AS SHOWN IN THE PLAT HEREON AND WITH THE TOP LIMIT OF THE EASEMENT BEING A HORIZONTAL PLANE WITH AN ELEVATION OF 4578.85 AND THE BOTTOM LIMIT OF THE EASEMENT BEING A HORIZONTAL PLANE WITH AN ELEVATION OF 4573.55.

SURVEYOR'S CERTIFICATE

I, Wallace E. Beadie, a Professional Land Surveyor licensed under the laws of the State of Colorado do hereby certify that the Replat of Lots 1 to 10 Inclusive, Lots 23 to 32 Inclusive, and Alley, all of Block 80, City of Grand Junction, Mesa County, Colorado, shown herein and the said survey from which it was prepared were made under my immediate supervision and conform to applicable requirements of the Zoning and Development Code of the City of Grand Junction and also applicable State laws and requirements, and to the best of my knowledge and belief are true and correct.

IN WITNESS WHEREOF, I hereunto affix my hand and official seal this _____ day of _____ A.D., 1993.

Wallace E. Beadie
 Wallace E. Beadie
 L.S. 20632



LEGEND

- FOUND IN PLACE, 5/8" REBAR WITH YELLOW PLASTIC CAP MARKED, 1415
- FOUND IN PLACE AS DESCRIBED
- △ CITY OF GRAND JUNCTION CONTROL POINT
- R = DIMENSIONS OF RECORD
- M = DIMENSIONS MEASURED THIS SURVEY
- ▨ ALLEY VACATED BY PREVIOUS INSTRUMENT (BOOK 1429, PAGE 273) BUT UTILITY EASEMENT IS RETAINED
- ▩ ALLEY VACATED BY PREVIOUS INSTRUMENT (BOOK 1429, PAGE 273) AND UTILITY EASEMENT IS VACATED HEREON
- ▧ ALLEY VACATED HEREON
- ▣ ALLEY AND UTILITY EASEMENT VACATED HEREON

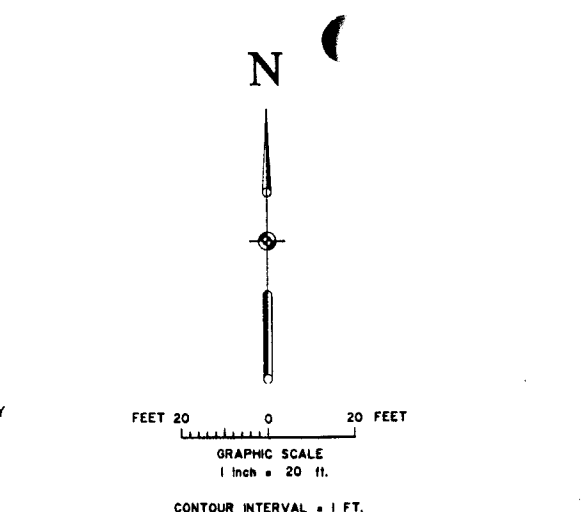
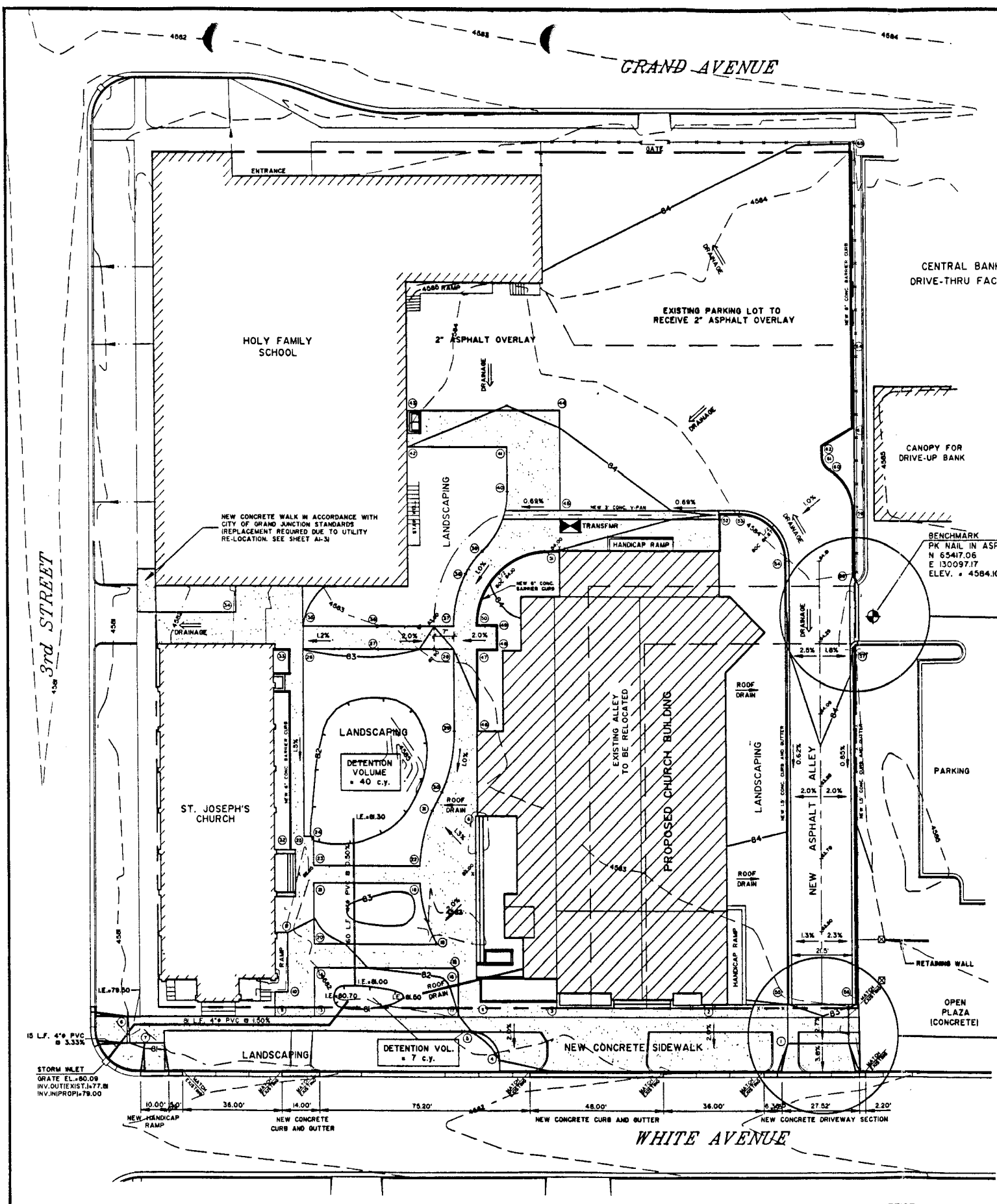
RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 MAR 02 1993

EASEMENT RESEARCH WAS CONDUCTED BY ABSTRACT AND TITLE CO. OF MESA COUNTY, INC.

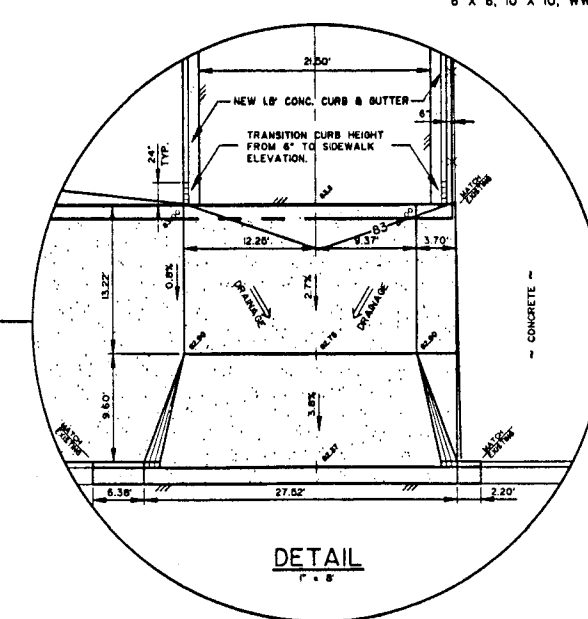
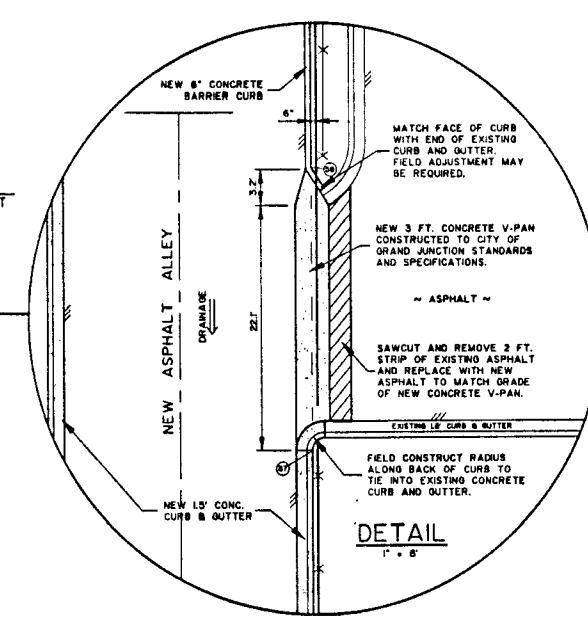
REPLAT OF
 LOTS 1 TO 10 INCLUSIVE,
 LOTS 23 TO 32 INCLUSIVE,
 AND ALLEY, ALL OF BLOCK 80
 CITY OF GRAND JUNCTION
 MESA COUNTY, COLORADO

BANNER ASSOCIATES, INC.
 GRAND JUNCTION, COLORADO

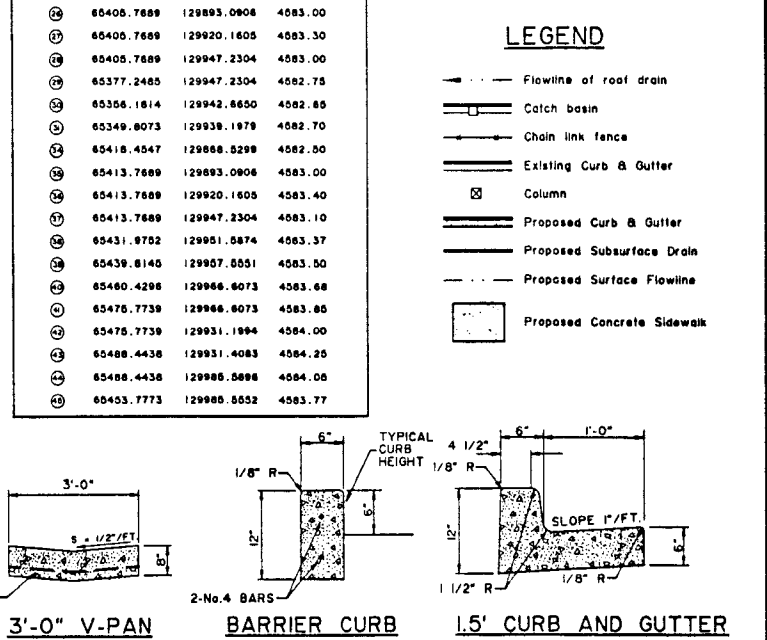
SCALE: 1" = 50'	JOB NO: 8284-02	DATE: 1-29-93	SHEET NO: 1 of 1
--------------------	--------------------	------------------	---------------------



TOPOGRAPHIC INFORMATION BASED ON SITE SURVEY PERFORMED BY WESTERN ENGINEERS DATED MARCH 30, 1992.



SIDEWALK STAKEOUT INFORMATION				TOP BACK OF CURB STAKEOUT INFORMATION			
POINT	NORTHING	EASTING	ELEVATION	POINT	NORTHING	EASTING	ELEVATION
1	65270.0328	130065.8358	4582.95	21	65336.2424	129887.6073	4582.65
2	65282.0908	130036.2304	4582.77	22	65405.3232	129887.6073	4583.55
3	65282.0907	129983.2305	4582.48	23	65377.2485	129955.7304	4583.40
4	65284.1043	129982.8028	4582.00	24	65405.2688	129955.7304	4583.70
5	65274.1043	129952.5528	4582.00	25	65405.2688	129982.7772	4583.80
6	65347.9152	129954.5638	4582.90	26	65414.2688	129982.7772	4583.80
7	65270.0328	129834.8762	4580.80	27	65414.2688	129955.7329	4583.70
8	65279.1043	129828.5710	4581.00	28	65439.4152	129981.2304	4584.50
9	65279.1043	129881.8311	4581.38	29	65482.8773	130043.0770	4584.54
10	65287.4963	129886.8815	4581.66	30	65452.2773	130049.9367	4584.09
11	65284.2135	129905.8118	4582.25	31	65436.2772	130065.9367	4584.61
12	65307.7954	129886.6484	4582.00	32	65285.2485	130065.9367	4583.47
13	65279.1043	129886.8201	4581.80	33	65405.8232	130090.3805	4584.50
14	65295.9189	129896.8201	4581.77	34	65431.2688	130090.3805	4584.75
15	65295.9189	129946.8168	4582.40	35	65403.8888	130090.3783	4584.87
16	65294.3827	129946.1073	4582.36	36	65467.8087	130082.3704	4585.02
17	65279.0939	129946.1073	4582.00	37	65472.8301	130078.5582	4585.10
18	65324.8649	129934.8712	4582.80	38	65475.8808	130078.5582	4585.13
19	65303.9378	129940.8026	4582.50	39	65482.1241	130090.3696	4585.25
20	65303.9378	129896.8201	4581.88	40	65510.9914	130090.3588	4585.35
21	65324.8649	129896.8201	4582.20	41	65580.7293	130090.3362	4584.67
22	65330.8649	129934.8712	4582.90				
23	65330.8649	129896.8201	4582.20				
24	65340.8910	129896.8201	4582.00				
25	65340.8910	129893.0906	4582.00				
26	65405.7689	129893.0906	4583.00				
27	65405.7689	129920.1605	4583.30				
28	65405.7689	129947.2304	4583.00				
29	65377.2485	129947.2304	4582.75				
30	65356.1814	129942.8650	4582.85				
31	65349.8073	129939.1979	4582.70				
32	65418.4547	129888.8298	4582.00				
33	65413.7689	129883.0906	4583.00				
34	65413.7689	129920.1605	4583.40				
35	65413.7689	129947.2304	4583.10				
36	65431.8752	129951.0874	4583.37				
37	65439.8140	129907.8551	4583.50				
38	65480.4298	129896.8073	4583.68				
39	65475.7739	129896.8073	4583.85				
40	65475.7739	129931.1994	4584.00				
41	65488.4438	129931.4083	4584.25				
42	65488.4438	129886.8088	4584.08				
43	65453.7773	129886.8052	4583.77				



- GENERAL NOTES:
- ALL CONSTRUCTION FOR THE ALLEY RECONSTRUCTION AND SIDEWALK ALONG WHITE AVENUE, INCLUDING HANDICAP RAMPS AND DRIVEWAY CUT, SHALL BE IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.
 - CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS TO PERFORM REQUIRED WORK IN PUBLIC RIGHT-OF-WAY.
 - ALL CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE UNDERLAID WITH A MINIMUM OF AT LEAST 4" OF AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF AASHTO T-180 MAXIMUM DENSITY.
 - ALL DRIVEWAY CONCRETE (APRON AND SIDEWALK CROSSING) SHALL BE 6" THICK AND UNDERLAID WITH A MINIMUM OF 6" AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% AASHTO T-180 MAXIMUM DENSITY.
 - EXPANSION JOINTS SHALL BE PROVIDED IN ALL CURB, GUTTER AND SIDEWALKS AT BOTH ENDS OF INTERSECTION CURVES AND AT EDGES OF DRIVEWAY SECTIONS. CONTRACTION JOINTS SHALL BE PROVIDED IN CURB, GUTTER AND SIDEWALK AT A SPACING OF 10 FEET.
 - VEHICULAR TRAFFIC SHALL BE KEPT OFF NEW CONCRETE FOR A MINIMUM OF SEVEN DAYS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
 - TWO COATS OF APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE IMMEDIATELY AFTER FINISHING. MINIMUM SPACING BETWEEN JOINTS IN CURB, GUTTER AND SIDEWALK IS 5 FEET; MAXIMUM SPACING OF 10 FEET.
 - UNDER NO CIRCUMSTANCES SHALL WATER BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
 - CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

DRAWN BY: R.L.C.
DESIGNED BY: D.E.C.
CHECKED BY: D.E.C.

BANNER
BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (303) 243-2242
605 E. MAIN • SUITE 6 • ASPEN, CO 81611 • (303) 925-5857

REVISION DATE DESCRIPTION BY CHD

--	--	--	--	--

DAVID OWEN TRYBA ARCHITECTS
ST. JOSEPH'S CATHOLIC CHURCH
SITE GRADING PLAN

U.S. POST OFFICE

SCALE: 1" = 20'
JOB NO: 8284-01
DATE: 03-02-93

SHEET NO: **G-1**

DENVER, COLORADO

GRAND AVENUE

3rd STREET

4th STREET

WHITE AVENUE

CHURCH PROP.

U.S. POST OFFICE

HOLY FAMILY SCHOOL

ST. JOSEPH'S CHURCH

CENTRAL BANK DRIVE-THRU FACILITY

CANOPY FOR DRIVE-UP BANK

TOPOGRAPHIC INFORMATION BASED ON SITE SURVEY PERFORMED BY WESTERN ENGINEERS DATED MARCH 30, 1992.

NOTE: CONSTRUCT 5 FT. STUB-OUT TO THE NORTH AT BOTH EAST AND WEST MANHOLES FOR POSSIBLE FUTURE REDIRECTION OF SEWERLINE. INSTALL WITH A GRADE OF 0.25%

WEST MANHOLE
RIM = 4584.00
INV. IN = 4575.76
INV. OUT = 4576.66

EAST MANHOLE
RIM = 4584.30
INV. IN = 4576.35
INV. OUT = 4576.25

UTILITY EASEMENT
POSSIBLE FUTURE SANITARY SEWERLINE

THREE DIMENSIONAL SEWER EASEMENT (SEE NOTE 4)

OVERHEAD POWER LINE TO BE REMOVED AND BURIED IN EASEMENTS BETWEEN THIRD STREET AND NEW ALLEY LOCATION.

OVERHEAD POWER LINE TO BE REMOVED AND BURIED IN EASEMENTS BETWEEN THIRD STREET AND NEW ALLEY LOCATION.

RIM = 4581.2
CNTR. INV. = 4574.72

RIM = 4586.5
CNTR. INV. = 4577.0

BENCHMARK
PK NAIL IN ASPHALT
ELEV. = 4584.10

N

FEET 20 0 20 FEET
GRAPHIC SCALE
1 inch = 20 ft.

NOTES:

1. RELOCATION OF GAS AND ELECTRIC LINES IS TO BE PERFORMED BY PUBLIC SERVICE COMPANY OF COLORADO.
2. CONSTRUCTION OF SANITARY SEWER LINE AND MANHOLES IS TO BE DONE IN ACCORDANCE WITH THE CITY OF GRAND JUNCTION STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
4. THREE DIMENSIONAL SEWER EASEMENT IS 10 FEET WIDE AND 5 FEET DEEP FOR THE DISTANCE BETWEEN THE NEW 20 FOOT UTILITY EASEMENT. ELEVATION FOR THE BOTTOM OF THE EASEMENT IS 4573.85 AND THE TOP ELEVATION IS 4578.85.
5. MAINTAIN A CLEARANCE OF 5 FEET BETWEEN BURIED ELECTRIC LINE AND SANITARY SEWER LINE.

LEGEND

- Utility pole
- Fire hydrant
- Overhead power, television, and phone
- Catch basin
- Water line
- Sewer line
- Buried electrical line
- Gas line
- Chain link fence
- Wood fence
- Column
- Water valve
- Water meter
- Gas meter



BANNER

BANNER ASSOCIATES, INC. • CONSULTING ENGINEERS & SURVEYORS
2777 CROSSROADS BOULEVARD • GRAND JUNCTION, CO 81506 • (303) 243-2242
605 E. MAIN • SUITE 6 • ASPEN, CO 81611 • (303) 925-5857

REVISION	DATE	DESCRIPTION	BY	CHKD

DAVID OWEN TRYBA ARCHITECTS

ST. JOSEPH'S CATHOLIC CHURCH
UTILITY COMPOSITE

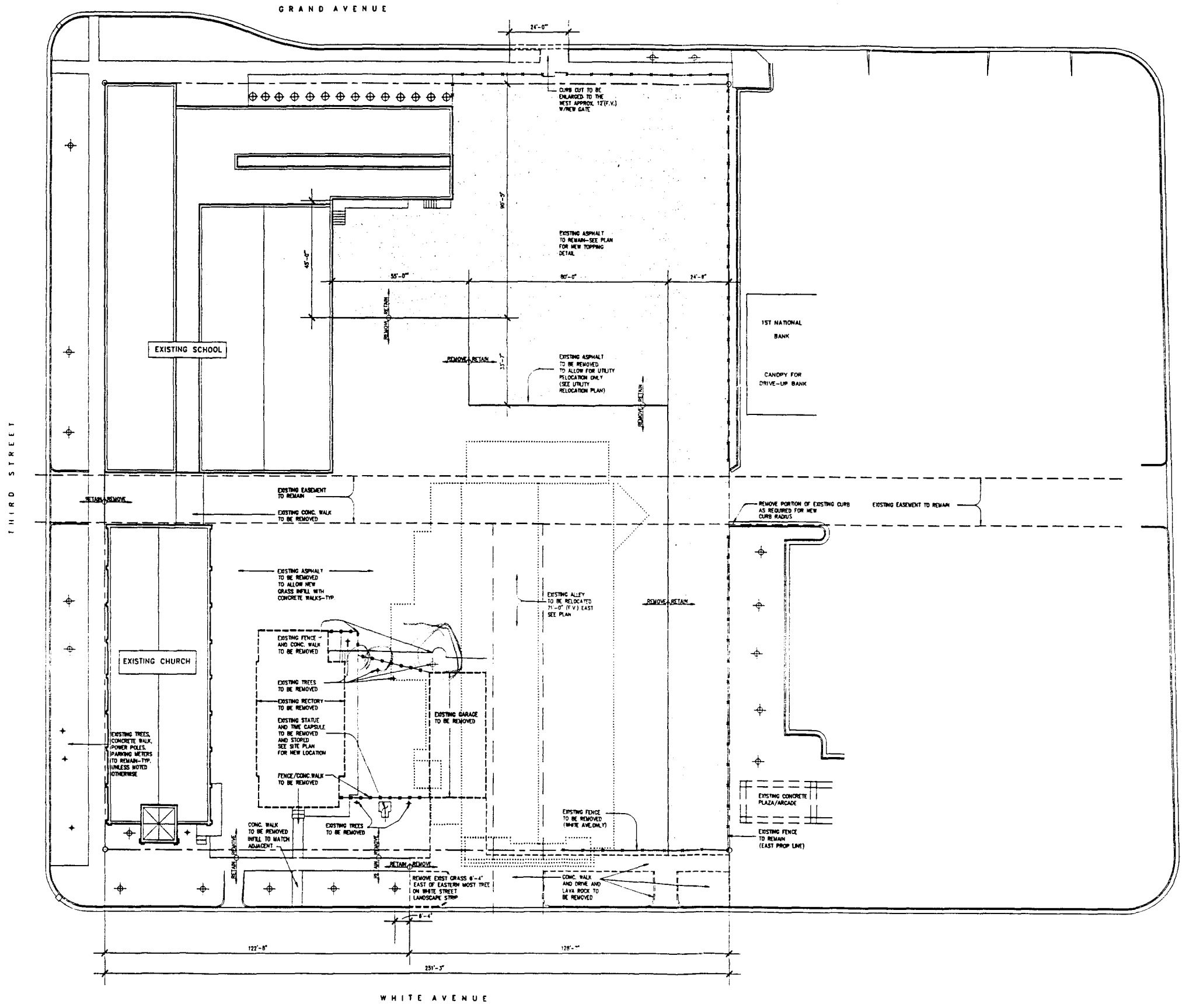
DENVER, COLORADO

SCALE: 1" = 20'
JOB NO: 8284-01
DATE: 03-02-93

SHEET NO: U-1

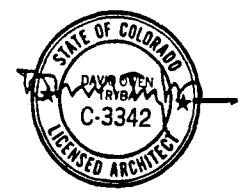
DRAWN BY: R.L.C.	REVIEWED _____ DATE: _____ FOR _____
DESIGNED BY: D.E.C.	REVIEWED _____ DATE: _____ FOR BANNER ASSOCIATES, INC.
CHECKED BY: D.E.C.	

410 92



S. T. JOSEPH'S
CATHOLIC CHURCH
GRAND JUNCTION, COLORADO

DAVID OWEN TRYBA
ARCHITECTS



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE: CONSTRUCTION DOCUMENTS
DATE: 1 FEBRUARY 1993

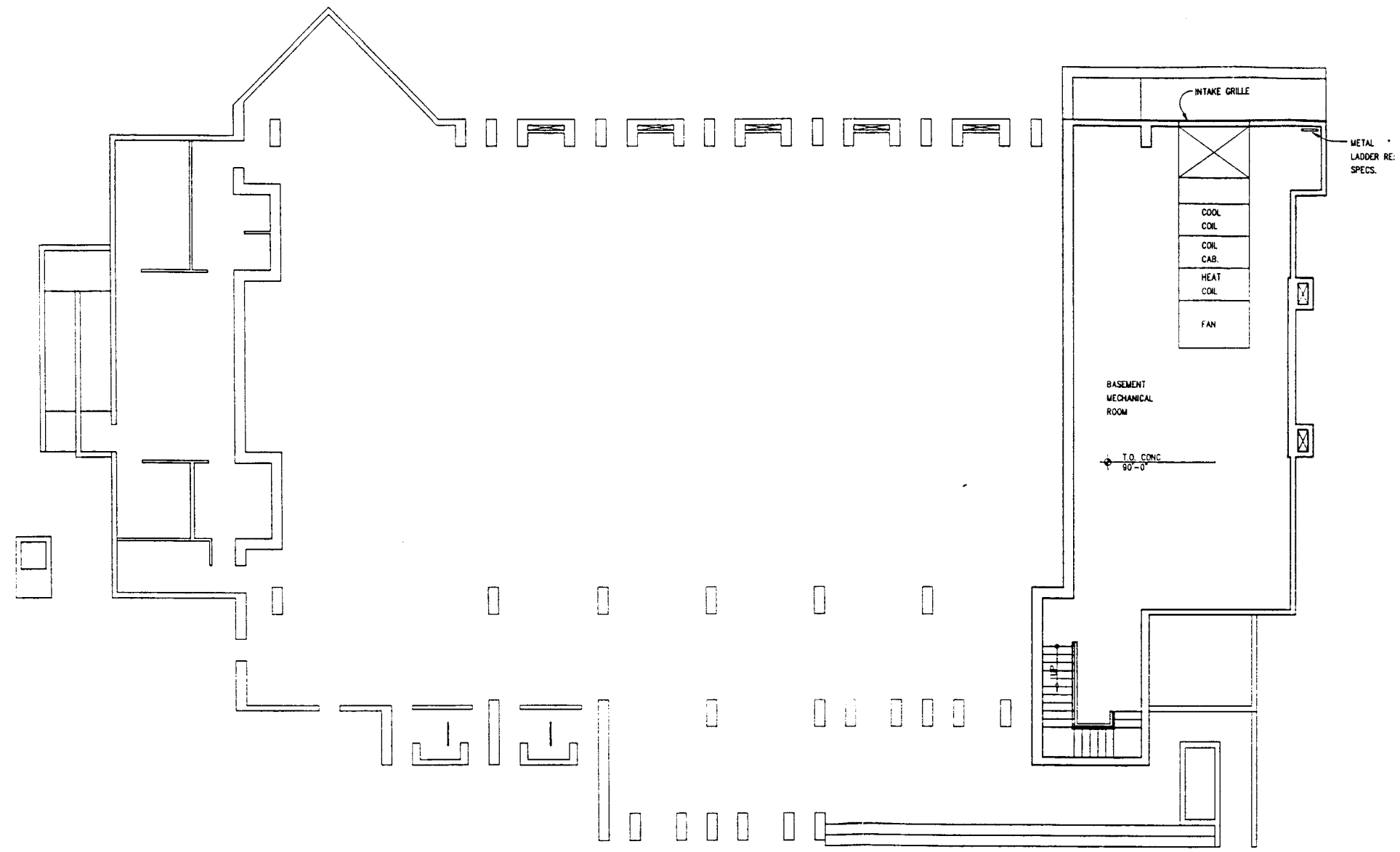
JOB NUMBER: 9112.0

SHEET TITLE: SITE DEMOLITION PLAN

SHEET NUMBER:

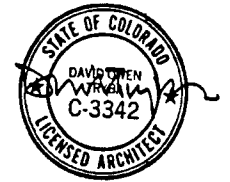
1 DEMOLITION PLAN
1" = 20'-0"

A1.2



S. T. JOSEPH'S
CATHOLIC CHURCH
GRAND JUNCTION, COLORADO

DAVID OWEN TRYBA
ARCHITECTS



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE: DATE:

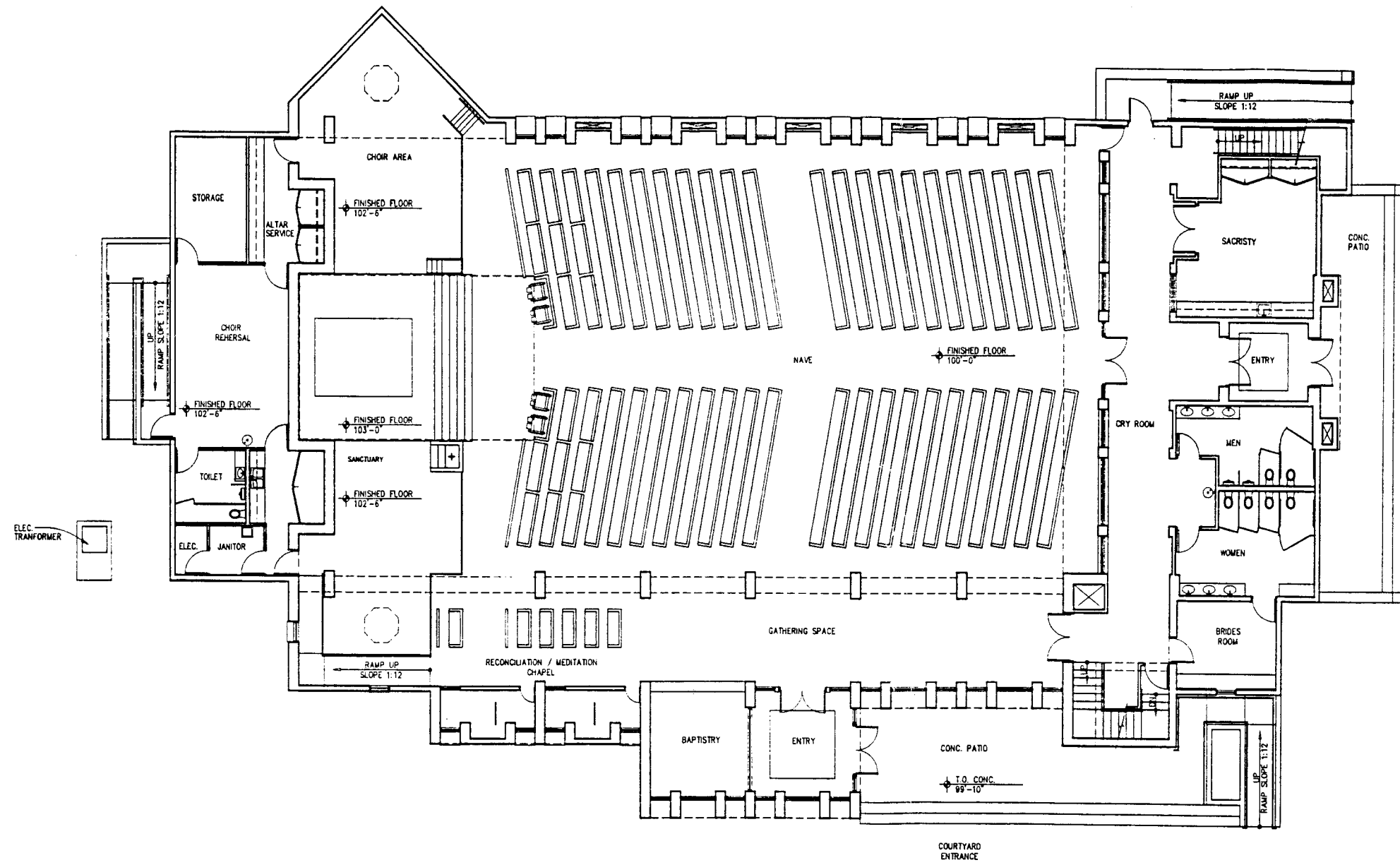
CONSTRUCTION
DOCUMENTS

JOB NUMBER: 9112.0

SHEET TITLE:

SHEET NUMBER:

1 BASEMENT FLOOR PLAN
SCALE: 1/8"=1'-0"



S. T. JOSEPH'S
CATHOLIC CHURCH
GRAND JUNCTION, COLORADO

DAVID OWEN TRYBA
ARCHITECTS



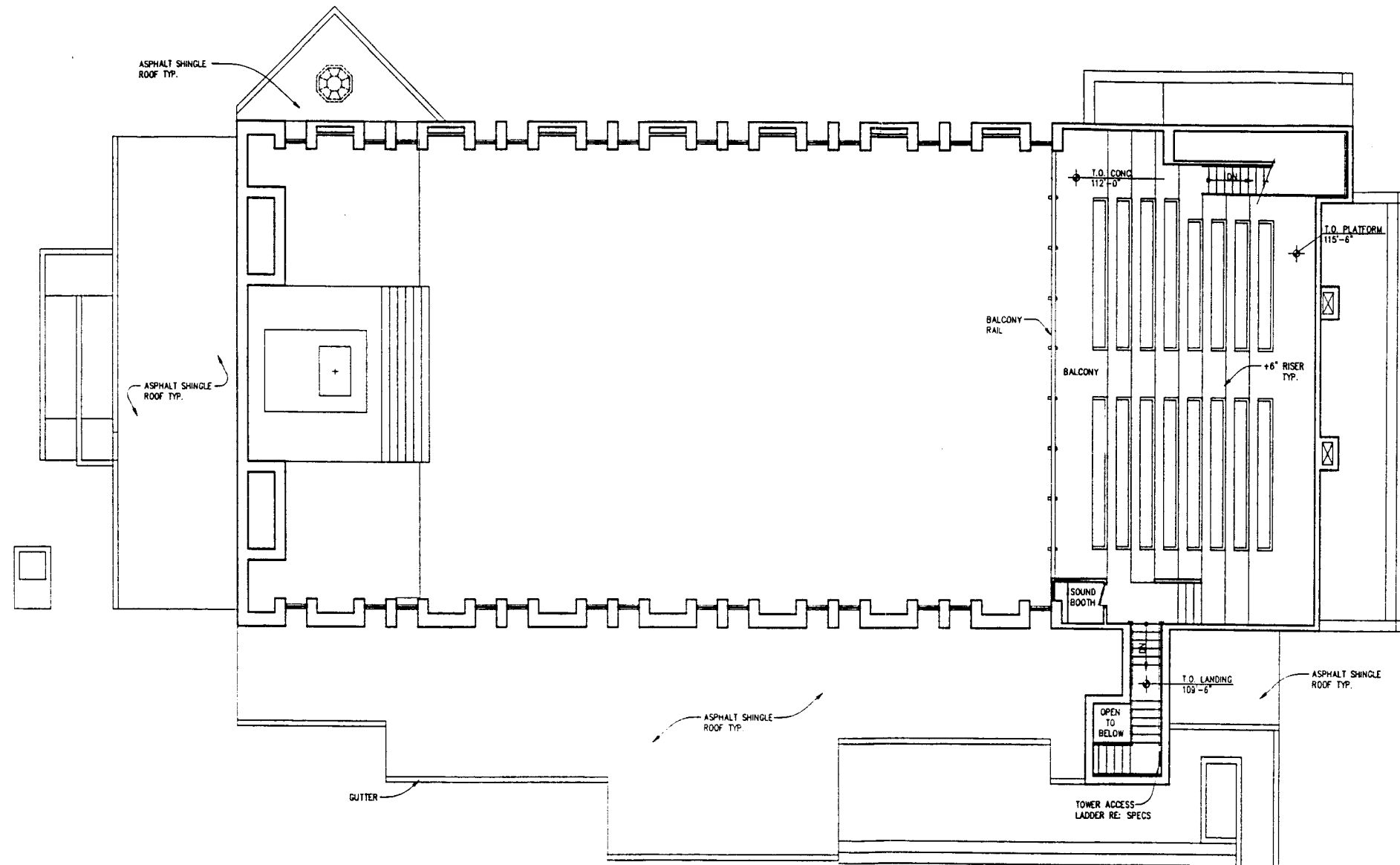
PRELIMINARY
NOT FOR CONSTRUCTION


ISSUE: _____ DATE: _____
CONSTRUCTION DOCUMENTS 1 FEBRUARY 1993

JOB NUMBER: 9112.0
SHEET TITLE: FIRST FLOOR PLAN
SHEET NUMBER:

A2.0

1 SANCTUARY FLOOR PLAN
SCALE: 1/8" = 1'-0" 11,561 GROSS S.F.




1 **SECOND FLOOR PLAN**
 SCALE: 1/8"=1'-0"

S T. JOSEPH'S
 CATHOLIC CHURCH
 GRAND JUNCTION, COLORADO

DAVID OWEN TRYBA
 ARCHITECTS

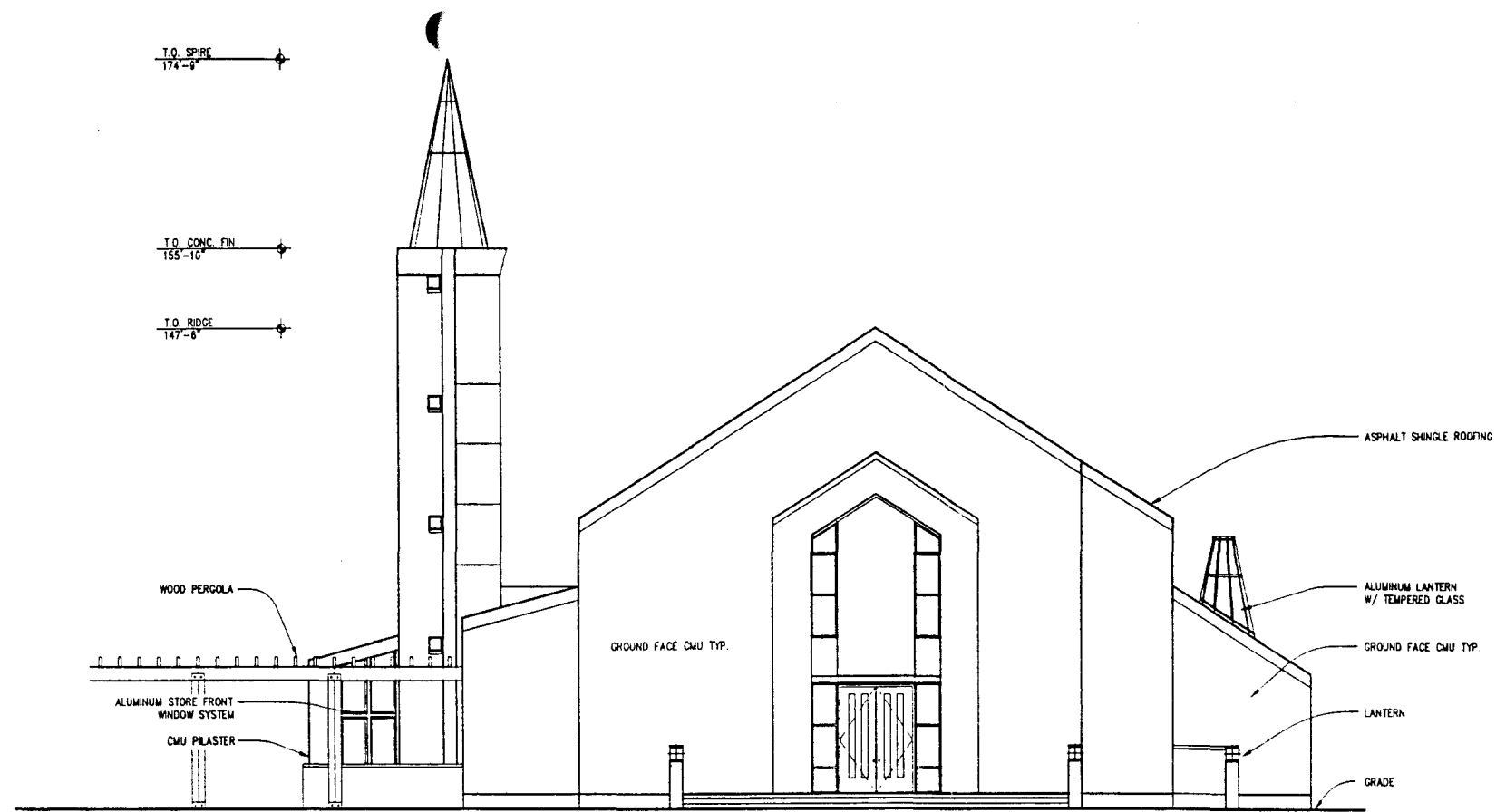


PRELIMINARY
 NOT FOR CONSTRUCTION

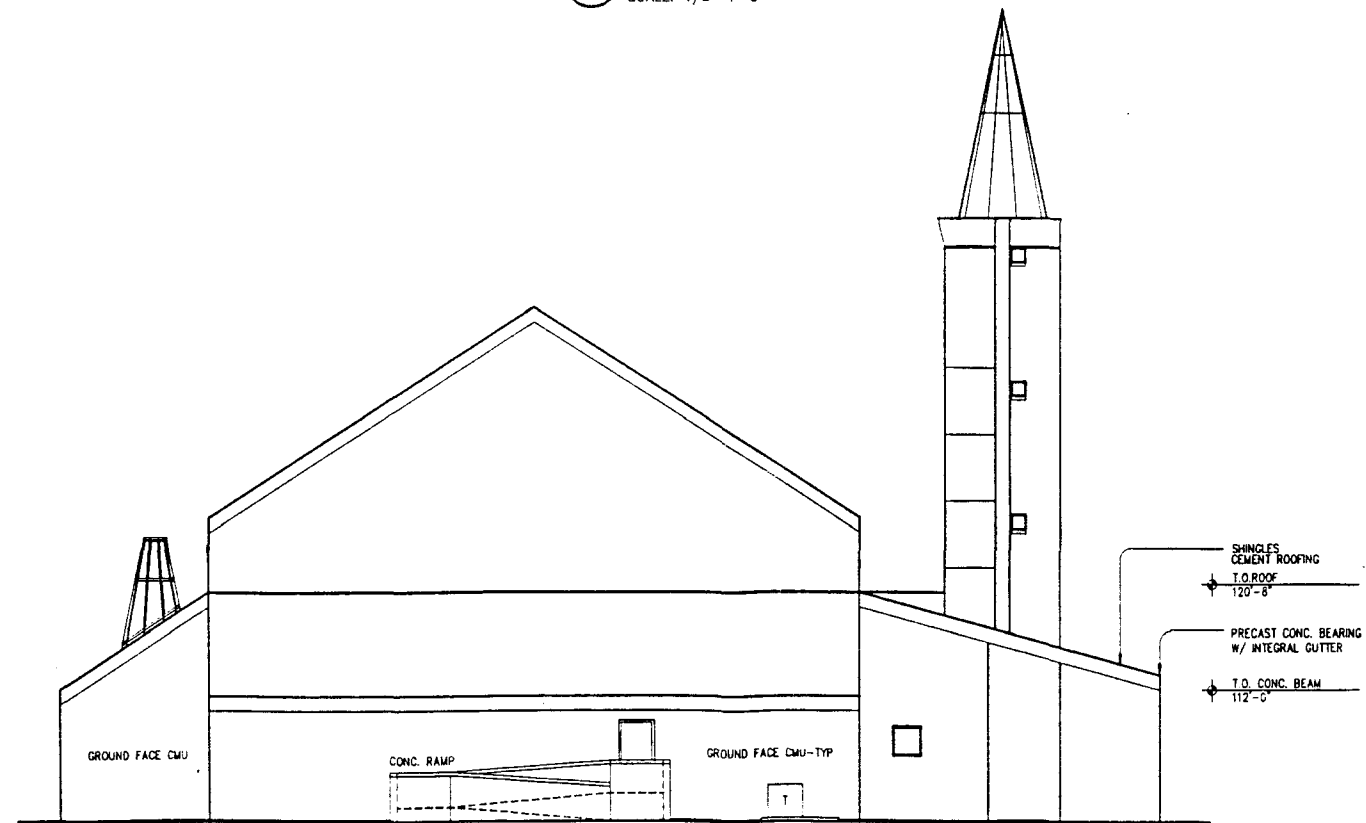
ISSUE: _____ DATE: _____
 CONSTRUCTION DOCUMENTS 1 FEBRUARY 1993

JOB NUMBER: 9112.0
 SHEET TITLE: SECOND FLOOR PLAN
 SHEET NUMBER:

A2.1



1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH ELEVATION
SCALE: 1/8"=1'-0"

S T. J O S E P H ' S
C A T H O L I C C H U R C H
G R A N D J U N C T I O N , C O L O R A D O

DAVID OWEN TRYBA
ARCHITECTS



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE: DATE:
CONSTRUCTION DOCUMENTS 1 FEBRUARY 1993

JOB NUMBER: 9112.0

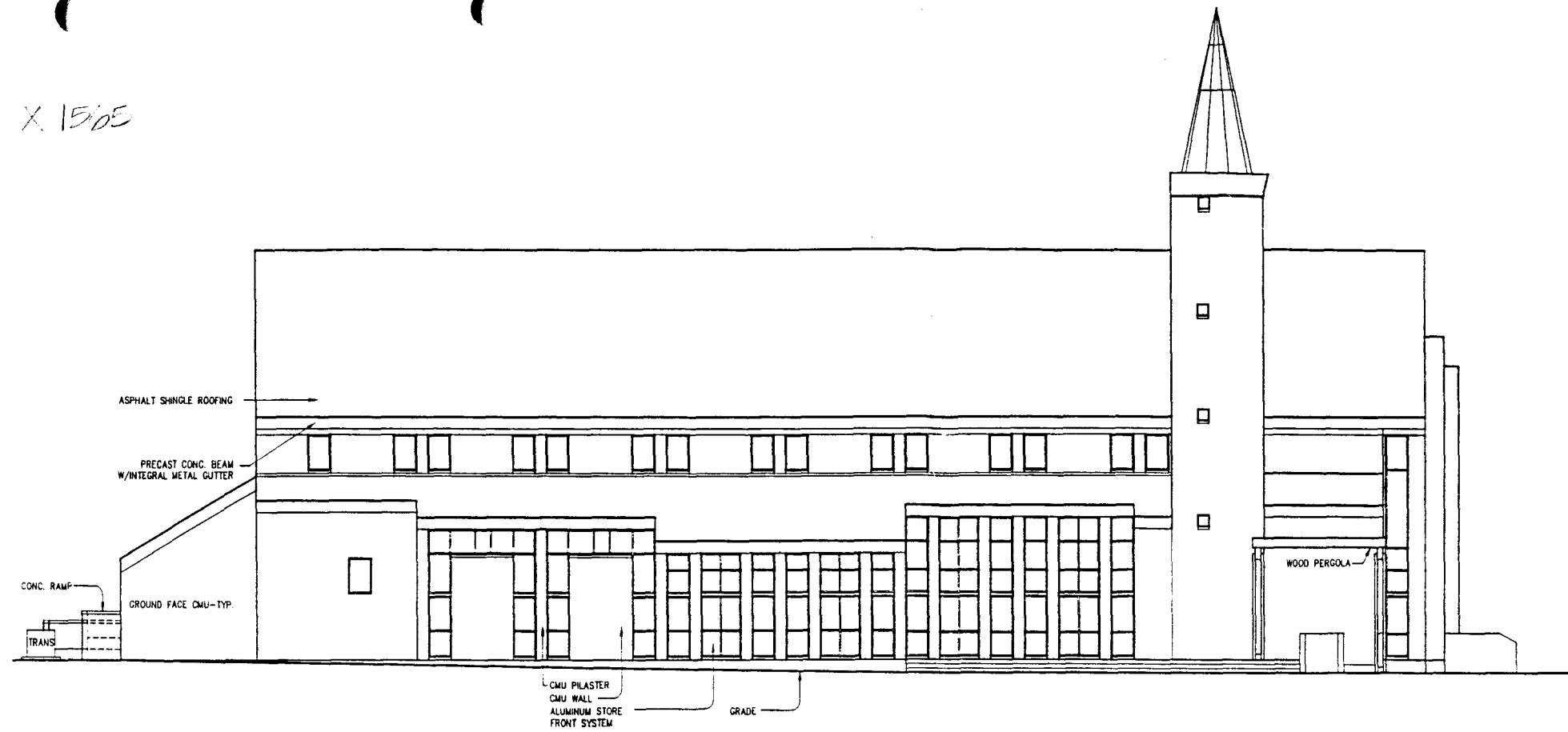
SHEET TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER:

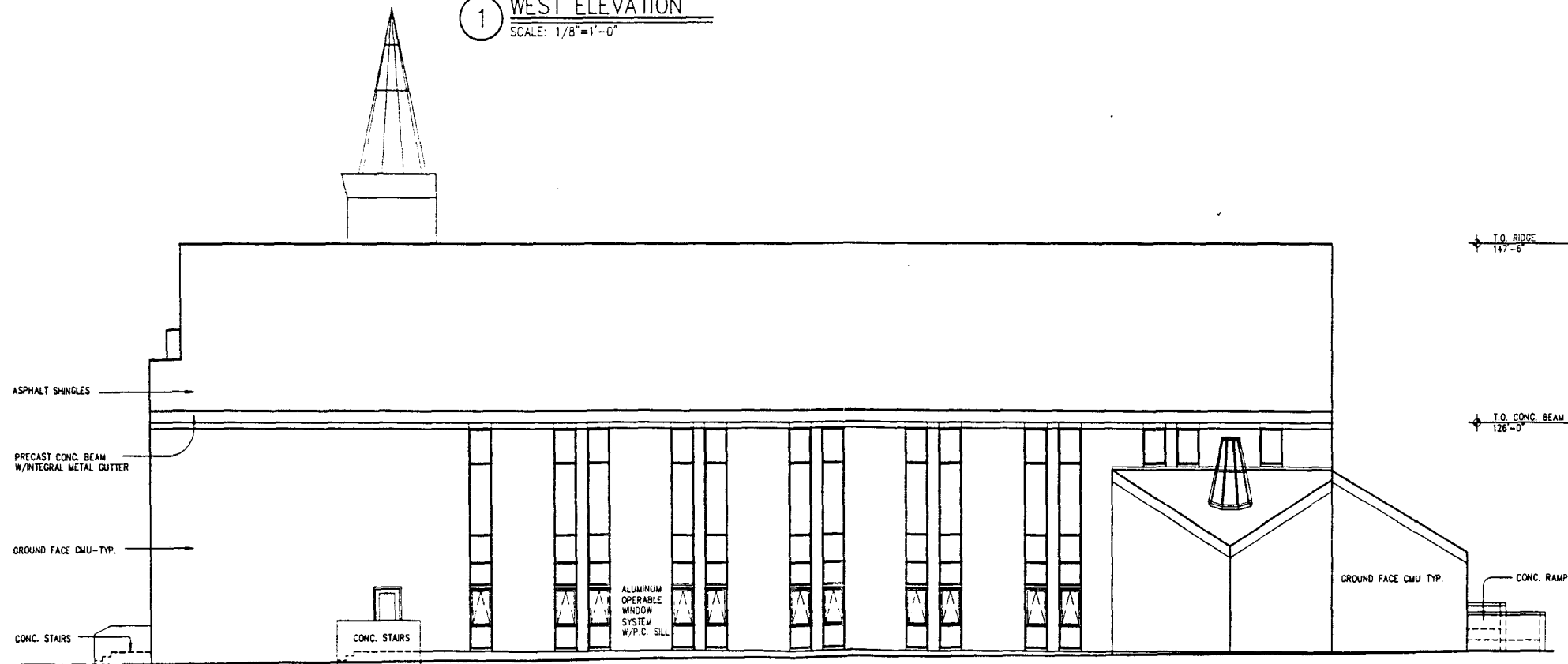
A3.0

X. 15105

918 92



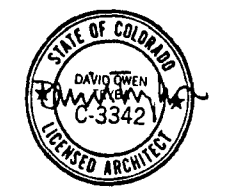
1 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 EAST ELEVATION
SCALE: 1/8"=1'-0"

ST. JOSEPH'S
CATHOLIC CHURCH
GRAND JUNCTION, COLORADO

DAVID OWEN TRYBA
ARCHITECTS



PRELIMINARY
NOT FOR CONSTRUCTION

ISSUE:	DATE:
CONSTRUCTION DOCUMENTS	1 FEBRUARY 1993

JOB NUMBER:	9112.0
SHEET TITLE:	EXTERIOR ELEVATIONS
SHEET NUMBER:	

A3.1

S T . J O S E P H ' S
C A T H O L I C C H U R C H
G R A N D J U N C T I O N , C O L O R A D O

DAVID OWEN TRYBA
A R C H I T E C T S



PRELIMINARY
NOT FOR CONSTRUCTION

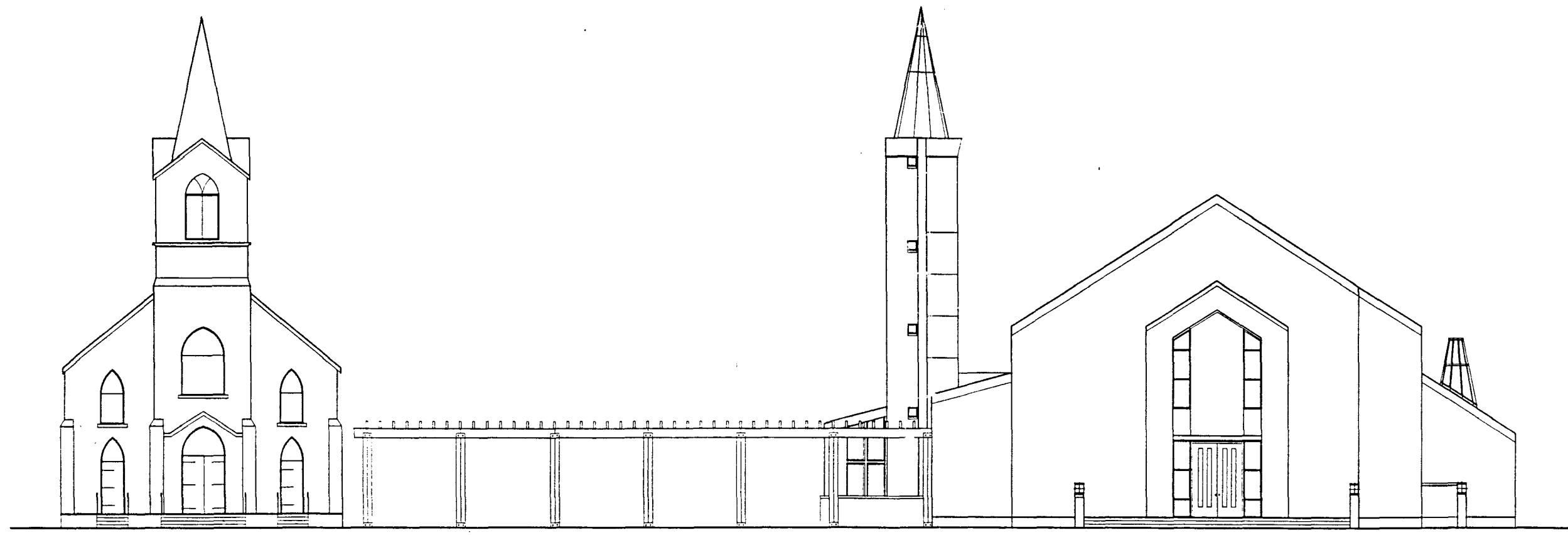
ISSUE: CONSTRUCTION DOCUMENTS
DATE: 1 FEBRUARY 1993

JOB NUMBER: 9112.0

SHEET TITLE: WHITE STREET ELEVATION

SHEET NUMBER:

A3.3



① WHITE STREET ELEVATION
SCALE: 1/8"=1'-0"