



DEVELOPMENT APPLICATION
 Community Development Department
 250 North 5th Street Grand Junction, CO 81501
 (303) 244-1430

A Receipt _____
 Date _____
 Rec'd By _____
 File No. _____

We, the undersigned, being the owners of property situated in Mesa County,
 State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input type="checkbox"/> Subdivision Plat/Plan	<input type="checkbox"/> Minor <input type="checkbox"/> Major <input type="checkbox"/> Resub				
<input type="checkbox"/> Rezone				From: To:	
<input type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final				
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Text Amendment					
<input type="checkbox"/> Special Use					
<input checked="" type="checkbox"/> Vacation			330 White	B-3	<input checked="" type="checkbox"/> Right-of-Way <input type="checkbox"/> Easement

PROPERTY OWNER DEVELOPER REPRESENTATIVE

<u>BISHOP ARTHUR TAFOYA</u> Name	<u>ST. JOSEPH'S CATHOLIC CHURCH</u> Name	<u>DAVID O. TRUBA, ARCHITECT</u> Name
<u>1001 N. GRAND AVENUE</u> Address	<u>230 N. 3RD STREET</u> Address	<u>1601 ARAPAHOE ST., STE. #401</u> Address
<u>PUEBLO, CO 81003-2915</u> City/State/Zip	<u>GRAND JUNCTION, CO 81501</u> City/State/Zip	<u>DENVER, CO 80202</u> City/State/Zip
<u>(719) 544-9861</u> Business Phone No.	<u>(303) 243-0209</u> Business Phone No.	<u>(303) 629-9363</u> Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

X _____ Date 4/01/93
 Signature of Person Completing Application

X Arthur H. Tafuya
 Signature of Property Owner(s) Attach Additional Sheets if Necessary

27 93

COLORADO NATIONAL BANK-GR. JCT 950 17TH ST., #2400 DENVER, CO 80202-2828
COLORADO NATIONAL BANK-GR. JCT. P.O. BOX 968 GRAND JUNCTION, CO 81502-0968
SHAFT I 200 GRAND AVE., #318 GRAND JUNCTION, CO 81501-7840

TWO HUNDRED GRAND PROPERTIES P.O. BOX 2564 GRAND JUNCTION, CO 81502-2564
CHAMBER OF COMMERCE-GR. JCT. 360 GRAND AVENUE GRAND JUNCTION, CO 81501-2465
JAMES R. ARNOTT PATRICIA C. 2669 PARADISE DRIVE GRAND JUNCTION, CO 81506-1714

ROBERT C. REECE TAMARA 330 GRAND AVENUE GRAND JUNCTION, CO 81501-2464
THOMAS H. NIELSEN, ETAL 8599 315 ROAD SILT, CO 81652
UNITED STATES POSTAL SERVICE 4TH & WHITE GRAND JUNCTION, CO 81501

V. DEMERCURIO 303 OURAY AVENUE GRAND JUNCTION, CO 81501-2449
MICHAEL W. MARSH 315 OURAY AVENUE GRAND JUNCTION, CO 81501-2449
LIBERTY BAPTIST COLLEGE, ETAL C/O LINDA KERR 3150 BEAR STREET COSTA MESA, CA 92626-2926

DAVID J. SINGLETARY P.O. BOX 2826 GRAND JUNCTION, CO 81502-2826
FIRST ASSEMBLY OF GOD, INC. 402 GRAND AVENUE GRAND JUNCTION, CO 81501-2534
FIRST NATIONAL BANK-G.J. C/O FBS PROPERTIES MGMT. P.O.-BOX 522 MINNEAPOLIS, MN 55480-0522

ST. JOSEPHS CATHOLIC CHURCH 314 WHITE AVENUE GRAND JUNCTION, CO 81501-2454
GUS L. ELIOPOULIS, ETAL C/O ELIO ENTERPRISE 1006 RANNEY CRAIG, CO 81625-2336
UNITED STATES BANK OF GR. JCT. TRUSTEE-O O & E I TAYLOR P.O. BOX 908 #951975/176 GRAND JUNCTION, CO 81502-0908

CENTRAL BANK OF GR. JCT. C/O FBS PROPERTIES MGMT. P.O. BOX 522 MINNEAPOLIS, MN 55480-0522
THE BISHOP OF PUEBLO 1001 N. GRAND AVENUE PUEBLO, CO 81003-2915
HOME LOAN & INVESTMENTS CO. 145 N. 4TH STREET GRAND JUNCTION, CO 81501-2541

AVCO FINANCIAL SERVICES OF CO. ATTN: REAL ESTATE DEPT. 3349 MICHELSON DRIVE IRVINE, CA 92715-1606
UNITED STATES POSTAL SERVICE REGIONAL COUNSEL WESTERN REGION SAN FRANCISCO, CA 94099-0001
VALLEY FEDERAL SAVINGS & LOAN RTC-RECEIVER ATTN: K. TAYLOR 1515 ACADEMY BLVD. COLORADO SPRINGS, CO 80909-2700

REYNOLD R. REMINGTON 3337 NORTHRIDGE DRIVE GRAND JUNCTION, CO 81506-1925
WILLIAM BRUCE CARMAN 374 RODELL DRIVE GRAND JUNCTION, CO 81503-1794
ARTHUR N. TAFOYA BISHOP OF PUEBLO 314 WHITE AVENUE GRAND JUNCTION, CO 81501-2454

DWIGHT E. ESPE DOROTHY B. ESPE 249 GRAND AVENUE GRAND JUNCTION, CO 81501-7816
BISHOP OF PUEBLO GRAND VALLEY CATHOLIC OUTREACH P.O. BOX 246 GRAND JUNCTION, CO 81502-0246
ANNABELLE PITTS 578 SHOSHONE GRAND JUNCTION, CO 81504-5605

~~ANN PETERSON
FRANCES BLODGETT
P.O. BOX 693~~

ANN PETERSON
FRANCES BLODGETT
P.O. BOX 693
GRAND JUNCTION, CO 81502-0693

YVONNE W. LAUGIER
SANDRA KERREST & A.L. WIRTH EST.
3710 S. PARTON
SANTA ANA, CA 92707-4825

WILLIAM R. JARVIS
P.O. BOX 1944
GRAND JUNCTION, CO 81502-1944

WILLIAM R. JARVIS
P.O. BOX 1944
GRAND JUNCTION, CO 81502-1944

THE BISHOP OF PUEBLO
C/O CHARLES A. BUSWELL
1246 GRAND AVENUE
GRAND JUNCTION, CO 81501-4510

~~CECELIA ROSEANN BERA
BEVERLY CORDOVA & L.J. SANDOVAI
288½ 27½ ROAD~~

CECELIA ROSEANN BERA
BEVERLY CORDOVA & L.J. SANDOVAI
288½ 27½ ROAD
GRAND JUNCTION, CO 81503-2095

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from Office

F27 93



Right-of-Way Vacation Narrative

St. Joseph's Catholic Church
 330 White Avenue
 Grand Junction, Colorado

An intention in the design of the new St. Joseph's Catholic Church is to create a campus of buildings while still respecting the existing church. To this end we have aligned the two buildings and linked them by a common open area and covered walkway.

Additionally, the intention is to create a gathering space at the new church that will allow a parishioner /visitor to informally congregate outside the church either before or after services (weddings, masses, baptisms, etc.)

Given the siting of the new church (aligned with the existing church whose steps are, in fact, over the south property line) and the need for at least 8 feet of space to adequately address the congregation's need we are applying for a R.O.W. Vacation of six (6') feet over the property line parallel to White Avenue (see attached Site Plan).

Existing access to the site will not be adversely impacted. There will be no impact on proposed or existing HCAP ramping or access to the site. There will be a net gain of approximately 1400 square feet of concrete sidewalk/circulation space compared to the existing condition. We are proposing 2 steps up to a landing on the south side of the church that could improve the overall attractiveness of the site. Additionally, planting beds will be used to soften the entry and return the steps to building on either side.

Adjacent Land Uses

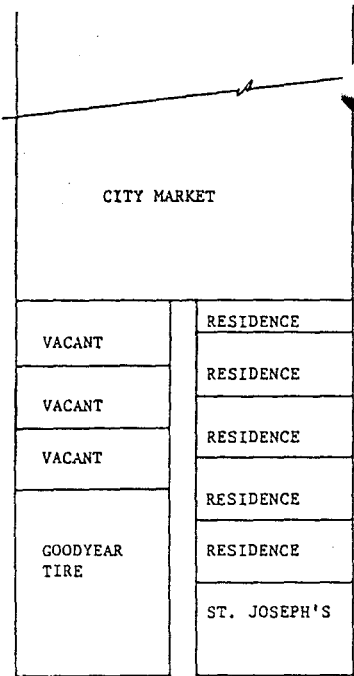
Adjacent land uses are noted on the attached plan.

Development Schedule

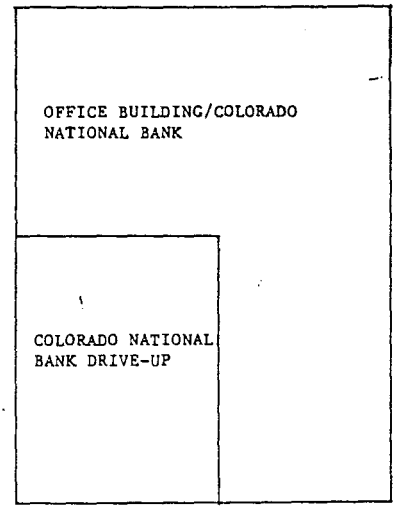
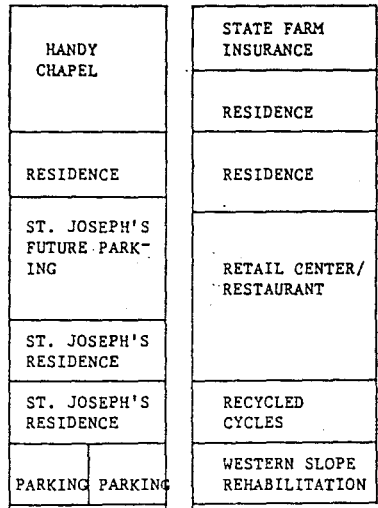
The following is the proposed construction schedule for the new St. Joseph's Church:

- March 1993 Start utility relocation
- 12 April 1993 Approximate construction start date
- April-October 1993 Building construction
- April-October 1993 Landscape and sitework
- 1 November 1993 Building / sitework complete

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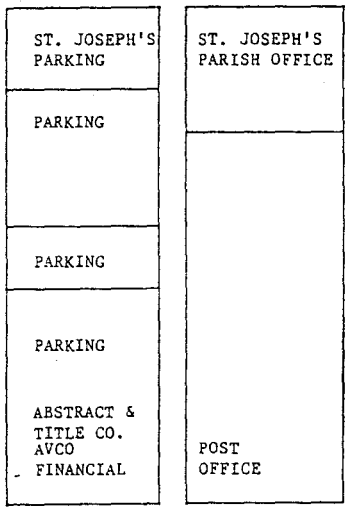


2ND STREET

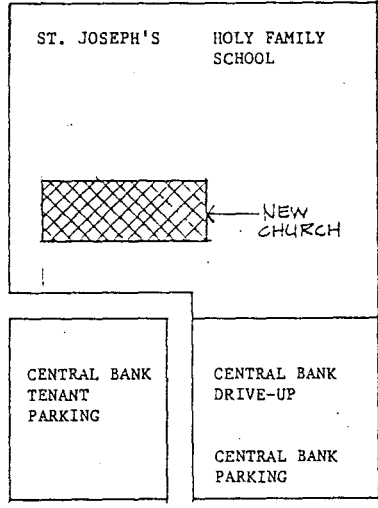


3RD STREET

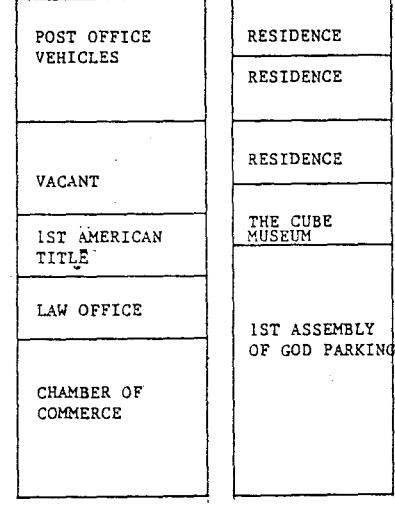
ROAD AVE.



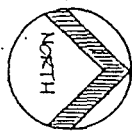
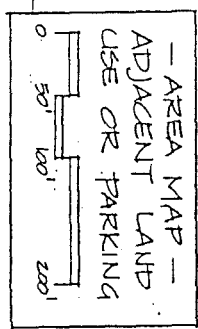
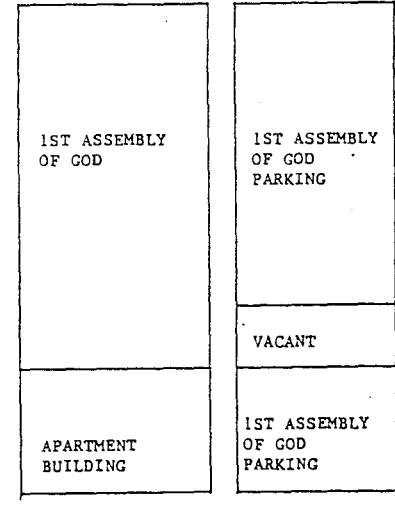
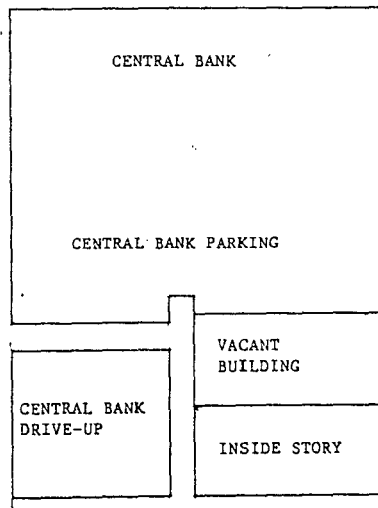
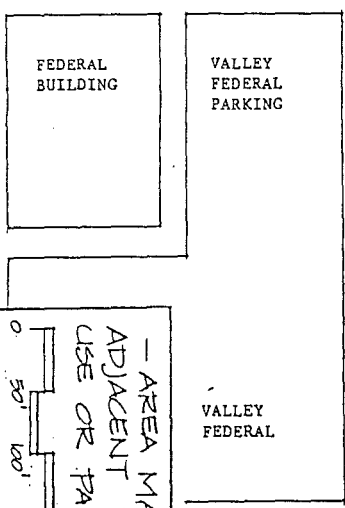
WHITE AVE.



GRAND AVE.



4TH STREET



5TH STREET

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REVIEW COMMENTS

Page 1 of 2

FILE NO. #27-93

TITLE HEADING: Vacation of Right-of-Way

LOCATION: 330 White Avenue

PETITIONER: St. Joseph's Catholic Church

PETITIONER'S ADDRESS/TELEPHONE: Bishop Arthur Tafoya, Pueblo
230 North 3rd Street
Grand Junction, CO 81501
243-0209

PETITIONER'S REPRESENTATIVE: David Tryba, Architect

STAFF REPRESENTATIVE: Kristen Ashbeck

**NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED
ON OR BEFORE 5:00 P.M., MARCH 29, 1993.**

CITY PROPERTY AGENT 3/4/93
Tim Woodmansee 244-1565

I have no objections to this request.

FIRE DEPARTMENT 3/8/93
George Bennett 244-1400

No problems at this time.

U.S. WEST 3/9/93
Leon Peach 244-4964

No comments at this time.

COMMUNITY DEVELOPMENT DEPT. 3/17/93
Kristen Ashbeck 244-1437

1. Building setback (25 feet from existing centerline of White Avenue) will still be met even with reduced right-of-way width.
2. Submit all original signed documents.
3. Petitioner must obtain approval of the Utilities Coordinating Committee (UCC) - earliest meeting is April 14, 1993.
4. The parking meter presently located where the proposed alley is located on White Street must be relocated to the area where new curbing closes the vacated alley. The work will be done by the City but the cost (\$50.00) must be paid by the petitioner prior to application for a Building Permit.

FILE #27-93 / REVIEW COMMENTS

Page 2 of 2

5. The 6 foot vacation should not extend across the proposed new alley. Revise the site plan so that the vacation begins at the western edge of the new alley. Also revise the legal description to correspond - it can reference the alley as dedicated on the plat if necessary and easier.

CITY ENGINEER

3/14/93

Don Newton

244-1559

Revise transitional curbing as red-lined on the attached A-1-O drawing to more smoothly redirect pedestrian traffic.

CITY UTILITY ENGINEER

3/15/93

Bill Cheney

244-1590

All my comments have been satisfactorily addressed with the exception of the letter from an authorized representative of the Church committing to the installation of a sewer line around the north side of the church at a later date if needed. I would recommend that a "Building Clearance" not be issued until we have received that letter.

POLICE DEPARTMENT

3/16/93

Mark Angelo

244-3587

Suggest the 6' right-of-way vacation not be granted. I have attended this church in the past and have seen first hand the pedestrian and vehicle traffic before and after services. The pedestrian traffic after church has frequently congregated outside the front door of the existing church and has gone to the north curb line. If the right-of-way is allowed, I feel pedestrian safety is going to be in jeopardy by placing them even closer to the street if not into the street. In addition, by placing steps in place of the existing sidewalk may create a problem for pedestrians using the sidewalk at night that are not familiar with the area.

I have also seen children crossing the street from the building the church currently owns on the southeast corner of 3rd and White; therefore, creating more pedestrian traffic and potential congestion with less area in front of the church.



ALPINE C.M., INC.

1111 S. 12TH ST.
GRAND JUNCTION, CO
81501
303/245-2505

March 18, 1993

Bishop Arthur Tafoya
1001 N. Grand Avenue
Pueblo, CO 81003-2915

Dear Bishop Tafoya,

The new St. Joseph's Church in Grand Junction will be built over an old sewer line that was located in an abandoned alley that ran across the property from east to west. The old clay tile sewer line will be replaced with a new heavy duty PVC line to insure longevity of service. The sewer line will not be routed around the new church because it would cost approximately \$3,000.00-4,000.00 more.

In granting us an exemption from routing the sewer line around the new building, the City of Grand Junction has required that the church provide them with a letter of committment stating that if the new sewer line under the building fails, that the church will pay to route the line around the back of the church in the new easement.

The new easement is being granted to bury the existing overhead utilities and gas line behind the new church. The new easement also has been designed to allow room for the new sewer in the unlikely event the new line below the building fails. The attached map will show the new easement and the sewer line below the church.

We ask that you prepare a letter for us to give to the City stating the following concepts: (Please feel free to change the wording or the legal entities)

Mr. Bill Cheney, Utility Engineer
City of Grand Junction
250 North 5th Street
Grand Junction, CO 81501

RE: St. Joseph's Catholic Church, Grand Junction, CO

Dear Mr. Cheney,

St. Joseph's Catholic Church will install two (2) new manholes and a new PVC sewer line under the new building when it is constructed. The Roman Catholic Church recognizes that should

Bishop Arthur Tafoya
March 18, 1993
Page 2

the new line fail, a new sewer line and two (2) new manholes will have to be built around the rear of the church to maintain service to upstream users.

With this letter of committment, the Roman Catholic Church, in the event of failure of the line below the building, agrees to pay all costs associated with relocation of a new sewer line around the church per City of Grand Junction standards. The new easement has been designed to allow room for the sewer line, should it be required.

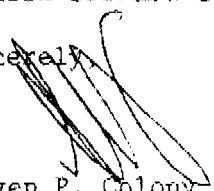
Sincerely,

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Additional paperwork for the planning approval process has been included in this package and require legal signatures. Please provide signatures in the appropriate locations and return the original to Mr. Teo Prinster or to our office as soon as possible.

If you have any questions or need additional clarification, please feel free to call Kevin Nourse or myself at our office at (303) 245-2505. We look forward to starting construction in early to mid April.

Sincerely,




Steven P. Colony
Project Manager

cc: Mr. Teo Prinster
Mr. David Tryba
File

DO NOT Remove
from Office

M E M O R A N D U M

TO Community Development Department, City of Grand Junction

FROM  Paul J. Gallasch, David Owen Tryba Architects

DATE 29 March 1993

SUBJECT St. Joseph's Catholic Church / 330 White Avenue
Vacation of Right-of-Way (R.O.W.)

The following represents the responses to the comments by various city agencies (memo attached) regarding the proposed 6' vacation of the city R.O.W. along White Avenue adjacent to the proposed new church.

<u>Agency</u>	<u>Response</u>
Community Development Department	Alpine C.M. will obtain approval of the Utilities Coordinating Committee on April 14th. The cost of relocating the referenced parking meter (\$50) will be paid by the petitioner prior to the application for a building permit. The proposed vacation will not extend across the new alley. The vacation will begin at the western edge of the new alley and the legal description will be revised to reference the alley as dedicated.
City Engineer	The curb adjacent to the new church will be modified to provide a better transition from the new alley, as per Mr. Newton's recommendations.
City Utility Engineer	Mr. Cheney's comments relate to the previous submittal regarding the church's commitment to install a new sewer line should the proposed line fail. Alpine C.M. has been following up with the Bishop's office to ensure this letter is forthcoming. See attached letter dated 18 March 1993.
Police Department	<p>The Construction Manager met with Mr. Angelo on Wednesday March 24. While understanding Mr. Angelo's concerns for pedestrian safety, it is our intention by this design to improve pedestrian safety on the site in the following manner:</p> <ul style="list-style-type: none"> · The new church is not as close a corner as the existing church. Parishioners entering the church will have much more room to congregate away from the curb/corner as the church steps are much wider than the existing. · The design of the new church includes many more areas for gathering before or after services than the existing church. In fact, the west side of the new church includes a significant courtyard, entrance area and patio to encourage congregation away from the street. · The affect of placing the steps in an area previously dedicated to sidewalk only will be mitigated by additional site lighting and transitional curbing at the S.E. corner of the new church.

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

APR 02 1993

xc: Steve Colony, Alpine C.M.

REVIEW COMMENTS

Page 1 of 2

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PETITIONER'S REPRESENTATIVE: David Tryba, Architect

STAFF REPRESENTATIVE: Kristen Ashbeck

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U.S. WEST 3/9/93
Leon Peach 244-4964

No comments at this time.

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Kristen Ashbeck 244-1437

1. Building setback (25 feet from existing centerline of White Avenue) will still be met even with reduced right-of-way width.
2. Submit all original signed documents.
3. Petitioner must obtain approval of the Utilities Coordinating Committee (UCC) - earliest meeting is April 14, 1993.
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FILE #27-93 / REVIEW COMMENTS**Page 2 of 2**

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80'-0"

22'-0"

25'-0"

NEW CHURCH
 FIN. FLR. = 100'-0"
 FIN. FLR. = 4584'

R.O.W.
 23'-6"
 ASPHALT DRIVE

EXISTING BANK
 PARKING TO REMAIN

140'-8"

(A)

(D)

+

+

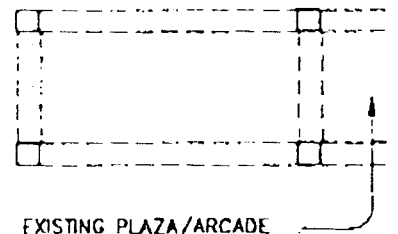
RAMP

TRANSITIONAL CURBING

(E)

GRASS

EXISTING BANK FENCE
 TO REMAIN



EXISTING PLAZA/ARCADE
 TO REMAIN

6' R.O.W. VACATION

6' R.O.W. VACATION

40'-6"

40'-6" FROM C.L. OF R.O.W.

48'-0" F.V.

44'-3"

NEW CURB/GUTTER

61'-4"

22'-0"

25'-0"

YER



ALPINE C.M., INC.

1111 S. 12TH ST.
GRAND JUNCTION, CO
81501
303/245-2505

March 18, 1993

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1001 N. Grand Avenue
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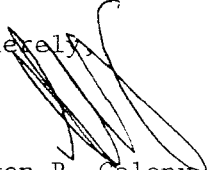
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Sincerely,



Steven P. Colony
Project Manager

cc: Mr. Teo Prinster
Mr. David Tryba
File

STAFF REVIEW

FILE: 27-93

DATE: March 29, 1993

STAFF: Kristen Ashbeck

REQUEST: Right-of-Way Vacation and Amended Site Plan for Conditional Use

LOCATION: 330 White Avenue

APPLICANT: St. Joseph's Catholic Church for Bishop Arthur Tafoya

EXISTING LAND USE: Church, Church School and Parking

PROPOSED LAND USE: Church, Church School and Parking

SURROUNDING LAND USE:

NORTH: Business

SOUTH: Business

EAST: Business

WEST: Business

EXISTING ZONING: Retail Business (B-3)

PROPOSED ZONING: Retail Business (B-3)

SURROUNDING ZONING:

NORTH: Retail Business (B-3) and Public Zone (PZ)

SOUTH: Retail Business (B-3)

EAST: Retail Business (B-3)

WEST: Retail Business (B-3)

RELATIONSHIP TO COMPREHENSIVE PLAN: This proposal is consistent with the following implementation policies of the Downtown Development Strategy: provide for the redevelopment of properties at levels of intensity appropriate for downtown; provide for the renovation of historic structures; support a parking system which encourages shared use and accommodates the multi-purposes of the Central Business District.

STAFF ANALYSIS:

White Avenue Right-of-Way Vacation. The proposed vacation meets the criteria set forth in Section 8-3 of the Zoning and Development Code provided that the plat is recorded which delineates appropriate easements for the relocated utility services.

Do Not Remove
From Office

Amended Site Plan. Vacation of 6 feet of the White Avenue right-of-way will allow for widening of the entrance steps of the proposed church. Although the Grand Junction Police Department has safety concerns with this proposal, there will still be 15 feet of hard surface in front of the steps which is consistent with the streetscape on the rest of this block to the east (in front of Central Bank). We feel that this, along with the entrance/exterior space to the west of the proposed church, provides more space than presently exists for people to congregate after services and for normal pedestrian traffic along White Avenue. The landscaped areas provided on either side of the White Avenue entrance steps (as revised per City Engineer comments) will provide a transition so that the steps do not abruptly jut out into the pedestrian traffic area.

STAFF RECOMMENDATIONS:

1. Right-of-Way Vacation: Approval
2. Amended Site Plan: Approval

Landscaping
+ lot of shrubs on sides of building - some front of
monument
- better hallway - record as
10' x 12'
getting rid of shrubs



MEMORANDUM

**RECEIVED GRAND JUNCTION
 PLANNING DEPARTMENT
 MAR 29 1993**

TO Community Development Department, City of Grand Junction
FROM *WJS* Paul J. Gallasch, David Owen Tryba Architects
DATE 29 March 1993
SUBJECT St. Joseph's Catholic Church / 330 White Avenue
 Vacation of Right-of-Way (R.O.W.)

The following represents the responses to the comments by various city agencies (memo attached) regarding the proposed 6' vacation of the city R.O.W. along White Avenue adjacent to the proposed new church.

<u>Agency</u>	<u>Response</u>
Community Development Department	Alpine C.M. will obtain approval of the Utilities Coordinating Committee on April 14th. The cost of relocating the referenced parking meter (\$50) will be paid by the petitioner prior to the application for a building permit. The proposed vacation will not extend across the new alley. The vacation will begin at the western edge of the new alley and the legal description will be revised to reference the alley as dedicated.
City Engineer	The curb adjacent to the new church will be modified to provide a better transition from the new alley, as per Mr. Newton's recommendations.
City Utility Engineer	Mr. Cheney's comments relate to the previous submittal regarding the church's commitment to install a new sewer line should the proposed line fail. Alpine C.M. has been following up with the Bishop's office to ensure this letter is forthcoming. See attached letter dated 18 March 1993.
Police Department	<p>The Construction Manager met with Mr. Angelo on Wednesday March 24. While understanding Mr. Angelo's concerns for pedestrian safety, it is our intention by this design to improve pedestrian safety on the site in the following manner:</p> <ul style="list-style-type: none"> • The new church is not as close a corner as the existing church. Parishioners entering the church will have much more room to congregate away from the curb/corner as the church steps are much wider than the existing. • The design of the new church includes many more areas for gathering before or after services than the existing church. In fact, the west side of the new church includes a significant courtyard, entrance area and patio to encourage congregation away from the street. • The affect of placing the steps in an area previously dedicated to sidewalk only will be mitigated by additional site lighting and transitional curbing at the S.E. corner of the new church.

xc: Steve Colony, Alpine C.M.

OJG
 Do NOT Remove
 From Office

FF



ACTION SHEET

ACRES _____

UNITS N/A **VACATION** FILE NUMBER #27 93

DENSITY N/A ZONE B-3

ACTIVITY Vacation of 6' of White Ave ROW TAX SCHEDULE # _____

PHASE Final

COMMON LOCATION 330 White

DATE SUBMITTED _____ DATE MAILED OUT _____ DATE POSTED _____

____ DAY REVIEW PERIOD RETURN BY _____

OPEN SPACE DEDICATION (acreage) _____ OPEN SPACE FEE REQUIRED \$ _____ PAID RECEIPT # _____

RECORDING FEE REQUIRED \$ _____ PAID (Date) _____ DATE RECORDED _____

REVIEW AGENCIES

A B ~~C~~ ~~D~~ ~~E~~ ~~F~~ G ~~H~~ ~~I~~ ~~J~~ ~~K~~ ~~L~~ ~~M~~ ~~N~~ ~~O~~ ~~P~~ Q R ~~S~~ ~~T~~ ~~U~~ ~~V~~ ~~W~~ ~~X~~ ~~Y~~ ~~Z~~ AA BB CC DD ~~EE~~ ~~FF~~ ~~GG~~

	A	B	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	AA	BB	CC	DD	EE	FF	GG
<input checked="" type="radio"/> Community Development	●	●									●	●	●	●								●	
<input checked="" type="radio"/> City Engineer (2 sets)	●	●									●	●	●	●								●	
<input type="radio"/> Transportation Engineer	●	●																				●	
<input type="radio"/> City Parks/Recreation	●	●																				●	
<input checked="" type="radio"/> City Fire Department	●	●									●	●	●	●								●	
<input checked="" type="radio"/> City Police Department	●	●									●	●	●	●								●	
<input type="radio"/> County Planning	●	●																				●	
<input type="radio"/> County Engineer	●	●																				●	
<input type="radio"/> County Health	●	●																				●	
<input type="radio"/> Floodplain Administration	●	●																				●	
<input type="radio"/> G.J. Dept. of Energy	●	●																				●	
<input type="radio"/> Walker Field	●	●																				●	
<input type="radio"/> School District 51	●	●																				●	
<input type="radio"/> Irrigation	●	●																				●	
<input type="radio"/> Drainage	●	●																				●	
<input type="radio"/> Water (Ute, Clifton)	●	●																				●	
<input type="radio"/> Sewer Dist. (FV, CGV, OM)	●	●																				●	
<input checked="" type="radio"/> U.S. West	●	●									●	●	●	●								●	
<input checked="" type="radio"/> Public Service (2 sets)	●	●									●	●	●	●								●	
<input type="radio"/> State Dept. of Transportation	●	●																				●	
<input type="radio"/> State Geological Survey	●	●																				●	
<input type="radio"/> State Health Department	●	●																				●	
<input checked="" type="radio"/> City Property Agent	●	●									●	●	●	●								●	
<input checked="" type="radio"/> City Utilities Engineer	●	●									●	●	●	●								●	
<input checked="" type="radio"/> City Attorney	●	●									●	●	●	●								●	
<input type="radio"/> Building Department	●	●																				●	
<input type="radio"/> DDA	●	●																				●	
<input checked="" type="radio"/> GJPC (7 packets)	●	●									●	●	●	●								●	
<input checked="" type="radio"/> CIC (1 packet)	●	●									●	●	●	●								●	
<input type="radio"/> County Surveyor	●	●									●											●	
<input type="radio"/> Other	●	●																				●	
<input type="radio"/> 18 Packets																							

TOTALS

BOARDS

DATE

4/6/93

PC Approved

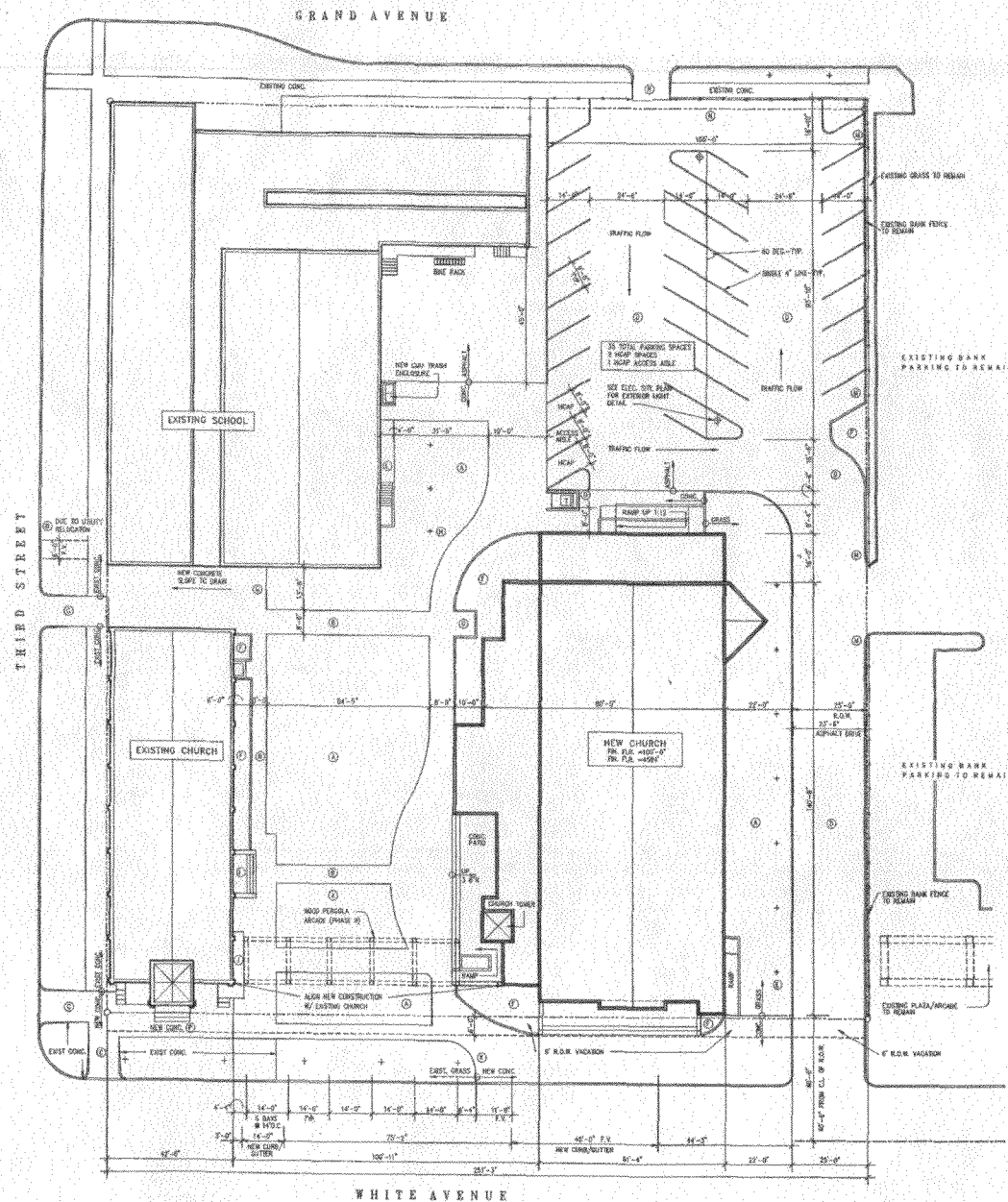
5/5/93

CC Approved

STAFF

Fee: \$450
\$50 deposit

APPLICATION FEE REQUIREMENTS



SITE PLAN NOTES

1. ALL CONCRETE SHALL BE REINFORCED WITH #4 BARS AT A SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
 2. ALL CONSTRUCTION ACTIVITIES IN THE PUBLIC RIGHT-OF-WAY ARE TO BE ACCORDING TO THE CITY OF GRAND JUNCTION STANDARDS.
 3. PROVIDE COORDINATE JOINTS (C.J.) AND CONSTRUCTION JOINTS (C.J.) WHERE ALL NEW CONSTRUCTION MEETS EXISTING CONSTRUCTION. SEE DRAWINGS.
 4. COORDINATE STAIRS, MEALS, STORAGE, UTILITY, CONSTRUCTION FENCING, REGULATIONS AND VEHICLE ACCESS REQUIREMENTS WITH THE CITY OF GRAND JUNCTION.
 5. SEE SPECIFICATIONS AND GENERAL NOTES (SHEET A0.1) FOR ADDITIONAL INFORMATION.
 6. CONSTRUCTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND COORDINATING NEW TRADING REQUIREMENTS.
 7. SEE LANDSCAPE AND IRRIGATION DRAWINGS FOR NEW LANDSCAPE WORK.
 8. ALL EXISTING TREES, B/C SHARPS AND COURTESY TO REMAIN UNLESS OTHERWISE NOTED.
- ① NEW GRASS AREA TO BE IRRIGATED 1/2" OF GRAND JUNCTION WATER.
 - ② NEW CONCRETE SHALL BE ACCORDING TO CITY OF GRAND JUNCTION STANDARDS.
 - ③ NEW HOOP RAIMP/SLAB CUT IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS.
 - ④ EXISTING ASPHALT TO RECEIVE NEW 7" ASPHALT TYPERS AND FINISH IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS.
 - ⑤ 7 NEW IMPERIAL SPHERE LIGHTS 12" CAL. NOT ILL. USE 1/2" 1/2" OF SPHERE OF 20000 HOURS LUM. AND 27"-8" WEST OF EAST FOOT LINE.
 - ⑥ NEW PLANTER BEDS: 10' X 10' X 12" DEEP. SEE SPECIFICATIONS OF LANDSCAPE ARCHITECT FOR MATERIALS AND FINISHES. SEE SPECIFICATIONS FOR MATERIALS AND FINISHES. SEE SPECIFICATIONS FOR MATERIALS AND FINISHES.
 - ⑦ FUTURE SIGNAGE.
 - ⑧ 1 NEW SPHERE SIGN PLANNING GRAND TREES 12" CAL. NOT ILL. USE 1/2" 1/2" OF SPHERE OF 20000 HOURS LUM. AND 27"-8" WEST OF EAST FOOT LINE.
 - ⑨ NEW EXIST STAIRS AND FUTURE HOOP RAIMP (PHASE 2).
 - ⑩ EXISTING RAMP TO REMAIN UNTIL PHASE 2.
 - ⑪ REMOVE EXIST DRIVE 12'-0" EAST OF EAST FOOT LINE TO NEW EXIST LANDSCAPE. CONSP. REMOVE 1/2" CAL. NOT ILL. USE 1/2" 1/2" OF SPHERE OF 20000 HOURS LUM. AND 27"-8" WEST OF EAST FOOT LINE.
 - ⑫ NEW CONC. WALL, SEE INTO EXIST STAIRS.
 - ⑬ NEW CONC. CURB, SEE INTO EXIST IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARDS.
 - ⑭ EXISTING FENCE TO BE RELOCATED TO PROPERTY LINE WHEN GRAND AVENUE IS IMPROVED.
 - ⑮ NEW GRASS SHALL BE IRRIGATED 1/2" OF GRAND JUNCTION WATER.
 - ⑯ NEW CONCRETE SHALL BE REINFORCED WITH #4 BARS AT A SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE NOTED.
 - ⑰ SHOWN "ONE-WAY" TRAFFIC ONLY.

**ST. JOSEPH'S
CATHOLIC CHURCH**
GRAND JUNCTION, COLORADO

**DAVID OWEN TRYBA
ARCHITECTS**

ISSUE: DATE:
CONSTRUCTION DOCUMENTS 3 MARCH 1993

JOB NUMBER: 9112.0

SHEET TITLE: SITE PLAN

SHEET NUMBER:

A1.0

1 SITE PLAN
SCALE: 1"=20'