



# GRAND JUNCTION FIRE DEPARTMENT BUILDING PERMIT CLEARANCE FORM

RECEIVED: Date 2/23/93 Fee \$ 10<sup>00</sup>  
 Time \_\_\_\_\_ Paid 3/1/93 ①

573-25 1/2 Road ALLEN SIMPSON 241 8734  
 JOB LOCATION CONTACT NAME/PHONE

Record Storage  
 BUILDING USE

	DATE COMPLETED	TIME SPENT
① 1. FIRE FLOW SURVEY a) Site Plan b) Building Plan c) Construction Type <u>Metal</u>	<u>2-26-93</u>	
2. FIRE PROTECTION SYSTEM a) Hydraulic Calculation b) System Prints c) Components Parts List	_____	
3. FIRE ALARM SYSTEM a) Wiring Diagram b) System Components List	_____	
4. REQUIRED PERMITS *See requirements under specific permit	_____	

**OTHER REQUIREMENTS:**

*One fire hydrant to be serviced by an 8 inch supply line.  
 A minimum of a 20 foot Access road - of All weather material  
 to extend to the North West corner of the building.*

G. Bennett 2-26-93 16:45 \_\_\_\_\_  
 Completed By Date Time Data Input

CITY OF GRAND JUNCTION  
UTILITY ACCOUNTING DEPT.  
520 ROOD AVE  
GRAND JCT, COLO 81501

MESA COUNTY  
BUILDING INSPECTION DEPT.  
750 MAIN ST  
GRAND JCT, COLO 81501

THIS IS TO CERTIFY THAT Allen Simpson, ON 2-24-93  
Name Date

FOR 573 25 1/2 Rd. WAS CLEARED THROUGH CITY HALL  
Address

FOR Remodeling + extending building for storage no chg in water or sewer lap.  
Type of Dwelling (be specific)

THE APPLICANT HAS THE UNDERSTANDING THAT IF AN ADDITIONAL WATER OR SEWER TAP IS MADE, OR IF ANY CHANGES ARE MADE TO INCREASE THE SEWER USAGE AN ADDITIONAL CLEARANCE AND/OR FEE MUST BE OBTAINED FROM CITY HALL.

\*\*\*\*\* THIS FORM IS VOID IF NOT USED WITHIN 30 CALENDAR DAYS \*\*\*\*\*

Robert McClure  
Signature of Applicant

R. Hopping  
Utility Accounting

GRAND JUNCTION FIRE DEPARTMENT

FIRE FLOW SURVEY  
GPM REQUIRED

No: 07-93

Establishment Record Storage Date 2-26-93

Location 573 25 1/2 Rd Contactee Allen Simpson 241-8934

1. A. Type of construction Non Comb Metal

B. Ground floor area 3,750 sq ft

C. Height and number of stories 31 ft 1 #

D. Total floor area (if needed) 3,750 sq ft

E. Required fire flow to nearest 250 gpm;  
shall not be less than 500 nor more than,  
1. 8000 for W/F, H/T, or ordinary construction  
2. 6000 for F/R, N/C, or a normal 1 story  
building of any type construction 1,000 GPM

2. Occupancy type Storage Building/Records  
Credit or charge not to exceed 25%  
Judgment + 25% 250 GPM

Subtotal 1,250 GPM

3. Credit up to 50% of subtotal in item #2  
if fully sprinklered. When F/R or N/C  
construction & low fire hazard, credit up  
to 75% (with water & valve supervision)  
Judgment % GPM  
Subtotal GPM

4. Add surcharge to item #2 for exposures  
within 150' (consider all sides but do  
not exceed 75% of item #2)  
Front 0 %  
Left 0 %  
Right 15 %  
Rear 10 %  
Judgment + 25% 250 GPM  
Subtotal 1,500 GPM

5. Summation of #2-#3(if any)+#4(if any) Subtotal GPM

6. Consider notes 1 thru 10 Subtotal GPM

7. Total required fire flow (nearest 250 gpm  
and not to exceed 12000) Total 1,500 GPM

Show sketch plan, notes, & computations  
on back

by Bennett

One fire hydrant is required - must be supplied by an 8 inch  
water line.

## COMMUNITY DEVELOPMENT DEPARTMENT STAFF REPORT

**STAFF REVIEW - Dave Thornton**

**FILE # 26-92**

**DATE:** March 3, 1993

**REQUEST:** Addition to Records Masters (A storage facility for records)

**LOCATION:** 573 25 1/2 Road

**APPLICANT:** Allen Simpson (Representative: Delbert McClure)

**EXISTING LAND USE:** Storage Facility

**PROPOSED LAND USE:** Storage Facility

**SURROUNDING LAND USE:**

**NORTH --** Mobile Home Park

**EAST --** Elementary School, Fire Station, Ball Fields

**SOUTH --** Vacant Land

**WEST --** Vacant Land

**EXISTING ZONING:** C-2

**PROPOSED ZONING:** N/A

**SURROUNDING ZONING:**

**NORTH --** PMH

**EAST --** PZ

**SOUTH --** C-2

**WEST --** C-2

**RELATIONSHIP TO COMPREHENSIVE PLAN/POLICIES/GUIDELINES:** N/A

**STAFF ANALYSIS:**

REVIEW COMMENTS

1. The number of parking spaces is adequate.
2. The total size of the landscaped areas meets the minimum requirement. Please be aware that the minimum planting size is 1 1/2 caliper (measured 1 foot above the ground) for deciduous trees and all shrubs planted must be a minimum of 5 gallon in size. A pressurized underground irrigation system is required for all landscaped areas.

ALAN M. SIMPSON  
730 TULIP DR.  
GRAND JUNCTION, CO 81506

9389

82-40/1021

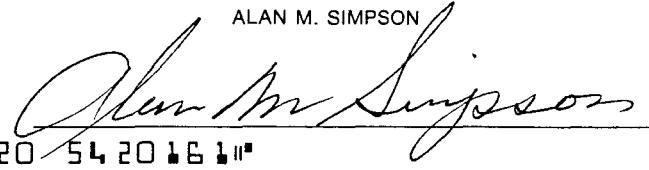
PAY  
TO THE  
ORDER OF

MAR 4 1993  
CITY OF GRAND JUNCTION \$ 5500<sup>00</sup>

5500 DOLLARS

 **United Bank**  
United Bank of Grand Junction-Downtown  
(303) 243-1611 • 4th and Main • Grand Junction, CO 81501

ALAN M. SIMPSON



FOR ESCROW FOR 25 1/2 RD IMPROVEMENTS  
⑈009389⑈ ⑆102100400⑆

6 20 54 20 16 1

Alan and Linda Simpson  
Records Master  
573 25 1/2 Road  
Grand Junction, CO 81505

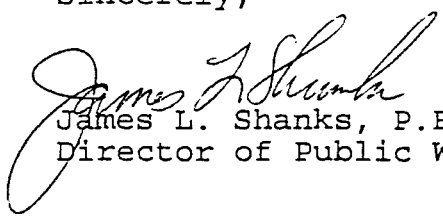
Re: 25 1/2 Road Escrow Payment

Dear Mr. and Mrs. Simpson:

This letter will acknowledge your payment of \$5500 to the City of Grand Junction for street improvements on 25 1/2 Road. This payment was required due to the expansion of your business at 573 25 1/2 Road. The payment was calculated at \$55 per front foot of land abutting 25 1/2 Road.

This payment represents your full payment for street improvements on 25 1/2 Road. You will not be required to pay any additional street improvement fee and you will not be required to pay any future street assessment for 25 1/2 Road.

Sincerely,

  
James L. Shanks, P.E.  
Director of Public Works and Utilities

xc: Community Development  
Development File



March 4, 1993

City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (303) 244-1599

Alan and Linda Simpson  
Records Master  
573 25 1/2 Road  
Grand Junction, CO 81505

Re: 25 1/2 Road Escrow Payment

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Sincerely,

A handwritten signature in cursive script, appearing to read "James L. Shanks".

James L. Shanks, P.E.  
Director of Public Works and Utilities

xc: Community Development  
Development File

To: Dave Thornton  
From: Don Newton  
Date: 3-5-93  
Subject: Plan Review--Record Masters

What is the purpose of the 6 inch pipes from the roof drains to the invert in the gravel drive? These pipes will be difficult to clean and maintain and the outlet ends of the pipes appear obstruct access to the building.



DATE 3-24-93

Submission fee \$ 120.00

**PLANNING CLEARANCE REQUIREMENTS**  
**GRAND JUNCTION COMMUNITY DEVELOPMENT** ZONE C-2

PAID #120.00  
3-2-93  
CAF

BUILDING ADDRESS: 573 - 25 1/2 Road FILE NO: \_\_\_\_\_

PROPOSAL: Addition to Records Masters

DEVELOPER: Allen Simpson TELEPHONE: 241-8743

**REQUIRED**

- A. Impact Statement / Project Narrative
- B. Site Plan  
24" x 32" showing setbacks to all property lines and all streets which abut the parcel and easements. Prepared by a professional engineer. (Scale 1" = 50')
- C. Drainage & Grading Plan ~~/ Report~~
- D. Utilities Composite  
Sewer, Water, Gas, Electric, TV, Telephone, Storm Drain, Irrigation, Ditches
- E. Landscaping / Screening / Buffering
  - 1) Types of Open Space (a)
  - 2) Maintenance
  - 3) Irrigation Rights
  - 4) Irrigation Plan
- F. Roadway Plan / Profile
- G. Traffic Circulation Patterns
  - 1) Pedestrian / Bike paths / Crosswalks
  - 2) Curb Cuts (a)
  - 3) Dimensions of Curb Cuts / Driveways
  - 4) Internal Circulation Detail
- H. Traffic Analysis / Impact Study
- I. Floodplain Analysis and/or Permit (b)
- J. Geology Report / Soils Report
- K. Gamma Radiation Report
- L. ODOT Access Permit (b)
- M. Section 404 Permit (b)
- N. Environmental Site Assessment
- O. Structural Information
  - 1) Heights, Elevations, Square Footage
  - 2) Percent of Building Coverage
  - 3) Setbacks
  - 4) Lighting (a)
  - 5) Signage Detail (a) (b)
  - 6) Fences (a) (b)
- P. Subsurface Soils Investigation
- Q. Sewer/Water Tap (Power of Attorney)
  - 1) Water Supply
  - 2) Water Usage
  - 3) Sewage Generation Estimates
- R. Parking Plan
  - 1) Total Number (a)
  - 2) Handicapped Spaces / Symbols
  - 3) Space Dimensions / Striped Blocks
- S. Improvements Agreement
- T. Improvements Guarantee
- U. Application / Planning Clearance
- V. Review Sheet
- W. Other: 1/2 STREET IMPROVEMENTS ON 25 1/2 ROAD
- X. ROW Required \_\_\_\_\_

SHOW EXISTING ON SITE PLAN

375 ft of Landscaping

75% of the first 5 ft of frontage

Existing & Proposed

SHOW ON SITE PLAN

Parking Req'd - Employee Parking

(a) Existing and Proposed (b) Requires a Separate Permit

NUMBER OF REVIEW PACKETS REQUIRED: ~~3~~ 4

- Community Development
- City Property Agent
- Police Department
- City Attorney
- City Traffic Engineer
- Building Department
- City Utilities Engineer
- Parks & Recreation
- City Drainage District
- City Development Engineer
- Fire Department

REQUIRED FOR ALL BUSINESS, COMMERCIAL, INDUSTRIAL, MULTI-FAMILY AND INSTITUTIONAL USES UNLESS EXEMPTED BY STAFF

CERTIFICATE OF OCCUPANCY

BUILDING DEPARTMENT  
CITY OF GRAND JUNCTION  
(OR MESA COUNTY)

PERMIT # 44303

DATE 8-10-93

PERMISSION IS HEREBY GRANTED TO Delbert McClure TO OCCUPY THE

BUILDING SITUATED AT 573 25 1/2 Rd

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ FILING \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

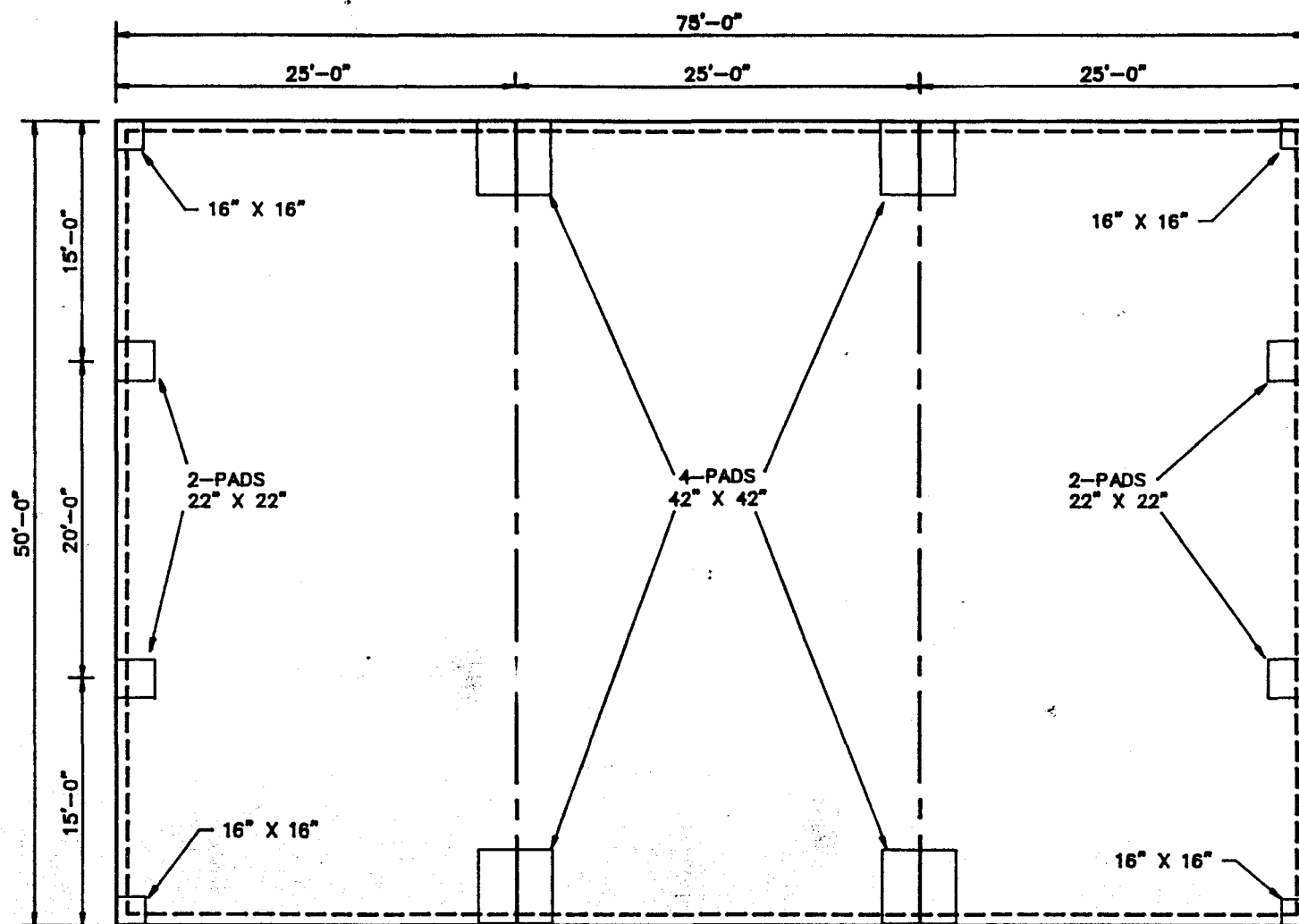
TAX SCHEDULE NUMBER 2945-102-16-001

FOR THE FOLLOWING PURPOSE: addition

THIS CERTIFICATE ISSUED IN CONFORMITY TO SECTION 307, UNIFORM BUILDING CODE

INSPECTOR 

City of Grand Jct. \_\_\_\_\_



- \*Dimensions should be taken from architectural plan except for foundation components.
- \*Reinforcing to be continuous around the building as shown. Minimum lap of reinforcing at splices - 15". No gaps in the reinforcing will be permitted. Use Grade 60 steel.
- \*Bends in reinforcing bars shall not be smaller than 6 bar diameters on the inside radius.
- \*Surface drainage should be positive and rapid in directions away from the building at all points. The yard within 10' of the structure and all backfill to be sloped away from the structure at a minimum gradient of 5%.
- \*Roof drains should be carried away from the building at least 10' past any backfill. Water shall not be allowed to stand or pond near the building during or after construction. Backfill shall not be flooded during or after construction.
- \*All backfill shall be compacted to a minimum of 90% of the maximum Proctor density, ASTM D-1557.
- \*Excavation should be observed to determine if soils over the building area are the same as those for which the building was designed.
- \*Do not use dry wells on site, unless sited and approved by Geotechnical Engineer.
- \*Foundation concrete shall have a minimum strength of 3000 psi placed with a maximum slump of 5". It shall be made using "Modified" Type II Cement or equal protection, with no Calcium Chloride added.
- \*Planters, if any, should be well sealed and drained.
- \*Reinforcing shall be observed by engineer prior to placing concrete. Structure will be reinforced as shown on plans. No changes in building loads, reinforcing or design shall be made after final inspection.
- \*Site Conditions, Limitations and Recommendations for this site are presented in LINCOLN-DeVORE Report # 16108-GS, July 8, 1977. These recommendations are considered a part of this foundation design and must be followed.

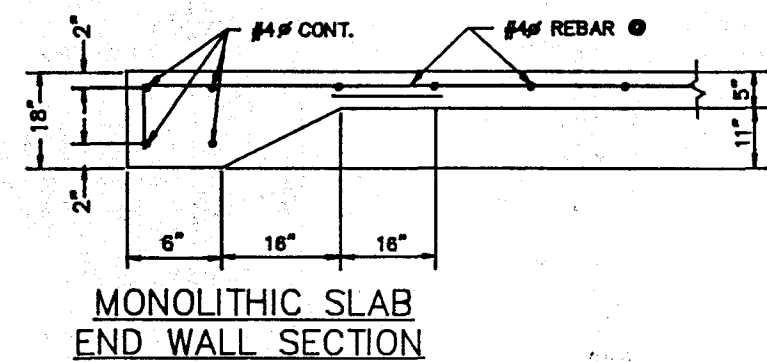
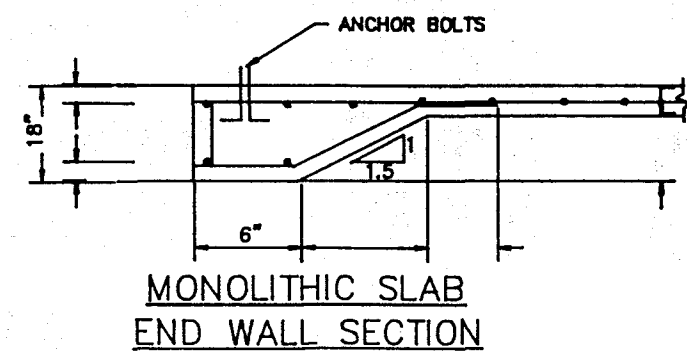
- \*Columns must be concentric with the footing pads and the anchor bolts.
- \*Column sizing must provide proper alignment between the exterior wall of the structure and the outside of the stemwall.
- \*Refer to Building Manufacturer for Thru-ties, Thrust Angles & Anchor Bolt Details.

- \*Slab Reinforcement to consist of either:
  - #4  $\bar{\bar{A}}$  Bars @ 36" c/c each way
  - #3  $\bar{\bar{A}}$  Bars @ 20" c/c each way

- \*Rim Wall Reinforcement 4 - #4  $\bar{\bar{A}}$  Bars - Continuous
- \* Stirrups - 2 #4  $\bar{\bar{A}}$  @ 7' c/c (see plan)

\*Stirrups are minimum 48" unbent length and may be the slab reinforcement continued to rimwall.

\*A total of 24 Stirrups are required.



- \*This design assumes a minimum of 12 inches of structural fill beneath the slab area and the thickened edge portions of the foundation.
- \*The existing low density topsoil should be removed from the building area and closely examined for adequate excavation and exposure of proper bearing soils.
- \*Import a coarse-grained, non-expansive, non-freedraining man-made structural fill and place in the overexcavated portion of the site.
- \*Place the structural fill in lifts not to exceed 6 inches after compaction.
- \*The structural fill should be compacted to a minimum of 90% of the soils maximum Modified Proctor dry density (ASTM D-1557) and placed at a moisture content conducive to the required compaction (usually Proctor Optimum Moisture  $\pm$  2%).
- \*The structural fill must be brought to the required density by mechanical means. No soaking, jetting or puddling techniques should be used.
- \*Surface density tests are recommended to be taken at maximum 1 foot intervals,

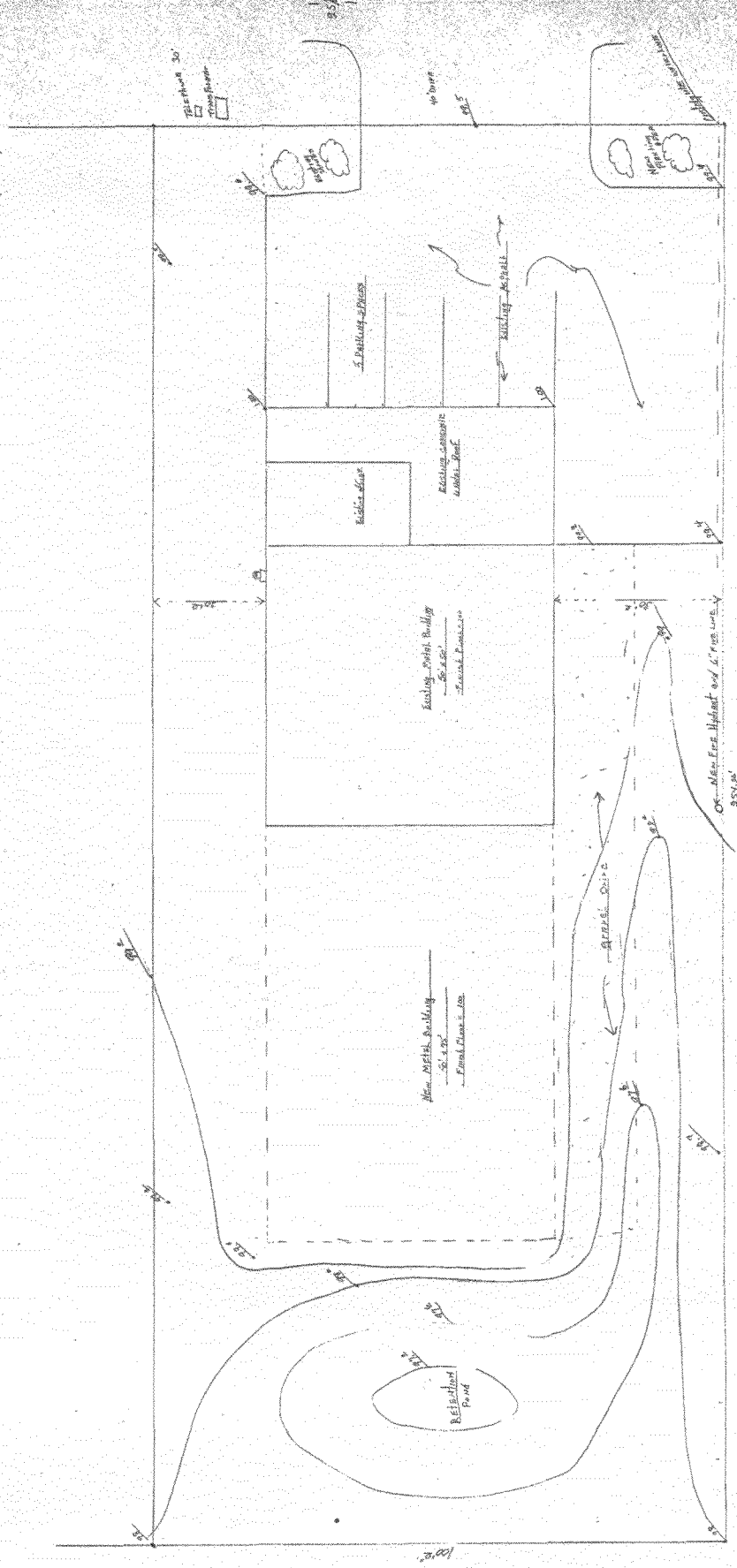
LINCOLN-DeVORE, INC.

By: \_\_\_\_\_  
State of Colorado  
Designed by: EDWARD M. MORRIS EIT

Soil Type: ALLUVIAL, SILTY CLAY  
Low to MEDIUM DENSITY

DELBERT McCLURE RECORD-MASTER, 273 25 1/2 RD @T.H.#1 LD# 16108-GS		
<b>D</b> LINCOLN DeVORE ENGINEERS- GEOLOGISTS	1441 MOTOR STREET GRAND JCT., COLORADO COLO. SPRINGS-PUEBLO	
	ID # 77499-J	SHEET 1 OF 1
DRAWN BY: J.L. SPARKS	SCALE: 1/8" = 1'-0"	DATE: 3-1-1993
CHECKED BY: E.M. MORRIS	CONT. INT.	REV.

RECORDED AND INDEXED  
 PLANNING DEPARTMENT  
 FEB 28 1933  
 Preliminary  
 512



26-70

Dehart Mc Clure  
 245-2938

Record Master Plat Plan 575-558 Block  
 1-10-32

REMARKS:  
 1. 20' WIDE DRIVE

100'

100'

85' 10"

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