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File 1993-0025

Name: Elderly Housing - Rezone/Final Plat Plan - 1501 N. 1<sup>ST</sup> Street

**P** **S** A few items are denoted with an asterisk (\*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (\*\*) and will be found on the ISYS query system in their designated categories.  
**r** **e** Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page.  
**s** **e** Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.  
**n** **e**  
**t** **d**

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X		Coordinate Data	X	X	Foundation Study and Soil Investigation for Volunteers of America - 7/92
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X	X	All Correspondence	X		First, Second, Third Floor Plan
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		Notice of Public Hearing sample - not addressed	X	X	Building Sign Details
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X	X	Planning Commission Minutes - ** - 4/6/93, 5/4/93, 6/1/93, 7/6/93, 8/3/93, 9/7/93	X		West Lake Park - Second Amended Plat
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X	X	Planning Clearance - **			



**DEVELOPMENT APPLICATION**  
 Community Development Department  
 250 North 5th Street Grand Junction, CO 81501  
 (303) 244-1430

**A** Receipt 5642  
 Date 3/1/93  
 Rec'd By KM

File No. #25 93

*C.O. would 7/14/95*

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input checked="" type="checkbox"/> Subdivision Plat/Plan	<input checked="" type="checkbox"/> Minor <input type="checkbox"/> Major <input type="checkbox"/> Resub				
<input checked="" type="checkbox"/> Rezone				From: P To: PR	
<input checked="" type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input checked="" type="checkbox"/> Final	1.37 acres	N.W. CORNER INDEPENDENCE & 1st ST.		MULTIFAMILY RESIDENTIAL
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Text Amendment					
<input type="checkbox"/> Special Use					
<input type="checkbox"/> Vacation					<input type="checkbox"/> Right-of-Way <input type="checkbox"/> Easement

<input type="checkbox"/> PROPERTY OWNER	<input type="checkbox"/> DEVELOPER	<input type="checkbox"/> REPRESENTATIVE
Robert J. and Deborah A. Arcieri (SPONSOR)		(ARCHITECT)
<input checked="" type="checkbox"/> VOLUNTEERS OF AMERICA, INC.	<input checked="" type="checkbox"/> LANTZ-BOGGIO ARCHITECTS, P.C.	
Name	Name	Name
1501 NORTH 1ST STREET	3813 CAUSEWAY BLVD.	5200 DTC PARKWAY, #500
Address	Address	Address
GRAND JUNCTION, CO 81501	METAIRIE, LA 70002	ENGLEWOOD, CO 80111
City/State/Zip	City/State/Zip	City/State/Zip
243-4145	(504) 837-2652	(303) 773-0436
Business Phone No.	Business Phone No.	Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

*Gary Pray* AIA LANTZ-BOGGIO ARCHITECTS P.C. 2.15.93  
 Signature of Person Completing Application Date

*Robert J. Arcieri*  
*Deborah A. Arcieri*  
 Signature of Property Owner(s) - Attach Additional Sheets if Necessary

2945 113 05 012  
Robert L. Johnson &  
Jacqueline V. Johnson  
955 Bunting  
Grand Jct., CO 81501-3015

2945 113 05 011  
John M. Sprague  
130 Kennedy  
Grand Jct., CO 81501-2140

2945 113 05 010  
Carl D. (Sr.) &  
Roetta M. Frasier  
160 Kennedy Ave.  
Grand Jct., CO 81501-2140

2945 113 05 001  
Teddy K. & Dona M. Larretson  
& F.M. Cobb  
101 Elm Ave.  
Grand Jct., CO 81501-2127

2945 113 05 002  
Alincia L. Herald  
111 Elm Ave.  
Grand Jct., CO 81501-2127

2945 113 05 003  
Bruce E. & Velma Kirkpatrick  
121 Elm Ave.  
Grand Jct., CO 81501-2127

2945 113 05 004  
Emil D. & H. E. Ericson  
141 Elm Ave.  
Grand Jct., CO 81505-2127

2945 113 04 015  
Susan P. O'Grady  
100 Elm Ave.  
Grand Jct., CO 81501-2128

2945 113 04 018  
Geneva M. & R. C. Darnell  
110 Elm Ave.  
Grand Jct., CO 81501-2128

2945 113 04 016  
James A Leland  
140 Elm Ave.  
Grand Jct., CO 81501-2128

2945 113 04 017  
John J. & Laura Cordray  
120 Elm Ave.  
Grand Jct., CO 81501-2128

2945 113 04 001  
Albert E. & Ferne B. Tilby  
1550 N 1st St.  
Grand Jct., CO 81501-2116

2945 113 04 002  
Alice E. Bruffett  
111 Texas Ave.  
Grand Jct., CO 81501-2167

2945 113 04 003  
Ivan & Jane Wood  
3548 G Road  
Palisade, CO 81526-9788

2945 113 04 004  
Erma Letey & Anita Grasso  
131 Texas Ave.  
Grand Jct., CO 81501-2169

2945 113 03 021  
Ruth E. & Laray G. Sigwart  
1620 N. 1st St.  
Grand Jct., CO 81501-2123

2945 113 03 020  
Edith M. Sisac  
440 N. 13th St.  
Grand Jct., CO 81501-4406

2945 113 03 019  
Charlotte A. Bingham  
120 Texas Ave.  
Grand Jct., CO 81501-2170

2945 1040 13 008  
Francis J. & Irene Maxsween  
225 Independent Ave.  
Grand Jct., CO 81505-7116

2945 1040 13 009  
Leroy C. & Martha E. Forsberg  
215 Independent Ave.  
Grand Jct., CO 81505-7116

2945 1040 13 010  
Kristann A Whaley  
205 Independent Ave.  
Grand Jct., CO 81505-7116

2945 1040 13 011  
Pete S. Trujillo  
139 Independent Ave.  
Grand Jct., CO 81505-7114

2945 1040 13 012  
Michelle Bilyeu  
129 Independent Ave.  
Grand Jct., CO 81505-7114

2945 1040 13 013  
Blaine D. Ford  
2522 Mira Vista Dr.  
Grand Jct., CO 81501-2057

2945 1040 13 014  
Blaine D. Ford  
2522 Mira Vista Dr.  
Grand Jct., CO 81501 2057

2945 1040 13 017  
Trian & Christina Patsantaras  
130 W. Kennedy Ave.  
Grand Jct., CO 81505-7137

2945 1040 13 018  
Joseph Higgins & Frances Wilson  
140 W. Kennedy Ave.  
Grand Jct., CO 81505-7137

2945 1040 13 019  
William D. & Dorothy L. T  
204 W. Kennedy Ave.  
Grand Jct., CO 81505-7137

2945 1040 13 020  
Caroline D. Retolaza  
214 W. Kennedy Ave.  
Grand Jct., CO 81505-7139

2945 1040 13 031  
DJLKA Holding Co.  
1401 N. 1st St.  
Grand Jct., CO 81501

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~~2945 104 19 003  
David V. & Dixie A. Christ  
3330 Norwalk  
Grand Jct., CO 81506-1928~~

2945 104 19 006  
Eleanor M. Finkel  
220 Independent Ave.  
Grand Jct., CO 81505-7117

2945 104 00 082  
Willard A Robbins  
P.O. Box 1387  
Grand Jct., CO 81502

2945 104 00 081  
A. W. Robbins  
1049 21½ Road  
Grand Jct., CO 81505

2945 104 00 005  
Robert & Deborah A. Arcieri  
1525 N. 1st St.  
Grand Jct., CO 81501

2945 104 00 004  
Robert & Deborah A. Arcieri  
1525 N. 1st St.  
Grand Jct., CO 81501

~~2945 104 00 090  
Robert J. & Deborah A.  
1525 N 1st St.  
Grand Jct., CO 81501~~

2945 104 19 091  
Robert J. & Deborah Arcieri  
1525 N. 1st St.  
Grand Jct., CO 81501

2945 104 19 092  
Robert J. & Deborah A. Arcieri  
1525 N. 1st St.  
Grand Jct., CO 81501

~~2945 104 19 093  
Robert J. & Deborah A. Arc  
1525 N. 1st St  
Grand Jct., CO 81501~~

2945 104 12 031  
Richard C. & Diana Herald  
1605 Spruce Ct.  
Grand Jct., CO 81505-1561

2945 104 12 032  
Teresa L. Anderson  
1606 Spruce Ct.  
Grand Jct., CO 81505-1561

2945 104 12 033  
Jimmie L. Mahannah &  
Willadee G. Mahannah  
1616 Spruce Ct.  
Grand Jct., CO 81505-1561

2945 104 12 036  
John A. Diazek  
500 Patterson  
Grand Jct., CO 81506-1938

2945 104 00 090  
Robert J. & Deborah A Arcieri  
1525 N. 1st St.  
Grand Jct., CO 81501

2945 104 19 003  
David V. Christensen &  
Dixie A. Christensen  
3330 Norwalk  
Grand Jct., CO 81506-1928

2945 104 19 093  
Robert J. & Deborah Arcieri  
1525 N. 1st St.  
Grand Jct., CO 81501

2945 1040 13 019  
William & Dorothy Trusty  
204 W. Kennedey Ave.  
Grand Jct., CO 81505-7137

Western Engineers., Inc.  
2150 Hwy. 6 & 50  
Grand Jct., CO 81505

Volunteers of America, Inc.  
3813 Causeway Blvd.  
Metairie, LA 70002

Lantz-Boggio Architects, P.  
5200 DTC Parkway, #500  
Englewood, CO 80111

#25 93

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EXHIBIT A

PUD AT 1501 NORTH 1ST STREET

PROJECT NARRATIVE

- (1) The proposed PUD is requested in order that the Volunteers of America may construct a 3 story - 60 unit elderly housing facility to provide subsidized housing for the senior citizens of this community without regard to their race, color, religion, marital status, sexual orientation, sex or nationality.
- (2) The proposed project site is located at the NW corner of Independent Avenue and North 1st Street. Currently the property is vacant and contains only a small shed which is located at the North side of the site.
- (3) Construction of the facility is schedule tentatively to begin in the late fall of 1993 and will be built as a single phase project with an anticipated 8 month construction duration.
- (4) The area impacted by this PUD is single family residential to the North, West and East. A vacant lot is located to the South with an existing office building south of the vacant lot.
- (5) The effect of the PUD on the neighborhood will be positive. The new facility will relate to the surrounding neighborhood by being residential in nature and sensitive to the design of the facility with regard to the type of surroundings. The building will be a wood structure with brick veneer and synthetic stucco and will have a residential appearance. The plan will incorporate a "park like" setting at the northeast corner, where residents and their guests shall be allowed to walk, relax, and socialize.
- (6) The Community Room, TV/Lounge and Library are proposed to provide a social setting for the elderly residents of the building. The purpose of this is to encourage them to not become reclusive and to offer them a place to gather for large or small groups. The location of the proposed site allows the seniors to shop and take advantage of other local amenities in order to maintain their independent way of life.
- (7) This PUD provides for 37 on site parking spaces. The attached analysis of current parking provided at similar VOA facilities has been enclosed to show historical data on the count of cars and number of units at each of other similar developments owned by the Volunteers of America.
- (8) The proposed subsidized elderly housing facility meets a much needed special use for the low-income senior citizens of this community, while still remaining sensitive to the surrounding neighborhoods by being residential in nature and compatible to surroundings in its design.

EXHIBIT B

PUD AT 1501 NORTH 1ST STREET

2/25/03  
City of Grand Junction  
Planning Office

REZONE CRITERIA

- (a) No, the existing zone was not an error at the time of adoption.
- (b) Due to growth trends within the area the need for more affordable elderly housing has evolved, making it necessary to offer such subsidized housing as is proposed in this application.
- (c) The U.S. Dept of Housing and Urban Development has done an extensive study of the area to determine that there is indeed a need for subsidized housing for the elderly.
- (d) The compatibility with the surrounding area will be positive by being residential in nature as is found to the North, West and East side of this site.
- (e) The benefits derived by the community will be in providing the much needed low-income housing for the elderly. The location of the site will also provide additional income to the small businesses which are located in the vicinity of this development.
- (f) Through meetings with the City it is determined that the proposed project conforms to the policies and intents of City of Grand Junction in providing low-income housing while relating to the surrounding neighborhood by keeping residential in nature and design.
- (g) In preliminary meetings with the City it has been determined that adequate facilities (utilities) are available to service the proposed development as indicated in the attached documentation.

#25 93



**Public Service**<sup>®</sup>  
P. O. Box 849  
Grand Junction, CO 81502

Public Service  
Company of Colorado

July 8, 1992

Lantz-Boggio, Architects P.C.  
5200 DTC Parkway, Suite 500  
Englewood, CO 80111

Re: Electric & Gas Service to Property at 1st & Independent Avenue,  
Northwest Corner, in Grand Junction, CO

To Whom it May Concern:

Public Service Company will provide natural gas and electric service to the subject property. At the time of your application, Public Service will comply with the rules and regulations on file with the Public Utilities Commission of Colorado.

As your design develops, please make Public Service Company aware of your proposed utility loads and meter locations. This information is needed so Public Service can design gas and electric mains for your work site. Typically, Public Service is needing developers to allow 90 days from providing complete plans to construction being completed on the site.

I will be the Representative to contact concerning all matters on this site involving Public Service Company. Please feel free to call with any questions or concerns (303) 244-2675.

Sincerely,

Tom Boughton  
Energy Services Representative

TB/pbl



#25 93

City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

July 7, 1992

Volunteers of America  
3813 N. Causeway Blvd.  
Metairie, LA 70002

*Remove  
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Re: Availability of Water and Sewer Services

To Whom It May Concern:

The City of Grand Junction agrees to provide sanitary sewer and domestic water service to developments and projects which take place within the City Limits of Grand Junction. Both sanitary sewer and domestic water are available within 400 feet of the proposed project.

The developer is responsible for extending sewer and water service to the project. Hook-up fees as outlined in the "Code of Ordinances, City of Grand Junction, Colorado" will be applicable to the project and due at the time the building permit for the project is issued.

Please contact me at (303) 244-1590 if additional information is required.

Sincerely,  
FOR THE CITY OF GRAND JUNCTION

A handwritten signature in cursive script that reads "Bill Cheney".

Bill Cheney  
Utility Engineer

Attn: Gary Prager  
Lantz-Boggio Architects, P.C.  
5200 DTC Parkway, Suite 500  
Englewood, CO 80111

25 93

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EXHIBIT C

PUD AT 1501 NORTH 1ST STREET

ADJACENT LAND USE AND ZONING NARRATIVE

To the East of the proposed project across North 1st Street and North of Elm Avenue exists Residential Single Family limited to five (5) units per acre.

To the East of the proposed project across North 1st Street and South of Elm Avenue exists Residential Single Family.

To the North of the proposed project exists Parking/Business.

To the West of the proposed project exists Residential Single Family limited to eight (8) units per acre.

To the south of the proposed project across Independent Avenue exists Residential Multi-Family limited to sixty-four (64) units per acre.

FOUNDATION STUDY  
AND  
SOIL INVESTIGATION FOR  
VOLUNTEERS OF AMERICA  
GRAND JUNCTION, COLORADO  
July, 1992

Prepared for:  
Lantz-Boggio, Architects  
Englewood, CO

Prepared by:  
Western Engineers, Inc.  
2150 Highway 6 & 50  
Grand Junction, CO 81505

W.O. # 3221.01

floating slab type foundation must be designed in accordance with the following considerations:

1. The slab must be capable of moving without serious distress and without transmitting movements to other portions of the structure not designed to accept such movements. This means that the floor should not support walls or columns whether load bearing or not. Slabs must also be isolated from primary foundation members to allow freedom of movement. Slabs must be designed with adequate strength to experience anticipated movements without serious distress. We suggest use of a minimum slab thickness of 5 inches with nominal reinforcing provided by rebar.
2. The overburden soil exhibited a wide range of movement potentials when wetted. The potential for movement can be substantially reduced by placing and compacting gravel under the slabs. We recommend that at least 6 inches of gravel be placed under shallow slabs and compacted to at least 95% Standard Proctor Density (ASTM D-698). The subgrade on which the gravel is to be placed must also be compacted to this level. In previous discussions, it was noted that the shallow soils in some locations are very soft and wet. This will prevent compaction of the subgrade soils without stabilization. Stabilization should be provided under slabs in these areas using techniques previously discussed. Because of these areas where the shallow soils are very wet, a moisture barrier should be provided under all slabs-on-grade.

#### MOISTURE PROTECTION

Due to the potential exhibited by the finer grained soils for some movement upon the addition of moisture, all foundations and slabs should be accompanied by positive moisture protection measures. Such precautions must include the following:

1. Drainage of surface water is important. Grading away from the structures, interceptor ditches, and other positive means should be employed to assure drainage of all surface runoff. Grade away from the building should be at least 5% for a minimum of 10 feet.
2. Vegetation requiring water should not be planted within a least 10 feet of the foundation.
3. Roof runoff must be collected and discharged at least 20 feet away from the building.
4. To assure adequate drainage of backfill and to protect the supporting soil from moisture, a subsurface perimeter drain should be installed. Such a drainage system should consist of a perforated pipe surrounded by gravel and sloping to a discharge point away from the structure. The gravel should be underlain by an impervious membrane which is sealed against the foundation and is lapped up onto the foundation cut slope. The membrane should also slope down to the discharge point. The membrane is an important part of this system and provisions should be made to protect it from damage during construction. Consideration may also be given to extending the membrane a certain distance away from the structure. Often, no water will discharge from such a drainage system. The purpose of the system is to isolate the material supporting foundations from surface sources of moisture and to provide a path for soil pore water to dissipate without affecting the supporting soil. The subsurface perimeter drain may be placed at the upper levels of the basement walls to allow for relatively shallow discharge. A dry well at least 30 feet from the building may be used for discharge of collected water.
5. Compaction of backfill is important to prevent backfill

settlement after construction is complete. Subsidence in the backfill increases the loads against the structure walls and provides depressions adjacent to the foundation where water can collect. Backfill should be compacted to at least 90% Standard Proctor Density (ASTM D-698). Backfilling must be done with care to avoid overloading or damaging foundation walls.

6. It has been previously noted that there seemed to be an identifiable correlation between the existence of very wet shallow soils and the proximity of irrigation or drain ditches. All ditches which will remain active including those traversing the site and the one running along the north side of Independent Avenue should be lined or piped to minimize the potential for this undesirable condition to continue.

#### FLEXIBLE PAVEMENTS

Although flexible pavements used in the parking areas will be capable of undergoing some movement without distress, the pavement section must be capable of distributing the traffic loads in a way that will neither exceed the support capacity of the subgrade soils nor result in rapid fatigue of the pavement due to excessive deflections. The results of a Bearing Ratio test are presented on Plate 29 in the appendix. This test indicated a material exhibiting poor saturated subgrade support characteristics even when compacted. The soaked Bearing Ratio value of 1.9 is very low. Several considerations should be made in designing the pavement section:

1. The pavement design should be based on the Bearing Ratio value. Also, if the pavement will be required to support heavy static vehicle loads, the effect of those loads on the subgrade stability must be considered based on the allowable bearing capacities presented in previous paragraphs.

CLIENT / DESCRIPTION:

Lantz-Boggio / VOA  
Pipe Deflection

W.O. 322/02 PAGE 1 OF 2

BY: G.L.L. DATE: 3-24-93

Equation from: UNI-Bell PVC Pipe Association  
UNI-TR-1-90 "Deflection: The Pipe/Soil Mechanism"

Equation 12 (page 15)

$$\% \text{ Deflection} = \% \Delta\% = \frac{((DL \cdot K \cdot P) + (K \cdot W'))(100)}{[2E / (3(DR-1)^3)] + 0.061E'}$$

where: P = Prism Load, psi  
K = Bedding Constant  
W' = Live Load, psi  
DR = Dimension Ratio  
E = Modulus of Tensile elasticity of the pipe mat'l psi  
E' = Modulus of Soil reaction, psi  
DL = Deflection lag factor

Assume worst case 12" cover, soil backfill  
compacted to 95% Standard Proctor density  
wt of soil 120 lb/ft<sup>3</sup>

$$\% \text{ Deflection} = \frac{((1.0 \times 0.083 \times 0.83) + (0.083 \times 12.50)) (100)}{[(2 \times 425,000) / (3(35-1)^3)] + (0.061 \times 400)}$$

$$\% \text{ Deflection} = \frac{110.64}{7.21 + 24.40}$$

$$\% \text{ Deflection} = 3.50$$

within 7.5% <sup>maximum deflection</sup> recommended by ASTM for buried  
PVC PIPE



February 15, 1993

GRAND JUNCTION VOA  
 PRELIMINARY SCHEDULE  
 PINKARD CONSTRUCTION CO.

	November 1993				December 1993				January 1994				February 1994				March 1994				April 1994				May 1994				June 1994			
	1	8	15	22	6	13	20	27	3	10	17	24	7	14	21	7	14	21	28	4	11	18	25	2	9	16	23	6	13	20	27	
CLEAR/EXCAVATE	-----																															
FOUNDATIONS		-----																														
UNDERSLAB ROUGH-INS					-----																											
SLAB on GRADE									-----																							
FRAMING									-----																							
M/E/P ROUGH-INS													-----																			
EXT. DOORS/WINDOWS													-----																			
INSULATION/DRYWALL													-----																			
BRICK VENEER													-----																			
ROOFING													-----																			
CERAMIC TILE																	-----															
INT. DOORS/TRIM																	-----															
PAINT/WALLCOVER																	-----															
M/E/P TRIM																									-----							
CARPET/VINYL TILE																													-----			
SPECIALTIES																													-----			
SITWORK									-----																				-----			
INSPECT./OCC. CERT.																													-----			
	1	8	15	22	6	13	20	27	3	10	17	24	7	14	21	7	14	21	28	4	11	18	25	2	9	16	23	6	13	20	27	
	November 1993				December 1993				January 1994				February 1994				March 1994				April 1994				May 1994				June 1994			

#25 93

DRAFT

C

SUBDIVISION SUMMARY FORM

#25 13

City of Grand Junction

Original  
Application Remove  
Plan Office

TYPE OF SUBMISSION

Preliminary Plan \_\_\_\_\_  
Final Plat/Plan X

Subdivision Name: N/A Filing N/A

Location of Subdivision: TOWNSHIP 1S RANGE 1W SECTION 10 1/4 SE

Type of Subdivision	Number of Dwelling Units	Area (Acres)	% of Total Area
---------------------	--------------------------	--------------	-----------------

( ) SINGLE FAMILY	_____	_____	_____
( X ) APARTMENTS	<u>60</u>	<u>.35</u>	<u>26%</u>
( ) CONDOMINIUMS	_____	_____	_____
( ) MOBILE HOME	_____	_____	_____
( ) COMMERCIAL	<u>N.A.</u>	_____	_____
( ) INDUSTRIAL	<u>N.A.</u>	_____	_____

Street	_____	_____
Walkways	_____	_____
Dedicated School Sites	_____	_____
Reserved School Sites	_____	_____
Dedicated Park Sites	_____	_____
Reserved Park Sites	_____	_____
Private Open Areas	<u>.36</u>	<u>26%</u>
Easements	_____	_____
Other (specify)	_____	_____

Estimated Water Requirements 4800 gallons/day.

Proposed Water Source City of Grand Junction

Estimated Sewage Disposal Requirement 4800 gallons/day.

Proposed Means of Sewage Disposal City of Grand Junction

**DIANA McIVER  
&  
ASSOCIATES, INC.**

January 25, 1993

Mr. Karl G. Metzner  
Senior Planner  
Grand Junction Community  
Development Department  
250 North Fifth Street  
Grand Junction, CO 81501-2688

RE: *Grand Junction VOA Elderly Housing, Inc.  
#101-EE001/Grand Junction, CO*

Dear Mr. Metzner:

On behalf of Volunteers of America, I am writing to respectfully request your favorable consideration to VOA's application for a parking variance in relation to the above-referenced Section 202 elderly housing facility proposed in Grand Junction, Colorado.

The development of the proposed 60-unit housing facility is being funded through a capital advance from the Section 202 program of the U.S. Department of Housing & Urban Development. The program is subsidized with Section 8 Rental Payments which allows for rental assistance for the low-income residents. Since this is a federally-funded program, VOA as the project's sponsor, must adhere to all rules and regulations set forth by HUD.

To help in your consideration of VOA's request, we are providing the following special conditions or circumstances applicable to the property:

- 1) The proposed 60-unit housing complex will serve exclusively elderly residents. This requirement is imposed by the financing mechanism, HUD's Section 202 program, and cannot be changed for forty (40) years.
- 2) The average age of the residents will be approximately 75 years and it is anticipated by Volunteers of America based on our experience with similar developments, that less than fifty percent of the residents will own and drive automobiles, especially due to the location of the facility which is within walking distance of shopping and other amenities. Information regarding parking space availability and utilization is attached.
- 3) The complex will consist of 59 one-bedroom units and 1 two-bedroom manager's unit. Occupancy is anticipated to average 1.1 persons per unit for a total occupancy of 64 persons. This is significantly less than occupancy ratios in traditional multifamily housing, and translates to fewer automobiles per unit.

Mr. Karl G. Metzner

Page 2

January 25, 1993

- 4) The housing development will serve elderly persons of at least 62 years of age with incomes at or below fifty percent of median and rental assistance will be available to all qualified residents.
- 5) The owner of the complex, Grand Junction VOA Elderly Housing, Inc., is a Colorado nonprofit corporation and no monetary benefit will flow to the owner as a result of the granting of this variance. The positive result of such a variance will be in the form of more "green space" and less asphalt which will benefit the residents and the neighborhood in general. The provided "green space" will also allow for more recreational areas for the residents. Additionally, if the variance is not granted, VOA will be required to purchase additional land. The cost of this land *will not* be included in the capital advance from HUD. Since VOA is a nonprofit corporation, the funds to pay for the additional land will need to be taken away from other VOA service programs such as foster homes, day care facilities, emergency shelters, thrift stores, rehabilitation programs, etc.
- 6) The cost limits of the Section 202 program create a maximum capital advance to the extent that funds used for parking won't be used for other amenities which serve the residents. An additional amount of \$500.00 per parking space can be experienced, making the project's capital advance exceed the budget for such type amenities.

Volunteers of America has an extensive history with the sponsoring and ownership of housing facilities for both the elderly and the handicapped with nearly 8,000 units of housing throughout the country. It has been VOA's experience that since the residency requirements for a Section 202 facility is that of at least 62 years of age and of low-income, many of the residents do not own automobiles.

In closing, I would like to again respectfully request that the City of Grand Junction grant a favorable response to VOA's request. I would like to thank you in advance for your consideration and cooperation in helping bring this much-needed project to fruition.

Sincerely,

DIANA MCIVER & ASSOCIATES, INC.



Mindy Cool  
Vice President

MC/zd

cc: Rick Powell, VOA  
Ken Howe, VOA  
Gary Prager, Lantz-Boggio

**SECTION 202 HOUSING FACILITIES**

**UNITS VS VEHICLES**

<b><u>Project Location</u></b>	<b><u>Number of Units</u></b>	<b><u>Number of Vehicles</u></b>	<b><u>Percentage</u></b>
Denver, CO	50	18	36%
Denver, CO	242	59	24%
Denver, CO	100	54	54%
Long Beach, CA	75	41	54%
Fort Worth, Texas	80	27	33%
Dallas, Texas	120	56	47%
Rosenberg, Texas	68	20	29%
The Woodlands, Texas	66	20	30%
Clearwater, FL	51	28	54%
Clearwater, FL	37	19	51%
Riverside, FL	100	50	50%
Riverside, FL	96	50	52%
Sandersville, GA	40	23	57%
Miami, FL	100	50	50%

#25 03

# Lantz-Boggio Architects, P.C.

Architects Planners Consultants

5200 DTC Parkway Suite 500 Englewood, CO 80111 (303)773-0436  
FAX (303)773-8709

February 15, 1993

Remove  
Office

Mr. Karl G. Metzner  
Senior Planner  
Grand Junction Community  
Development Department  
250 North Fifth Street  
Grand Junction, Colorado 81501-2688

**RE: Grand Junction VOA Elderly Housing, Inc.  
#101-EE001/Grand Junction, Colorado**

Dear Mr. Metzner:

On behalf of the Volunteers of America, we are requesting your favorable consideration to VOA's application for locating a new curb cut on North 1st Street, to access the above referenced proposed Section 202 elderly housing facility.

To help in your review, please consider the following:

1. As stated in a letter sent to you by Diana McIver and Associates, dated January 25, 1993, this development of the proposed 60-unit housing facility is subsidized for low-income elderly residents with an average age of approximately 75 years. And as noted, based on experience with similar developments, on an average, approximately fifty percent of the residents will own and drive automobiles.
2. This additional curb cut would allow for more convenient through circulation for fire equipment from North 1st Street at the NE corner of the site to Independent Avenue at the SW corner of the site.
3. The new curb cut at North 1st Street would be restricted to a right turn in/right turn out only, with posted signage, to lessen the traffic impact for the surrounding area.

Again as stated in the attached letter, Volunteers of America has an extensive history with subsidized housing facilities for the elderly, and it has been VOA's experience that since the residency requirements for a Section 202 facility is that of at least 62 years of age and of low-income, many of the residents do not own automobiles and the vehicular traffic that will exit should be considered low activity.

Karl Metzner  
February 15, 1993  
Page Two

#25 93

Remove  
Office

In closing, I would like to again respectfully request that the City of Grand Junction grant a favorable response to VOA's request. Thank you for your time and consideration.

Sincerely,

A handwritten signature in cursive script, appearing to read "Gary Prager", followed by a horizontal line extending to the right.

Gary Prager, AIA  
Project Administrator

Enclosures



# 21 93

January 25, 1993

Mr. Karl G. Metzner  
Senior Planner  
Grand Junction Community  
Development Department  
250 North Fifth Street  
Grand Junction, CO 81501-2688

RE: *Grand Junction VOA Elderly Housing, Inc.*  
*#101-EE001/Grand Junction, CO*

Dear Mr. Metzner:

On behalf of Volunteers of America, I am writing to respectfully request your favorable consideration to VOA's application for a parking variance in relation to the above-referenced Section 202 elderly housing facility proposed in Grand Junction, Colorado.

The development of the proposed 60-unit housing facility is being funded through a capital advance from the Section 202 program of the U.S. Department of Housing & Urban Development. The program is subsidized with Section 8 Rental Payments which allows for rental assistance for the low-income residents. Since this is a federally-funded program, VOA as the project's sponsor, must adhere to all rules and regulations set forth by HUD.

To help in your consideration of VOA's request, we are providing the following special conditions or circumstances applicable to the property:

- 1) The proposed 60-unit housing complex will serve exclusively elderly residents. This requirement is imposed by the financing mechanism, HUD's Section 202 program, and cannot be changed for forty (40) years.
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- 3) The complex will consist of 59 one-bedroom units and 1 two-bedroom manager's unit. Occupancy is anticipated to average 1.1 persons per unit for a total occupancy of 64 persons. This is significantly less than occupancy ratios in traditional multifamily housing, and translates to fewer automobiles per unit.

Mr. Karl G. Metzner  
Page 2  
January 25, 1993

425 93

DIANA MCIVER & ASSOCIATES, INC.

- 4) The housing development will serve elderly persons of at least 62 years of age with incomes at or below fifty percent of median and rental assistance will be available to all qualified residents.
- 5) The owner of the complex, Grand Junction VOA Elderly Housing, Inc., is a Colorado nonprofit corporation and no monetary benefit will flow to the owner as a result of the granting of this variance. The positive result of such a variance will be in the form of more "green space" and less asphalt which will benefit the residents and the neighborhood in general. The provided "green space" will also allow for more recreational areas for the residents. Additionally, if the variance is not granted, VOA will be required to purchase additional land. The cost of this land *will not* be included in the capital advance from HUD. Since VOA is a nonprofit corporation, the funds to pay for the additional land will need to be taken away from other VOA service programs such as foster homes, day care facilities, emergency shelters, thrift stores, rehabilitation programs, etc.
- 6) The cost limits of the Section 202 program create a maximum capital advance to the extent that funds used for parking won't be used for other amenities which serve the residents. An additional amount of \$500.00 per parking space can be experienced, making the project's capital advance exceed the budget for such type amenities.

Volunteers of America has an extensive history with the sponsoring and ownership of housing facilities for both the elderly and the handicapped with nearly 8,000 units of housing throughout the country. It has been VOA's experience that since the residency requirements for a Section 202 facility is that of at least 62 years of age and of low-income, many of the residents do not own automobiles.

In closing, I would like to again respectfully request that the City of Grand Junction grant a favorable response to VOA's request. I would like to thank you in advance for your consideration and cooperation in helping bring this much-needed project to fruition.

Sincerely,

DIANA MCIVER & ASSOCIATES, INC.



Mindy Cool  
Vice President

MC/zd

cc: Rick Powell, VOA  
Ken Howe, VOA  
Gary Prager, Lantz-Boggio

SECTION 202 HOUSING FACILITIES

UNITS VS VEHICLES

<u>Project Location</u>	<u>Number of Units</u>	<u>Number of Vehicles</u>	<u>Percentage</u>
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Dallas, Texas	120	56	47%
Rosenberg, Texas	68	20	29%
The Woodlands, Texas	66	20	30%
Clearwater, FL	51	28	54%
Clearwater, FL	37	19	51%
Riverside, FL	100	50	50%
Riverside, FL	96	50	52%
Sandersville, GA	40	23	57%
Miami, FL	100	50	50%



## U.S. Department of Housing and Urban Development

Denver Regional Office, Region VIII  
Executive Tower  
1405 Curtis Street  
Denver, Colorado 80202-2349

FEB 25 1993

Ms. Mindy Cool  
Vice President  
Diana McIver & Associates, Inc.  
7035 Bee Caves Road  
Austin, Texas 78746

Dear Ms. Cool:

This is in response to your letter of February 22, 1993, requesting a letter from our Office regarding our approval of the preliminary drawings including 31 parking spaces for Project Number 101-EE001-NP-WAH, Grand Junction VOA Elderly Housing to be located in Grand Junction, Colorado.

The processing of the conditional commitment application has been completed. This processing approved the design of the project including the 31 parking spaces. We will be issuing the conditional commitment in the near future. This conditional commitment will reflect the HUD approved site appraisal for the current parcel of land with the 31 parking spaces. However, the conditional commitment will be conditioned upon the City of Grand Junction approval of the rezoning to Planned Residential.

While our office supports and encourages your position that the .5:1 ratio parking standard for retirement projects, which is currently part of the Grand Junction City Code, be maintained in the rezoning, it must be clearly understood that the Department of Urban Development (HUD) has no authority in this matter. Zoning requirements are strictly a local matter and project owners are expected to comply with all local requirements. It is clear to us that a 1:1 ratio for parking would not be feasible on the current site and the cost of underground parking might make the project financially infeasible. We therefore would support any effort at compromise with the City of Grand Junction on this issue.

If we may be of further assistance, please contact Ms. Cynthia Lightner, Multifamily Housing Representative, Housing Development Division, Office of Housing, at (303) 844-6261.

Sincerely yours,

A handwritten signature in dark ink, appearing to read "Lorin Hunt".

Lorin Hunt  
Housing Programs Officer  
Housing Programs Branch

#25 43

**DIANA McIVER  
&  
ASSOCIATES, INC.**

February 22, 1993

VIA FACSIMILE

Ms. Cynthia Lightner  
Multifamily Housing Representative  
U.S. Department of Housing & Urban Development  
1405 Curtis Street, 24th Floor  
Denver, CO 80202

RE: *Grand Junction VOA Elderly Housing, Inc.  
#101-EE001/Grand Junction, CO*

Dear Ms. Lightner:

On behalf of Volunteers of America, Inc., and pursuant to our telephone conversation this morning, I am writing to request the Denver HUD Office's assistance regarding the above-referenced Section 202 project.

As we discussed, the City of Grand Junction is considering denying VOA's parking variance request. Although they had unofficially granted approval of the 31 parking spaces, a middle- to higher-income level retirement facility within Grand Junction has recently gone back to the Planning Commission requesting additional spaces for their facility. This request has the City concerned that VOA's project should include, at a minimum, a 1:1 ratio for parking.

The City has told us that for further consideration of our request of a parking variance, we will need to submit the following documents:

- 1) Further justification and historical data from VOA regarding the need for less parking (see attached letter).
- 2) A letter from the Denver HUD Office stating the preliminary drawings with 31 parking spaces has been approved. Additionally, if possible, our request would be greatly strengthened if the Denver HUD Office can include in the letter comments regarding: 1) HUD's experience with low-income elderly housing and the need for less parking spaces; 2) a reference to HUD regulations, Handbook 4571.5, page 1-23, encouraging the sponsor to apply for parking variances; and 3) the fact that HUD has approved and appraised the current parcel of land which accommodates the 31 parking spaces.

The deadline for submittal of the site plan package to the City, including the above documents, is March 1, 1993. Again, if at all possible, we would be very grateful if your office could provide a response and send via facsimile by Wednesday, February 24, 1993, to both the architect and to me. The fax number for the architect, Gary Prager at Lantz-Boggio, is (303) 773-8709. My fax number is (512) 328-4584.

# 25 03

Ms. Cynthia Lightner  
Page 2  
February 22, 1993

Ken Howe  
Team Office

Thank you very much for your consideration of our request. Your assistance in this matter is greatly appreciated. The Denver HUD Office and the Development Team Members have worked diligently to-date to bring this project through processing. The City's denial of the parking variance could create unnecessary delays in bringing this project to a timely fruition.

As always, if you should have any questions or require further information, please do not hesitate to contact me directly.

Sincerely,

DIANA MCIVER & ASSOCIATES, INC.



Mindy Cool  
Vice President

MC/zd

Enclosure

cc: Rick Powell, VOA  
Ken Howe, VOA  
Gary Prager, Lantz-Boggio

## Parking analysis for existing retirement centers and elderly housing. 3/20/93

This analysis of parking for elderly housing projects was done as part of the review of the VOA Elderly Housing project at 1st St. and Independent Ave. Two retirement centers and 4 subsidized elderly housing projects were surveyed. Both retirement centers provided less than one parking space per unit but had land available to construct additional parking should it become necessary. Both centers also utilized available on street parking. In the case of Mesa View additional parking may have to be constructed when Horizon Place is extended to reduce the amount of on street parking currently utilized. Grand Villa parking on 15th Street has resulted in some complaints from area residents and the Grand Villa owners have been notified that additional parking may be required if the condition persists. Typically parking demand is most severe on weekends.

The three of the four elderly housing projects had one parking space per unit or more. The exception is Ratikin Towers, a Grand Junction Housing Authority Project located in the 800 block of Main Street. Ratikin Towers was constructed at a time when downtown developments were exempt from the parking regulation on the assumption that downtown public parking lots and on street parking was adequate to meet parking demands. Current regulations would require new developments to meet parking standards. Site checks of the other three projects showed that the parking provided was well used with very few vacant spaces. Monterey Park at one space per unit also utilized available on street parking spaces.

Discussions with managers of various projects indicates a number of different types of parking demands.

1. Resident parking for those who drive on a regular basis.
2. Vehicle "storage" for those residents who own cars, and are reluctant to give them up, but rarely drive.
3. service providers to residents ( meals on wheels, cleaners, deliveries, etc.)
4. Employees
5. Visitors

### **MESA VIEW RETIREMENT CENTER**

101 units; 51 parking spaces; .5 spaces per unit  
On street parking available on Horizon Place  
Land set aside for additional parking if required.  
Van service available, central dining available, some assisted care.

11/10/93  
12

**GRAND VILLA RETIREMENT CENTER**

47 units; 16 parking spaces; .3 spaces per unit  
On street parking available on 15th street  
Land set aside for additional parking if required.  
Van service available, central dining available, assisted care.

**WALNUT PARK- SUBSIDIZED ELDERLY HOUSING**

78 units; 90 parking spaces; 1.2 spaces per unit  
No on street parking  
No land available for additional parking.  
No van service; no central dining; independent living

**NELLIE BECHTEL GARDENS- SUBSIDIZED ELDERLY HOUSING**

96 units; 146 parking spaces; 1.5 spaces per unit  
No on street parking  
No land available for additional parking.  
No van service; no central dining; independent living

**RATIKIN TOWERS- SUBSIDIZED ELDERLY HOUSING**

107 units; 47 parking spaces; .44 spaces per unit  
On street parking available on Main St, 8th and 9th Streets, and  
Colorado Ave.  
No land available for additional parking.  
No van service; no central dining; independent living

**MONTEREY PARK- SUBSIDIZED ELDERLY HOUSING**

186 units; 186 parking spaces; 1 space per unit  
On street parking available on Cannel, Bookcliff, and 11th streets  
No land available for additional parking.  
No van service; no central dining; independent living

Both Nellie Bechtel Gardens and Walnut Park seem to have adequate parking for their needs. According to the managers about 20% of the parking in both projects is available for non-resident use. All on site parking for Monterey Park is used by residents. On street parking is used by visitors and service providers. Ratikin Towers is very deficient in on site parking. Both residents and visitors utilize the on street parking on surrounding streets.

## REVIEW COMMENTS

Page 1 of 3

FILE NO. #25-93

TITLE HEADING: Rezone & Final Plat/Plan

LOCATION: NW of North 1st Street & Independent Avenue

PETITIONER: Volunteers of American, Inc.

PETITIONER'S ADDRESS/TELEPHONE: 5200 DTC Parkway, #500  
Englewood, CO 80111  
244-1565

PETITIONER'S REPRESENTATIVE: Lantz-Boggio Architects, PC

STAFF REPRESENTATIVE: Karl Metzner

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**NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED ON OR BEFORE 5:00 P.M., MARCH 29, 1993.**

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**PUBLIC SERVICE COMPANY** 3/4/93  
Dale Clawson 244-2695

Electric: Request 10' wide utility easement on west edge of property.  
Gas: No objections, additions or deletions.

**CITY PROPERTY AGENT** 3/4/93  
Tim Woodmansee 244-1565

No problems with the plans. I suggest the additional right-of-way along 1st Street be dedicated commensurate with the boundary line adjustment.

**U.S. WEST** 3/4/93  
Leon Peach 244-4964

No comments at this time.

**FIRE DEPARTMENT** 3/8/93  
George Bennett 244-1400

As approved Automatic Sprinkler System shall be installed. Have your sprinkler contractor submit plans, hydraulic calculations and material data sheets for our approval.

The trash dumpster shall not be within five (5) feet of the building nor under any overhang of the building.

**PARKS & RECREATION** 3/8/93  
Don Hobbs 244-1542

Open space fee based upon 60 units x \$225 each = \$13,500 open space fee due.

**FILE #25-93 / REVIEW COMMENTS**

**Page 2 of 3**

**GRAND JUNCTION DRAINAGE DISTRICT** 3/4/93  
**John L Ballagh** 242-4343

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The Grand Junction Drainage District does not have any existing or planned improvements through, or adjacent to, this site. The closest tile line "begins" in Poplar Drive, flows south to Independent Avenue westerly toward West Lake thence into the Ligrani Drain. The "drain" along this property in the Independent Avenue right-of-way must be maintained by the irrigation water users, the City, or the property owners - not the drainage district.

The Ligrani drain system was improved by the district in 1988-89. None the less, downstream detention areas were built into that project because of large upstream flows. Upstream detention is considered a **GOOD** idea.

**CITY UTILITY ENGINEER** 3/15/93  
**Bill Cheney** 244-1590

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**WATER**

1. Fire hydrants to be located in utility easement or right-of-way. Hydrants on private property will not be maintained by the Fire Department.
2. Contact Fire Department for location of additional hydrants as required in the City Ordinance.

**SEWER**

1. Connection to the sewer line in Independent Avenue is acceptable.
2. Plant Investment Fee based on 64 residences will be \$17,280.

**CITY DEVELOPMENT ENGINEER** 3/17/93  
**Gerald Williams** 244-1591

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In conjunction with a 1993 City project, 1st Street will have a right turn deceleration lane as shown on the attached red-lined print. The revised curb, gutter, and sidewalk, along with additional asphalt, will be constructed with the City project. However, the developer will be responsible for the cost of sidewalk, inasmuch as the current sidewalk has tripping hazards and does not meet current standards.

Other comments are also provided on the attached prints.

Also, on the Improvements Agreement, approximately \$100 should be added on item V-7 (City Inspection Fees).

**COMMUNITY DEVELOPMENT DEPT.** 3/18/93  
**Karl Metzner** 244-1439

---

1. The "boundary line adjustment plat" adequately shows the property in question, however, a standard subdivision plat will be required prior to recording.
2. 37 parking spaces for 60 apartment units is not acceptable; recommend 1 (one) space per unit be constructed, with land set aside for an additional 1/2 space per unit if parking demand warrants additional spaces.

**FILE #25-93 / REVIEW COMMENTS**

**Page 3 of 3**

3. Sight distance triangles must be maintained at both entrances. This may require reducing the length of the 6 foot screen fence.
4. Recommend larger shade trees be included in place of some of the Spring snow crab specimen trees.
5. Recommend shrubs instead of sod landscaping along 1st Street.
6. All tress and shrub areas, as well as sodded areas, must be irrigated.
7. Building identification signs should be relocated to the east, out of sight distance triangle.

**POLICE DEPARTMENT**

3/16/93

**Mark Angelo**

**244-3587**

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1. There needs to be at least 1 parking space per unit to allow for guest or for family visits.
2. 6' cedar fence - what sides will the 6' cedar fence be placed (west only or north also, etc.)?
3. What type of exterior lights are going to be used? - HID's? Mercury Vapor? Metal Halides?
4. Insufficient lighting shown for parking lots, mostly on south side; handicap ramp on south side; west side of building and building on east side.
5. Landscaping - the use of a spirea bush on an already dark side (west side) not recommended. Bush will get big and bushy if not trimmed regularly.
6. Exit & entrance onto 1st Street will create a traffic problem. People will still try and get into that entrance from northbound on 1st Street and people will still try and exit northbound onto 1st Street.

# Lantz-Boggio Architects, P.C.

Architects Planners Consultants

5200 DTC Parkway Suite 500 Englewood, CO 80111 (303)773-0436  
FAX (303)773-8709

## RESPONSE TO REVIEW COMMENTS FILE NO. #25-93

**TITLE HEADING:** Rezone and Final Plat/Plan

**LOCATION:** NW of North 1st Street & Independent Ave.

**PETITIONER:** Volunteers of America, Inc.

**PETITIONER'S ADDRESS/TELEPHONE:** 5200 DTC Parkway, #500  
**(REPRESENTATIVE)** Englewood, CO 80111  
773-0436

**PETITIONER'S REPRESENTATIVE:** Lantz-Boggio Architects, P.C.

**STAFF REPRESENTATIVE:** Karl Metzner

### PUBLIC SERVICE COMPANY

**Electric:** A 10' utility easement will be added to the west side of the property.

### CITY PROPERTY AGENT

The suggestion of the additional right-of-way along 1st Street be dedicated commensurate with the boundary line adjustment will be taken under consideration.

### FIRE DEPARTMENT

- A. An automatic sprinkler system shall be installed. The sprinkler contractor will submit plans, hydraulic calculations and materials data sheets for approval.
- B. Will comply. The trash dumpster shall be located to meet local codes and requirements.

### CITY UTILITY ENGINEER

- 1. A 10 foot square utility easement will be dedicated for the fire hydrant located on Independent Avenue. This easement will adjoin the existing road R.O.W. Also the hydrant will be within the easement requested by Public Service. The hydrant on North 1st Street will be relocated within the existing R.O.W.

City of Englewood  
Public Works Office

2. The Fire Department will be contacted prior to completion of the site plan for location of additional hydrants.

**CITY DEVELOPMENT ENGINEER**

- A. The developer will be responsible for the cost of sidewalk in conjunction with a 1993 City project, 1st Street right turn deceleration lane.

- B. Following are responses to red-lined prints:

**GRADING AND DRAINAGE PLAN**

1. The asphalt taper on Independent Avenue will be constructed at 15:1.
2. The channel width of all three sidewalk drains will be 12" rather than 24" as shown the plan.
3. The curb in the area of the trash pick-up will have a curb cut to allow water from the concrete drainage catch to flow into detention pond 5 for eventual discharge into Independent Avenue.
4. The drainage swale along the north and west property lines is to be constructed in order to direct runoff from the property to the north into an existing drainage ditch located on the west side of the property. The swale will be graded as shown on the grading and drainage plan.
5. A directional movement island with a "Right-Turn-Only" sign will be studied for feasibility in use with the design of the North 1st Street driveway.
6. The flow-line slope within the parking lot by the southeast corner of the building was incorrectly labeled as 0.0500. The correct slope should be 0.0050.
7. The Foundation Study and Soil Investigation Report stated the grade away from the building should be at least 5% for a minimum of 10 feet. The addition of the moisture barrier extending 10 feet from the foundation, as shown on the Foundation Perimeter Drain Detail, will provide protection to the foundation from moisture. This moisture barrier will allow the use of a 2% slope next to the building. The location of the perimeter drain will be shown on the Grading and Drainage Plan. Discharge of water from this collection system will be the drainage channel located in the southwest corner of the property.
8. The Pavement Section Detail was inadvertently left off of this drawing. The design for the pavement section is 2" HBP over 18 inches compacted ABC. The detail will be added to the Grading and Drainage Plan.
9. Detail B shows a 2" concrete cover over the outlet pipe. This will be increased to 3" cover and the addition of a #3 rebar hoop shall be installed around the outlet pipe for Pond 5 only.
10. The steel grate shown in Detail A & B shall be held in place by a "Z" bracket. The dimensions of this bracket will be such to accommodate the type of grate selected. There should be sufficient clearance between the grate and bracket to accommodate grate removal. The grate will be removed by sliding upward. There will be a detail of this bracket on the Grading and Drainage Plan.

City Office

11. The use of the Trench Drain is necessary in the Pond 1 since there is insufficient elevation to use a drop structure. The use of a screen or grate covering the end of a 4" pipe is also inadequate, since the small grate size will be subject to clogging from grass cuttings and/or leaves. Therefore, the use of the trench drain is utilized with its larger grate area. A #3 rebar will be added to the concrete structure above the drain to prevent cracking of the concrete. The grate is held on by bolts which must be removed in order to remove the grate.

#### **UTILITY COMPOSITE**

1. A water meter will be added on the water supply line.
2. The irrigation pipe shall have a minimum of 12" cover. Bedding for the pipe on the property will be 6" of 1/2" washed rock to a height of 3" over the top of the pipe. Compacted soil will then be placed over gravel to finished grade. The section of irrigation pipe west of the property under the driveway will be bedded and backfilled with native soil compacted to 95% Standard Proctor Density. Pipe used for the irrigation line will be 12" PVC SDR 35. The attached calculation sheet shows the resultant deflection for the worst case which occurs at the adjacent driveway west of the property. The deflection of 1.67% is well within the maximum recommended deflection of 7.5%.

#### **COMMUNITY DEVELOPMENT PLAN**

1. Upon resolution of required parking areas, a subdivision plat will be provided. All necessary easements will be dedicated with the plat.
2. The perspective owners are in the process of obtaining a portion of adjacent land to the north of this site. If the existing owners and the perspective owners can negotiate the terms of the agreement, there will be ample space to accommodate the additional parking required.
3. The length of the 6 foot screen fence will be reduced to maintain the required sight distance triangles at both entrances.
4. The shade trees will be determined in the final landscape plan and with proposed budgets.
5. Will comply. The location will be determined in conjunction with the proposed deceleration lane at 1st Street.
6. All trees and shrub, as well as sodded areas shall be irrigated.
7. Building identification sign shall be relocated to maintain the required sight distance triangle.

City Office

## **POLICE DEPARTMENT**

1. The perspective owners are in the process of obtaining a portion of adjacent land to the north of this site. If the existing owners and the perspective owners can negotiate the terms of the agreement, there will be ample space to accommodate the additional parking required.
2. The 6' high cedar fence will be placed along the north and west sides parallel to the property lines.
3. The specific type of exterior light fixtures shall be specified on Electrical plans to meet with local codes and requirements.
4. The exterior lighting shall be designed to meet local codes and requirements by the Electrical Engineer.
5. Bushes and shrubbery will be determined in the final landscape plan and with proposed budget.
6. A directional movement island with a "Right-Turn-Only" sign will be studied for feasibility in use with the design of the North 1st Street driveway.

DO NOT REMOVE  
FROM OFFICE

STAFF REVIEW

---

FILE # 25-93

DATE: March 30, 1993

STAFF: Karl Metzner

REQUEST: Rezoning from B-2 and P to PR and final plan/plat

LOCATION: N.W. Corner 1st St. and Independent Ave.

APPLICANT: Volunteers of America, Inc.

---

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Elderly housing

SURROUNDING LAND USE:

NORTH: Single family residential

EAST: Single family residential

SOUTH: vacant

WEST: single family residential

EXISTING ZONING: B-2 and P

PROPOSED ZONING: PR

SURROUNDING ZONING:

NORTH: B-2

EAST: RSF-5

SOUTH: RMF-64

WEST: RSF-8

---

RELATIONSHIP TO COMPREHENSIVE PLAN/POLICIES/GUIDELINES: 1st Street Corridor Guidelines recommend professional offices or multifamily residential as an appropriate use. Site design should respect the existing residential character of the area.

STAFF ANALYSIS: This request is for 60 subsidized elderly housing units on 1.37 acres with an effective density of 43.8 units per acre. The project consists of independent apartment units in a three story building with a height of 41 feet to the peak of roof. A common area is provided on the first floor. Access is from 1st Street and Independent Ave. The city will be installing a traffic signal at the intersection of 1st and Independent because of existing traffic warrants. This improvement will include a right hand turn lane on First St. which will require additional R.O.W. from this project. The major outstanding issue is the provision of on site parking. Petitioners have proposed 37 parking spaces for 60 units. Staff has studied several existing projects in Grand Junction (see attached report) and recommends that 1 space per unit be provided initially and that land be set aside to construct an additional 1/2 space per unit if

STAFF  
Karl Metzner

parking demand warrants such an increase. Petitioners response to comments indicates they are negotiating with the current property owner for additional land to provide the requested comments. Petitioners have responded satisfactorily to all other review comments.

STAFF RECOMMENDATION: Purchase of additional land for parking will require site plan revisions as well as revisions to some infrastructure improvements such as drainage. Recommend this item be tabled pending acquisition of adequate parking and review of revised plans and specifications.

Original  
Do NOT Remove  
from Office

1049 21.5 Road  
Grand Junction, CO 81505

April 1, 1993

Mr. Karl C. Metzner, Senior Planner  
Grand Junction Planning Department  
250 North 5th Street  
Grand Junction, CO 81501

Dear Mr. Metzner:

We have learned that property owned by the Arcieri family and located at the northwest corner of First Street and Independent Avenue in Grand Junction is in the process of being transferred to new ownership.

Mr. A. W. Robbins has owned the property at 162 Independent Avenue since 1974. The parcel number is 2945-104-00-081. The east side and the north side of the Robbins property adjoins the Arcieri property.

For many years Mr. Robbins owned water from the Grand Valley Irrigation Company to water this property. Irrigation water has run along the back (North) side of the Robbins property through an open ditch from across a portion of the Arcieri property. We have been able to irrigate the back (North) portion of the property by gravity flow.

Due to ownership change and/or development of the Arcieri property our ditch right-of-way may be affected; Mr. Robbins requests written assurance that his water will reach (by ditch or pipe) the North side of his property in order to irrigate that portion.

Thank you.

Sincerely,

  
A. W. Robbins

  
Dorothy Jean Robbins

  
Joyce K. Sexton





**DRAINAGE STUDY**

Prepared For

Volunteers of America  
3813 Causeway Blvd.  
Metairie, Louisiana 70002

August 1993

Location: Northwest corner of North 1st Street and Independent Ave., Grand Junction, Colorado.

**EXISTING CONDITIONS:**

The property consists of 2.52 acres with remnants of building foundations. The existing ground cover is mostly grass and weeds with a gravel driveway. Existing runoff primarily sheet flows to the southwest and west. The undeveloped property is considered as two basins. One basin, draining towards Independent Ave, has an average slope of 1% and a maximum reach of approximately 300'. The second basin, draining towards a ditch located at the west end of the property, has an average slope of 1% and a maximum reach of 360 feet. The drainage of the lot is sheet flow.

**Undeveloped Conditions:**

	Basin I	Basin II
2 year runoff	0.25 cfs	1.25 cfs
100 year runoff	0.19 cfs	0.97 cfs

**DEVELOPED CONDITIONS:**

The site will consist of a three story apartment building, landscaping, asphalt parking and asphalt driveways. Within the project, three sub-basins were derived. Sub-basin I is direct runoff onto Independent Ave not exceeding the historical flow from the lot. Sub-basin II is direct runoff onto North 1st Street. Sub-basin III is detained. Runoff from Sub-basin III is controlled by a rectangular notch weir which discharges into an existing drain ditch which flows to the west. Discharge does not exceed historical flows.

Developed Conditions:

DESCRIPTION	DETENTION	DISCHARGE	
		2 Year	100 Year
Basin I (Direct Runoff)	0	0.26 cfs	0.75 cfs
Basin II (Direct Runoff)	0	0.91 cfs	2.73 cfs
Basin III	2390	0.60 cfs	1.52 cfs

WESTERN ENGINEERS, INC.

Prepared By:

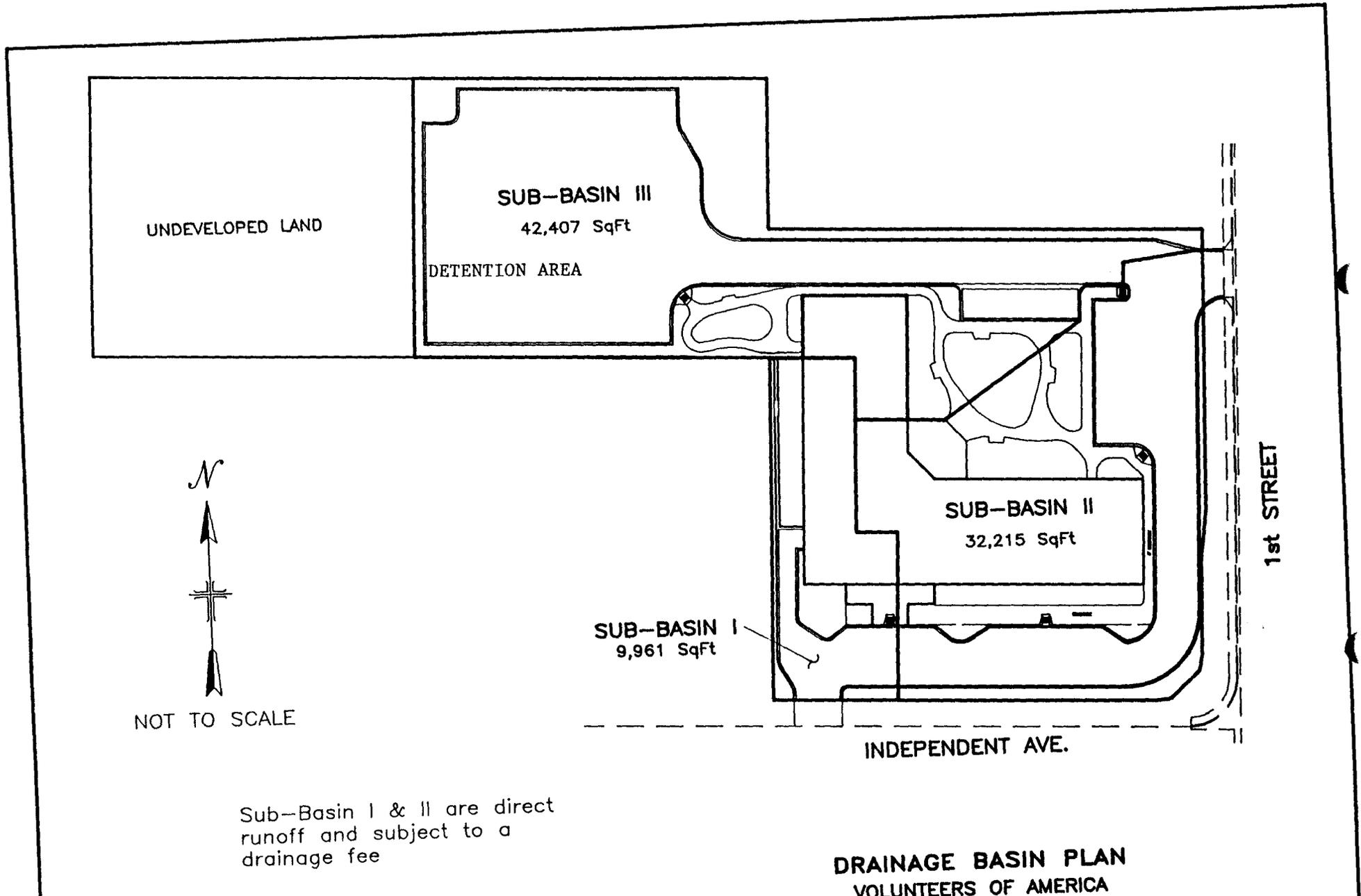


Gayle Lyman  
Staff Engineer

Reviewed By:



Bruce D. Marvin, P.E.  
President



Sub-Basin I & II are direct runoff and subject to a drainage fee

**DRAINAGE BASIN PLAN  
VOLUNTEERS OF AMERICA  
OF HUD SITE IN GRAND JUNCTION**

8/12/93

VOA  
203221

VOA - Revised

SCS Soils Map, Bc Billings Silty Clay

⇒ "C" Classification  $C_{2yr} = 0.20$   $C_{100yr} = 0.35$

A = 56,

UNDEVELOPED

Two Year

$$\text{sheet flow } 300' \quad S = \frac{4601 - 4598}{300} = 0.0100$$

$$T_{2yr} = \frac{1.8(1.1 - C)}{S^{1/3}} L^{1/2} = \frac{1.8(1.1 - 0.20)(300)^{1/2}}{(1.0)^{0.333}} = 28.1 \text{ min}$$

$C = 0.92 \text{ in/hr}$

$$Q_{2y} = C_i A = 0.2(0.92)(1.36) = \underline{\underline{0.25 \text{ cfs}}}$$

HUNDRED YEAR

$$\text{sheet flow } T_{100} = \frac{1.8(1.1 - 0.35)(300)^{1/2}}{(1.0)^{.33}} = 234 \text{ min}$$

$$i = 2.63 \text{ in/hr}$$

$$Q_{100y} = C_i A = (0.35)(2.63 \text{ in/hr})(1.36 \text{ A}) = \underline{\underline{1.25 \text{ cfs}}}$$



150  
 100  
 50  
 0  
 50  
 100  
 150

**BASIN III (Parklat + Drive)**

SCS Soils Map Bc - Billings Silty Clay  
 ⇒ "C" Classification  $C_{2yr} = 0.20$   $C_{100yr} = 0.35$

Undeveloped

Sheet flow  $L = 240'$   $S = \frac{4600.04 - 4597.2}{240} = 0.0118$

Total Area = 42,407 SF or .974 ac

Two year

$$T_{0.2yr} = \frac{1.8(1.1 - C)L^{1.5}}{5^{0.33}} = \frac{1.8(1.1 - 0.2)240^{1.5}}{1.18^{.33}} = 23.76 \text{ min}$$

$i = 1 \text{ in/hr}$

$$Q_{2yr} = CiA = (0.20)(1)(.974) = .1948 \text{ cfs}$$

Hundred year

$$T_{0.100} = \frac{1.8(1.1 - 0.35)240^{1.5}}{1.18^{.33}} = 19.80 \text{ min}$$

$i = 2.84 \text{ in/hr}$

$$Q_{100} = (.35)(2.84)(.974) = .968 \text{ cfs}$$

# BASIN III cont.

VOA  
W0#3221

## Developed

	Area	2yr	100yr	Factor	wt 2yr	wt 100yr
Landscape	10,975	.25	.35	.259	.065	.091
Asph/Bldg	31,432	.90	.95	.741	.667	.704
	42,407 SF			1.000	.732	.795
	.9735 ac					

$$T_{0.2yr} = \frac{1.8(1.1 - .732) 240^{.5}}{1.18^{.33}} = 9.72 \text{ min} \quad C = 1.52 \text{ in/hr}$$

$$Q = C i A = (.732)(1.52)(.974) = 1.08 \text{ cfs}$$

$$T_{0.100yr} = \frac{1.8(1.1 - .795) 240^{.5}}{1.18^{.33}} = 8.05 \text{ min} \quad i = 4.19 \text{ in/hr}$$

$$Q = (.795)(4.19)(.974) = 3.24 \text{ cfs}$$

## Allowable Rate of Discharge (Detention)

Two year

$$Q_0 = (1.08 \text{ cfs} - .19 \text{ cfs})(.67) = 0.60 \text{ cfs}$$

Hundred year

$$Q_0 = (3.24 - 0.97)(.67) = 1.52 \text{ cfs}$$

$$K_{2yr} = T_{ch}/T_{cd} = \frac{23.76}{9.72} = 2.44$$

$$K_{100} = T_{ch}/T_{cd} = \frac{19.8}{8.05} = 2.46$$

Basin III

VOA  
40#3221

Developed Condition

Time of Critical Storm Duration

Two year

$$C_d = .732 \quad A = .974 A_c \quad Q_0 = 0.60 \text{ cfs} \quad T_c = 9.72 \text{ min}$$

$$T_{d2} = \left[ \frac{633.4 C_d A}{Q_0 \left[ \frac{Q_0^2 T_c}{234 C_d A} \right]^{.5}} \right]^{.5} - 15.6$$

$$= \left[ \frac{633.4 (.732) (.974)}{.60 \left[ \frac{.60^2 (9.72)}{234 (.732) (.974)} \right]^{.5}} \right]^{.5} - 15.6$$

$$= \left[ \frac{451.59}{.579} \right]^{.5} - 15.6$$

$$= 12.33 \text{ min}$$

Hundred year

$$C_d = .795 \quad A = .974 \quad Q_0 = 1.52 \quad T_c = 19.8$$

$$T_{d100} = \left[ \frac{2925 C_d A}{Q_0 \left[ \frac{Q_0^2 T_c}{234 C_d A} \right]^{.5}} \right]^{.5} - 25$$

$$= \left[ \frac{(2925) (.795) (.974)}{1.52 \left[ \frac{(1.52)^2 (19.8)}{234 (.795) (.974)} \right]^{.5}} \right]^{.5} - 25$$

$$= \left[ \frac{2,264.9}{1.268} \right]^{.5} - 25$$

$$= 17.27 \text{ min}$$

BASIN III  
Storage Volume

Cont

VOA  
WO #3221

Two year

$$Q_d = 1.08 \quad T_d = 12.33 \quad T_c = 9.72 \quad K = 2.44 \quad Q_0 = .60$$

$$V = 66 \left[ Q_d T_d - Q_0 T_d - Q_0 T_c + \frac{K Q_0 T_c}{2} + \frac{Q_0^2 T_c}{2 Q_d} \right]$$

$$= 66 \left[ (1.08)(12.33) - (.6)(12.33) - (.6)(9.72) + \frac{(2.44)(.6)(9.72)}{2} + \frac{(.6)^2(9.72)}{(2)(1.08)} \right]$$

$$= 66 \left[ 13.31 - 7.40 - 5.83 + 7.12 + 1.62 \right]$$

$$66 \left[ 8.82 \right]$$

$$= 582 \text{ cf}$$

Hundred Year

$$Q_d = 3.24 \quad T_d = 17.27 \quad T_c = 8.05 \quad K = 2.46 \quad Q_0 = 1.52$$

$$V = 66 \left[ (3.24)(17.27) - (1.52)(17.27) - (1.52)(8.05) + \frac{(2.46)(1.52)(8.05)}{2} + \frac{(1.52)^2(8.05)}{2(3.24)} \right]$$

$$= 66 \left[ 55.95 - 26.25 - 12.24 + 15.05 + 2.87 \right]$$

$$= 66 \left[ 35.38 \right]$$

$$= 2335 \text{ cf}$$

VOA  
WO# 3221

Parking Lot Eley	Area	Volume Increment	Volume Total
97.0	-0-	-0-	-0-
97.33	832	91.52	91.52
97.43	1533	116.48	208.00
97.53	2444	197.09	405.09
97.63	3563	298.60	703.69 <sup>+43%</sup>
97.73	4868	419.86	1123.55
97.83	6372	560.32	1683.87
97.93	7793	707.06	2390.93 <sup>+39%</sup>

Volume Needed 2yr 582 ft<sup>3</sup>  
100yr 2335 ft<sup>3</sup>

2yr = 582 cf Eley  $\approx$  97.57  $\Rightarrow$  575 cf  
100yr = 2325 cf Eley  $\approx$  97.93  $\Rightarrow$  2390 cf

Basin III  
Weir

VOA  
WO#3221

Two year Release

$$L = Q / CH^{1.5} = .19 / (3)(.57)^{1.5} =$$

$$= 0.147'' \approx 1\frac{3}{4}''$$

$1/8 = .0104$

100 year Release

Small Patch  $Q = (3)(.1458)(.93)^{1.5} = .392 \text{ cfs}$

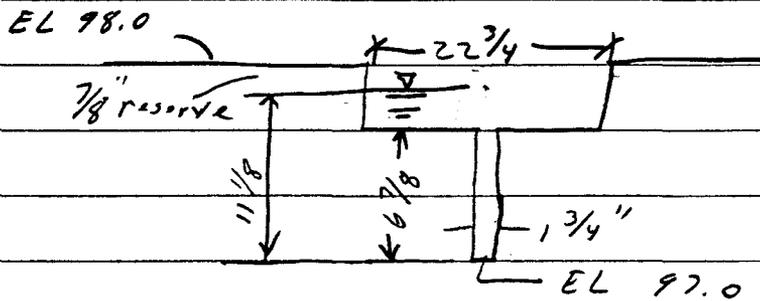
Large Patch  $1.52 \text{ cfs} - .392 \text{ cfs} = 1.13 \text{ cfs} = Q$

$$L = 1.13 / (3)(.36)^{1.5}$$

$$= 1.74 \text{ or } 2\frac{1}{4}''$$

~~NOT TO BE USED~~

CMC RISE  
FOR REST ST?



VOA  
WO # 3221

Developed Sub-Basin II

	Area	2yr	100yr	Factor	wt 2yr	wt 100yr
landscape	6,135	0.25	0.35	.190	.048	.067
Imp/Bld	26,080	0.90	0.95	.810	.729	0.770
	32,215 SF (.740 ac)				.777	.837

$$2 \text{ yr } T_0 = \frac{1.8(1.1 - .777)(220)^{1/2}}{(1.0)^{.33}} = 8.62 \text{ min } \quad C = 1.59 \text{ in/hr}$$

$$Q_{2yr} = (.777)(1.59)(.74) = .914 \text{ cfs}$$

$$100 \text{ yr } T_0 = \frac{1.8(1.1 - .837)(220)^{1/2}}{(1)^{.33}} = 7.02 \text{ min } \quad C = 4.4 \text{ in/hr}$$

$$Q_{100yr} = (.837)(4.4)(.74) = 2.73 \text{ cfs}$$

1<sup>st</sup> St Drainage Fee C-100yr Coefficient

$$\begin{aligned} \text{Fee (\$)} &= 10,000 (C_D - C_H) A^{0.7} \\ &= 10,000 (.837 - .35) (.74)^{.7} \\ &= 3,944 \end{aligned}$$

Total Drainage Fee

Sub-Basin I (Independent)	\$5,544
Sub-Basin II (1 <sup>st</sup> Street)	3,944
Total	<u>\$9,488</u>



City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

August 23, 1994

Mindy Cool, Vice President  
% Diana McIver & Associates, Inc.  
The Reserve, Building 6, Suite 100  
500 Capital of Texas Highway North  
Austin, TX 78746-3389

Dear Ms. Cool,

I have received your request, on behalf of the Volunteers of America, for a waiver of the required Development Improvements Agreement (DIA). I have discussed this request with the Community Development Director, City Development Engineer, City Attorney, and Assistant City Attorney. Although the City of Grand Junction does not normally deviate from its standard DIA requirement, in this instance the escrowing of \$12,107 with the City for off-site improvements, we have agreed to accept the HUD assurance for those improvements.

As indicated in our telephone conversation today, you will send me copies of the final recorded documents from HUD which demonstrates the off-site improvement assurances and a copy of the contract for the work to be done. Please send them to my attention as I will continue to monitor the project. If you have additional questions, feel free to contact me at (303) 244-1447.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

cc: File # 25-93

STAFF REVIEW

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FILE # 25-93

DATE: September 1, 1993

STAFF: Karl Metzner

REQUEST: Rezoning from B-2 and P to Planned Residential and Final Plan and Plat.

LOCATION: Northwest of 1st Street and Independence Ave.

APPLICANT: Volunteers of America, Inc.

---

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Residential

SURROUNDING LAND USE:

NORTH: Single family residential

EAST: Single family residential

SOUTH: Vacant

WEST: Single Family Residential

EXISTING ZONING: B-2 and P (parking)

PROPOSED ZONING: Planned Residential

SURROUNDING ZONING:

NORTH: Planned Business

EAST: RSF-4

SOUTH: RMF-64

WEST: RSF-8

---

RELATIONSHIP TO COMPREHENSIVE PLAN/POLICIES/GUIDELINES: The 1st Street Corridor Guidelines support residential multi-family and Planned Business Development along this section of 1st Street

STAFF ANALYSIS: This proposal is for 60 elderly apartment units on 2.53 acres. Structure height for the 3 story building is slightly over 41 feet. The submittal was originally made in March of 1993. During the review process it was determined that the parking was inadequate and the petitioner asked the item be tabled pending acquisition of additional land for parking. Additional lands have been acquired and the petitioner has submitted revised plans which address the additional parking required. 63 parking spaces will be constructed with the project and land is set aside for approximately 84 additional spaces should they be required. The revised plans have addressed most of the comments of the previous review. Outstanding deficiencies are in the proposed landscaping. The landscape plan is inappropriate to the scale of the building consisting mostly of small tree species and minimal shrub coverage.

Recommendations for a more appropriate landscape concept have been forwarded to the petitioner. A traffic signal is currently warranted at this intersection and will be installed by the City. Petitioner is responsible for 1/2 street improvements on Independant Ave. and sidewalk replacement on 1st Street. Funds for these improvements will be escrowed with the City and will be constructed at the time of signal installation. Construction is currently set for spring of 1994.

**STAFF RECOMMENDATION:** Recommend approval subject to the following:

1. Revision of final plat to include all requested easements and rights-of-way.
2. Payment of \$ 13,500 open space fee.
3. Payment of required plant investment fee.
4. Recorded committment to construct additional parking if required.
5. Revised landscape plan in accordance with staff recommendations.
6. Final construction plans to be approved by City Engineer.
7. Maintenance of irrigation water delivery to downstream users.
8. Location of Fire hydrants as required by City Fire Department.

## COMMENTS ON LANDSCAPE PLAN FOR V.O.A. ELDERLY HOUSING

Because of its high visibility on a well trafficked minor arterial, it is important that the proposed 60 unit V.O.A. Elderly Housing project be an aesthetically pleasing addition to our community. The landscape will be an important factor in helping what is otherwise a rather stark three story building fit into the surrounding single family residential and small business uses.

The landscape plan as submitted has a few deficiencies that if they were corrected would enhance the project as a whole.

- 1) The landscape area is calculated to include all walkways and the two entry patios. This is what allows the project to meet the 20% minimum landscape requirement for our straight zone of comparable density (RMF-32). This is not much "green" for a residential project. Much of the sodded area exists along two City street rights-of-way.
- 2) If we use the area calculations proposed by the developer, the project has too few trees to meet our minimum requirement for a straight multi-family zone. By the 27,563 square feet of landscape area claimed on the plan, one tree for every 500 square feet would mean the project should have 51 trees. As it stands now, only 18 are shown on the landscape plan.
- 3) The project also falls short of the required ratio of shrub area to other landscape area in our straight zone requirements. Even if you only count those area that are planted, there should be approximately 5,300 s.f of shrub area to the 13,250 s.f. of sodded area. The plan provides approximately 4,600 s.f. of shrub area.

Within that area, according to the straight zone, at least 75% should be covered by plant material. The V.O.A. project appears to fall of that requirement as well.

- 4) The variety of plant material could use some improvement. The variety of Crabapple specified is one of the smaller species and the scale of the building requires larger scale landscape species. The addition of shade trees, especially adjacent to outdoor living area would be an improvement. More varieties of shrubs that take advantage of the changes in seasons and some areas that feature easy care perennials would be a nice addition to the existing plan. Older people like to be surrounded by plants they are familiar with, so some of the old favorites such as lilacs, roses, daisies, etc. are good choices. Below are some suggested alternatives and additions to the existing planting plan.

Shade trees: Marshall's Seedless Ash or Autumn Applause Ash, Sunburst or Shademaster Honeylocust, Maple

Ornamental trees: Bectel Crabapple, Bradford Pear, Purple Leaf Plum

Shrubs: Shrub roses, Dwarf Lilac, Cranberry Cotoneaster, Flowering Quince, Barberry, Burning Bush, Emerald Gaiety, Euonymous (evergreen), Forsythia (dwarf)

Perennials: Shasta Daisy, Daylilies, Yarrow, Iris, Mums, etc.

- 5) My last comment has to do with the site plan. There is too little accessible, usable, outdoor living space in the V.O.A. Housing Project for the amount of density the zone change requests. There are sixty units planned. That could theoretically be even more than sixty people, if married couples are allowed to rent units. These people have guests at times. All that is really provided for them to use outdoors is five benches in a mostly bald area, between two parking lots on one of the busiest streets in Grand Junction and two small patios that are also the entries to the two main doors. This seems inadequate by any standards.

The original intent of a Planned Residential Zone is to allow the developer some leeway to exercise his creativity to produce a higher quality project. Therefore a Planned Zone should at least meet the amenity requirements of our straight zone.

This project has a special responsibility to "make a good impression" on the adjacent neighborhood because it has asked for a much higher density than surrounds it. Most of the buildings in the near vicinity are one story, single family homes and small businesses. The scale of this three story building surrounded by parking lots will be very different and perhaps viewed as incompatible unless it can be made to blend with the residential nature of the adjacent area.

Angeline Barrett  
 Planning Technician



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

Mr. Gary Prager  
Lantz-Boggio Architects, P.C.  
5200 DTYC Parkway, #500  
Englewood, CO 80111

Re: V.O.A. Elderly Housing Project

Dear Gary:

On October 6, 1993 the Grand Junction City Council approved the request for Planned Residential zoning at 1st Street and Independence Ave. This completes the required processing for the V.O.A. housing project. For your information the approving ordinance is # 2707.

In order to obtain a building permit the following items need to be completed.

- 1) Record final subdivision plat and improvements agreement/guarantee.
- 2) Record final plan of development with revisions as per review agency comments.
- 3) Payment of open space fees of \$225 per dwelling unit.

I have reviewed the improvement agreement in the file and determined that, due to the length of time that has passed since the original application, the agreement should be revised to incorporate review agency comments. I suggest you contact Western Engineers and ask them to provide us with an updated agreement.

Thanks for your cooperation and please let me know if you have any questions about this project.

Sincerely

Karl G. Metzner  
Senior Planner

To: KathyP  
Cc: MarkR, DaveT, GeraldW  
From: Don Newton  
Subject: VOA Development  
Date: 11/03/93 Time: 10:50a

The architect has again informed me that they choose to not change the access and traffic circulation to the parking lot as I recommended. The traffic problems associated with the proposed plan are mostly on site and will not affect public streets as long as the driveways are designed to allow safe ingress and egress. I have received a revised grading and drainage plan showing the proposed access from Western Engineers and have the following comments:

1. At the 1st Street Driveway, a "Do Not Enter" Sign will be required in the driveway median facing south east. "No Left Turn" and "Keep Right" signs will be required in this median facing west.
2. Stop signs will be required at the exits onto 1st Street and Independent Ave.
3. A stop sign should be installed at either the east bound or north bound lane approaching the 1st street exit.
4. The exit onto 1st Street should be widened from 14' to 15' in order for vehicles to make th 180 degree turn onto 1st Street.
5. The entrance from Independent Ave should be widened to the south to accommodate vehicles entering from the east.
6. Appropriate handicap parking signs are required in the parking areas.
7. The business sign shall not located within the 80' sight zone triangle at the corner of 1st and Independent, unless it is less than 80" in height measured from the street elevation at the intersection.



City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

May 23, 1994

Gary Prager, AIA  
% Lantz-Boggio Architects, P.C.  
5200 DTYC Parkway #500  
Englewood, CO 80111

Dear Gary,

I am now the planner assigned to handle the 60-unit VOA project proposed in Grand Junction, reviewed as File #25-93. In reviewing the file, I have found that several issues are still waiting to be resolved before planning clearance is granted and building permits are issued. The items to be resolved are:

- 1) An updated improvement agreement is needed, as indicated in the letter sent to you from Karl Metzner of our Community Development Department.
- 2) A revised landscaping plan which addresses the concerns regarding amount and type. This were outlined in comments by Angeline Barrett.
- ✓ 3) Payment of the open space fee, a total of \$13,500 (\$225 per unit).
- ✓ 4) Payment of the plant investment fee.
- 5) Four copies of final plans, including utilities, drainage and site layouts, for final approval.
- ✓ 6) An approval agreement and guarantee for street and sidewalk improvements.

If any of these issues have been completed or resolved, please let me know. Our file indicates that all these are still outstanding. If you have any questions, please contact me at (303) 244-1447.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

(303) 773-8759



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

June 7, 1994

Joan Anderson  
% Lantz-Boggio Architects, P.C.  
5200 DTYC Parkway #500  
Englewood, CO 80111

Dear Joan,

Thank you for providing me with an update on the progress of the VOA project in Grand Junction. Below, I have listed out the items still needing to be resolved and indicate how each of these can be satisfied.

1) The improvement agreement which assures the City that required sidewalks, curbs, gutters, streets, curbcuts, etc. will be constructed. The attached form "Development Improvements Agreement" needs to be filled out and returned to me. However, if any questions arise concerning it, please contact Jody Kliska, City Development Engineer, at (303) 244-1591. She will be better able to help you since the DIAs are approved by the Public Works & Utilities Department of the City of Grand Junction.

2) A revised landscaping plan is needed and should be sent directly to me.

3) Payment of the open space fee, a total of \$13,500 (\$225 per dwelling unit) needs to be payable to the City of Grand Junction and is necessary prior to planning clearance. This can be done anytime by sending a check to our office payable to the City of Grand Junction.

4) Payment of the plant investment fee is our sanitary sewer hook-up charge. This payment is necessary prior to the granting of a building permit but is not necessary for planning clearance. (Under our system, planning clearance is the City Planning approval of a development before a building permit can be applied for.)

5) Re-checking the file, I found copies of final plans, including utilities, drainage and site layout. I confirmed with Jody Kliska that these are current. However, I did not find a final site plan showing the placement of the buildings, parking, landscaping, etc. I need four copies of the final site plan for our files and final approval.

6) This project involved a minor subdivision (one lot divided into



two). It does not appear that this was ever finalized since we have no copy of a plat map in the file bearing any signatures. Please let me know the status of this since no planning clearance can be granted on a parcel involved in a subdivision until the plat gets final approval and is recorded.

Thanks for looking into these matters, I can be reached at (303) 244-1447 if further assistance is needed.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

cc: File #25-93

**DIANA McIVER  
&  
ASSOCIATES, INC.**

August 9, 1994

Mr. Tom Dixon, AICP  
Senior Planner  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501-2668

RE: *Grand Junction VOA Elderly Housing, Inc.*  
*#101-EE001/Grand Junction, CO*

Dear Mr. Dixon:

On behalf of Volunteers of America, I am writing to respectfully request the City's approval to waive the need for a *Development Improvements Agreement* to be executed between VOA and the City. Our request is based upon the fact that assurance of full completion of work will be governed by the U. S. Department of Housing and Urban Development.

As background, the proposed 60-unit elderly housing facility is being funded through the Section 202 program of HUD. Volunteers of America is sponsoring the project and our firm is serving as the housing consultant. Since funding is being provided through a federal program, HUD will mandate that specific contracts and bonds be secured prior to HUD's release of any construction funds. A copy of the Construction Contract and Off-Site Escrow Agreement is enclosed for your review. These documents will be fully executed upon HUD's completion of processing and prior to initial closing and construction start — anticipated by September 30, 1994. Please note that HUD has already established that VOA must escrow \$12,107 for assurance of completion of the off-site improvements which are indicated on the *Contractor's Cost Breakdown, FHA Form 2328*, as well as listed on the City's *Improvement List/Detail* form.

In addition to the construction contract and off-site escrow, the contractor will be required to secure a 100% performance payment bond for the project.

The scope of work to be covered by the above contracts and bonds is determined by the set of plans and specifications currently being reviewed by the City of Grand Junction.

Also, in addition to a specified inspecting architect, a HUD field representative will be assigned to supervise the construction. Prior to release of any monthly draws, the inspecting architect and HUD inspector will examine the contractor's progress and percentage of completion. At the end of construction, HUD will also control an issuance of 100% substantial completion and a Permission to Occupy certification.

Mr. Tom Dixon  
Page 2  
August 9, 1994

Given the rigid control mechanisms established for the project by the U. S. Government, we believe that the City can be assured of completion of the project without risk of City funding or completion of the project by the City itself. As stated in the City's *Development Improvements Agreement*: "the purpose of the Agreement is to protect the City from cost of completing necessary improvements itself..." With the requirements set forth by the Section 202 program and the enclosed contracts, the City can be assured that the project will be completed according to the plans and specifications without any additional agreements and/or escrows required.

The City's review and careful consideration of VOA's request will be greatly appreciated. As mentioned earlier, construction is targeted to begin no later than September 30, 1994. Therefore, the City's timely response to VOA's request will help to ensure no further delays are experienced in bringing this much-needed project to fruition.

Of course, if you should have any questions or require additional information for consideration, please do not hesitate to contact me immediately.

Sincerely,

DIANA MCIVER & ASSOCIATES, INC.



Mindy Cool  
Vice President

MC/zd  
Enclosures

cc: Robin Keller, VOA  
Robin Harbin, Welden & Harbin  
Jody Kliska, City of Grand Junction  
Bob Allison, Mendel-Allison  
Gary Prager, Lantz-Boggio

#25 93

Original  
Do NOT Remove  
From Office

DRAINAGE STUDY FOR  
VOLUNTEERS OF AMERICA  
ELDERLY HOUSING DEVELOPMENT  
FIRST ST AND INDEPENDENT AVE  
Grand Junction, Colorado  
February, 1993

TOO LARGE TO SCAN  
SEE FILES

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Do NOT Remove  
From Office ✓

25 93

FOUNDATION STUDY  
AND  
SOIL INVESTIGATION FOR  
VOLUNTEERS OF AMERICA  
GRAND JUNCTION, COLORADO  
July, 1992

TOO LARGE TO SCAN  
SEE FILES

25 93

Original  
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From Office

# TRAFFIC IMPACT STUDY

PROPOSED ELDERLY HOUSING PROJECT

VOLUNTEERS OF AMERICA

Grand Junction, Colorado

TOO LARGE TO SCAN  
SEE FILES

Prepared By:

Western Engineers, Inc.  
2150 Hwy. 6 & 50  
Grand Junction, CO 81505

January, 1993

# IMPROVEMENTS LIST/DEAIL

DATE: 8/8/94

NAME OF DEVELOPMENT: Grand Junction VOA Elderly Housing

LOCATION: NW Corner of Independent Avenue & N. 1st St.

PRINTED NAME OF PERSON PREPARING: Mendel-Allison Construction, Inc.

	UNITS	TOTAL QTY.	UNIT PRICE	TOTAL AMOUNT
<b>I. SANITARY SEWER</b>				
1. Clearing and grubbing	_____	_____	_____	_____
2. Cut and remove asphalt	_____	_____	_____	_____
3. PVC sanitary sewer main (incl. trenching, bedding & backfill)	_____	_____	_____	_____
4. Sewer Services (incl. trenching, bedding, & backfill)	_____	_____	_____	_____
5. Sanitary sewer manhole(s)	_____	_____	_____	_____
6. Connection to existing manhole(s)	_____	_____	_____	_____
7. Aggregate Base Course	_____	_____	_____	_____
8. Pavement replacement	_____	_____	_____	_____
9. Driveway restoration	_____	_____	_____	_____
10. Utility adjustments	_____	_____	_____	_____
<b>II. DOMESTIC WATER</b>				
1. Clearing and grubbing	_____	_____	_____	_____
2. Cut and remove asphalt	_____	_____	_____	_____
3. Water Main (incl. excavation, bedding, backfill, valves and appurtenances)	_____	_____	_____	_____
4. Water services (incl. excavation, bedding, backfill, valves, and appurtenances)	_____	_____	_____	_____
5. Connect to existing water line	_____	_____	_____	_____
6. Aggregate Base Course	_____	_____	_____	_____
7. Pavement Replacement	_____	_____	_____	_____
8. Utility adjustments	_____	_____	_____	_____
<b>III. STREETS</b>				
1. Clearing and grubbing (Demo)	l.s.	1	955	955
2. Earthwork, including excavation and embankment construction	l.s.	1	1908	1908
3. Utility relocations	_____	_____	_____	_____
4. Aggregate sub-base course (square yard)	_____	_____	_____	_____
5. Aggregate base course (square yard)	_____	_____	_____	_____
6. Sub-grade stabilization	_____	_____	_____	_____
7. Asphalt or concrete pavement (square yard)	s.y.	68	16.06	1092
8. Curb, gutter & sidewalk & drain chases (linear feet) & h.c. ramps	s.f.	355	4.61	1638
9. Driveway sections (square yard)	_____	_____	_____	_____
10. Crosspans & fillets	s.f.	738	4.94	3648
11. Retaining walls/structures	_____	_____	_____	_____
12. Storm drainage system (irrig. ditch in 12" pipe)	l.f.	260	11.02	2866

13. Signs and other traffic control devices	_____	_____	_____	_____
14. Construction staking	_____	_____	_____	_____
15. Dust control	_____	_____	_____	_____
16. Street lights (each)	_____	_____	_____	_____
<b>IV. LANDSCAPING</b>				
1. Design/Architecture	_____	_____	_____	_____
2. Earthwork (includes top soil, fine grading, & berming)	_____	_____	_____	_____
3. Hardscape features (includes walls, fencing, and paving)	_____	_____	_____	_____
4. Plant material and planting	_____	_____	_____	_____
5. Irrigation system	_____	_____	_____	_____
6. Other features (incl. statues, water displays, park equipment, and outdoor furniture)	_____	_____	_____	_____
7. Curbing	_____	_____	_____	_____
8. Retaining walls and structures	_____	_____	_____	_____
9. One year maintenance agreement	_____	_____	_____	_____
<b>V. MISCELLANEOUS</b> (in bldg. contract)				
1. Design/Engineering	_____	_____	_____	_____
2. Surveying	_____	_____	_____	_____
3. Developer's inspection costs	_____	_____	_____	_____
4. Quality control testing	_____	_____	_____	_____
5. Construction traffic control	_____	_____	_____	_____
6. Rights-of-way/Easements	_____	_____	_____	_____
7. City inspection fees	_____	_____	_____	_____
8. Permit fees	_____	_____	_____	_____
9. Recording costs	_____	_____	_____	_____
10. Bonds	_____	_____	_____	_____
11. Newsletters	_____	_____	_____	_____
12. General Construction Supervision	_____	_____	_____	_____
13. Other _____	_____	_____	_____	_____
14. Other _____	_____	_____	_____	_____

TOTAL ESTIMATED COST OF IMPROVEMENTS: \$ 12,107

\_\_\_\_\_  
**SIGNATURE OF DEVELOPER** **DATE**  
(If corporation, to be signed by President and attested to by Secretary together with the corporate seal.)

I have reviewed the estimated costs and time schedule shown above and, based on the plan layouts submitted to date and the current costs of construction, I take no exception to the above.

\_\_\_\_\_  
**CITY ENGINEER** **DATE**

\_\_\_\_\_  
**COMMUNITY DEVELOPMENT** **DATE**

FHA FORM NO. 2328  
Rev. 1/78

U. S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT  
FEDERAL HOUSING ADMINISTRATION

Form Approved  
Budget Bureau No. 33-2088

Date  
**July 26, 1994**

**CONTRACTOR'S and/or MORTGAGOR'S  
COST BREAKDOWN  
(SCHEDULES OF VALUES)**

Project no.  
**101-88001**  
Building Description

Name of Project  
**Volunteers of America**

Location  
**First and Independent Streets  
Grand Junction, CO**

Name of Project  
**Grand Junction VOA Senior Housing**

This form represents the Contractor's and/or Mortgagor's firm costs and services as a basis for disbursing dollar amounts when insured advances are requested. Detailed instructions for completing this form are included on the reverse side.

LINE NO.	TRADE ITEM	COST	TRADE DESCRIPTION
1	Concrete	67,126	Foundations, Walls, Post-Tensioning
2	Masonry	60,770	Brick Veneer
3	Metals	13,530	Miscellaneous Metals
4	Rough Carpentry	334,498	Framing, Trusses
5	Finish Carpentry	44,347	Miscellaneous Structural and Handrail
6	Waterproofing	280	Back of Retaining Wall
7	Insulation	33,940	Batt and Perimeter Insulation
8	Roofing	27,334	Shingles, GFRM Adhered
9	Sheet Metal	22,352	Sheet Metal & Sealants
10	Doors	117,155	Doors and Hardware
11	Windows	18,992	Windows
12	Glass	4,080	Storefront and Entrances
13	Lath & Plaster	45,822	Synthetic Stucco System
14	Drywall	191,290	Gypsum Board, Tape and Finish
15	Tile Work	2,190	Quarry Tile, 4 x 4 Wall
16	Acoustical	13,526	Suspended Grid and Tile
17	Wood Flooring	0	None
18	Resilient Flooring	21,515	Sheet Vinyl and VCT
19	Painting & Decorating	62,516	Paint and Stain
20	Specialties	21,444	Signs, Postal Specialties, Bath Accessories, Fire Exit
21	Special Equipment	2,855	Trash Chute
22	Cabinets	64,188	Base and Wall Cabinets and Plastic
23	Appliances	53,177	Residential
24	Blinds & Shades, Artwork	5,250	Horizontal & Vertical Blinds
25	Carpets	31,733	Glue-Down Carpet
26	Special Construction	0	None
27	Elevators	34,600	Hydraulic Elevator
28	Plumbing & Hot Water	250,253	Plumbing & Fire Sprinkler
29	Heat & Ventilation	195,100	HW Heat, MUA, Bath Exhaust
30	Air Conditioning	38,007	through-wall A/C
31	Electrical	272,360	Power, Distribution, Lighting
32	SUBTOTAL (Structures)	2,147,280	
33	Accessory Structures		
34	TOTAL (lines 32 & 33)	2,147,280	
35	Earth Wk	101,450	Overlot, Excavate, Fine Grade
36	Site Utilities	11,360	Water, Sewer and Irrigation Piping
37	Roads & Walks	110,622	Curb and Gutter, Sidewalks, Paving.
38	Site Improvements	4,256	Retaining Walls, Planter Walls
39	Lawns & Planting	28,323	Landscaping
40	Unusual Site Condition	0	
41	TOTAL LAND IMPRVTS.	256,013	
42	TOT. STRUCY. & LAND IMPRVTS.	2,403,293	
43	GENERAL REQUIREMENTS	202,510	
44	SUBTOTAL (Lines 41-43)	2,605,803	
45	BUILDER'S OVERHEAD	52,116	
46	BUILDER'S PROFIT	141,638	
47	SUBTOTAL (Lines 44-46)	2,799,557	
48	OTHER FEES		Audit 4,000
49	OTHER FEES	4,000	
50	BOND PREMIUM	30,837	
51	TOTAL FOR ALL IMPROVEMENTS	2,834,394	
52	Builder's Profit less by means other than sale		
53	TOTAL FOR ALL IMPROVEMENTS LESS LINE 52		TOTAL \$ 4,000

Mortgagor \_\_\_\_\_ By \_\_\_\_\_ Date \_\_\_\_\_  
 Contractor **Mendel-Allison Const., Inc.** By **Robb A. Puse** Date **7/26/94**

FHA \_\_\_\_\_ (Date) \_\_\_\_\_ (Chief, Cost Branch or Cost Analyst) \_\_\_\_\_ (Date)  
 FHA \_\_\_\_\_ (Chief Underwriter) \_\_\_\_\_ Date \_\_\_\_\_

# Escrow Agreement for Off-Site Facilities

U.S. Department of Housing  
and Urban Development  
Office of Housing  
Federal Housing Commissioner

Under Section 202 of the Housing Act of 1959 or  
Section 811 of the National Affordable Housing Act

OMB Approval No.2502-0470(Exp. 12/31/93)

Public Reporting Burden for this collection of information is estimated to average 0.5 hours per response, including the time for reviewing instructions, searching existing data sources, gathering and maintaining the data needed, and completing and reviewing the collection of information. Send comments regarding this burden estimate or any other aspect of this collection of information, including suggestions for reducing this burden, to the Reports Management Officer, Office of Information Policies and Systems, U.S. Department of Housing and Urban Development, Washington, D.C. 20410-3600 and to the Office of Management and Budget, Paperwork Reduction Project (2502-0470), Washington, D.C. 20503. Do not send this completed form to either of these addresses.

**This Agreement** made this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, by and between \_\_\_\_\_, hereinafter called the Depositor, and \_\_\_\_\_, a corporation having its principal office in \_\_\_\_\_, hereinafter called the Depository.

**Witnesseth:** Whereas \_\_\_\_\_ has entered into a certain Capital Advance Agreement with the United States of America, Secretary of Housing and Urban Development, hereinafter called HUD, dated the \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_, providing for the construction of a certain housing project to be financed by capital advances, secured by a \_\_\_\_\_, hereinafter called the "Mortgage" to HUD.

**Whereas** it is necessary, in connection with the construction of said project, to provide certain facilities lying outside of the property lines of the project as described in the drawings and specifications attached hereto and made a part hereof and as identified in Schedule "A" attached hereto and which are hereinafter referred to as "off-site construction;" and

**Whereas**, HUD is unwilling to make advances of mortgage money for the construction of the project without satisfactory assurance that the aforesaid off-site construction will be installed and completed and will be guaranteed against faulty workmanship and/or materials for the period of one year from the date of acceptance by HUD; and

**Whereas** the Depositor is \* \_\_\_\_\_ and as such is primarily interested in the successful completion and operation of the project aforesaid and the completion of said off-site construction;

**Now Therefore This Agreement Witnesseth:** That for and in consideration of the premises hereinabove set forth and for the purpose of inducing HUD to disburse the proceeds of the mortgage aforesaid for the construction of the project, and in consideration of the sum of \_\_\_\_\_ Dollars (\$) \_\_\_\_\_) paid by the Depositor to the Depository, with such deposits continuously collateralized with specific and identifiable U.S. Government or Agency securities prescribed by HUD, the parties hereto agree as follows:

1. To the Depositor upon application made by him to the Depository on HUD Form 92464, Request for Approval of Advances of Escrow Funds, in quadruplicate, on or above the first day of each month after the commencement of work on off-site installations. The sum to which the Depositor shall be entitled upon any such release of escrow funds shall be the cost of the portions of the work acceptably completed, as approved by HUD, computed in accordance with Schedule "A" less 10% and less prior release of escrow funds. Thirty days after the completion of all work required by Schedule "A" to the satisfaction of HUD, the Depository shall release to the Depository any balance in the escrow fund herein established.
2. If instead of performing the off-site work, (or any part thereof) Depositor shall cause or permit the same or any part thereof to be performed by or for the account of the municipality or political subdivision in which the mortgaged property lies, then such proportionate part of the escrow fund as it represented by the estimated cost of such part of the off-site of any special assessment which may be levied against the real property included in the mortgage by reason of such improvement, and if not so levied or assessed, or to be levied and assessed, may be released to the Depositor upon completion of the work, with the written consent of HUD, unless required to meet the cost of the remainder of the off-site work.
3. In the event the Depositor fails to complete the said off-site construction on or before \_\_\_\_\_ 19\_\_\_\_, in accordance with drawings and specifications or Schedule "A", or fails to produce to the Depository the written approval of said work by HUD; or in the event there be a default in the mortgage or acquisition of the property by HUD, the Depository shall proceed as provided in either paragraph (a) or paragraph (b) or paragraph (c) below:  
(a) Upon receiving written instructions from HUD that HUD is proceeding to complete the said work in accordance with the drawings and specifications Depository shall pay the cost thereof, including all costs and charges of the work from the said sum deposited with it, and for this purpose the said Depository hereby irrevocably authorizes and empowers HUD to do and perform for it, the said Depositor and in its name, place and stead, all matters and things which the said Depository shall in its judgment deem necessary and proper to be done to effectuate the completion of said off-site construction, in accordance with the drawings and specifications, and to cause the Depository to apply the said moneys to the payment of debts contracted or incurred for work done or for materials furnished therefore, or either, in and about said off-site construction and for all expenses, costs and charges in connection therewith, and for the Depository so given and signed by the said Depository as attorney-in-fact shall be good and sufficient voucher for

\* **Note:** State here the relationship of Depositor to the project.

August 11, 1994



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

Ms. Jody Kole  
Grand Junction Housing Authority  
805 Main Street  
Grand Junction, Colorado 81501

RE: V.O.A. Elderly Housing Project

Dear Jody,

Per the records on file at the Community Development Department, the Volunteers of America project for 60 elderly apartment units located at 1st Street and Independent Avenue received approval for zoning at the October 6, 1993 City Council meeting. Since that time, there has been no action on the project. The following outstanding issues/requirements are yet to be resolved: 1) execution of an improvements agreement and guarantee for required public improvements such as sidewalks, curbs, gutters, and streets; 2) submittal of final site and landscape plans; 3) payment of the open space fee; and 4) payment of the plant investment fee for sanitary sewer service.

A building permit will not be issued for this project unless and until these items are addressed. Please do not hesitate to contact the Department if you have further questions regarding this project.

Sincerely,

A handwritten signature in cursive script, appearing to read "Larry Timm".

Larry Timm  
Community Development Director





City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

August 23, 1994

Mindy Cool, Vice President  
% Diana McIver & Associates, Inc.  
The Reserve, Building 6, Suite 100  
500 Capital of Texas Highway North  
Austin, TX 78746-3389

Dear Ms. Cool,

I have received your request, on behalf of the Volunteers of America, for a waiver of the required Development Improvements Agreement (DIA). I have discussed this request with the Community Development Director, City Development Engineer, City Attorney, and Assistant City Attorney. Although the City of Grand Junction does not normally deviate from its standard DIA requirement, in this instance the escrowing of \$12,107 with the City for off-site improvements, we have agreed to accept the HUD assurance for those improvements.

As indicated in our telephone conversation today, you will send me copies of the final recorded documents from HUD which demonstrates the off-site improvement assurances and a copy of the contract for the work to be done. Please send them to my attention as I will continue to monitor the project. If you have additional questions, feel free to contact me at (303) 244-1447.

Sincerely,

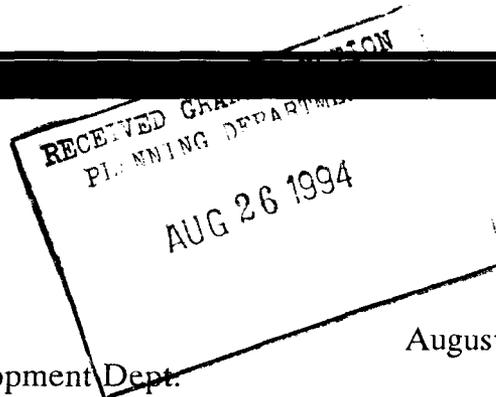
*Tom Dixon*

Tom Dixon, AICP, Senior Planner

cc: File # 25-93

Lantz - Boggio Architects, P.C.

5200 DTC Parkway  
Suite 500  
Englewood, Colorado  
80111  
(303)773-0436  
fax(303)773-8709



Mr. Tom Dixon  
Grand Junction Community Development Dept.  
Planning, Zoning, Code Enforcement  
250 North Fifth Street  
Grand Junction, CO 81501-2668

August 25, 1994

**RE: VOA - Grand Junction**

Dear Tom:

Attached please find the remaining items needed as indicated in your letter of June 7, 1994.

1. The Improvement Agreement was sent separately and my understanding is that it has already been filed.
2. Four 24" x 32" prints of the Landscape Plan are attached (Sheet A1).
3. Payment of the open space fee is being handled separately.
4. Payment of the plant investment fee is being handled separately.
5. Four 24" x 32" prints and 11" x 17" copies of the final site plan (Sheet A1) are attached.
6. Western Engineering has to my understanding resolved the minor subdivision question.

Enclosed also please find 2 copies of the final property description.

Please contact me with any questions.

Sincerely,

Lantz-Boggio Architects, P.C.

A handwritten signature in black ink, appearing to be "Joan Anderson".

Joan Anderson



**DIANA McIVER  
&  
ASSOCIATES, INC.**

August 30, 1994

Mr. Tom Dixon, AICP  
Senior Planner  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501-2668

RE: *Grand Junction VOA Elderly Housing, Inc.*  
*#101-EE001/Grand Junction, CO*

Dear Mr. Dixon:

On behalf of Volunteers of America, I want to thank the City of Grand Junction for approving the waiver of the *Development Improvements Agreement* on the above-referenced Section 202 project proposed for Grand Junction, Colorado.

As previously stated, I will forward to you copies of the appropriate recorded documents for the City's files. These documents will provide evidence of VOA's obligation under the U. S. Housing and Urban Development's Section 202 program to complete construction of a 60-unit elderly housing facility according to the architectural plans filed with the City. The initial closing and construction start on the project should take place in late September — please expect receipt of these documents in early October.

Under separate cover your office will receive checks from VOA for the Open Space Fee and Plant Investment Fee necessary to obtain a building permit. Additionally, the project's architectural firm, Lantz-Boggio, will be forwarding the revised landscaping plans as requested.

Thank you again for the City's ongoing cooperation and support to help VOA bring this project to fruition. VOA looks forward to a lasting relationship with the City in providing safe, affordable housing for the low-income elderly residents of Grand Junction.

Sincerely,

DIANA MCIVER & ASSOCIATES, INC.



Mindy Cool  
Vice President

MC/mf

cc: Robin Keller, VOA  
Robin Harbin, Welden & Harbin

**DIANA McIVER  
&  
ASSOCIATES, INC.**

August 9, 1994

Mr. Tom Dixon, AICP  
Senior Planner  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501-2668

RE: *Grand Junction VOA Elderly Housing, Inc.*  
*#101-EE001/Grand Junction, CO*

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As background, the proposed 60-unit elderly housing facility is being funded through the Section 202 program of HUD. Volunteers of America is sponsoring the project and our firm is serving as the housing consultant. Since funding is being provided through a federal program, HUD will mandate that specific contracts and bonds be secured prior to HUD's release of any construction funds. A copy of the Construction Contract and Off-Site Escrow Agreement is enclosed for your review. These documents will be fully executed upon HUD's completion of processing and prior to initial closing and construction start — anticipated by September 30, 1994. Please note that HUD has already established that VOA must escrow \$12,107 for assurance of completion of the off-site improvements which are indicated on the *Contractor's Cost Breakdown, FHA Form 2328*, as well as listed on the City's *Improvement List/Detail form*.

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The scope of work to be covered by the above contracts and bonds is determined by the set of plans and specifications currently being reviewed by the City of Grand Junction.

Also, in addition to a specified inspecting architect, a HUD field representative will be assigned to supervise the construction. Prior to release of any monthly draws, the inspecting architect and HUD inspector will examine the contractor's progress and percentage of completion. At the end of construction, HUD will also control an issuance of 100% substantial completion and a Permission to Occupy certification.

Mr. Tom Dixon  
Page 2  
August 9, 1994

Given the rigid control mechanisms established for the project by the U. S. Government, we believe that the City can be assured of completion of the project without risk of City funding or completion of the project by the City itself. As stated in the City's *Development Improvements Agreement*: "the purpose of the Agreement is to protect the City from cost of completing necessary improvements itself..." With the requirements set forth by the Section 202 program and the enclosed contracts, the City can be assured that the project will be completed according to the plans and specifications without any additional agreements and/or escrows required.

The City's review and careful consideration of VOA's request will be greatly appreciated. As mentioned earlier, construction is targeted to begin no later than September 30, 1994. Therefore, the City's timely response to VOA's request will help to ensure no further delays are experienced in bringing this much-needed project to fruition.

Of course, if you should have any questions or require additional information for consideration, please do not hesitate to contact me immediately.

Sincerely,

DIANA MCIVER & ASSOCIATES, INC.



Mindy Cool  
Vice President

MC/zd  
Enclosures

cc: Robin Keller, VOA  
Robin Harbin, Welden & Harbin  
Jody Kliska, City of Grand Junction  
Bob Allison, Mendel-Allison  
Gary Prager, Lantz-Boggio

two). It does not appear that this was ever finalized since we have no copy of a plat map in the file bearing any signatures. Please let me know the status of this since no planning clearance can be granted on a parcel involved in a subdivision until the plat gets final approval and is recorded.

Thanks for looking into these matters, I can be reached at (303) 244-1447 if further assistance is needed.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

cc: File #25-93

# IMPROVEMENTS LIST/DEAL

DATE: 8/8/94

NAME OF DEVELOPMENT: Grand Junction VOA Elderly Housing

LOCATION: NW Corner of Independent Avenue & N. 1st St.

PRINTED NAME OF PERSON PREPARING: Mendel-Allison Construction, Inc.

	UNITS	TOTAL QTY.	UNIT PRICE	TOTAL AMOUNT
<b>I. SANITARY SEWER</b>				
1. Clearing and grubbing	_____	_____	_____	_____
2. Cut and remove asphalt	_____	_____	_____	_____
3. PVC sanitary sewer main (incl. trenching, bedding & backfill)	_____	_____	_____	_____
4. Sewer Services (incl. trenching, bedding, & backfill)	_____	_____	_____	_____
5. Sanitary sewer manhole(s).	_____	_____	_____	_____
6. Connection to existing manhole(s)	_____	_____	_____	_____
7. Aggregate Base Course	_____	_____	_____	_____
8. Pavement replacement	_____	_____	_____	_____
9. Driveway restoration	_____	_____	_____	_____
10. Utility adjustments	_____	_____	_____	_____
<b>II. DOMESTIC WATER</b>				
1. Clearing and grubbing	_____	_____	_____	_____
2. Cut and remove asphalt	_____	_____	_____	_____
3. Water Main (incl. excavation, bedding, backfill, valves and appurtenances)	_____	_____	_____	_____
4. Water services (incl. excavation, bedding, backfill, valves, and appurtenances)	_____	_____	_____	_____
5. Connect to existing water line	_____	_____	_____	_____
6. Aggregate Base Course	_____	_____	_____	_____
7. Pavement Replacement	_____	_____	_____	_____
8. Utility adjustments	_____	_____	_____	_____
<b>III. STREETS</b>				
1. Clearing and grubbing (Demo)	l.s.	1	955	955
2. Earthwork, including excavation and embankment construction	l.s.	1	1908	1908
3. Utility relocations	_____	_____	_____	_____
4. Aggregate sub-base course (square yard)	_____	_____	_____	_____
5. Aggregate base course (square yard)	_____	_____	_____	_____
6. Sub-grade stabilization	s.y.	_____	_____	_____
7. Asphalt or concrete pavement (square yard)	s.y.	68	16.06	1092
8. Curb, gutter & sidewalk & drain chases (linear feet) & h.c. ramps	s.f.	355	4.61	1638
9. Driveway sections (square yard)	_____	_____	_____	_____
10. Crossspans & fillets	s.f.	738	4.94	3648
11. Retaining walls/structures	_____	_____	_____	_____
12. Storm drainage system (irrig. ditch in 12" pipe)	l.f.	260	11.02	2866

13. Signs and other traffic control devices	_____	_____	_____	_____
14. Construction staking	_____	_____	_____	_____
15. Dust control	_____	_____	_____	_____
16. Street lights (each)	_____	_____	_____	_____
<b>IV. LANDSCAPING</b>				
1. Design/Architecture	_____	_____	_____	_____
2. Earthwork (includes top soil, fine grading, & berming)	_____	_____	_____	_____
3. Hardscape features (includes walls, fencing, and paving)	_____	_____	_____	_____
4. Plant material and planting	_____	_____	_____	_____
5. Irrigation system	_____	_____	_____	_____
6. Other features (incl. statues, water displays, park equipment, and outdoor furniture)	_____	_____	_____	_____
7. Curbing	_____	_____	_____	_____
8. Retaining walls and structures	_____	_____	_____	_____
9. One year maintenance agreement	_____	_____	_____	_____
<b>V. MISCELLANEOUS</b> (in bldg. contract)				
1. Design/Engineering	_____	_____	_____	_____
2. Surveying	_____	_____	_____	_____
3. Developer's inspection costs	_____	_____	_____	_____
4. Quality control testing	_____	_____	_____	_____
5. Construction traffic control	_____	_____	_____	_____
6. Rights-of-way/Easements	_____	_____	_____	_____
7. City inspection fees	_____	_____	_____	_____
8. Permit fees	_____	_____	_____	_____
9. Recording costs	_____	_____	_____	_____
10. Bonds	_____	_____	_____	_____
11. Newsletters	_____	_____	_____	_____
12. General Construction Supervision	_____	_____	_____	_____
13. Other _____	_____	_____	_____	_____
14. Other _____	_____	_____	_____	_____

**TOTAL ESTIMATED COST OF IMPROVEMENTS: \$** 12,107

\_\_\_\_\_  
**SIGNATURE OF DEVELOPER** **DATE**  
(If corporation, to be signed by President and attested to by Secretary together with the corporate seals.)

I have reviewed the estimated costs and time schedule shown above and, based on the plan layouts submitted to date and the current costs of construction, I take no exception to the above.

\_\_\_\_\_  
**CITY ENGINEER** **DATE**

\_\_\_\_\_  
**COMMUNITY DEVELOPMENT** **DATE**

Date  
July 26, 1994

**CONTRACTOR'S and/or MORTGAGOR'S  
COST BREAKDOWN  
(SCHEDULES OF VALUES)**

Project No.  
101-FR001  
Residential Mortgage

Name of Project  
Volunteers of America

Location  
First and Independent Streets  
Grand Junction, CO

Name of Project  
Grand Junction VOA Senior Housing

This form represents the Contractor's and/or Mortgagor's firm costs and services as a basis for disbursing dollar amounts when insured advance are requested. Detailed instructions for completing this form are included on the reverse side.

LINE	TRADE ITEM	COST	TRADE DESCRIPTION
1	Concrete	67,126	Foundations, Walls, Post-Tensioning
2	Masonry	60,770	Brick Veneer
3	Metals	13,530	Miscellaneous Metals
4	Rough Carpentry	334,498	Framing, Trusses
5	Finish Carpentry	44,347	Miscellaneous Structural and Handrail
6	Waterproofing	280	Back of Retaining Wall
7	Insulation	33,940	Batt and Perimeter Insulation
8	Roofing	27,334	Shingles, EPDM Adhered
9	Sheet Metal	22,352	Sheet Metal & Sealants
10	Doors	117,155	Doors and Hardware
11	Windows	18,992	Windows
12	Glass	4,080	Storefront and Entrances
13	Lath & Plaster	45,872	Synthetic Stucco System
14	Drywall	191,290	Gypsum Board, Tape and Finish
15	Tile Work	2,190	Quarry Tile, 4 x 4 Wall
16	Acoustical	13,526	Suspended Grid and Tile
17	Wood Flooring	0	None
18	Resilient Flooring	21,515	Sheet Vinyl and VCT
19	Painting & Decorating	62,516	Paint and Stain
20	Specialties	21,444	Signs, Postal Specialties, Bath Accessories, Fire Ext
21	Special Equipment	2,855	Trash Chute
22	Cabinets	64,188	Base and Wall Cabinets and Plastic
23	Appliances	53,177	Residential
24	Blinds & Shades, Artwork	5,250	Horizontal & Vertical Blinds
25	Carpets	31,733	Glue-Down Carpet
26	Special Construction	0	None
27	Elevators	34,600	Hydraulic Elevator
28	Plumbing & Hot Water	350,253	Plumbing & Fire Sprinkler
29	Heat & Ventilation	195,100	HW Heat, MUA, Bath Exhaust
30	Air Conditioning	38,007	through-wall A/C
31	Electrical	272,360	Power, Distribution, Lighting
32	SUBTOTAL (Lines 22 & 33)	2,147,280	
33	Accessory Structures		
34	TOTAL (Lines 32 & 33)	2,147,280	
35	Earth Work	101,450	Overlot, Excavate, Fine Grade
36	Site Utilities	11,360	Water, Sewer and Irrigation Piping
37	Roads & Walks	110,622	Curb and Gutter, Sidewalks, Paving
38	Site Improvements	4,258	Retaining Walls, Planter Walls
39	Lawns & Planting	28,323	Landscaping
40	Unusual Site Condition	0	
41	TOTAL LAND IMPRVTS.	256,013	
42	TOT. STRUCT. & LAND IMPRVTS.	2,403,293	
43	GENERAL REQUIREMENTS	202,510	
44	SUBTOTAL (Lines 42 and 43)	2,605,803	
45	BUILDER'S OVERHEAD	52,116	
46	BUILDER'S PROFIT	141,638	
47	SUBTOTAL (Lines 44 thru 46)	2,799,557	
48			OTHER FEES
49	OTHER FEES	4,000	Audit
50	BOND PREMIUM	30,837	
51	TOTAL FOR ALL IMPROVEMENTS	2,834,394	
52	Borrower's Profit (paid by means other than FHA)		
53	TOTAL FOR ALL IMPROVEMENTS LESS LINE 52		TOTAL \$ 4,000

Mortgagor \_\_\_\_\_ By \_\_\_\_\_ Date \_\_\_\_\_  
 Contractor Mendel-Allison Const., Inc. By Robert A. Puse Date 7/26/94

FHA \_\_\_\_\_ (Promoting Agency) \_\_\_\_\_ (Date) \_\_\_\_\_ (Chief, Cost Branch or Cost Analyst) \_\_\_\_\_ (Date)  
 FHA \_\_\_\_\_ (Chief Underwriter) \_\_\_\_\_ (Date)



**VOLUNTEERS OF AMERICA**

NATIONAL OFFICE

3939 N. Causeway Blvd. • Suite 400 • Metairie, La. 70002-1784  
Phone (504) 837-2652 • FAX (504) 837-4200

September 2, 1994

Mr. Tom Dixon  
Senior Planner  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501-2668

Re: Grand Junction VOA Elderly Housing, Inc.

Dear Mr. Dixon,

Enclosed please find our check #'s 1001 and 1002 for payment of the Open Space Fee and the Plant Investment Fee for the above referenced property. Mr Bob Allison of Mendel-Allison will be picking up the the building permit from your office.

Upon receipt, could you please send us a detailed receipt so we may include these fees in our initial draw request from HUD? You may send it to my attention at the above address.

Please do not hesitate to call if any other information is needed.

Sincerely,

Tracy K. Hutchins  
Project Accountant

Encl.

cc: Bob Allison, Mendel-Allison  
Mindy Cool, Diana McIver & Associates, Inc.



City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

September 7, 1994

Robin Harbin  
% Weldon & Harbin Attorneys  
Box 55465  
Birmingham, AL 35255

Dear Ms. Harbin,

Volunteers of America (VOA) has received approval for a 60-unit elderly housing project on the northwest corner of 1st Street and Independent Avenue in the City of Grand Junction. This was reviewed as #25-93 which was a Rezone from B-2 (Neighborhood Convenience Business) and P (Parking) to Planned Residential and a Final Plan Review for a 60-unit housing project.

The rezone allows a maximum density of 23.7 units per acre. Based on a site area of 2.53 acres, the present zoning allows up to 60 units, as approved in the final plan. Attached is a copy of Ordinance No. 2707. This was the final action by the City Council approving the Rezone; the Final Plan approval was granted by the Planning Commission.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

cc: File #25-93

## STAFF REVIEW

---

FILE # 25-93

DATE: September 9, 1993

STAFF: Karl Metzner

REQUEST: Rezoning from B-2 and P to Planned Residential.

LOCATION: Northwest of 1st Street and Independence Ave.

APPLICANT: Volunteers of America, Inc.

---

EXECUTIVE SUMMARY: Petitioners are requesting a rezoning from B-2 and P (Parking) to Planned Residential for a 60 unit elderly housing complex. Planning Commission has recommended approval for the rezoning and has approved a final development plan for the site.

EXISTING LAND USE: Vacant

PROPOSED LAND USE: Residential

SURROUNDING LAND USE:

NORTH: Single family residential

EAST: Single family residential

SOUTH: Vacant

WEST: Single Family Residential

EXISTING ZONING: B-2 and P (parking)

PROPOSED ZONING: Planned Residential

SURROUNDING ZONING:

NORTH: Planned Business

EAST: RSF-4

SOUTH: RMF-64

WEST: RSF-8

---

RELATIONSHIP TO COMPREHENSIVE PLAN/POLICIES/GUIDELINES: The 1st Street Corridor Guidelines support residential multi-family and Planned Business Development along this section of 1st Street

STAFF ANALYSIS: This proposal is for 60 elderly apartment units on 2.53 acres. Structure height for the 3 story building is slightly over 41 feet. The submittal was originally made in March of 1993. During the review process it was determined that the parking was inadequate and the petitioner asked the item be tabled pending acquisition of additional land for parking. Additional lands have been acquired and the petitioner has submitted revised plans which address the additional parking required. 63 parking spaces will be constructed with the project and land is set aside for approximately 84 additional spaces should they be required. The

Recommendations for a more appropriate landscape concept have been forwarded to the petitioner. A traffic signal is currently warranted at this intersection and will be installed by the City. Petitioner is responsible for 1/2 street improvements on Independent Ave. and sidewalk replacement on 1st Street. Funds for these improvements will be escrowed with the City and will be constructed at the time of signal installation. Construction is currently set for spring of 1994.

STAFF RECOMMENDATION: Recommend approval subject to the following:

1. Revision of final plat to include all requested easements and rights-of-way.
2. Payment of \$ 13,500 open space fee.
3. Payment of required plant investment fee.
4. Recorded commitment to construct additional parking if required.
5. Revised landscape plan in accordance with staff recommendations.
6. Final construction plans to be approved by City Engineer.
7. Maintenance of irrigation water delivery to downstream users.
8. Location of Fire hydrants as required by City Fire Department.



Volunteers of America

National Office

VIA OVERNIGHT MAIL

September 21, 1994

Mr. Tom Dixon  
Senior Planner  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501-2668

Re: Grand Junction VOA Elderly Housing, Inc.

Dear Mr. Dixon,

Enclosed please find our check # 1003 for additional payment of the Plant Investment Fee for the above referenced property.

Upon receipt, could you please send us a detailed receipt so we may include these fees in our initial draw request from HUD? You may send it to my attention at the above address.

Please do not hesitate to call if any other information is needed.

Sincerely,

Tracy K. Hutchins  
Project Accountant

Encl.

cc: Bob Allison, Mendel-Allison  
Mindy Cool, Diana McIver & Associates, Inc.

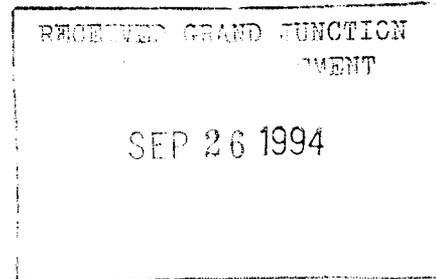
*A Ministry of Service*



**Volunteers of America**  
National Office

VIA OVERNIGHT MAIL

September 23, 1994



Mr. Tom Dixon  
Senior Planner  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501-2668

Re: Grand Junction VOA Elderly Housing, Inc.

Dear Mr. Dixon,

Enclosed please find our check # 1005 for additional payment of the Plant Investment Fee for the above referenced property.

Upon receipt, could you please send us a detailed receipt so we may include these fees in our initial draw request from HUD? You may send it to my attention at the above address.

Please do not hesitate to call if any other information is needed.

Sincerely,

Tracy K. Hutchins  
Project Accountant

Encl.

cc: Mindy Cool, Diana McIver & Associates, Inc.

*A Ministry of Service*



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

February 21, 1995

Joan Anderson  
% Lantz-Boggio Architects, P.C.  
5200 DTC Parkway  
Suite 500  
Englewood, CO 80111

Dear Joan,

I have received your letter, dated February 10, 1995, requesting a modification to the landscaping plan approved for the Volunteers of America's elderly housing project here in Grand Junction. In reviewing the modifications to replace a significant area of trees and shrubs with rock groupings, I cannot approve such an alteration.

One of the important aspects of the VOA development review and approval was the manner in which a well landscaped project was going to moderate the imposing height of the VOA building. This was considered and discussed during the staff review and the public hearing process for the Rezone and Final Plan/Plat of the Planned Residential approval. I am sending along a copy of the staff report which includes reference to the need for a revised landscape plan in accordance with staff recommendations (item #5). The original landscaping plan was reviewed and commented on by Angeline Barrett. Staff comments and recommendations were approved by the Planning Commission.

At this point, I think VOA has several options on providing the approved landscaping. These can include lined bottoms to the landscaping areas next to the building or the use of drip irrigation systems. Another alternative would be to plant trees and shrubs that have very low water zones. These plants, once established, will require very little irrigation.

If the VOA is not satisfied with these suggestions, the only other alternative would be to take their approval back to the Planning Commission for reconsideration. At this point, City staff would not support the replacement of the approved landscaping plan with the proposed modified plan. Although I cannot speak for the Planning Commission, experience tells me that it would be a tough sell to them for VOA to get their modified plan approved. However, there is that choice to pursue.

I do hope that you are able to convince VOA to consider how integral their approved landscaping plan is to making their project attractive and appropriate. The modification to the landscaping plan, as proposed, would likely produce a project that would be less than acceptable to the quality expected of this project as originally approved.

In the event that VOA wants to have this approval reconsidered by the Planning Commission or if you have additional questions, please contact me at (303) 244-1447.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

cc: File # 25-93

I do hope that you are able to convince VOA to consider how integral their approved landscaping plan is to making their project attractive and appropriate. The modification to the landscaping plan, as proposed, would likely produce a project that would be less than acceptable to the quality expected of this project as originally approved.

In the event that VOA wants to have this approval reconsidered by the Planning Commission or if you have additional questions, please contact me at (303) 244-1447.

Sincerely,

A handwritten signature in cursive script that reads "Tom Dixon".

Tom Dixon, AICP, Senior Planner

cc: File # 25-93

February 9, 1995



Joan Anderson  
Lantz-Boggio Architects, Inc.  
5200 DTC Parkway Suite 500  
Englewood, Colorado 80111

City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

Dear Joan,

The City of Grand Junction will be constructing a traffic signal and improving the intersection of First Street and Independent Avenue this year. As the engineer assigned to the project, I have been researching the files for the Volunteers of America site.

Minutes from the September 7, 1993 Planning Commission meeting reflect the requirement for payment of funds for half-street improvements on Independent Avenue and sidewalk replacement on First Street. No estimate of the cost of those improvements is evident in the file.

Prior to the issuance of a planning clearance, the contractor for the VOA project prepared an estimate for offsite improvements. In examining the estimate, it appears it is only for the work the contractor will be performing and does not include payment for half-street improvements and sidewalk replacement along the entire First Street frontage.

I have prepared an estimate of the costs of the half street improvements for Independent Avenue and sidewalk replacement on First Street.

Independent Avenue:	
Asphalt 37 tons @ \$26/ton	\$ 962.00
Base Course 117 sy @ \$4/sy	\$ 468.00
Sidewalk, Curb & Gutter 210 lf @ \$20/lf (includes driveway section)	\$4200.00
Total:	\$5630.00
First Street:	
Sidewalk Replacement 164 lf @ \$15/lf	\$2460.00
Grand Total:	<u>\$8090.00</u>

These funds are required to be escrowed with the City of Grand Junction on or before February 24, 1995.

Please contact me if there are any questions. My card is enclosed.

Sincerely,

  
Jody Kliska, P.E.

cc: John Shaver - Tom Dixon

FILE # 25-93

**Lantz-Boggio Architects, P.C.**

**COMMUNICATION  
RECORD**

**Project:** VOA Grand Junction

**Record No.:** 34

**Contact:** Jody Kliska

**Project No.:** 9136

**Date:** 2/21/95 **Time:** p.m.  **Telephone/#** \_\_\_\_\_  **Memorandum**  **Verbal**

This confirms and records our understanding reached concerning matters indicated. Please advise in writing within seven (7) days of receipt if correction is required.

**Communication Summary:**

As discussed, the February 24, 1995 date stated in your letter of February 9, 1995 requiring the additional funds to be escrowed for the half street improvements at Independent Avenue and sidewalk replacement on First Street has been extended to allow the Owner sufficient time to process this request.

**Signed:** 

**Date Transmitted:** 2/22/95

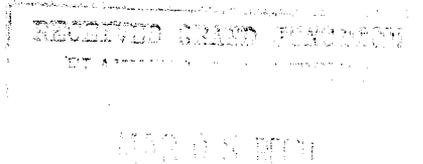
**Copies to:** Ken Howe  
Mindy Cool

To: Linda Afman  
From: Tom Dixon  
Subject: VOA building permit cost  
Date: 3/03/95 Time: 10:00a

According to Mesa County Building Dept., the value of the VOA building permit was \$2,403,293. If you need anything else, let me know.

Lantz-Boggio Architects, P.C.

5200 DTC Parkway  
Suite 500  
Englewood, Colorado  
80111  
(303)773-0436  
fax(303)773-8709



Mr. Tom Dixon  
City of Grand Junction  
Community Development Department  
250 North 5th Street  
Grand Junction, CO 81501

March 6, 1995

**RE: VOA Grand Junction Elderly Housing  
North 1st Street and Independent Avenue**

Dear Tom:

Per our recent phone conversation, enclosed please find the Site Plan as presented February 10, 1995 and reviewed at your site visit with Gayle Lyman of Western Engineers last week.

As discussed this plan represents the final Landscaping as it will be installed with all demolition and revision marks removed for clarity.

Please call if you have any further inquiries. Thank you for your assistance.

Sincerely,

Lantz-Boggio Architects, P.C.



Joan Anderson

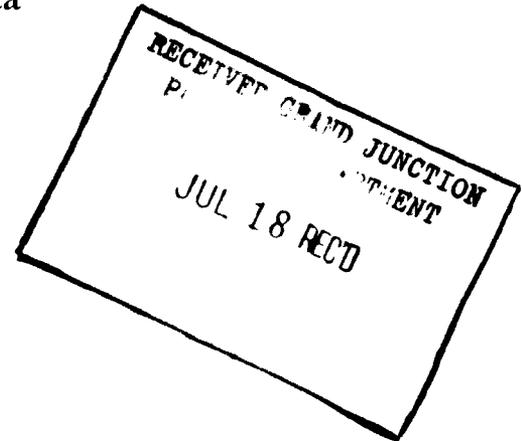




**Volunteers of America**

National Office

July 13, 1995



**Kathy Portner  
City of Grand Junction, Colorado  
Planning Division  
250 North Fifth Street  
Grand Junction, CO 81501-2668**

**RE: Grand Junction VOA Elderly Housing, Inc.  
File #25-93**

**Dear Ms. Portner:**

**This document is pursuant to the city's review comments for the P.U.D approval file #25-93. As agreed upon, it is the intention of Grand Junction VOA Elderly Housing, Inc. to provide additional parking spaces equaling a total of 1.5 spaces per unit at such a time that the parking demands require more than the provided 63 spaces.**

**The work will be accomplished when both parties, Grand Junction VOA Elderly Housing and the City of Grand Junction agree it is an ongoing problem and when the additional HUD funding becomes available.**

**Thank you for your decisions in the review process and do not hesitate to contact this office if you have any questions.**

**Sincerely,**

**Robin Keller, CPM®  
Director  
Subsidized Housing Development**

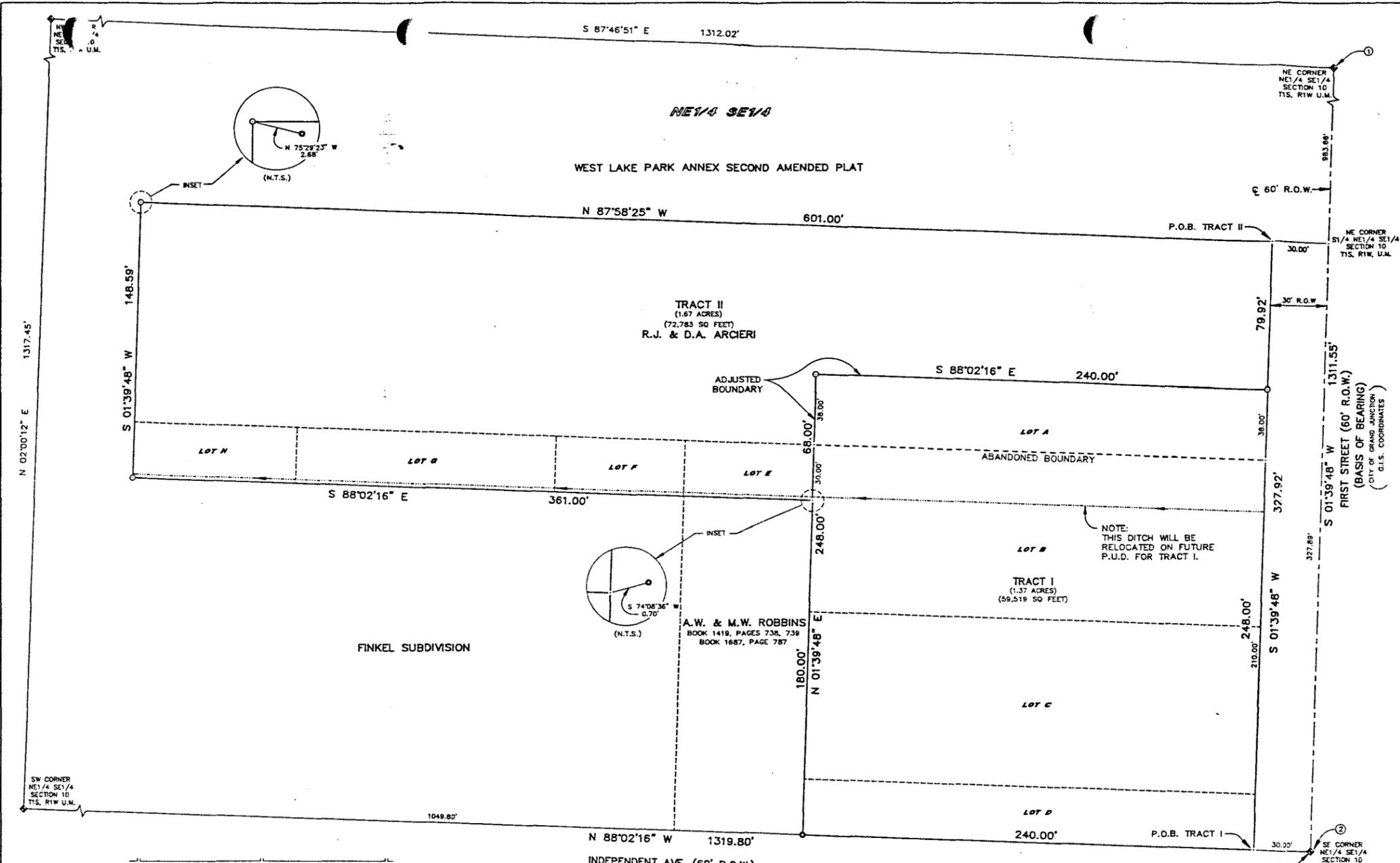
**RK/KDH/dmg**

**CC: Frank Marceau (Mendel-Allison)**

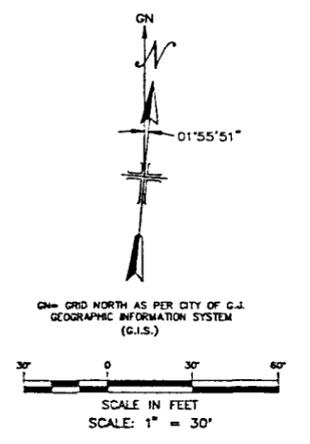
*A Ministry of Service*



CITY OF GRAND JUNCTION G.I.S. CONVERSION		
PT. ① -	NORTHING	70,869.67250
	EASTING	129,108.70010
PT. ② -	NORTHING	69,558.67430
	EASTING	129,070.63510

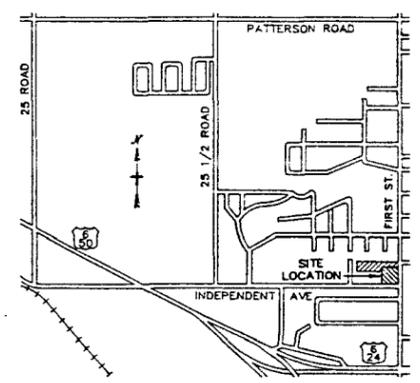


- LEGEND:**
- ◆ - MESA COUNTY MONUMENT
  - - FOUND #5 REBAR (L.S. 9331)
  - - SET #5 REBAR (L.S. 18469)
  - +— CALCULATED POSITON



**AREA SUMMARY**

TRACT I	1.37 ACRES	59,519 SQ FEET
TRACT II	1.67 ACRES	72,783 SQ FEET
<b>TOTAL</b>	<b>3.04 ACRES</b>	<b>132,302 SQ FEET</b>



**PROPERTY DESCRIPTIONS**

The following described tracts of land have been oriented to the City of Grand Junction Geographical Information System and the basis of bearing between standard brass cap monuments at the N.E. Corner and the S.E. Corner of the NE 1/4 SE 1/4 of Section 10, T1S, R1W of the Ute Meridian is S01'39'48"W with all other bearings mentioned hereafter being related to wit:

- TRACT I**  
Commencing at said S.E. Corner of the NE 1/4 SE 1/4 Section 10; thence N88°02'16"W on the south line of said NE 1/4 SE 1/4 30.00 feet to the beginning; thence the following courses:
1. N88°02'16"W 240.00 feet;
  2. N01'39'48"E 248.00 feet;
  3. S88°02'16"E 240.00 feet;
  4. S01'39'48"W 248.00 feet to the beginning.
- TRACT II**  
Commencing at said S.E. Corner of the NE 1/4 SE 1/4 Section 10; thence S01'39'48"W on the east line of said NE 1/4 SE 1/4 327.89 feet; thence N87°58'25"W on the north line of the S 1/4 of said NE 1/4 SE 1/4 Section 10 30.00 feet to the beginning; thence the following courses:
1. N87°58'25"W on said north line 601.00 feet;
  2. S01'39'48"W 148.59 feet;
  3. S88°02'16"E 361.00 feet;
  4. N01'39'48"E 68.00 feet;
  5. S88°02'16"E 240.00 feet;
  6. N01'39'48"E 79.92 feet to the beginning.

**NOTES:**

- 1). TITLE INFORMATION SUPPLIED BY WESTERN COLORADO TITLE COMPANY.
- 2). ORIGINAL PROPERTY RECORDED AT BOOK 1690, PAGES 554-557, MESA COUNTY CLERK AND RECORDER.

**PROPERTY SURVEY CERTIFICATION**

I, Richard A. Mason, do hereby certify to Robert J. and Deborah A. Arcieri that this plat represents a true and correct survey of the property described and that the survey was made under my direct supervision and checking on June 10, 1992.

Richard A. Mason  
Colorado Registration No. 18469

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

NOTE:  
The word "Certify" is understood to be an expression of Professional opinion by the Land Surveyor which is based on his best knowledge, information and belief. As such it constitutes neither a guarantee or warranty.

BOOK \_\_\_\_\_, PAGE \_\_\_\_\_  
MESA COUNTY RECEPTION NO.: \_\_\_\_\_  
FILING DATE: \_\_\_\_\_

**WESTERN ENGINEERS, INC.** CONSULTING ENGINEERS / LAND SURVEYORS  
208 Hwy 8 & 90th Street, Grand Junction, CO 81502-2888

**BOUNDARY LINE ADJUSTMENT FOR  
R.J. & D.A. ARCIERI  
OF PROPERTY LOCATED IN THE  
NE 1/4 SE 1/4 OF SECTION 10  
T1S, R1W OF THE UTE MERIDIAN**

CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

SURVEYED R.A.M.	DRAWN A.L.W.	CHECKED M.J.L.
DATE 2-22-93	WDG DWG. NO. 1177-3221-3	

PLANTING SCHEDULE	PLANTING NAME	SIZE
1	6" HIGH CEDAR	3" x 3"
2	6" HIGH CEDAR	3" x 3"
3	6" HIGH CEDAR	3" x 3"
4	6" HIGH CEDAR	3" x 3"
5	6" HIGH CEDAR	3" x 3"
6	6" HIGH CEDAR	3" x 3"
7	6" HIGH CEDAR	3" x 3"
8	6" HIGH CEDAR	3" x 3"
9	6" HIGH CEDAR	3" x 3"
10	6" HIGH CEDAR	3" x 3"
11	6" HIGH CEDAR	3" x 3"
12	6" HIGH CEDAR	3" x 3"
13	6" HIGH CEDAR	3" x 3"
14	6" HIGH CEDAR	3" x 3"
15	6" HIGH CEDAR	3" x 3"
16	6" HIGH CEDAR	3" x 3"
17	6" HIGH CEDAR	3" x 3"
18	6" HIGH CEDAR	3" x 3"
19	6" HIGH CEDAR	3" x 3"
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24	6" HIGH CEDAR	3" x 3"
25	6" HIGH CEDAR	3" x 3"
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28	6" HIGH CEDAR	3" x 3"
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33	6" HIGH CEDAR	3" x 3"
34	6" HIGH CEDAR	3" x 3"
35	6" HIGH CEDAR	3" x 3"
36	6" HIGH CEDAR	3" x 3"
37	6" HIGH CEDAR	3" x 3"
38	6" HIGH CEDAR	3" x 3"
39	6" HIGH CEDAR	3" x 3"
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41	6" HIGH CEDAR	3" x 3"
42	6" HIGH CEDAR	3" x 3"
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56	6" HIGH CEDAR	3" x 3"
57	6" HIGH CEDAR	3" x 3"
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65	6" HIGH CEDAR	3" x 3"
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85	6" HIGH CEDAR	3" x 3"
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87	6" HIGH CEDAR	3" x 3"
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89	6" HIGH CEDAR	3" x 3"
90	6" HIGH CEDAR	3" x 3"
91	6" HIGH CEDAR	3" x 3"
92	6" HIGH CEDAR	3" x 3"
93	6" HIGH CEDAR	3" x 3"
94	6" HIGH CEDAR	3" x 3"
95	6" HIGH CEDAR	3" x 3"
96	6" HIGH CEDAR	3" x 3"
97	6" HIGH CEDAR	3" x 3"
98	6" HIGH CEDAR	3" x 3"
99	6" HIGH CEDAR	3" x 3"
100	6" HIGH CEDAR	3" x 3"

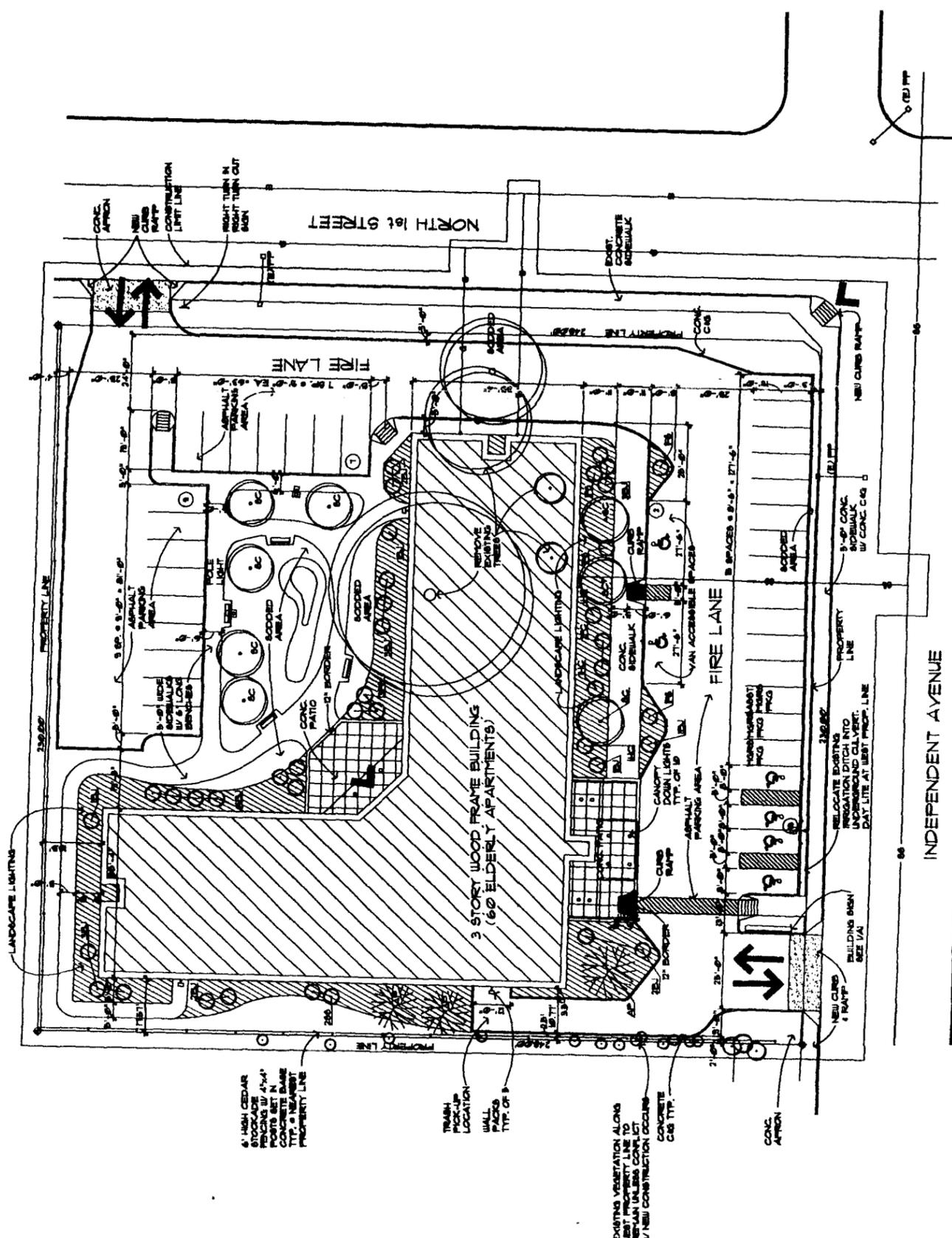
WATCH AREAS TO BE BANK MULCH SEPARATED FROM SOCCER AREAS BY STEEL EDGING  
 ALL SOCCER AREAS TO BE IRRIGATED W/ SPRINKLER SYSTEM  
 THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAN AS PER FEMA MAP

**SITE STATISTICS:**  
 TOTAL LAND AREA 0.3200 AC. (137 ACRES)  
 COVERAGE OF BUILDING 0.1444 AC. 24.8%  
 COVERAGE OF PAVEMENT 0.1822 AC. 28.8%  
 UNPAVED AREA 0.1934 AC. 30.4%

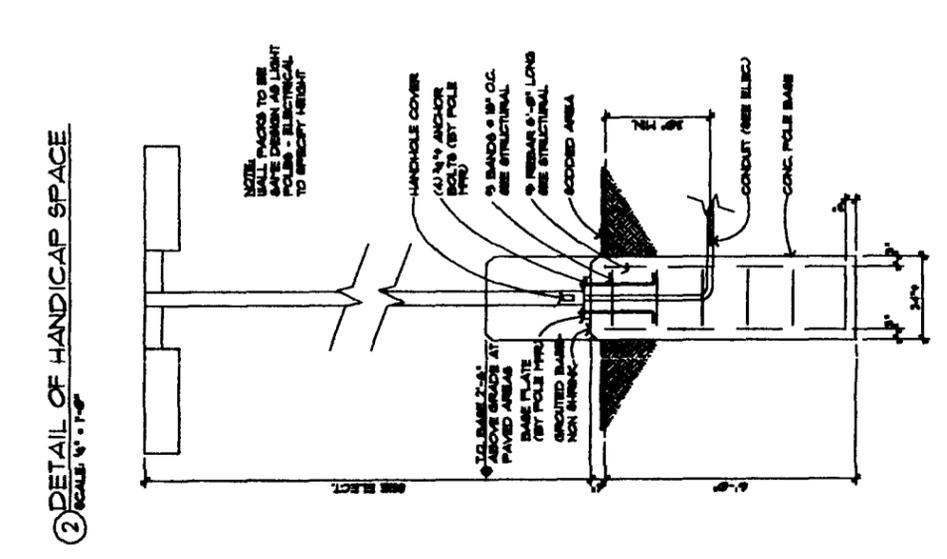
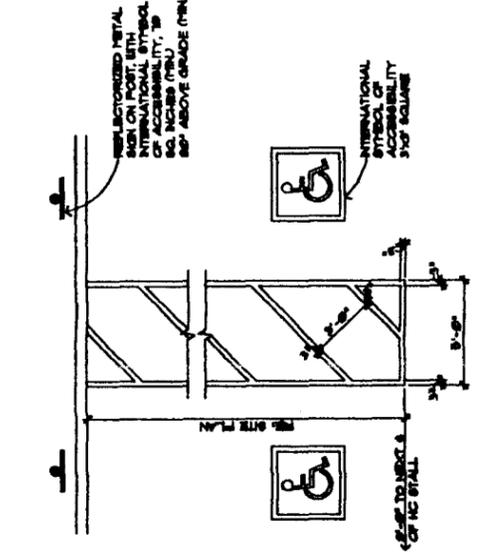
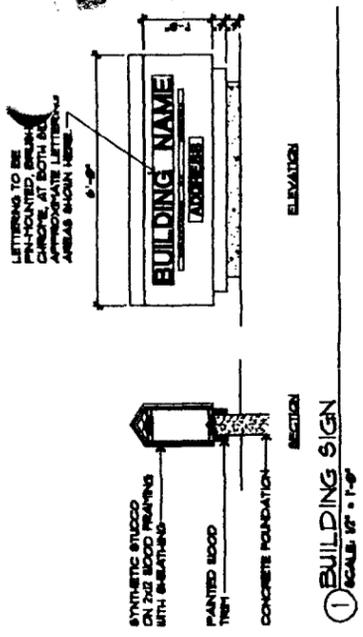
**PARKING STATISTICS:**  
 PROPOSED: 51 (3 EMPLOYEES)  
 STANDARD: 31  
 H.C. 4  
 REQUIRED: 30  
 STANDARD: 26  
 H.C. 4  
 NOTE: SEE ATTACHED LETTER REQUESTING VARIANCE ON THE REQUIRED PARKING.

**GENERAL NOTES:**  
 1) EXISTING IRRIGATION DITCHES SHALL BE RELOCATED PER THE IRRIGATION PLAN. ALL EXISTING IRRIGATION DITCHES WILL REMAIN ON SITE.  
 2) THE MANAGER OF THIS FACILITY SHALL BE REQUIRED TO MAINTAIN THE BUILDING AND LANDSCAPED AREAS IN A HEALTHY CONDITION.  
 3) ALL CIVIL DRAWINGS FOR CURB RADIUS LAYOUTS AND ALL CURB & GUTTER DETAILS.

**LEGEND:**  
 - INDICATES VEHICULAR TRAFFIC CIRCULATION  
 - INDICATES PEDESTRIAN TRAFFIC CIRCULATION  
 - POLE LIGHT  
 - BALL MOUNT LIGHT  
 - HANDICAP SURFACE UNLESS OTHERWISE NOTED



**SITE PLAN**  
 SCALE: 1" = 30'-0"



**3 LIGHT POLE DETAIL**  
 SCALE: 1/2" = 1'-0"

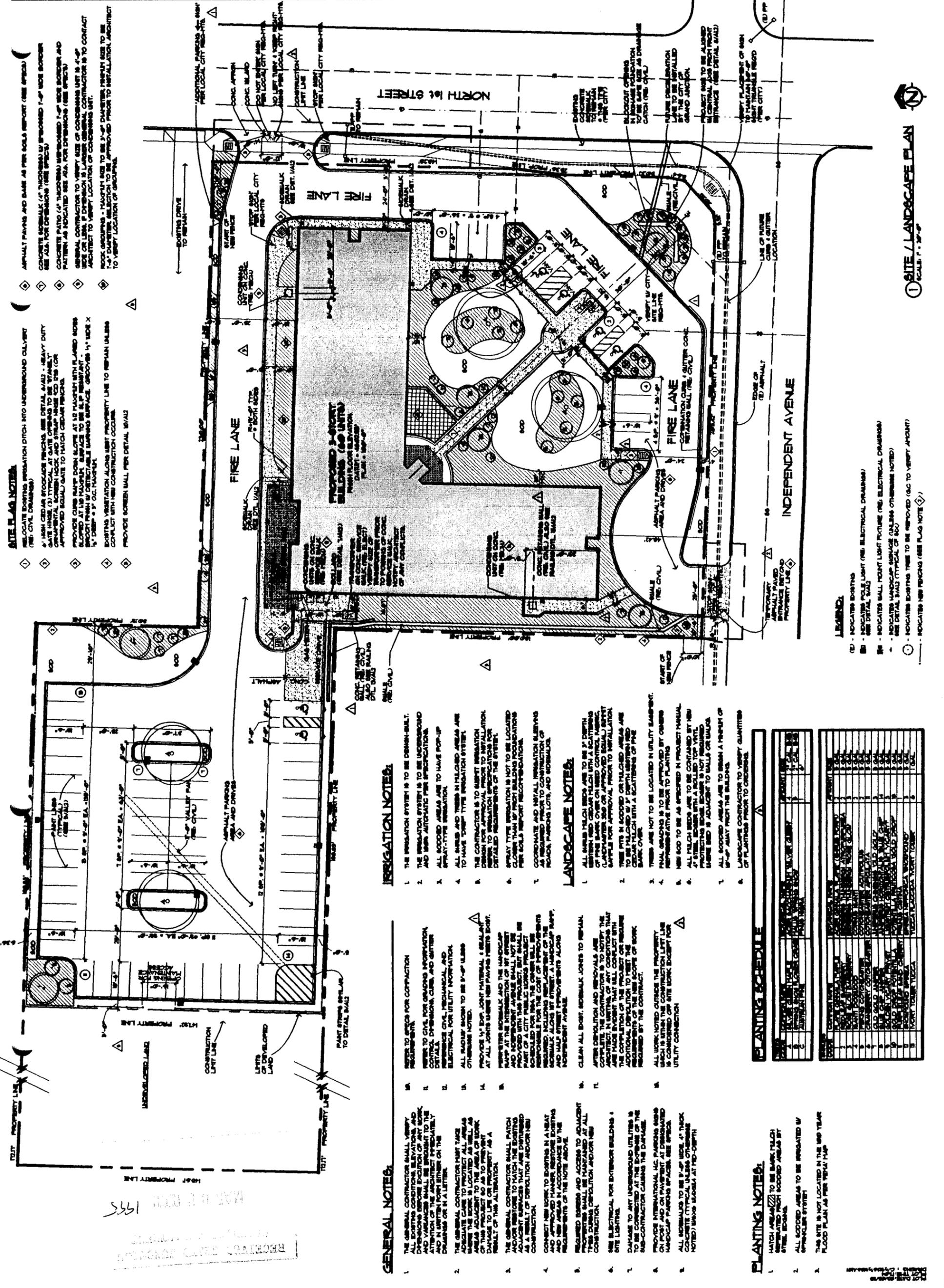
5200 DTC Parkway  
 Site 500  
 Englewood, Colorado 80111

Volunteers of America, Inc.  
 Grand Junction VOA Elderly Housing  
 Grand Junction, Colorado

Project No. 91336  
 Date DEC. 13, 1993  
 Drawing No. A1.1

Grand Junction VOA Elderly Housing  
 60 Unit Elderly Housing Project  
 Grand Junction, Colorado

Project No. 91336  
 Date DEC. 13, 1993  
 Drawing No. A1.1



- SITE PLAN NOTES:**
- RELOCATE EXISTING IRRIGATION DITCH INTO UNDERGROUND COLLECTOR (SEE CIVIL DRAWINGS)
  - 1" WASH CEDAR SHEDGROUSE FRUITS, SEE DETAIL S413 - HEAVY DUTY GATE HINGE (3" THICKNESS) SURROUNDED 1" WASH CEDAR AND APPROVED EQUAL GATE TO MATCH CEDAR FRUITS
  - PRODUCE ONE SHEDGROUSE AT 15' MAXIMUM WITH FLARED BOWS ALLOWED AT 15' MAXIMUM TO BE 1/2" MINIMUM
  - SHOOT FRUITS BY DETECTABLE BURNING SURFACE, GROOVES 1/2" DEEP X 3" O.C. MAXIMUM
  - EXISTING VEGETATION ALONG WEST PROPERTY LINE TO REMAIN UNLESS CONFLICT WITH NEW CONSTRUCTION OCCURS
  - PROVIDE SCREEN WALL PER DETAIL S1413

- APPROVALS:**
- CONCRETE SOBRALK (1/2" THICKNESS) SURROUNDED 1" WASH CEDAR SEE ADA FOR DIMENSIONS (SEE SPEC)
  - CONCRETE PATIO (1/2" THICKNESS) SURROUNDED 1" WASH CEDAR AND PATTERNS AS INDICATED SEE ADA FOR DIMENSIONS (SEE SPEC)
  - GENERAL CONTRACTOR TO VERIFY SIZE OF CONCRESSION UNIT IN 4" WASH CEDAR OR LESS, IF DIMENSION IS LARGER GENERAL CONTRACTOR IS TO CONTACT ARCHITECT TO VERIFY LOCATION OF CONCRESSION UNIT.
  - ROCK GROUPINGS - MAXIMUM SIZE TO BE 3" Ø CHARACTER, PRESENT SIZE TO BE 1-1/2" Ø DIAMETER, SELECTION TO BE APPROVED PRIOR TO INSTALLATION, ARCHITECT TO VERIFY LOCATION OF GROUPINGS

- GENERAL NOTES:**
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE EXCUTION OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES, ERECTION, AND IN WRITTEN FORM EITHER ON THE DRAWINGS OR IN A LETTER.
  - THE GENERAL CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PROTECT ALL EXISTING UTILITIES AND ADJACENT AREAS TO BE PRESERVED AS PART OF THIS PROJECT SO AS TO PREVENT DAMAGE TO LIFE OR PROPERTY AS A RESULT OF THIS ACTIVATION.
  - THE GENERAL CONTRACTOR SHALL PATCH AND/OR RESTORE TO MATCH THE EXISTING ADJACENT SURFACES THAT ARE DISTURBED AS A RESULT OF DEMOLITION AND/OR NEW CONSTRUCTION.
  - CONVERT NEW WORK TO EXISTING IN A NEAT AND APPROVED MANNER RESTORE EXISTING UTILITIES AND SURFACES AS NECESSARY BY THE REQUIREMENTS OF THE NOTE ABOVE.
  - REQUIRED BRIBES AND ACCESS TO ADJACENT PROPERTIES SHALL BE MAINTAINED AT ALL TIMES DURING DEMOLITION AND/OR NEW CONSTRUCTION.
  - SEE ELECTRICAL FOR EXISTING BUILDINGS & SITE LIGHTING.
  - DAMAGE TO ANY UNDERGROUND UTILITIES IS TO BE REPAIRED BY THE GENERAL CONTRACTOR AT HIS OWN EXPENSE. THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS.
  - PROVIDE INTERNATIONAL ILC PARKING MARKS ON POST AND ON PAVEMENT AT DESIGNATED HANDICAP PARKING SPACES, SEE SPEC.
  - ALL SOBRALKS TO BE 3" Ø WASH CEDAR CONCRETE (TYPICAL UNLESS OTHERWISE NOTED) MARKS SHOULD BE 12" DEPTH.

- IRRIGATION NOTES:**
- THE IRRIGATION SYSTEM IS TO BE DRAIN-SUB-I.
  - THE IRRIGATION SYSTEM IS TO BE UNDERGROUND AND BEER AUTOMATIC PER SPECIFICATIONS.
  - ALL SOBRALK AREAS ARE TO HAVE POP-UP SPRAY-TYPE IRRIGATION.
  - ALL AREAS AND TREES IN HATCHED AREAS ARE TO HAVE TRAP-TYPE IRRIGATION SYSTEM.
  - THE CONTRACTOR IS TO VERIFY IRRIGATION DEMAND FOR APPROVAL PRIOR TO INSTALLATION. DEMAND TO BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.
  - SPRAY-TYPE IRRIGATION IS NOT TO BE LOCATED CLOSER THAN 18" FROM BUILDING FOUNDATIONS PER SLOTTED REPORT RECOMMENDATIONS.
  - COORDINATE AND INSTALL IRRIGATION ALLEYS TO BE LOCATED AT THE INTERSECTION OF ROADS, PARKING LOTS, AND SOBRALKS.

- LANDSCAPE NOTES:**
- ALL SHEDS HATCHED ARE TO BE 3" DEPTH BETWEEN AND CIRCUMFERENTIAL WITH A SCATTERING OF 1" WASH CEDAR FRUITS OR APPROVED EQUAL SATISFACTION FOR APPROVAL PRIOR TO INSTALLATION.
  - THE FITS IN SOBRALK OR HATCHED AREAS ARE TO BE PLANTED BY CONTRACTOR WITH 1" WASH CEDAR FRUITS WITH A SCATTERING OF 1" WASH CEDAR FRUITS.
  - TREES ARE NOT TO BE LOCATED IN UTILITY EASEMENTS.
  - FINAL GRADING IS TO BE APPROVED BY OWNER REPRESENTATIVE PRIOR TO PLANTING.
  - NEW SOBRALKS TO BE AS SPECIFIED IN PROJECT MANUAL.
  - ALL HATCHED AREAS ARE TO BE CONTAINED BY NEW 2" STEEL EDGER WITH A ROLLED TOP VENT. PROTECTIVE EDGE EDGER IS NOT REQUIRED. THERE IS TO BE AN ADVISORY TO WALLS OR WALLS 18" AWAY FROM THE BUILDING.
  - ALL SOBRALK AREAS ARE TO BE MAINTAINED 18" AWAY FROM THE BUILDING.
  - LANDSCAPE CONTRACTOR TO VERIFY QUANTITIES OF PLANTINGS PRIOR TO ORDERING.

- PLANTING SCHEDULE:**
- | NO. | PLANTING             | QUANTITY | DATE     |
|-----|----------------------|----------|----------|
| 1   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 2   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 3   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 4   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 5   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 6   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 7   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 8   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 9   | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |
| 10  | 1" WASH CEDAR FRUITS | 1000     | 12/15/93 |

- PLANTING NOTES:**
- HATCH AREAS TO BE BANK HILCH PLANTED FROM SOBRALK AREAS BY STEEL EDGER.
  - ALL SOBRALK AREAS TO BE IRRIGATED BY SPRINKLER SYSTEM.
  - THIS SITE IS NOT LOCATED IN THE 100 YEAR FLOOD PLAN AS PER FEMA MAP.

- LEGEND:**
- (E) - INDICATES EXISTING
  - (B) - INDICATES POLE LIGHT (SEE ELECTRICAL DRAWINGS)
  - (S) - INDICATES SOBRALK (SEE DETAIL S413)
  - (H) - INDICATES HATCHED LIGHT PICTURE (SEE ELECTRICAL DRAWINGS)
  - (\*) - INDICATES HANDICAP SURFACE (UNLESS OTHERWISE NOTED)
  - (C) - INDICATES HATCHED (TYPICAL OF SOBRALK)
  - (O) - INDICATES EXISTING TREES TO BE REMOVED (SEE PLAN NOTE 7)
  - (-)- INDICATES NEW FINISHES (SEE PLAN NOTE 7)

**1 SITE / LANDSCAPE PLAN**  
 SCALE 1" = 20'-0"

- LEGEND**
- Storm Water Flow
  - Final Elevation
  - Finish Top of Concrete
  - Finish Asphalt Elevation
  - Finish Grade Elevation
  - Finish Book of Work Elevation
  - Finish Pipe Invert Elevation
  - Existing Spot Elevation

**NOTES:**

- All construction shall conform and adhere to the City of Grand Junction, Department of Public Works and Utilities, Engineering Section, "Standard Specifications for Construction of Storm Sewers, Utility and Storm Collector Specifications" and "Standard Details".

**UTILITY LOCATIONS**

Utility locations are approximate as provided by utility company. No warranty is made by the engineer as to the accuracy of existing, gas, or electric utility locations. Utility locations shall be confirmed by the contractor. Call 800-572-1327 for utility locations.



**SITE PLAN**  
 VOLUNTEERS OF AMERICA  
 OF HUD SITE IN GRAND JUNCTION  
 LOCATED IN THE NE 1/4 SEC 1/4  
 OF SECTION 10, T1S, R1W, U.M.  
 CITY OF GRAND JUNCTION, MESA COUNTY, COLORADO

INDEPENDENT AVE.

17 Subbase Course  
 Compact 555 ASDHO 1-180  
 Compact 555 ASDHO 1-180

COMPACT SUBGRADE  
 17 Subbase Course  
 Compact 555 ASDHO 1-180  
 Compact 555 ASDHO 1-180

FOUNDATION PERIMETER DRAIN DETAIL  
 NOT TO SCALE

OUTLET PLAN - WEIR  
 NOT TO SCALE

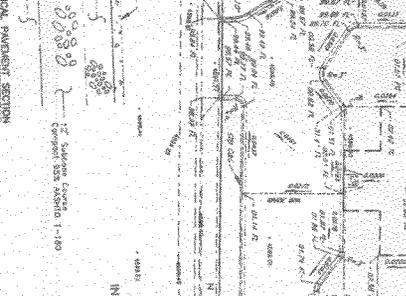
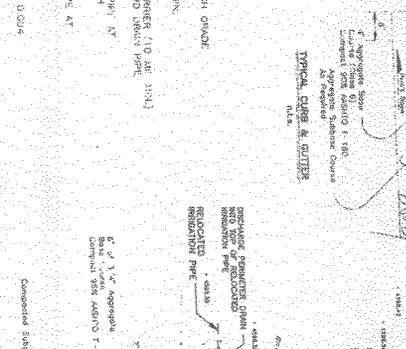
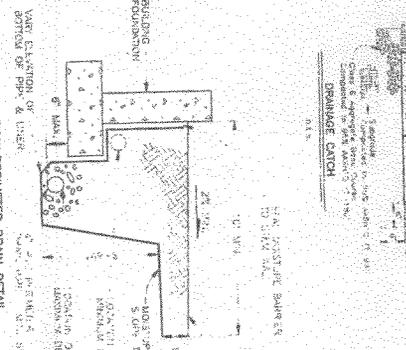
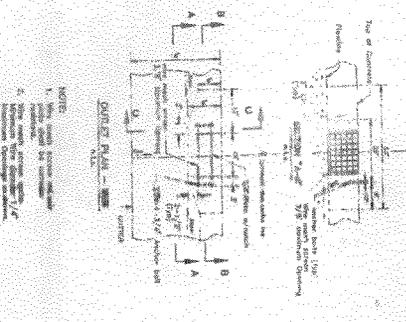
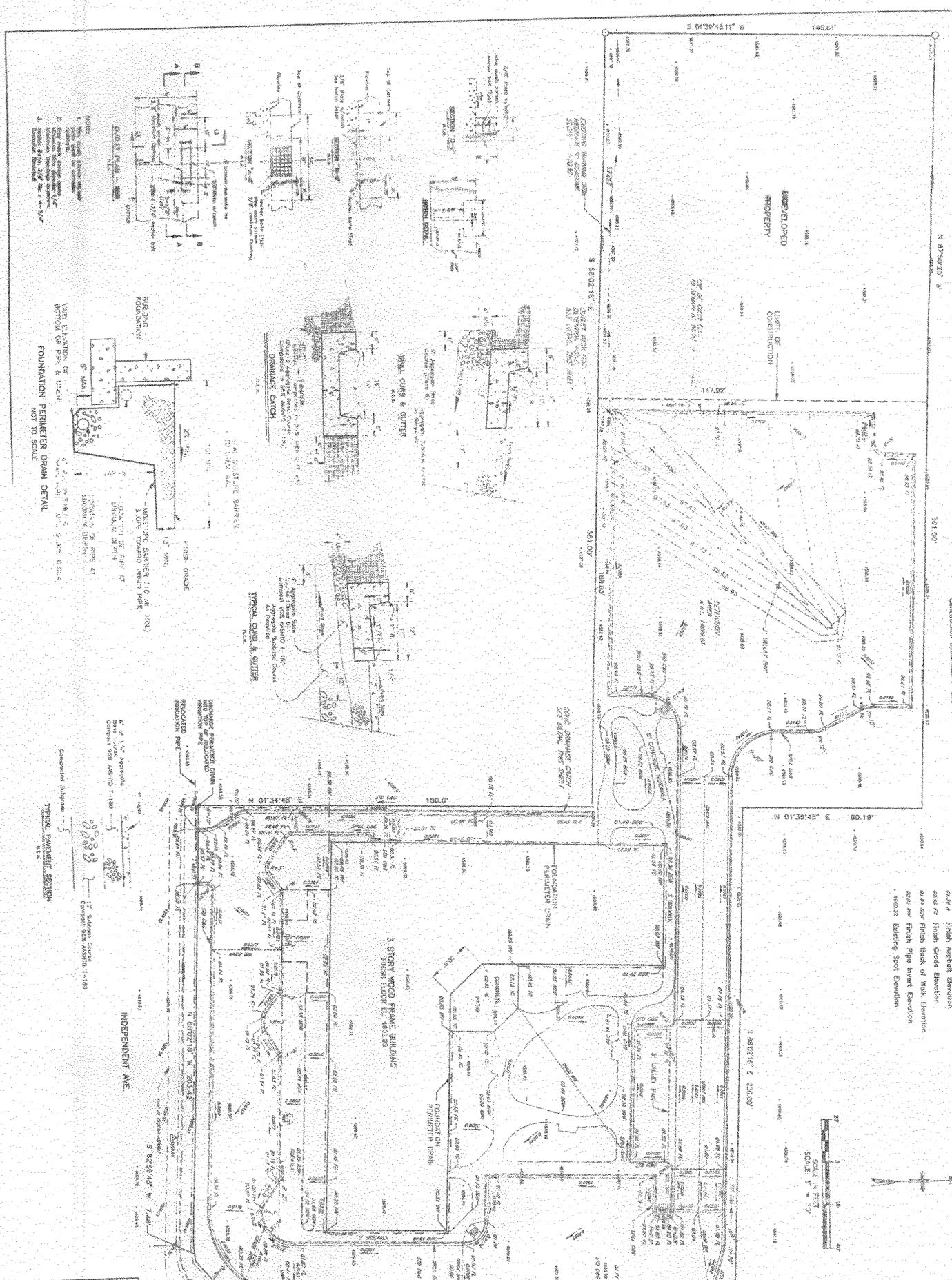
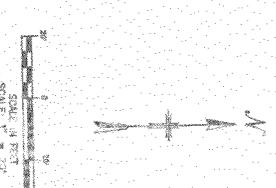
NOTE:  
 1. Weir crest shall be 1' above finished ground.  
 2. Minimum weir depth shall be 1' above finished ground.  
 3. Minimum weir depth shall be 1' above finished ground.

FOUNDATION PERIMETER DRAIN DETAIL  
 NOT TO SCALE

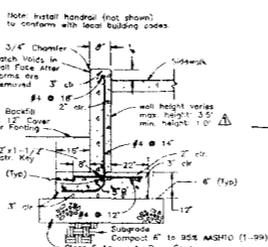
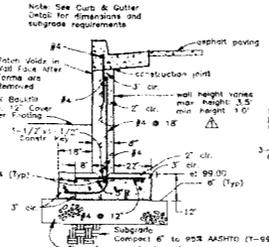
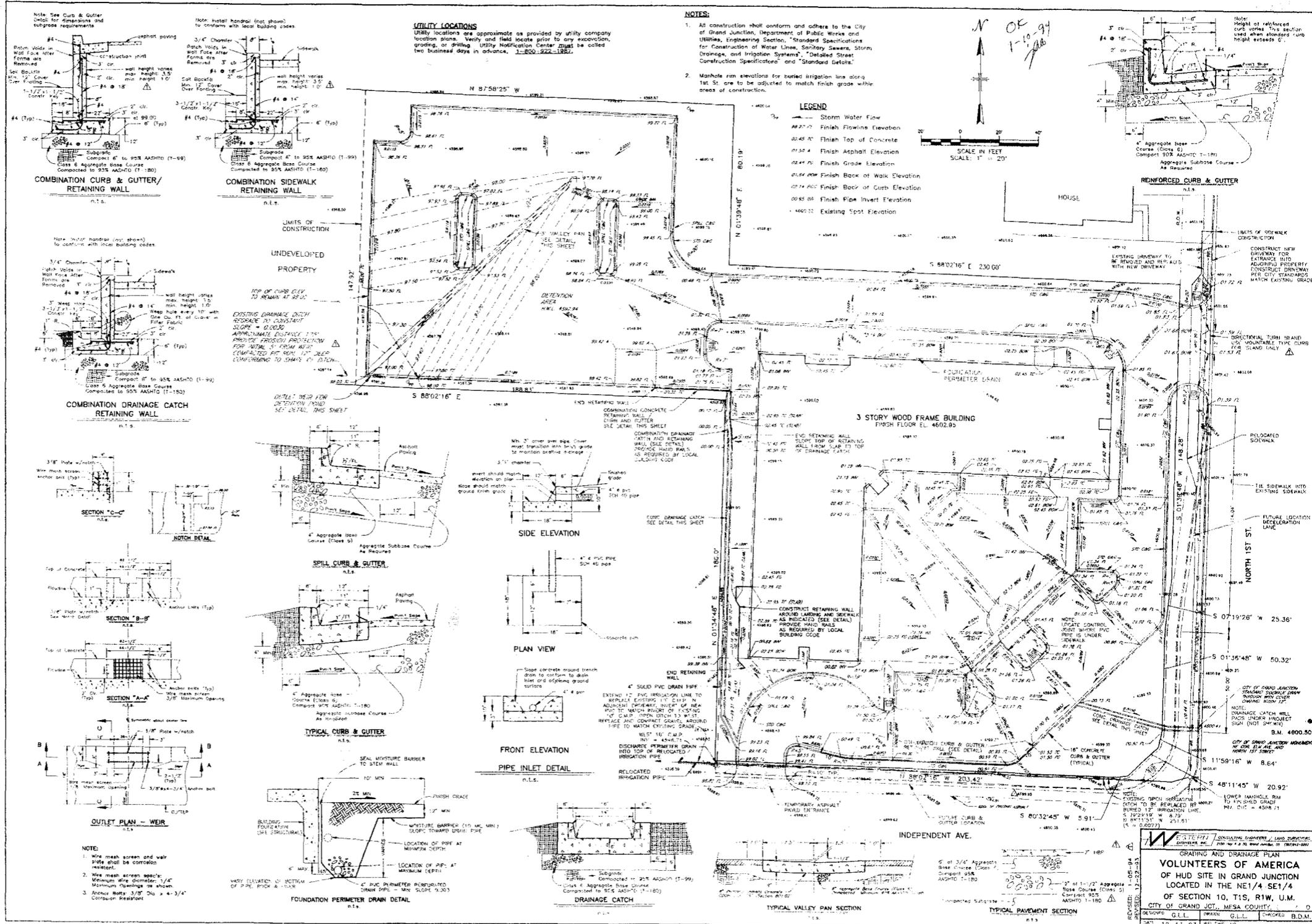
**LIMITATIONS**  
 This plan is prepared as provided by utility company location data. Vertical and field notes are not to be used for any other purpose. No liability is assumed for errors. L-200-03-23-2022

**NOTES**  
 1. All construction shall conform and adhere to the City of Grand Junction, Department of Public Utilities and Engineering, Department of Public Utilities, Department of Water, Sewer, Storm Drainage, and Highway Systems, "Standard Street Construction Specifications" and "Standard Street Construction Specifications".

**LEGEND**  
 Storm Water Pipe  
 Finish Flood Elevation  
 Finish Top of Concrete  
 Finish Network Elevation  
 Finish Back of Side Elevation  
 Finish Pipe Invert Elevation  
 Existing Spot Elevation

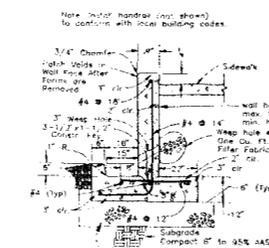


**SITE PLAN**  
 VOLUNTEERS OF AMERICA  
 OF HUD SITE IN GRAND JUNCTION  
 OF SECTION 10, T1S, R1W, U1M  
 CITY OF GRAND JUNCTION, COLORADO  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]

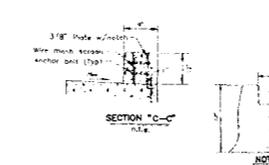


**COMBINATION CURB & GUTTER/RETAINING WALL**  
n.l.s.

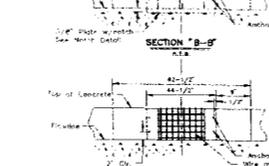
**COMBINATION SIDEWALK RETAINING WALL**  
n.l.s.



**COMBINATION DRAINAGE CATCH RETAINING WALL**  
n.l.s.



**SECTION 'C-C'**  
n.l.s.

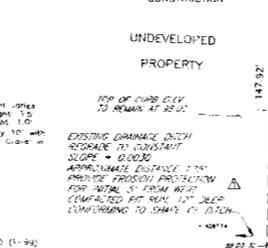


**SECTION 'B-B'**  
n.l.s.



**SECTION 'A-A'**  
n.l.s.

**OUTLET PLAN - WEIR**  
n.l.s.



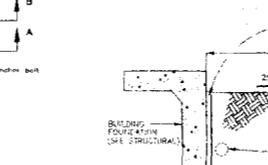
**SPILL CURB & GUTTER**  
n.l.s.



**TYPICAL CURB & GUTTER**  
n.l.s.



**FOUNDATION PERIMETER DRAIN DETAIL**  
n.l.s.



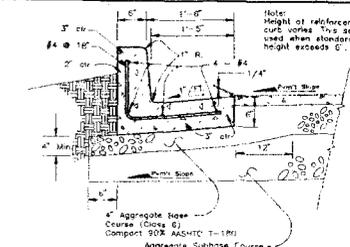
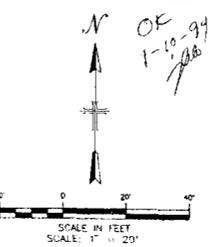
**DRAINAGE CATCH**  
n.l.s.

**UTILITY LOCATIONS**  
Utility locations are approximate as provided by utility company location plans. Verify and field locate prior to any excavation, grading, or drilling. Utility Notification Center must be called two business days in advance. 1-800-922-1882.

**NOTES:**  
1. All construction shall conform and adhere to the City of Grand Junction, Department of Public Works and Utilities, Engineering Section, "Standard Specifications for Construction of Water Lines, Sanitary Sewers, Storm Drainage, and Irrigation Systems", "Detailed Street Construction Specifications" and "Standard Details".  
2. Manhole rim elevations for buried irrigation line along 1st St. are to be adjusted to match finish grade within areas of construction.

**LEGEND**

- Storm Water Flow
- 01.27.70 Finish Flowline Elevation
- 01.45.00 Finish Top of Concrete
- 01.50.00 Finish Asphalt Elevation
- 02.44.00 Finish Grade Elevation
- 01.64.00 Finish Back of Walk Elevation
- 02.74.00 Finish Back of Curb Elevation
- 00.85.00 Finish Pipe Invert Elevation
- 4602.00 Existing Spot Elevation



**REINFORCED CURB & GUTTER**  
n.l.s.

**GRADING AND DRAINAGE PLAN**  
**VOLUNTEERS OF AMERICA**  
OF HUD SITE IN GRAND JUNCTION  
LOCATED IN THE NE1/4 SECTION 10, T1S, R1W, U.M.  
CITY OF GRAND JUNCTION, MESA COUNTY, CO  
DATE: 12-13-93

**NOTE:**  
1. Wire mesh screen and weir pipe shall be corrosion resistant.  
2. Wire mesh screen specs: Minimum wire diameter: 1/4" Maximum Opening: as shown  
3. Anchor bolts: 3/8" Dia x 4-3/4" Corrosion Resistant