

Table of Contents

File 1993-127

Name: Ptarmigan Ridge #6 - Bittern Court - SPR

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
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X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
		Review Sheets
X		Receipts for fees paid for anything
X	X	*Submittal checklist
X	X	*General project report
		Reduced copy of final plans or drawings
X	X	Reduction of assessor's map.
		Evidence of title, deeds, easements
		*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
X	X	*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Ptarmigan Ridge – Filing #6 Townhouse Plat - **		
X	X	Grading and Drainage Map – to be scanned - **		
X		DIA – not filled out or completed		
X	X	Ptarmigan Ridge – Filing 6 – Final Plat - ** - GIS Historical Maps		
X	X	Planning Clearance – issued - 11/15/93 - ** - 1830,1840,1850, 1860 and 1870 Bittern Court		
X	X	Site Plan		
X	X	Existing Access Easement Map		
X	X	Resolution No. 39-94 - **		

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: Brambling Circle - Farmigan Ridge Project Name: FARMIGAN Pointe

ITEMS	Filing # <u>6</u>	DISTRIBUTION													TOTAL REQ'D									
		<u>TOWNHOMES</u>																						
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Public Works	City Fire Department	City Alleyway	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District G.V.	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVHP	CDOT	Corps of Engineers	Walker Field			
● Application Fee	VII-1	1																						
● Submittal Checklist*	VII-3	1																						
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																						
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title <i>on plat</i>	VII-2	1		1																				
○ Appraisal of Raw Land	VII-1	1		1	1																			
○ Deeds	VII-1	1		1																				
○ Easements	VII-2	1	1	1	1																			
○ Avigation Easement	VII-1	1		1																				
○ ROW	VII-3	1	1	1	1																			
○ Improvements Agreement/Guarantee	VII-2	1	1	1																				
○ CDOT Access Permit	VII-3	1	1																					
○ Industrial Pretreatment Sign-off	VII-4	1	1																					
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	X-13	1	1																					
● Site Plan	X-29	2	2	1	1																			
○ 11"x17" Reduction of Site Plan	X-29					1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan	X-16	1	2																					
○ Storm Drainage Plan and Profile	X-30	1	2											1	1	1	1	1	1	1	1	1	1	1
○ Water and Sewer Plan and Profile	X-34	1	2	1	1	1								1	1	1	1	1	1	1	1	1	1	1
○ Roadway Plan and Profile	X-28	1	2																					
○ Road Cross-Sections	X-27	1	2																					
○ Detail Sheet	X-12	1	2																					
● Landscape Plan	X-20	2	1	1																				
○ Geotechnical Report	X-3	1	1																					
○ Final Drainage Report	X-5.6	1	2																					
○ Stormwater Management Plan	X-14	1	2																					
○ Phase I and II Environmental Report	X-10, 11	1	1																					
○ Traffic Impact Study	X-15	1	2																					

Contact Dave
 244-1447
 Contact Atwood Williams
 244-1591

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

PRE-APPLICATION CONFERENCE

Date: 10-21-93

Conference Attendance: Mr. Spomer, Kathy Deppa, Dave Thornton

Proposal: 27 TOWNHOMES AT PHARMIGAN RIDGE #10

Location: Brambling Circle

Tax Parcel Number:

Review Fee: \$135.00

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? NA

Adjacent road improvements required? Already Guaranteed by JOHN SIEGFRIED

Area identified as a need in the Master Plan of Parks and Recreation? NA

Parks and Open Space fees required? PAID AT FINAL for Filing (Estimated Amount:)

Recording fees required? Yes (Estimated Amount:)

Half street improvement fees required? NA (Estimated Amount:)

Revocable Permit required? NA

State Highway Access Permit required? NA

Applicable Plans, Policies and Guidelines NA

Located in identified floodplain? FIRM panel #

Located in other geohazard area?

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? YES

Avigation Easement required? Will be Recorded with Filing (

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Drainage, Floodplain/Wetlands Mitigation, Other, Screening/Buffering, Landscaping, Availability of Utilities, Land Use Compatibility, Traffic Generation, Geologic Hazards/Soils

Related Files: # 23-93

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s): SPOMER CONSTRUCTION

Signature(s) of Representative(s): Kathy Deppa

Signature(s) of Petitioner(s): A Colorado Corporation

SEC. / TREES.

General Project Report

Site Plan Review

Ptarmigan Pointe Patio Homes
Ptarmigan Ridge Subdivision, Filing No. 6
Grand Junction, CO

Location: Brambling Circle/Bittern Court

October 26, 1993

Petitioner: Spomer Construction,
A Colorado Corporation
676 29 1/2 Road
Grand Junction, CO 81504

The project will consist of up to 30 patio homes set in a duplex-style configuration.

There are six models with four ranch-style plans and two, two-story models. Square footage will be from 1487 square feet to 1827 square feet in size.

All units will be brick in construction with stucco accents. All units will have double car garages.

All units will contain at least two baths.

Quality construction and amenities will be the overall marketing approach.

The building exteriors and all common areas will be totally maintained by the Ptarmigan Pointe Homeowners Association.

REVIEW COMMENTS

Page 1 of 2

FILE #127-93

TITLE HEADING: Site Plan Review - Ptarmigan Pointe
Patio Homes

LOCATION: 27 1/2 Road & Cortland Avenue; Ptarmigan Ridge Subdivision, Filing #6

PETITIONER: Spomer Construction

PETITIONER'S ADDRESS/TELEPHONE: 676 29 1/2 Road
Grand Junction, CO 81504
242-6123/241-4000

PETITIONER'S REPRESENTATIVE: Kathy Deppe

STAFF REPRESENTATIVE: Kathy Portner

**NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED.
A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.**

UTE WATER 11/2/93
Gary R. Mathews 242-7491

NO OBJECTIONS. As built and construction plans required; construction plans approved before sign off. Contact with Ute Water necessary to discuss options for metering. Policies and fees in effect at the time of application will apply.

CITY UTILITY ENGINEER 11/2/93
Bill Cheney 244-1590

WATER - Show water tap locations on drawing and location of fire hydrants.

SEWER - Show tap locations for sanitary sewer service. Each patio home will require a separate sewer service. Combined services will not be allowed. Any services not utilized will require capping if not already capped.

CITY DEVELOPMENT ENGINEER 11/3/93
Gerald Williams 244-1591

Grading revisions are required. Comments and sample process is shown on the attached red-lined print.

MESA COUNTY BUILDING DEPARTMENT 11/1/93
Bob Lee 244-1656

No comments.

PUBLIC SERVICE COMPANY
Dale Clawson

11/2/93
244-2695

ELECTRIC & GAS: Developer needs to contact Public Service Company regarding metering locations.

COMMUNITY DEVELOPMENT DEPARTMENT
Kathy Portner

11/4/93
244-1446

1. The required rear yard setback for all townhomes is 5'. It appears they're all meeting that setback - please confirm.
2. The required front yard setback is 20' for front entry garages and 14' for all others. The 14' is measured from eave line. Please verify that building lines shown on the site plan at the 14' setback include eave lines.
3. The required distance between buildings is 10' measured from the foundation. Please verify all distances between buildings. There is not 10' between 2 buildings in the center area.
4. A six foot privacy fence is required along the east property line of those units fronting on Brambling Circle. The petitioner had indicated in the hearing that a privacy fence would be provided around the back perimeter of the entire townhome development. Please show the location of the fence on the plan and indicate height and type of material.
5. Please verify that there is space off-street for 2 parked cars for each unit.

November 8, 1993

Page 1 of 2

RESPONSE TO REVIEW COMMENTS.....FILE # 127-93

TITLE HEADING: Site Plan Review-Ptarmigan Pointe Patio
Homes
PETITIONER: Spomer Construction

LOCATION: 27 1/2 Road & Cortland Avenue; Ptarmigan
Ridge Subdivision, Filing No. 6

PETITIONER'S ADDRESS/TELEPHONE: 676 29 1/2 Road
Grand Junction
Colorado 81504
242-6123/241-4000

PETITIONER'S REPRESENTATIVE: Kathy Deppe

STAFF REPRESENTATIVE: Kathy Portner

UTE WATER.....

As-builts and construction plans were submitted with the approval process for Ptarmigan Ridge Subdivision, Filing NO. 6. Individual units construction plans will be submitted for building permit application(s). Petitioner has contacted Ute water with regard to metering and is aware that each unit will have a separate water meter and all policies and fees in effect at the time of application will apply .(Additional copies being provided)

CITY UTILITY ENGINEER.....

WATER...Water tap locations and fire hydrants are shown on the original as-built plans submitted for Ptarmigan Ridge Subdivision, Filing No. 6.

SEWER.....Sewer tap locations are shown on the original as-built plans submitted for Ptarmigan Ridge Subdivision, Filing No. 6. Petitioner is aware and agreeable that each unit shall have its own separate sewer service and will pay the cost of same for each unit. Petitioner agrees that any service not utilized will be capped if not already not capped. (Copies being provided)

CITY DEVELOPMENT ENGINEER.....

Grading revisions have been completed and are attached for review and approval.

NO COMMENTS

PUBLIC SERVICE COMPANY.....

Petitioner has contacted Public Service (Herb Tinkle) regarding metering locations and is waiting for Public Service, Engineering Department, to complete their drafting at which time a meeting will be scheduled between Public Service and Petitioner.

COMMUNITY DEVELOPMENT DEPARTMENT.....

(1). All patio homes will meet the required rear yard setback of 5' as per original requirements for Ptarmigan Ridge Subdivision, Filing No. 6.

(2). The building lines shown on the site plan at the 14' setback include eave lines.

(3). Petitioner is aware that there shall be a required measurement of 10' between each building and that said measurement is from the foundation. All building shall comply with this requirement.

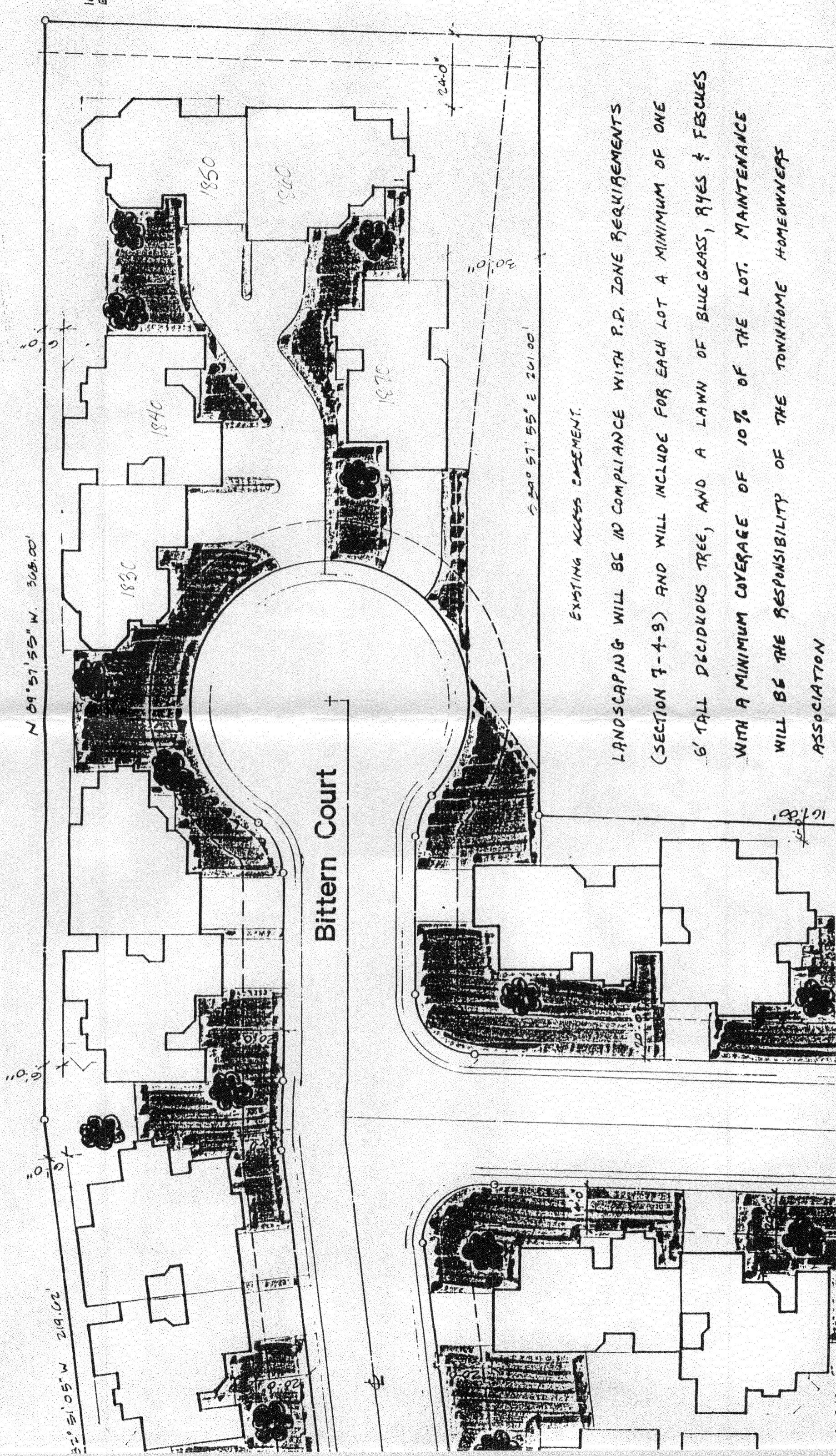
(4). Petitioner agreed to and will install privacy fencing on the rear property line of those units facing West on Brambling Circle. Petitioner DID NOT agree to privacy fencing around the back perimeter of the entire patio home project. (Doing so would obstruct much of the view area which is a selling feature for the units, especially those units to the North on Brambling Circle and Bittern Court)

Fencing material for the rear property line of those units facing West on Brambling Circle will be either 6' wooden fencing or 6' cinder/block/stucco wall type material. (exact type will be determined by the overall look of the project and which type will be most enhancing to the development)

(5). In addition ;to the 20' driveway setbacks, each patio home unit shall have a 2-car attached garage.

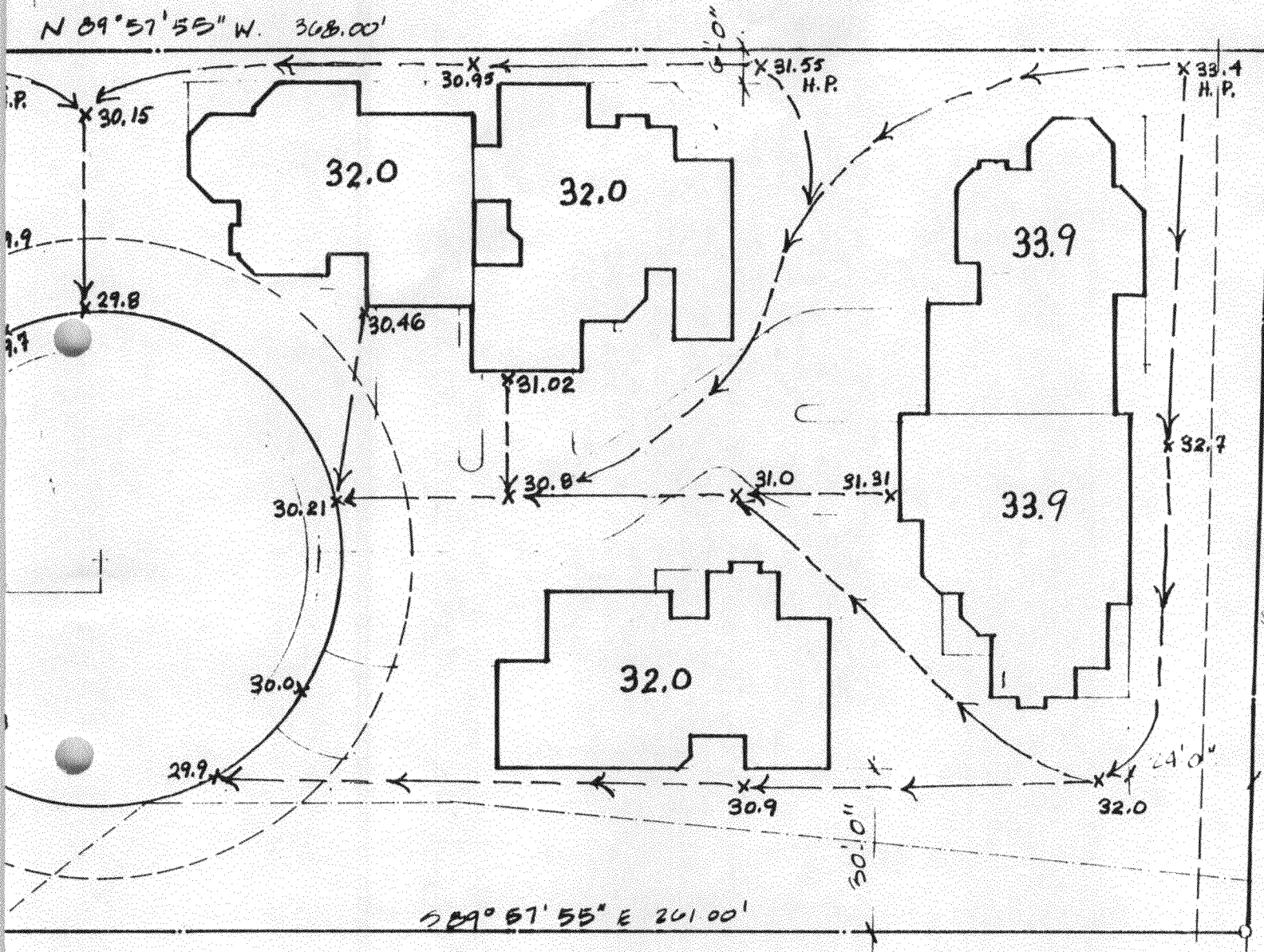
(6). Of 4 patio homes to-be-built on the West facing section of Brambling Circle, none will be two-story in style as required.

ACCEPTED *11/15/95*
MUST BE
APPROVED
BY THE
CITY ENGINEER
BEFORE ANY
CONCRETE
WORK IS
STARTED



EXISTING ACCESS CASEMENT.

LANDSCAPING WILL BE IN COMPLIANCE WITH P.D. ZONE REQUIREMENTS
(SECTION 7-4-9) AND WILL INCLUDE FOR EACH LOT A MINIMUM OF ONE
6' TALL DECIDUOUS TREE, AND A LAWN OF BLUEGRASS, RYES & FESCUES
WITH A MINIMUM COVERAGE OF 10% OF THE LOT. MAINTENANCE
WILL BE THE RESPONSIBILITY OF THE TOWNHOME HOMEOWNERS
ASSOCIATION



10'-0" UTILITY & IRR. EASEMENT

ACCEPTED 6/11/15/19
 ANY CHANGES TO THIS PLAN SHALL BE MADE BY THE ENGINEER.
 THIS PLAN IS VALID FOR THE EASEMENTS AND PROPERTY LINES.

EXISTING ACCESS EASEMENT.

NOTE: F.F.E.s & DRAINAGE GRADE ELEVATIONS WERE EXTRAPOLATED FROM SURVEYED B.O.W. ELEVATIONS. F.F.E.s INDICATED ON UNITS ARE SUGGESTED MINIMUMS.

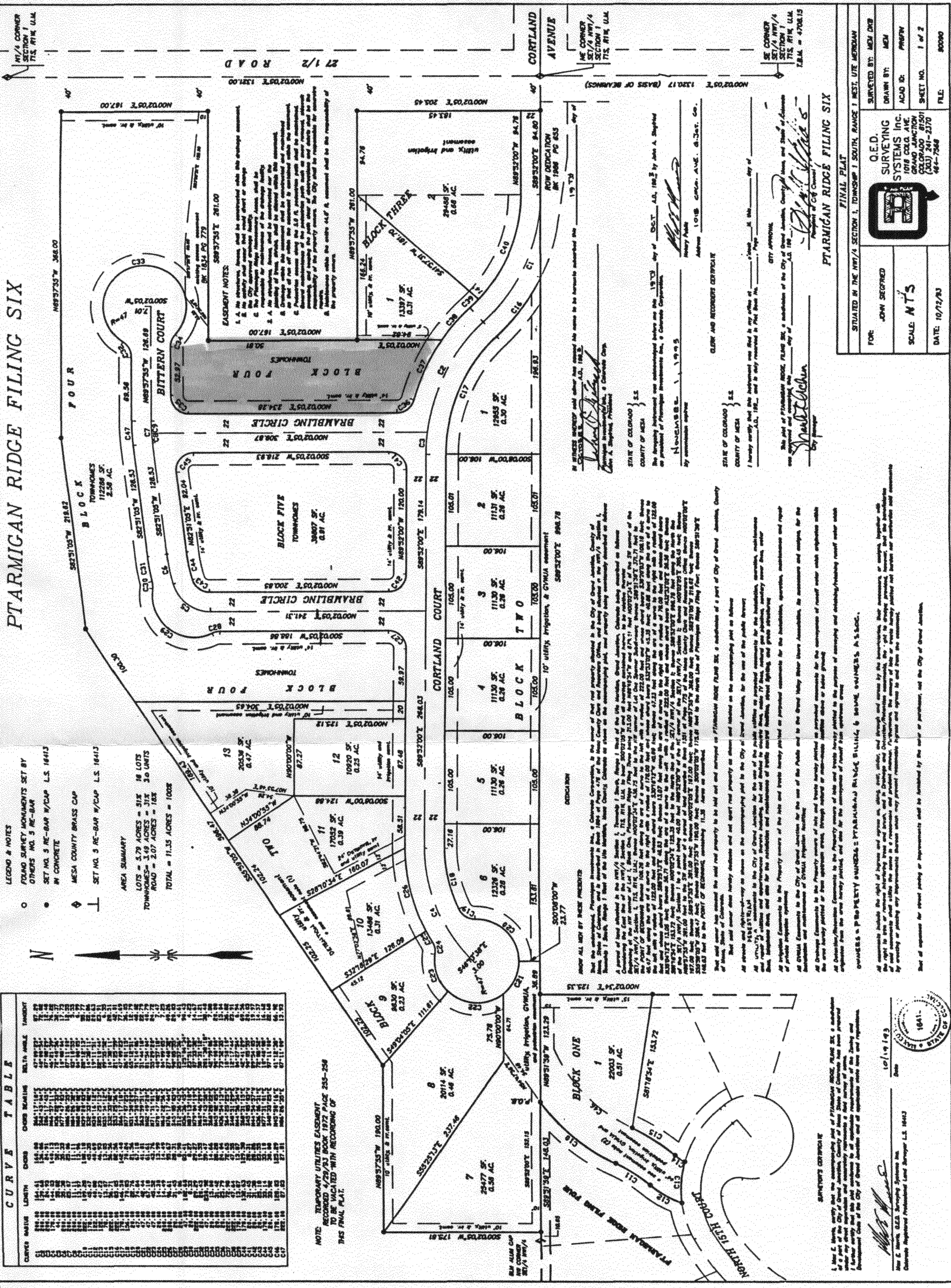
ELEVATION CONTROL BENCH IS 47018.15 ON MESA COUNTY BRASS CAP, E CORNER, NW 1/4, SECTION 1. THE RIM ELEVATION OF THE EXISTING MANHOLE SOUTH OF THE INTERSECTION OF 27 1/2 RD & CORTLAND AVG. IS 4730.27.

SURVEYED B.O.W. ELEVATION
 EXTRAPOLATED ELEVATION
 → DRAINAGE

27 1/2 Road

CITY IRR (TYP.)

PTARMIGAN RIDGE FILING SIX



LEGEND & NOTES

- FOLIO SURVEY MONUMENTS SET BY OTHERS NO. 5 RE-BAR
- SET NO. 5 RE-BAR W/CAP L.S. 18413 IN CONCRETE
- ◇ MESA COUNTY BRASS CAP
- ⊥ SET NO. 5 RE-BAR W/CAP L.S. 18413

AREA SUMMARY

LOTS = 5.79 ACRES = SIX 16 LOTS
 TOWNHOMES = 3.09 ACRES = SIX 30 UNITS
 ROAD = 2.07 ACRES = ONE
 TOTAL = 11.35 ACRES = 100%

CURVE TABLE

CURVE	BEARING	LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C2	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C3	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C4	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C5	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C6	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C7	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C8	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C9	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C10	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C11	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C12	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C13	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C14	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C15	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C16	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C17	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C18	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C19	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C20	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C21	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C22	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C23	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C24	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C25	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C26	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C27	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C28	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C29	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C30	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C31	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C32	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C33	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C34	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C35	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C36	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C37	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C38	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C39	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C40	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C41	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C42	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C43	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C44	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C45	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C46	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C47	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C48	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C49	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00
C50	S89°57'35"W	180.00	S89°57'35"W	0°00'00"	0.00

NOTE: TEMPORARY UTILITIES EASEMENT RECORDED 4/29/93 BOOK 1972 PAGE 255-258 TO BE VACATED WITH RECORDING OF THIS FINAL PLAT.

DEED

BEFORE ME, the undersigned authority, on this 19th day of OCTOBER, 1993, appeared JOHN A. BISHOP, known to me to be the person whose name is subscribed to the foregoing instrument, acknowledged to me that he executed the same for the purposes and consideration therein expressed.

My commission expires _____.

STATE OF COLORADO }
 COUNTY OF MESA }

Notary Public

Address: 1018 GARDEN AVE., G-202, CO.

DEED

BEFORE ME, the undersigned authority, on this 19th day of OCTOBER, 1993, appeared JOHN A. BISHOP, known to me to be the person whose name is subscribed to the foregoing instrument, acknowledged to me that he executed the same for the purposes and consideration therein expressed.

My commission expires _____.

STATE OF COLORADO }
 COUNTY OF MESA }

Notary Public

Address: 1018 GARDEN AVE., G-202, CO.

PTARMIGAN RIDGE FILING SIX

FINAL PLAT

SITUATED IN THE NW1/4 SECTION 1, TOWNSHIP 1 SOUTH, RANGE 1 WEST, UTE MERIDIAN

FOR: JOHN SEGFRED

SCALE: N.T.S.

DATE: 10/12/93

SURVEYED BY: MEI DKB

DRAWN BY: MEI

ACAD ID: PMSFW

SHEET NO. 1 of 2

FILE: 90990

PLAT

BEFORE ME, the undersigned authority, on this 19th day of OCTOBER, 1993, appeared JOHN A. BISHOP, known to me to be the person whose name is subscribed to the foregoing instrument, acknowledged to me that he executed the same for the purposes and consideration therein expressed.

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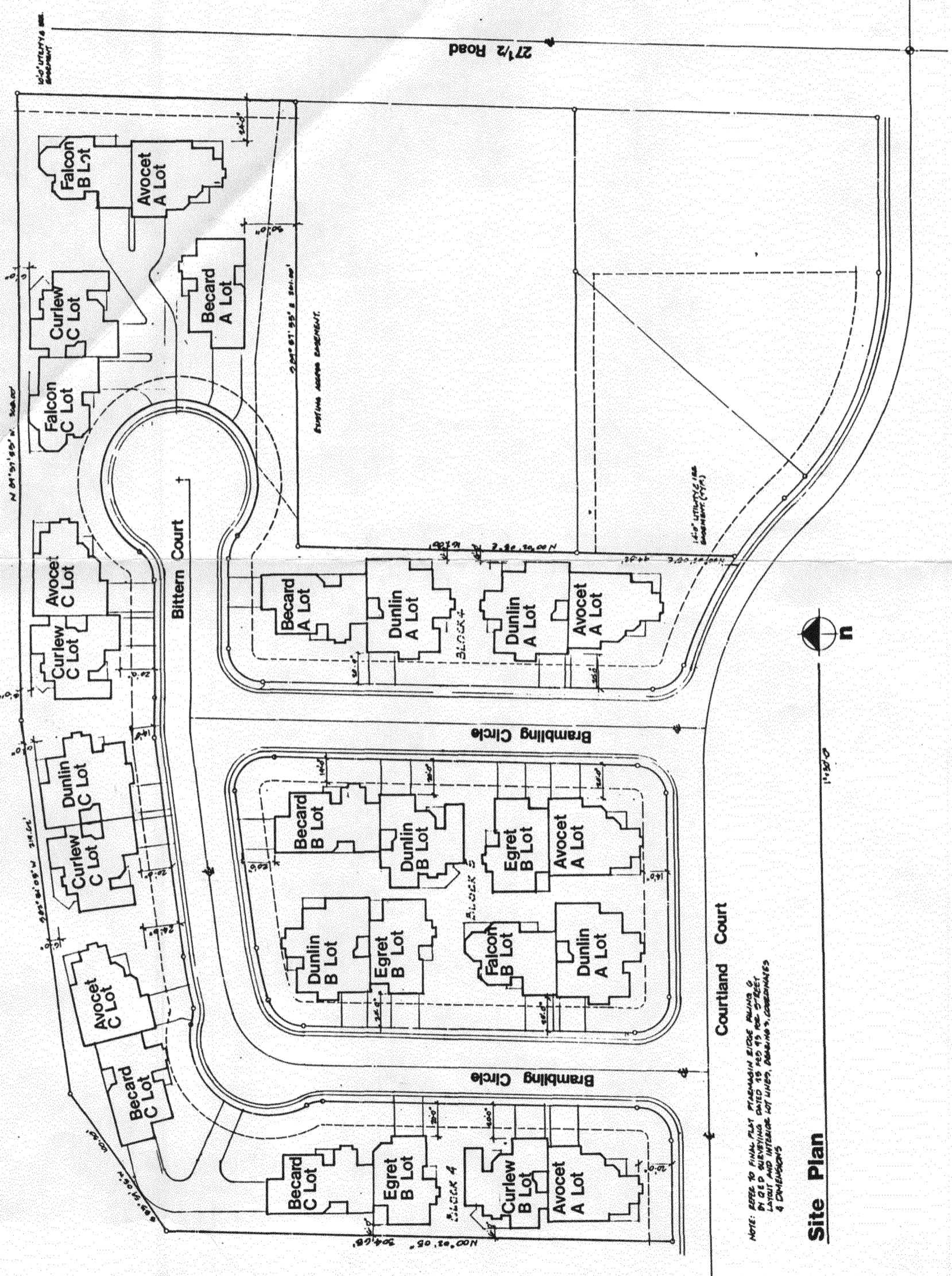
My commission expires _____.

STATE OF COLORADO }
 COUNTY OF MESA }

Notary Public

Address: 1018 GARDEN AVE., G-202, CO.

KEY = NO 2-STORY PATIO HOMES IN THIS LOCATION REQUIRED PRIVACY FENCING



1"=50'

Site Plan

NOTE: REFER TO FINAL PLAT PTARMIGAN EDGE HILLS &
BY G.E.D. SURVEYING DATED 15 FEB 95 FOR STREET
LAYOUT AND INTERIOR LOT LINES, DIMENSIONS,
& DIMENSIONS

PARMIGAN RIDGE FILING SIX
SEWER LINES "B" & "C" PLAN & PROFILE

FOR: PARMIGAN INVESTMENTS
DATE: 9/14/93
SCALE: 1" = 50 FT

FILE: 464-7568
SHEET NO. 5 of 6
ACAD ID: PROSEWIA
DRAWN BY: MEM
SURVEYED BY: DMM MF

Q.E.D. SURVEYING SYSTEMS INC.
1018 COLO. AVE.
GRAND JUNCTION
COLORADO 81501
464-7568

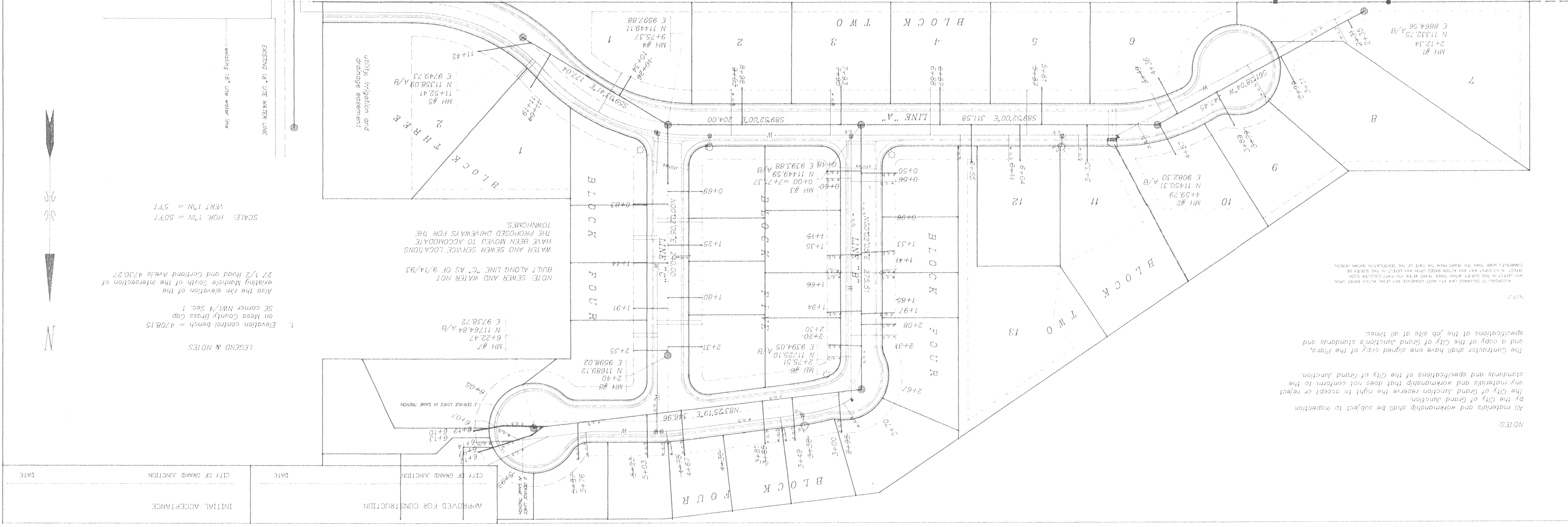
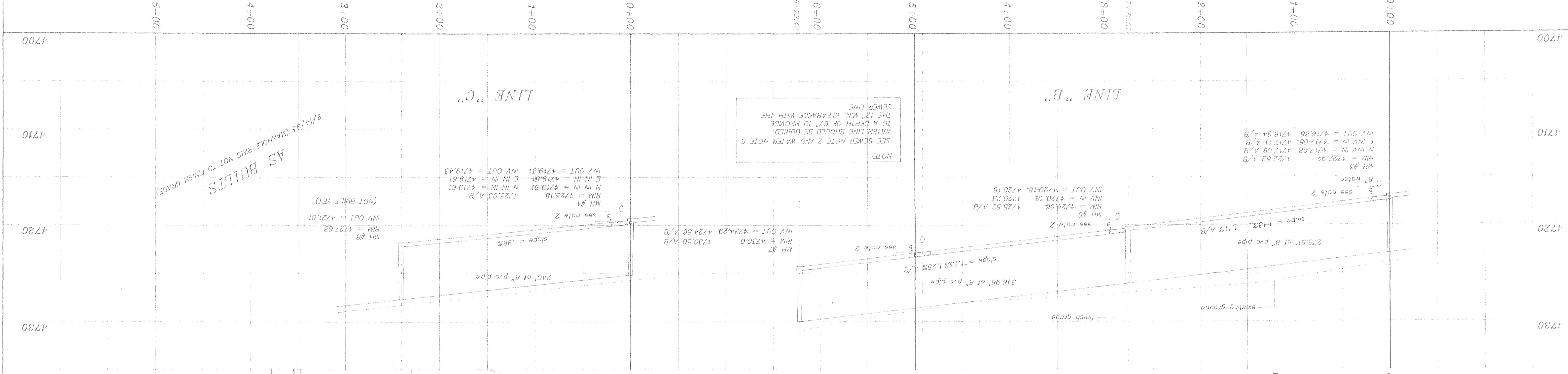
SEWER NOTES

- All construction & materials shall comply with the City of Grand Junction specifications & standard details.
- Where sewers and water mains cross within 10 horizontal feet of each other, the sewer pipe shall be a minimum of 18 inches clear distance vertically below the water main; otherwise special sewer construction is required which shall consist of (a) AWWA C-900 PVC sewer pipe with 6" thick concrete collar which shall extend at least 6 inches on either side of joint. If the sewer line crosses a water main, an 18 foot minimum length pipe section shall be centered with respect to the water main, having collar and joints; or b) 6" thick concrete encasement along the entire length of sewerline.
- Cover sewer a minimum of 42"
- Pipe specifications: Main - PVC-ASTM D 3034 - SDR 35 4" Latrals - PVC-ASTM D 3034 - SDR 35 4"
- PVC-AWWA C900

WATER NOTES

- All construction & materials shall comply with the City of Grand Junction specifications & standard details.
- All water services 3/4" copper type K
- Extend all water laterals 14" inside property lines
- Water service locations shall be installed 14" beyond the property line (Roadway right-of-way line) and capped with copy stops. They shall be marked with a 4"x2"x4" buried vertically above the end of the pipe and extending 8" above the ground surface. The top 8" of the board shall be painted blue.
- Cover minimum of 67"
- Pipe specifications: 8" water - C-900 Class 150 DR 18 4" water - SDR 21

FRENCHES:
French backfill shall be compacted to 95% standard Proctor density in 12" lifts (max) in R.O.W.



LEGEND & NOTES

- Elevation control bench = 4708.15 on Mesa County Brass Cop SE corner NW1/4 Sec. 1

Also the rim elevation of the existing Manhole South of the intersection of 27 1/2 Road and Cortland Aves 4730.27

SCALE: HOR. 1" = 50 FT
VERT. 1" = 5 FT

EXISTING 18" UTILITY WATER LINE
EXISTING 18" UTILITY WATER LINE

utility, irrigation and drainage easement

NOTES:

All materials and workmanship shall be subject to inspection by the City of Grand Junction. The Contractor shall have one signed copy of the Plans and a copy of the City of Grand Junction's standards and specifications of the job site at all times.

ADDITIONAL TO CONTRACT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF GRAND JUNCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF GRAND JUNCTION.

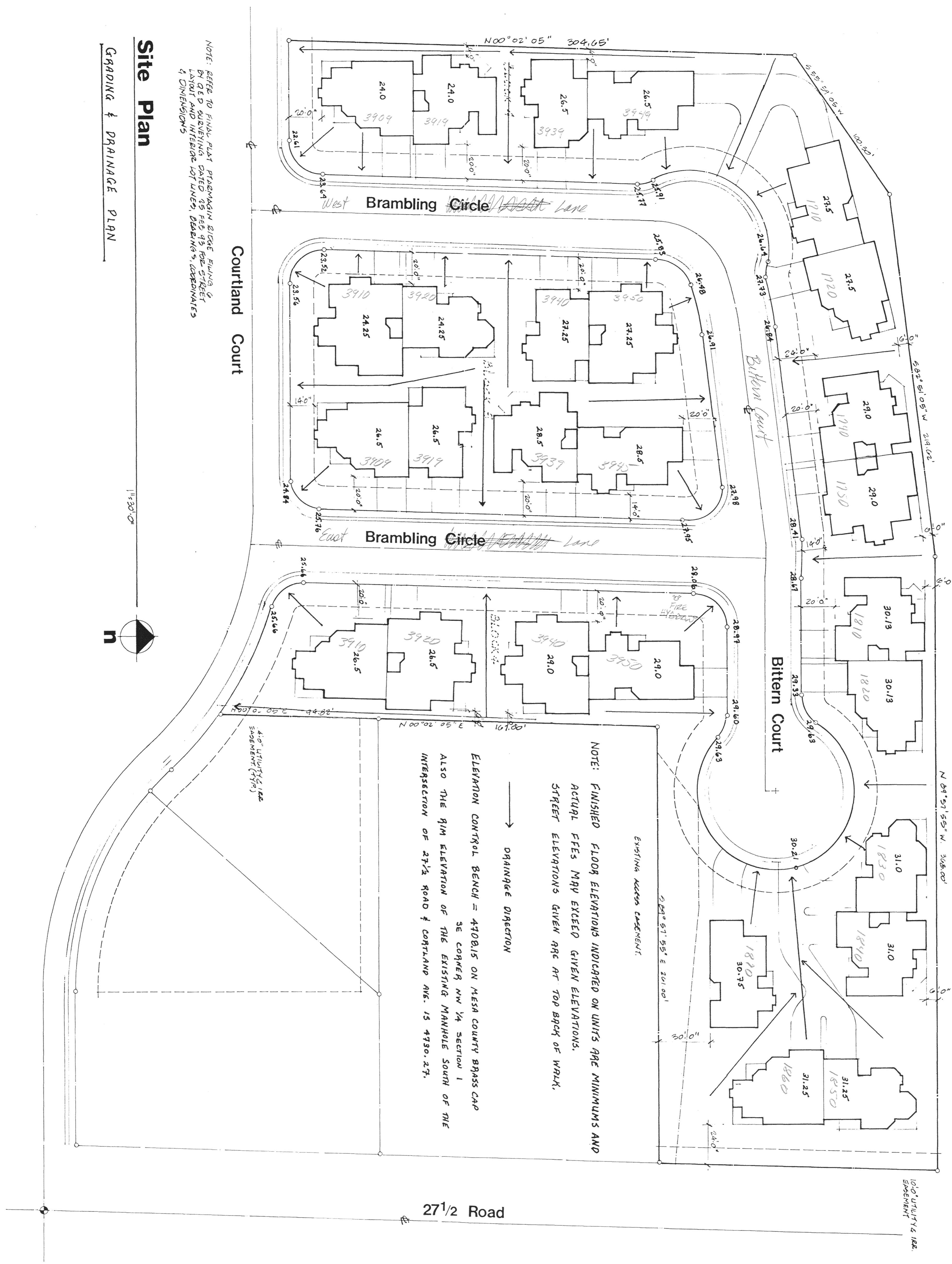
APPROVED FOR CONSTRUCTION: _____
DATE: _____

CITY OF GRAND JUNCTION

INITIAL ACCEPTANCE: _____
DATE: _____

CITY OF GRAND JUNCTION

COMM. DEVELOP.



NOTE: REFER TO FINAL PLAT PARMIGAN BLDG ELEVATION BY CED SURVEYING DATED 25 FEB 93 FOR STREET LAYOUT AND INTERIOR LOT LINES, DIMENSIONS, AND DIMENSIONS

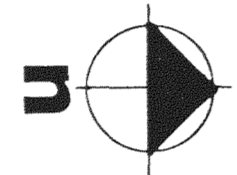
Site Plan

GRADING & DRAINAGE PLAN

NOTE: FINISHED FLOOR ELEVATIONS INDICATED ON UNITS ARE MINIMUMS AND ACTUAL FLOORS MAY EXCEED GIVEN ELEVATIONS. STREET ELEVATIONS GIVEN ARE AT TOP BRCK OF WALK.

→ DRAINAGE DIRECTION

ELEVATION CONTROL BENCH = 470815 ON MESH COUNTY BRASS CAP SE CORNER NW 1/4 SECTION 1 ALSO THE RIM ELEVATION OF THE EXISTING MANHOLE SOUTH OF THE INTERSECTION OF 27 1/2 ROAD & COURTLAND AVE. IS 4730.27.



1/4" = 20'

Site Plan

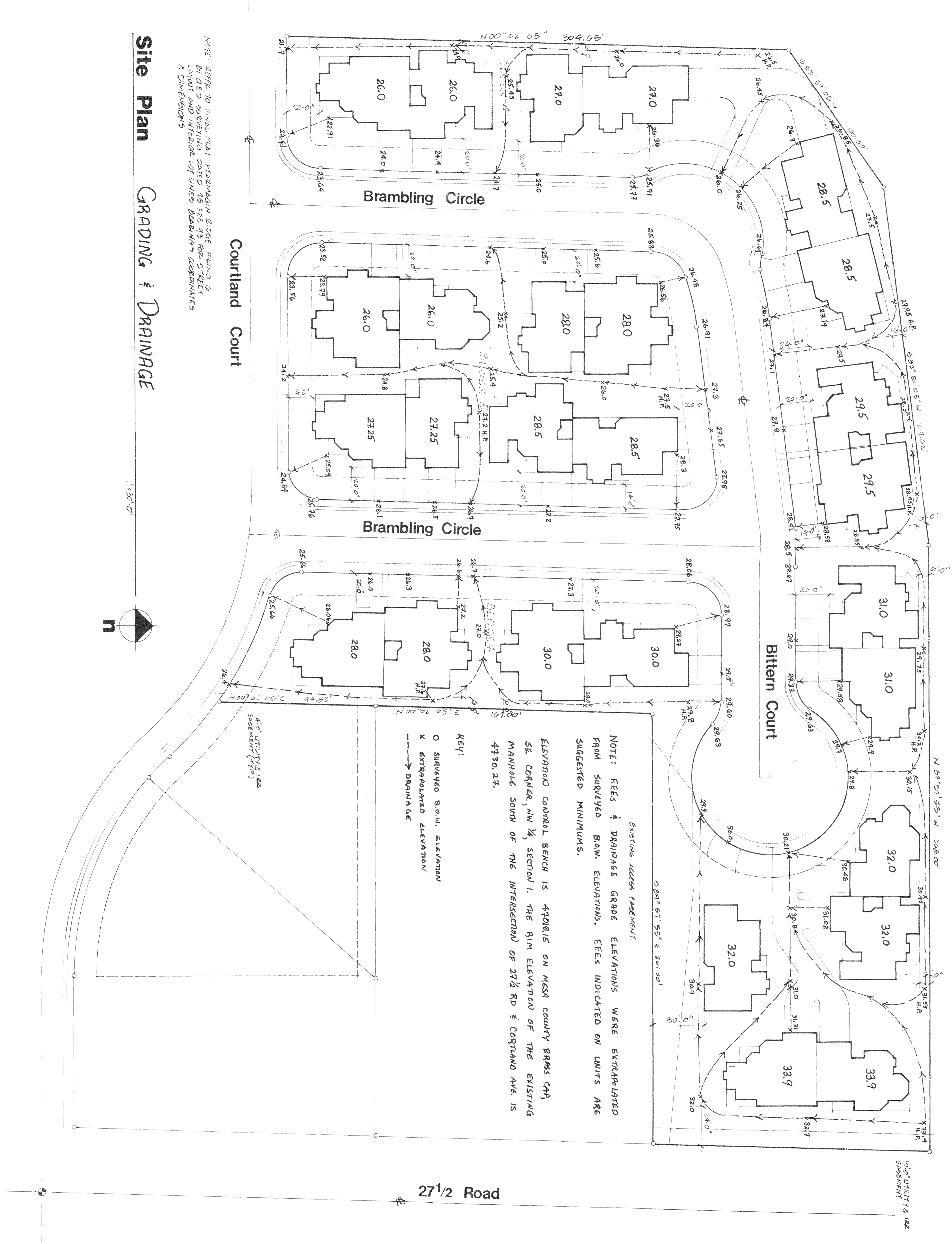
ptarmigan pointe
grand junction,

colorado

robert a. politano
architect

commercial-residential design
grand junction, colorado 241-6184

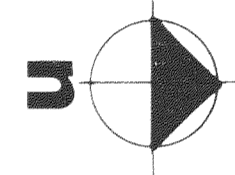
07-93



NOTE: LETTER TO FINALE PLAN PHARMIGAN CIRCE BUILDING
 BY GED SURVEYING DATED 08 FEB 89 FOR SUGGESTED
 LAYOUT AND INTERIOR OF UNITS, ROOMS, CORRIDORS
 & DIMENSIONS

Site Plan **Grading & Drainage**

1/8" = 30'-0"



EXISTING ACCESS EASEMENT

NOTE: FEES & DRAINAGE GRADE ELEVATIONS WERE EXTRAPOLATED FROM SURVEYED RAW ELEVATIONS. FEES INDICATED ON UNITS ARE SUGGESTED MINIMUMS.

ELEVATION CONTROL BENCH IS 440815 ON MESA COUNTY BRASS CAP SE CORNER, NW 1/4, SECTION 1, THE RIM ELEVATION OF THE EXISTING MANHOLE SOUTH OF THE INTERSECTION OF 27 1/2 RD & CORTLAND AVE. IS 4430.27.

KEY:

- O SURVEYED B.O.M. ELEVATION
- X EXTRAPOLATED ELEVATION
- DRAINAGE

27 1/2 Road

40' UTILITY EASEMENT (TYR)

OP-
 JRM
 11/10/93

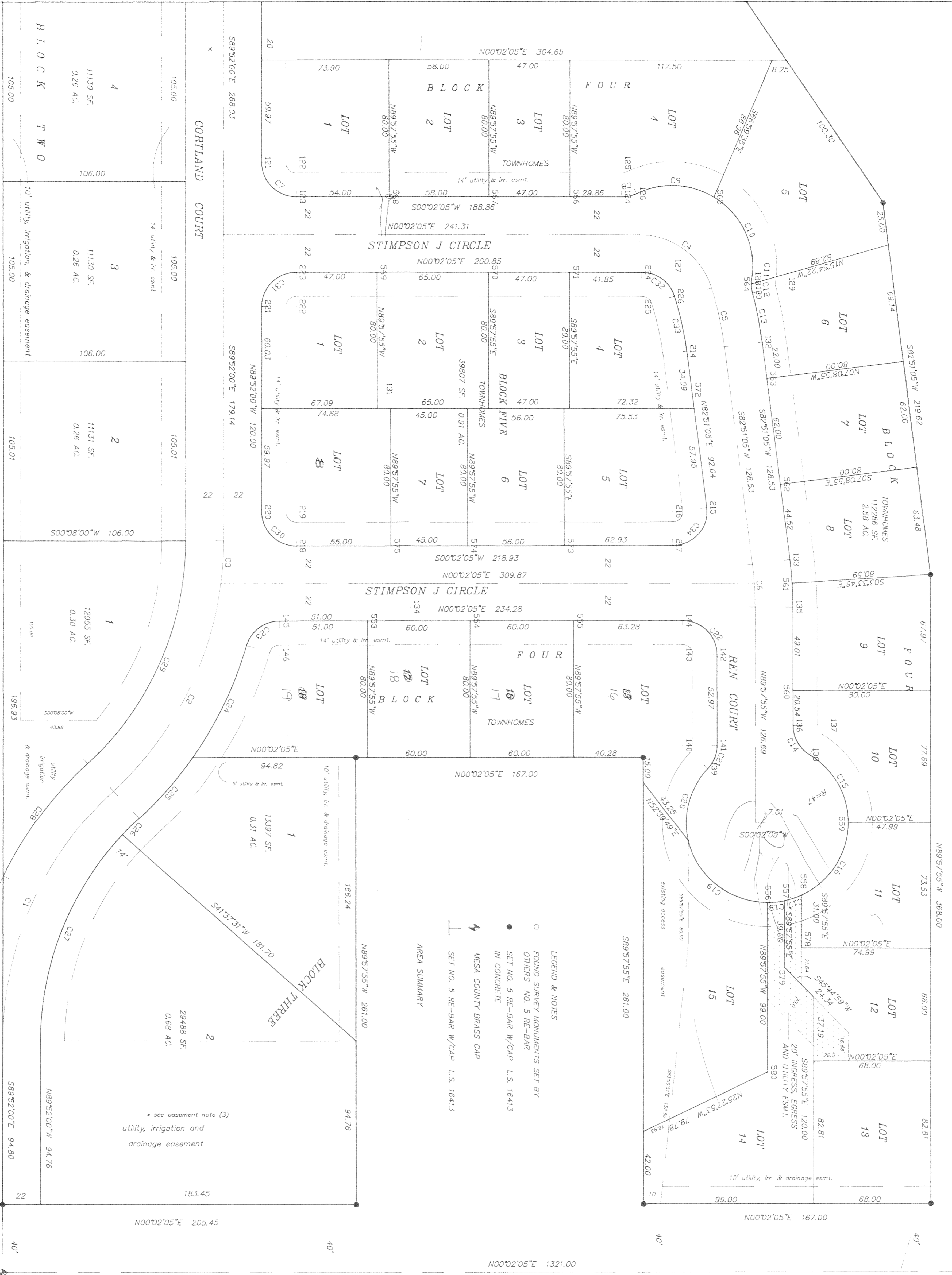
Site Plan

ptarmigan pointe
 grand junction,

colorado

robert a. politano
 architect

commercial-residential design
 grand junction, colorado 241-8184



C1	200.00	164.61	160.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	37.26
C2	200.00	139.68	136.86	566.43	13.04	40.00	25.4	44.25	44.25	44.25	47.00	46.08	58.39	338.26	76.48	23.08
C3	200.00	204.91	204.91	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C4	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C5	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C6	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C7	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C8	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C9	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C10	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C11	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C12	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C13	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C14	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C15	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C16	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88
C17	200.00	200.00	200.00	566.17	17.18	47.09	23.7	87.29	72.82	44.25	47.00	63.01	58.39	338.26	76.48	27.88

PTARMIGAN RIDGE FILING SIX TOWNHOUSE PLAT

SITUATED IN THE NW 1/4 SECTION 1, TOWNSHIP 1 SOUTH, RANGE 1 WEST, UTE MERIDIAN

FOR: JOHN SEIFRIED

SCALE: 1" = 30'

DATE: 8/31/93

Q.E.D. SURVEYING SYSTEMS INC.
1018 COLO. AVE.
GRAND JUNCTION COLO. 81501
970-237-0000
464-7589

SURVEYED BY: MEM DKS
DRAWN BY: MEM
ACAD ID: PR6TH
SHEET NO. 1 OF 1
FILE: 90090

NE CORNER SET 1/4 NW 1/4 SECTION 1 T1S, R1W, U1M.