



# SUBMITTAL CHECKLIST

## SITE PLAN REVIEW

Location: 2517 Waco Court

Project Name: Amelia Art

ITEMS	DISTRIBUTION														TOTAL REQD.								
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent	● City Parks/Recreation	● City Fire Department	● City Attorney	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	● Drainage District G.S.	○ Water District	○ Sewer District	○ U.S. West	○ Public Service	○ GVRP	○ CDOT	○ Corps of Engineers	○ Walker Field		
● Application Fee	VII-1	1																					
● Submittal Checklist*	VII-3	1																					
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																					
● <del>11"x17"</del> Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1		1																			
○ Appraisal of Raw Land	VII-1	1		1	1																		
○ Deeds	VII-1	1		1																			
○ Easements	VII-2	1	1	1	1																		
○ Avigation Easement	VII-1	1		1																			
○ ROW	VII-3	1	1	1	1																		
○ Improvements Agreement/Guarantee	VII-2	1	1	1																			
○ CDOT Access Permit	VII-3	1	1																				
○ Industrial Pretreatment Sign-off	VII-4	1	1																				
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																				
● Site Plan	IX-29	2	2	1	1																		
○ 11"x17" Reduction of Site Plan	IX-29			1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan	IX-16	1	2										1										1
○ Storm Drainage Plan and Profile	IX-30	1	2										1			1	1	1					
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1							1	1	1	1	1						
○ Roadway Plan and Profile	IX-28	1	2										1										
○ Road Cross-Sections	IX-27	1	2										1										
○ Detail Sheet	IX-12	1	2																				
● Landscape Plan	IX-20	2	1	1																			
○ Geotechnical Report	X-8	1	1							1													
○ Final Drainage Report	X-5,6	1	2										1										
○ Stormwater Management Plan	X-14	1	2										1								1		
○ Phase I and II Environmental Report	X-10,11	1	1																				
○ Traffic Impact Study	X-15	1	2																		1		

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.  
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.  
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

PRE-APPLICATION CONFERENCE

C-2 zoning

Date: 10/15/93  
Conference Attendance: Kathy P., Steve McCallum  
Proposal: Antler Hut - manufacture furniture, etc. from antlers  
Location: 2517 Maple Creek

Tax Parcel Number: 2945-102-22-005,006

Review Fee: \$120.00

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required?         
Adjacent road improvements required?         
Area identified as a need in the Master Plan of Parks and Recreation?   NO    
Parks and Open Space fees required?   NO   Estimated Amount:         
Recording fees required?        Estimated Amount:         
Half street improvement fees required?        Estimated Amount:         
Revocable Permit required?         
State Highway Access Permit required?       

Applicable Plans, Policies and Guidelines       

Located in identified floodplain? FIRM panel #       

Located in other geohazard area?       

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?       

Avigation Easement required?       

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking
- Drainage
- Floodplain/Wetlands Mitigation
- Other Check on fire flow protection; lots must be combined through Accessions Office
- Screening/Buffering
- Landscaping
- Availability of Utilities
- Land Use Compatibility
- Traffic Generation
- Geologic Hazards/Soils

Related Files:       

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

landscaping - 75% of 1st 5' along both frontages

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Kathy P.  
Signature(s) of Petitioner(s)

Steve McCallum  
Signature(s) of Representative(s)

Antler Art  
516 Reed Mesa Drive  
Grand Junction, Colorado 81503

November 15, 1993

To Whom it May Concern:

Antler Art is currently located in a non-compliance zone. Due to the growth pattern of existing customer base and the addition of numerous wholesale accounts, a larger permanent facility is now required.

Sincerely,

A handwritten signature in dark ink, appearing to read "Antler Art". The signature is stylized and somewhat cursive.

Antler Art

# REVIEW COMMENTS

Page 1 of

FILE #137-93

TITLE HEADING: Site Plan Review - Antler Art

LOCATION: 2517 Weslo Court

PETITIONER: Glenn Pritchard

PETITIONER'S ADDRESS/TELEPHONE: 516 Reed Mesa Drive  
Grand Junction, CO  
243-5114

PETITIONER'S REPRESENTATIVE: Steve McCallum

STAFF REPRESENTATIVE: Kathy Portner

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**NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.**

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**CITY DEVELOPMENT ENGINEER**  
**Gerald Williams**

**11/22/93**  
**244-1591**

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1. Drawing deficiencies are noted on the attached red-lined checklists.
2. The parking design must not require cars to back into the roadway.
3. ADA requirements for the handicap space would be 16 feet in width, having an 8' stall and 8' non-parking loading/unloading zone on the right hand side, with a sign posted "Van Accessible". If the asphalt parking grade does not match the sidewalk grade, then a ramp is required at no greater slope than 12H:1V. There must also be 3.0 feet of wait at the top of the ramp.
4. Lawn and graveled areas shown do not appear to match that identified in the notes.
5. Label book and page of all existing easements.

**CITY UTILITY ENGINEER**  
**Bill Cheney**

**11/22/93**  
**244-1590**

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1. "Plant Investment Fee" required prior to obtaining a building permit.
2. There is a sewer force main in Weslo Court that will be crossed in sewer connection is made into Weslo.
3. There may be an existing sewer tap on the south boundary of the property off Westgate Drive.
4. Water line sizes appear to be adequate. Check with Ute Water and Grand Junction Fire Department for confirmation.

**MESA COUNTY BUILDING DEPARTMENT**  
**Bob Lee**

**11/19/93**  
**244-1656**

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No comments at this time. We will need to review the building plans.

**GRAND JUNCTION DRAINAGE DISTRICT**  
**John Ballagh**

**11/22/93**  
**242-4343**

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The Grand Junction Drainage District has an existing tile line on the west side of 25 Road. That facility is the closest one to this site, 2517 Weslo Court.

**COMMUNITY DEVELOPMENT DEPARTMENT**  
**Kathy Portner**

**11/26/93**  
**244-1430**

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1. The required parking is one space per employee on the largest shift plus 10% of total employee stalls for visitor parking. Please verify the total number of employees on the largest shift.
2. Parking stalls will not be allowed to access directly onto the street. All turning maneuvers in and out of spaces must be confined on-site.
3. The landscaping requirements are as follows:  
    Weslo Court:       100.0' X 5' X .75 = 375 sq.ft.  
    Westgate Dr:     125.0' X 5' X .75 = 469 sq.ft.  
Of the total required landscaped area of 844 sq.ft., 2 trees are required and at least 40% of the area must be in shrubs. Gravel and rock does not count toward the requirement.
4. Fire Dept. did not have sufficient information for review. A site plan has been forwarded to George Bennett and his comments will be forthcoming. Any proposed fencing or signage will require separate permits.

**MESA COUNTY BUILDING DEPARTMENT**  
**Bob Lee**

**11/19/93**  
**244-1656**

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No comments at this time. We will need to review the building plans.

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**COMMUNITY DEVELOPMENT DEPARTMENT**  
**Kathy Portner**

**11/26/93**  
**244-1430**

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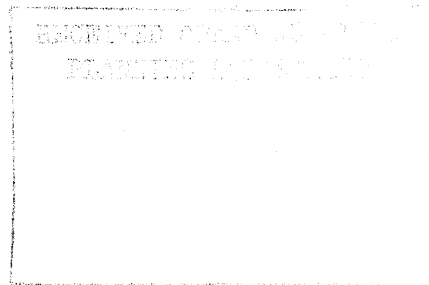
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**GRAND JUNCTION FIRE DEPARTMENT**  
**George Bennett**

**11/29/93**  
**244-1400**

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A fire flow survey is to be conducted to determine the required flows. A complete set of building plans shall be submitted for our review, the set is to include a utility composite locating the water lines and fire hydrant locations.



Response To Review

City Development Engineer

1. New drawings
2. New parking design as per Mr. Cheney submitted for review.
3. Redesign handicap parking.
4. new drawing submitted

City Utility Engineer

1. Plant investment fee will be paid prior to clearance.
2. Force main should not be crossed.
3. We are checking to use existing tap.
4. Water lines are in a newly accepted subdivision and will be reviewed with George Bennett.

Mesa County Building Department

1. We will supply complete building plans stamped by Colorado licensed engineer or architect.

Grand Junction Drainage Department

1. Owner will pay drainage optional drainage fee.



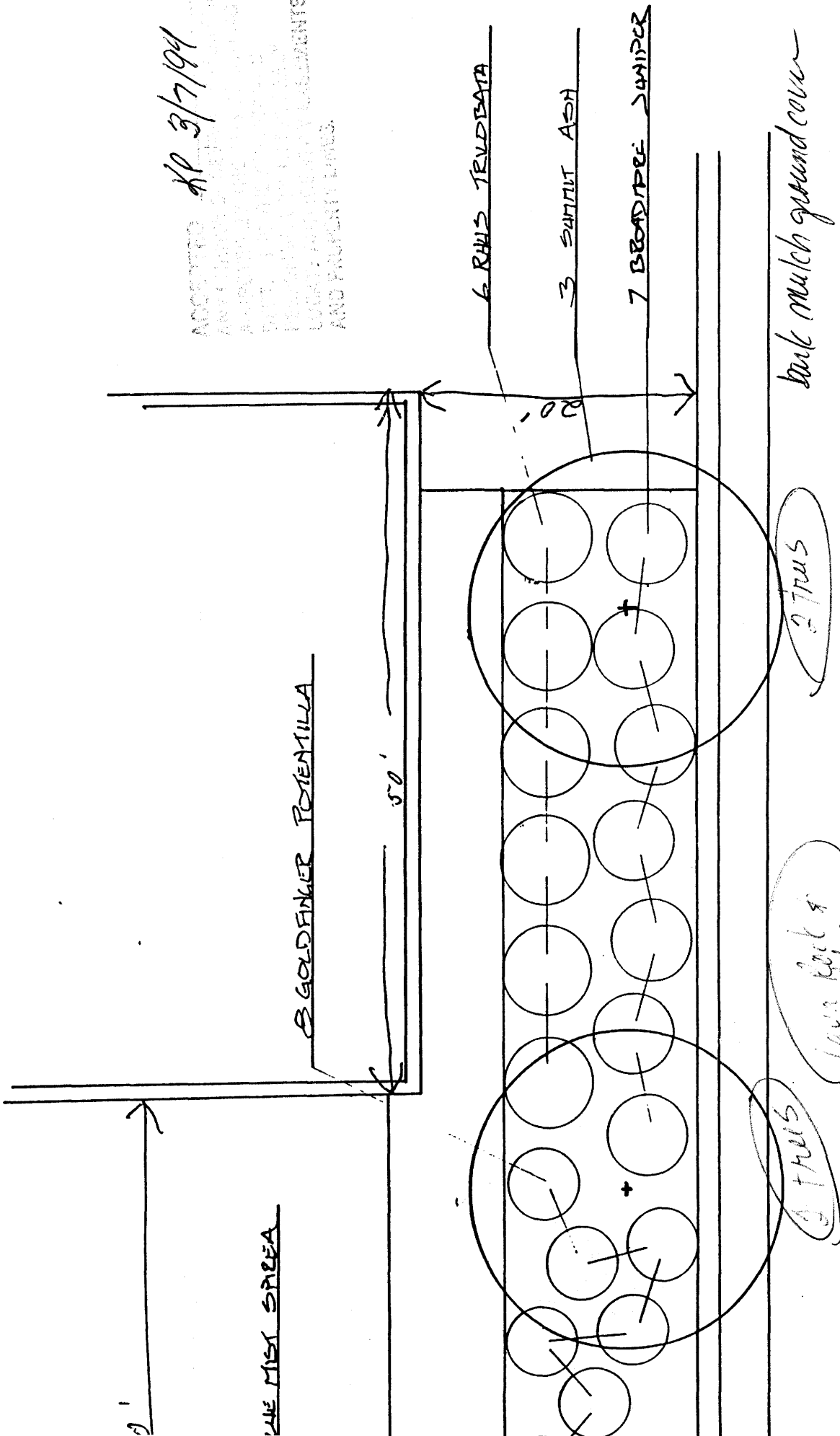
Community Development Department

1. Total number of employees including owner is seven. Antler Art is doing business as a wholesale manufacturer only with no retail customer traffic.
2. Please note new parking design and relocation of parking to permit a on site turnaround.
3. We will comply with landscaping of 375 sq. ft. on Weslo Court and 469 sq. ft. on West Gate Dr. We will also install a pressurized irrigation system for required landscaping. Landscaping shall meet requirements as far as trees and shrubs.
4. There is no fencing or signage proposed.

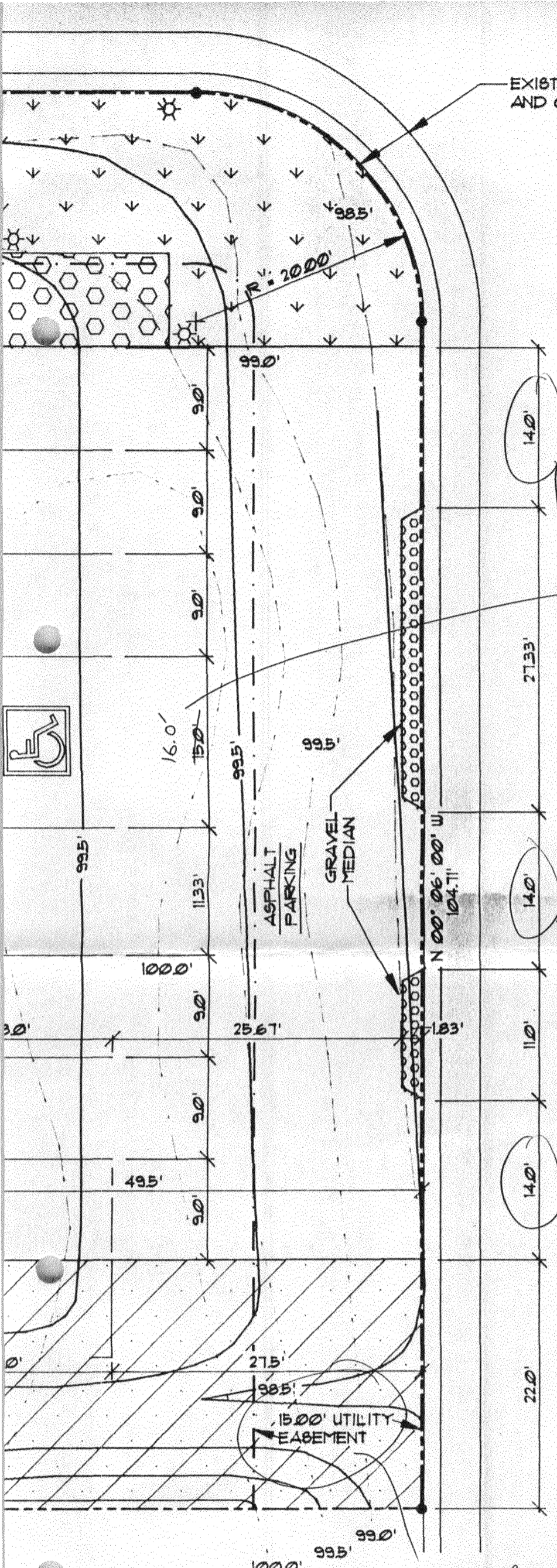
RECEIVED  
COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION

ANTLER ART BUILDING

SCALE 1" = 10'-0"



which is acceptable if  
the shrubs that were required



EXISTING MOUNTABLE CURB AND GUTTER PAN TYP.

As Per City Std. Detail should be an 8' stall with an 8' access aisle. Accessible parking sign must be installed also.

Unless the parking area and the sidewalk are the same elevation, a ramp is required as per city std.

Driveways need to conform to attached curb cut standards. Will probably be limited to two.

**LEGEND:**

- PROPERTY LINE
- . - . - . EASEMENT
- EXISTING CONTOURS
- NEW CONTOURS
- ↓ ↓ ↓ ↓ LAWN
- ◻ ◻ ◻ ◻ ◻ ◻ ◻ ◻ LANDSCAPE GRAVEL
- ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ GRAVELED PARKING
- ☼ SPRINKLER HEAD

**NOTE:**  
 LANDSCAPED AREA REQUIRED = 1124 SF.  
 LAWN AREA PROVIDED = 1400 SF.  
 GRAVELED AREA PROVIDED = 480 SF.

Is this a recorded easement? If so, please provide book and page number.

PREPARED FOR:

**ANTLER ART**  
2517 WESLO COURT

REVIS

12/6/9

DRAWN

DAVI

HUNSI

APPROV

DATE

DATE

11-11-

SHEET

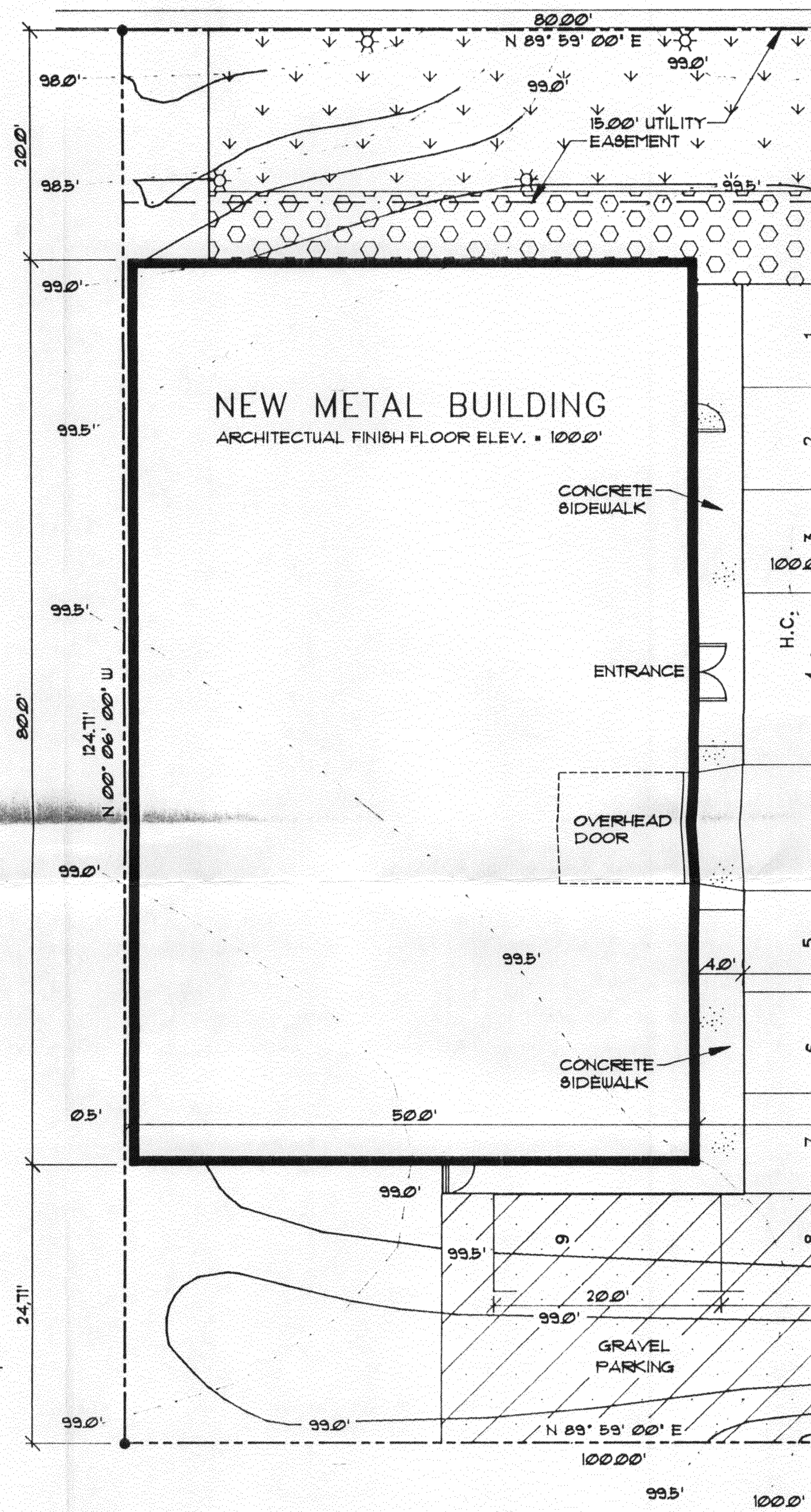
SP

OF

1

SHEET

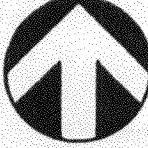




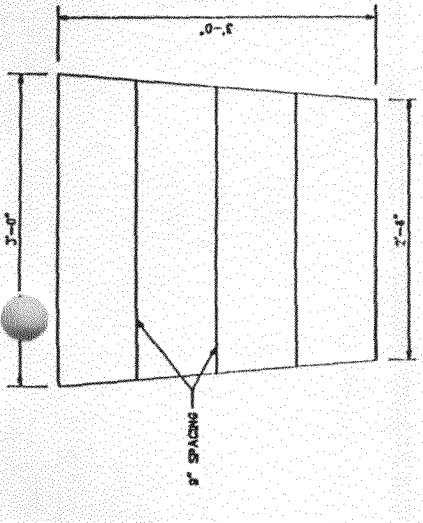
DRAINAGE FEE CALCULATION:

- C FACTORS:
- .95 ROOF, SIDEWALK & PAVING 10,343 FT<sup>2</sup>
  - .75 GRAVEL PARKING 1485 FT<sup>2</sup>
  - .65 LANDSCAPE GRAVEL 538 FT<sup>2</sup>
  - .35 LAWN 1386 FT<sup>2</sup>

$$\begin{aligned}
 \text{COMPOSITE } C &= \frac{\sum C_i A_i}{A_T} \quad A_T = 13752 \text{ FT}^2 \\
 &= \frac{(.95)(10,343) + (.75)(1485) + (.65)(538) + (.35)(1386)}{13752} \\
 &= .86 \\
 \text{DRAINAGE FEE} &= 10,000 (.86 - .35) \left( \frac{13752}{43560} \right)^{.7} \\
 \$ &= 2275.44
 \end{aligned}$$

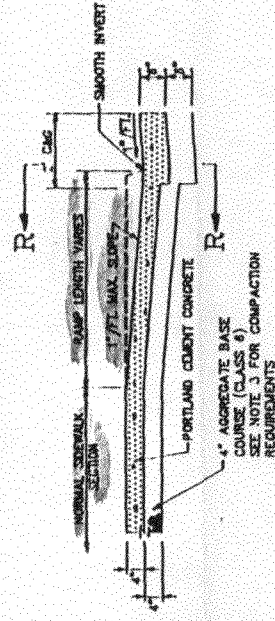

1  
SP1
**SITE PLAN**  
 SCALE: 1" = 10'-0"



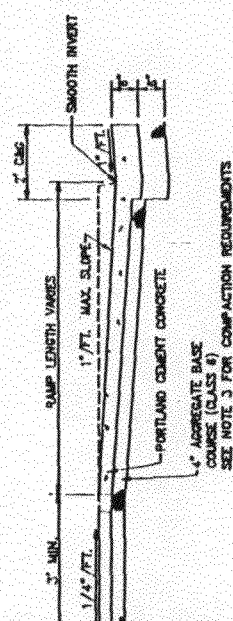


**DETAIL FOR RAMP DETECTABLE WARNING**

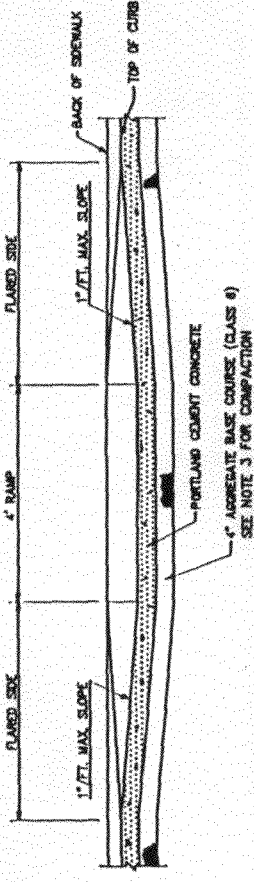
NOTE: GROOVES IN PATTERN ARE 1/4" MAX. DEPTH X 1/4" MAX. WIDTH



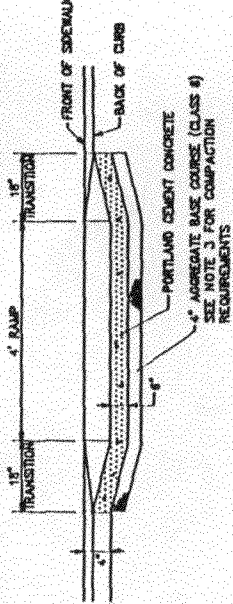
**SECTION A-A**



**SECTION B-B**



**SECTION S-S**

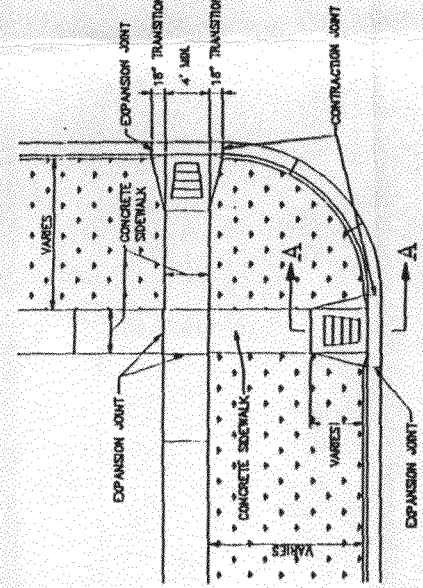


**SECTION R-R**

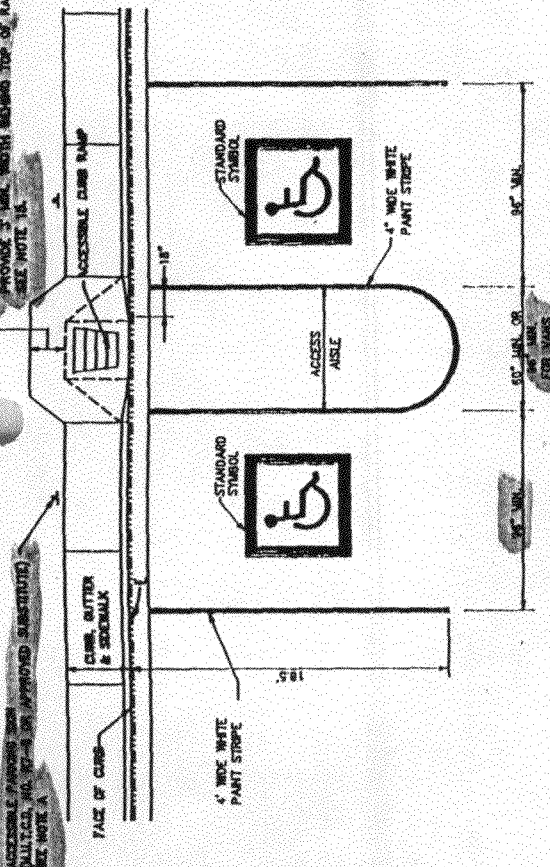
TOTAL PARKING IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1000	10
1001 AND OVER	2 PERCENT OF TOTAL PLUS 1 FOR EACH 100 OVER 1000

**ACCESSIBLE PARKING REQUIREMENTS**

PER ADA 41.212(5)(g)



**CURB RAMP(S) AT INTERSECTING SIDEWALK**

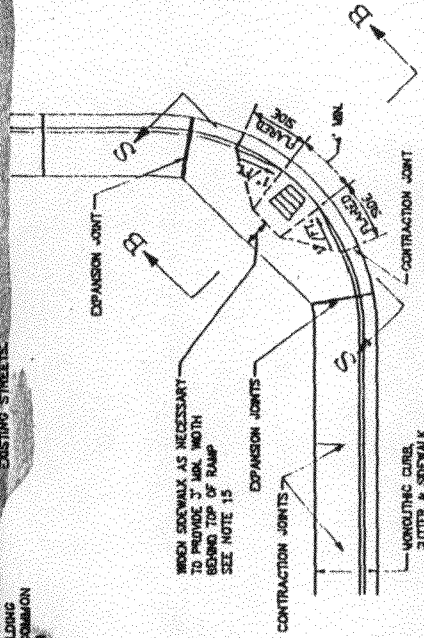


**NOTES:**

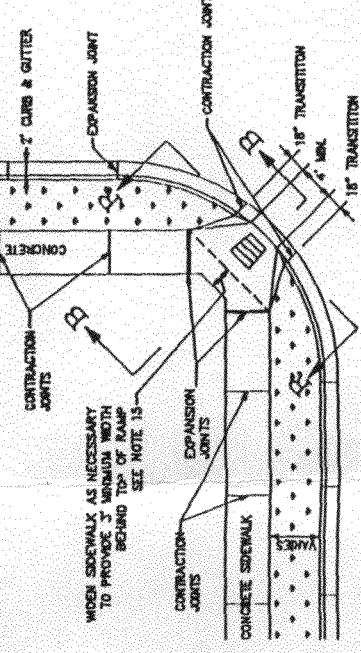
- A. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR THE DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY (SEE NFPA 430.5). SPACES COMPILING WITH NOTE B SHALL HAVE AN ADDITIONAL SIGN-PAVEMENT ACCESSIBLE SYMBOL MOUNTED ABOVE THE SPACES. ACCESSIBLE SPACES SHALL BE MOUNTED AS SET OUT IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE WALKWAY AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS SPECIFIED BY NOTE A.
- B. CURB IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE WALKWAY AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS SPECIFIED BY NOTE A.
- C. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESS ROUTE TO THE BUILDING OR FACILITY ENTRANCE. UNLESS OTHERWISE SPECIFIED, ACCESSIBLE PARKING SPACES SHALL HAVE ACCESSIBLE AISLES. ACCESSIBLE SPACES AND ACCESSIBLE AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.

**STANDARD ACCESSIBLE PARKING STALL DETAIL**

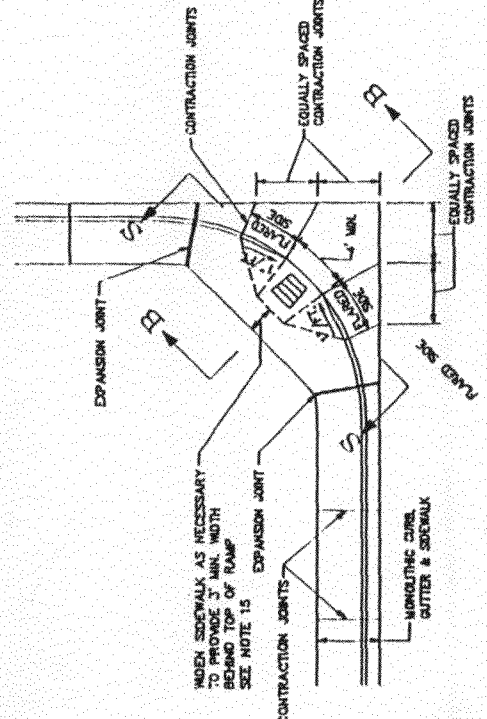
- GENERAL NOTES**
1. ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION CONSTRUCTION SPECIFICATIONS.
  2. ALL CONCRETE WORK WITH PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
  3. ALL CONCRETE RAMPS, SIDEWALKS, CURBS, GUTTERS AND OTHER CONCRETE WORK SHALL BE UNDERLAIN WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 80% OF AASHTO T-100 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 8 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% AASHTO T-100 MAXIMUM DENSITY. ALL SATURATED OR UNSUITABLE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
  4. ANY EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
  5. DRAWING INDICATES TYPICAL SECTION ONLY. CONDITIONS AND/OR OBSTRUCTIONS MAY NECESSITATE VARIATIONS OR REPOSITIONING. ALL LOCATIONS SHALL BE APPROVED ON AN INDIVIDUAL BASIS BY THE CITY ENGINEER OR HIS REPRESENTATIVE.
  6. IN ALL CASES, ACCESSIBLE RAMPS SHALL BE ALIGNED WITH STREET CROSSEWALKS.
  7. AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACE IMMEDIATELY AFTER FINISHING.
  8. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 3 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
  9. MINIMUM SPACING BETWEEN CONTRACTION JOINTS IN CURB, GUTTER & SIDEWALK IS 5 FEET.
  10. MAXIMUM SPACING BETWEEN CONTRACTION JOINTS IS 10' IN ANY DIRECTION.
  11. WATER SHALL NOT BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
  12. THE MAXIMUM SLOPE ALLOWED ON ANY CURB RAMP OR SIDEWALK SHALL BE 1"/FT. (8.33%).
  13. THE SURFACE OF ALL ACCESSIBLE RAMPS AND FLARED SIDES SHALL BE FINISHED WITH A COURSE BROOMED TEXTURE PERPENDICULAR TO THE SLOPE OF THE RAMP.
  14. ALL HANDICAP RAMPS, PARKING STALLS, LANDINGS, ETC., SHALL CONFORM TO THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) LATEST EDITION.
  15. THE ADDITIONAL 3" SIDEWALK WITH SHOWN BEHIND RAMPS IN MONOLITHIC CURB, GUTTER AND SIDEWALK IS NOT REQUIRED WHERE RAMPS ARE INSTALLED ON EXISTING STREETS.



**RAMP IN MONOLITHIC CURB, GUTTER AND SIDEWALK**



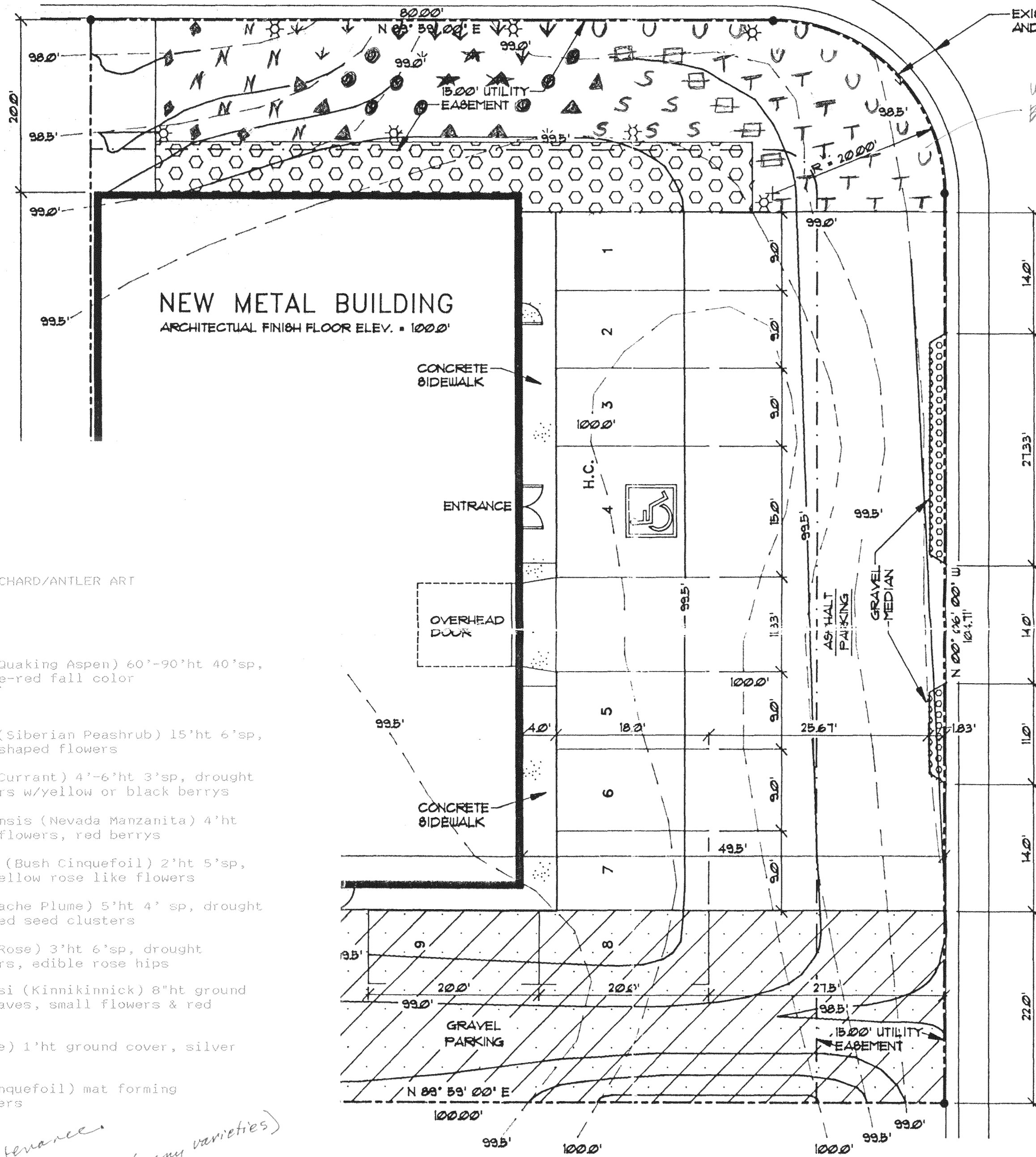
**CURB RAMP AT INTERSECTING SIDEWALKS**



**RAMP IN MONOLITHIC CURB, GUTTER AND SIDEWALK WITH CONCRETE FILLET**



WESLO COURT



EXISTING MOUNTABLE CURB AND GUTTER PAN TYP.

Weed Barrier & Bark mulch to keep weeds down & retain moisture

Approved Landscaping plan  
KP  
12/28/93

WESTGATE DRIVE

GLENN PRITCHARD/ANTLER ART

LANDSCAPE LEGEND:

Trees:

3 each- Populus Tremuloides (Quaking Aspen) 60'-90'ht 40'sp, very cold hardy, yellow-orange-red fall color

Shrubs:

5 each- Caragana Arborescens (Siberian Peashrub) 15'ht 6'sp, drought tolerant, yellow pea shaped flowers

8 each- Ribes Aureum (Golden Currant) 4'-6'ht 3'sp, drought tolerant, fragrant tube flowers w/yellow or black berries

7 each- Arctostaphylos Nevadensis (Nevada Manzanita) 4'ht 7'sp, drought tolerant, pink flowers, red berries

8 each- Potentilla Fruiticosa (Bush Cinquefoil) 2'ht 5'sp, grows under any conditions, yellow rose like flowers

6 each- Fallugia Paradoxa (Apache Plume) 5'ht 4' sp, drought tolerant, white flowers, plumed seed clusters

6 each- Rosa Nutkana (Nootka Rose) 3'ht 6'sp, drought tolerant, fragrant pink flowers, edible rose hips

9 each- Arctostaphylos Uva Ursi (Kinnikinnick) 8'ht ground cover, dark green leathery leaves, small flowers & red berries

16 each- Frigida (Fringed Sage) 1'ht ground cover, silver carpet

11 each- Potentilla Verna (Cinquefoil) mat forming evergreen, bright yellow flowers

Hand-drawn symbols for trees and shrubs: star, diamond, triangle, circle, square, cross, arrow, and letters C, T, S.

CONCRETE SIDEWALK

ENTRANCE

OVERHEAD DOOR

CONCRETE SIDEWALK

GRAVEL PARKING

15.00' UTILITY EASEMENT

GRAVEL MEDIAN

AS PAVT PARKING

Question whether these will survive in an industrial area without intensive maintenance - Alternative ground cover: Sedum (many varieties) Artemisia schmidtiana Penstemon Ask Nursery for drought tolerant, sunny groundcover.

LEGEND:

- PROPERTY LINE
--- EASEMENT
--- EXISTING CONTOURS
--- NEW CONTOURS
[Symbol] LANDSCAPE GRAVEL
[Symbol] GRAVELED PARKING
[Symbol] SPRINKLER HEAD
NOTE: LANDSCAPED AREA REQUIRED = 124 SF.

coverage may not be adequate

1 SITE PLAN SP1 SCALE: 1" = 10'-0"

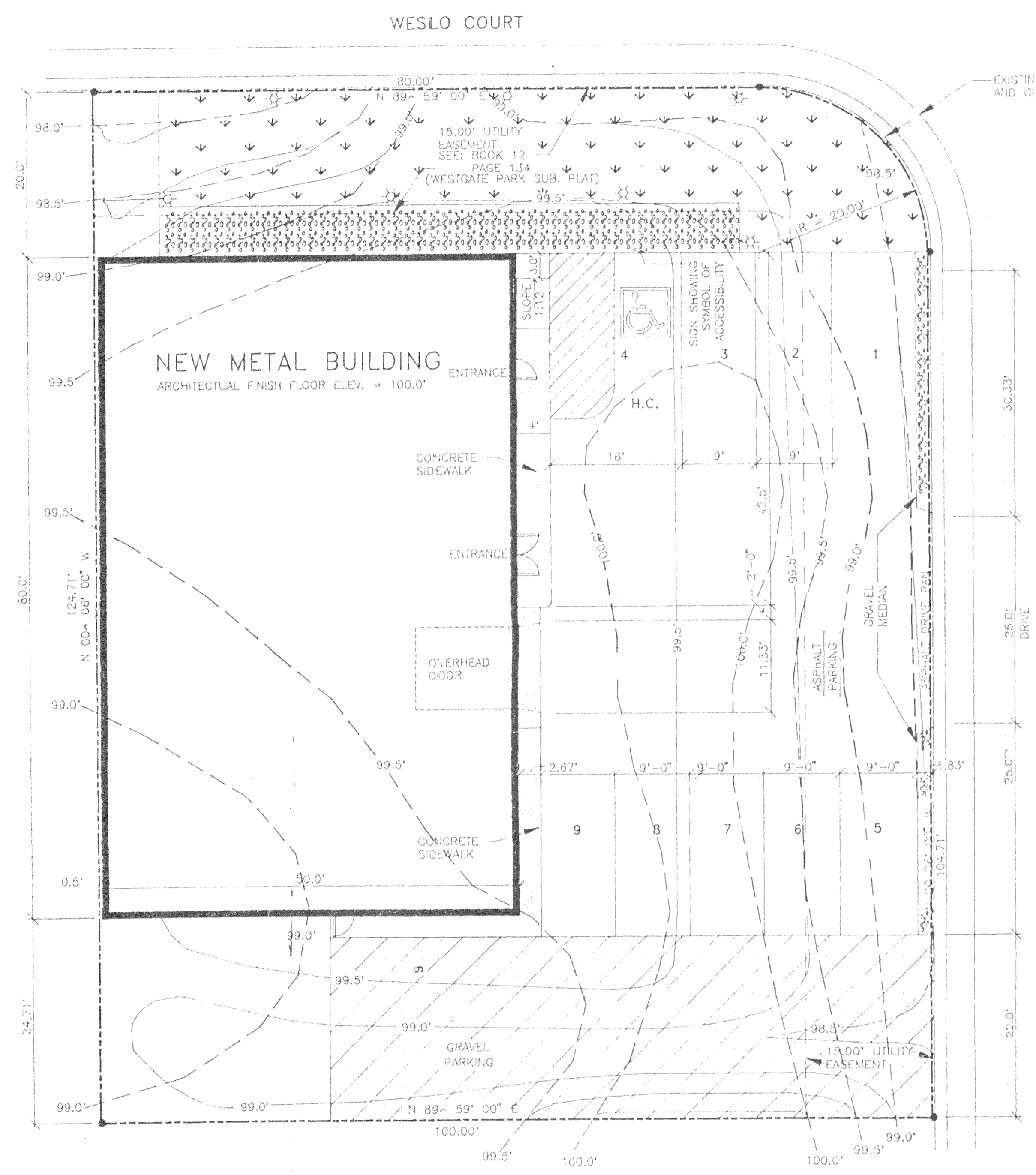
LAWN AREA PROVIDED = 1400 SF. GRAVELED AREA PROVIDED = 400 SF.

Design ATech DRAFTING SERVICE 256 TELLER AVENUE • GRAND JUNCTION, COLORADO 81501 (943) 245-0857

PREPARED FOR: LANDSCAPE ANTLER ART 2517 WESLO COURT GRAND JUNCTION CO. 81505

REVISIONS: REVISED 12/6/93 DRAWN BY: DAVID HUNSICKER APPROVED BY: DATE 11-11-93 SHEET NO. SP1 OF 1 SHEETS

943-157



**1 SITE PLAN**  
 SCALE: 1" = 10'-0"

- LEGEND:**
- PROPERTY LINE
  - - - EASEMENT
  - - - EXISTING CONTOURS
  - - - NEW CONTOURS
  - • • LAWN
  - ▨ LANDSCAPE GRAVEL
  - ▩ GRAVELED PARKING
  - ⊗ SPRINKLER HEAD

NOTE:  
 LANDSCAPED AREA REQUIRED = 1124 S.F.  
 LAWN AREA PROVIDED = 4400 S.F.  
 GRAVELED AREA PROVIDED = 180 S.F.

**UNIFORM BUILDING CODE INFORMATION**

ANTLER ART  
 2517 Weslo Ct.  
 Grand Junction, Co.  
 Uniform Building Code Review:  
 1991 edition

OCCUPANCY CLASSIFICATION

Class	Description	Occupancy Load
B-2	Manufacturing	13
B-2	Office	15

TYPE OF CONSTRUCTION  
 II-n  
 One Hour Separations:  
 (occupancy separation wall w/ one hour openings)  
 Boiler / All other occupancies

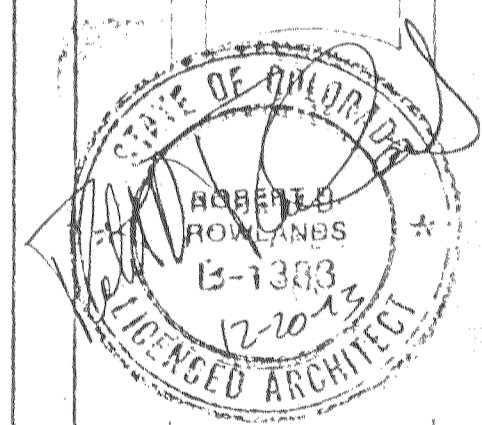
LOCATION ON PROPERTY  
 Minimum 20 feet separation from property boundaries  
 One hour exterior wall when less than 20 feet  
 Protected openings less than 10 feet  
 No openings allowed less than 5 feet

ALLOWABLE FLOOR AREA

USE	PROPOSED	ALLOWABLE
Manufacturing	2520 sq. ft.	12,000 sq. ft.
Office Area	1480	12,000
<b>Total Area</b>	<b>4000 sq. ft.</b>	<b>12,000 sq. ft.</b>

ANTLER ART  
 2517 WESLO CT., Grand Junction, Colorado

ROBERT D. ROWLANDS  
 ARCHITECT  
 1000 WEST 10TH ST.  
 GRAND JUNCTION, COLORADO 81501  
 TELEPHONE (970) 243-1341



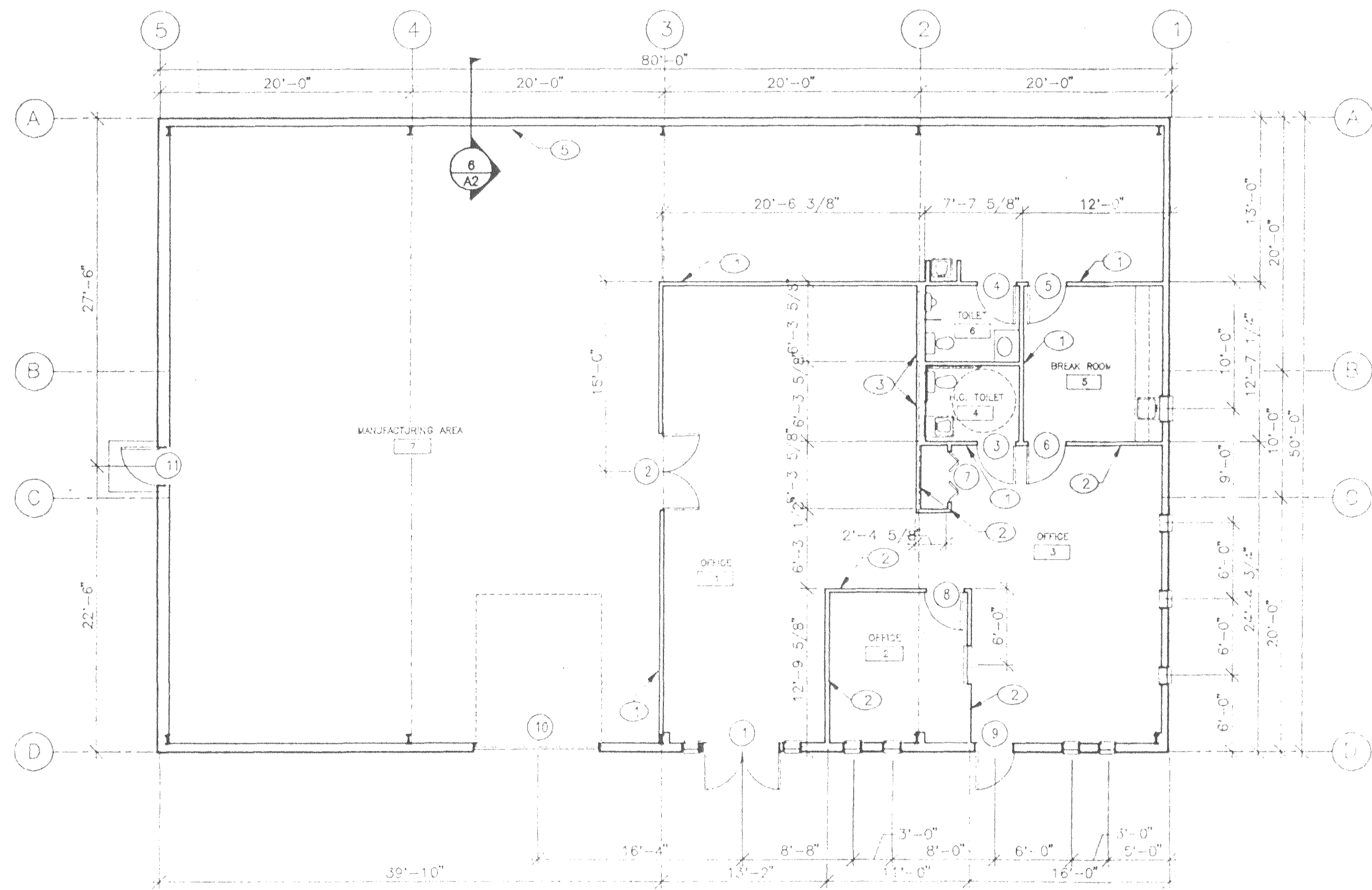
*OK J. Codes  
 12-22-93*

*Revised Drainage Fee  
 Calculated:  
 \$ Fee = 10,000 (10,000 - 6,100) / 7  
 \$ = 10,000 (.78 - .35) (.30)  
 \$ = 1851.20*

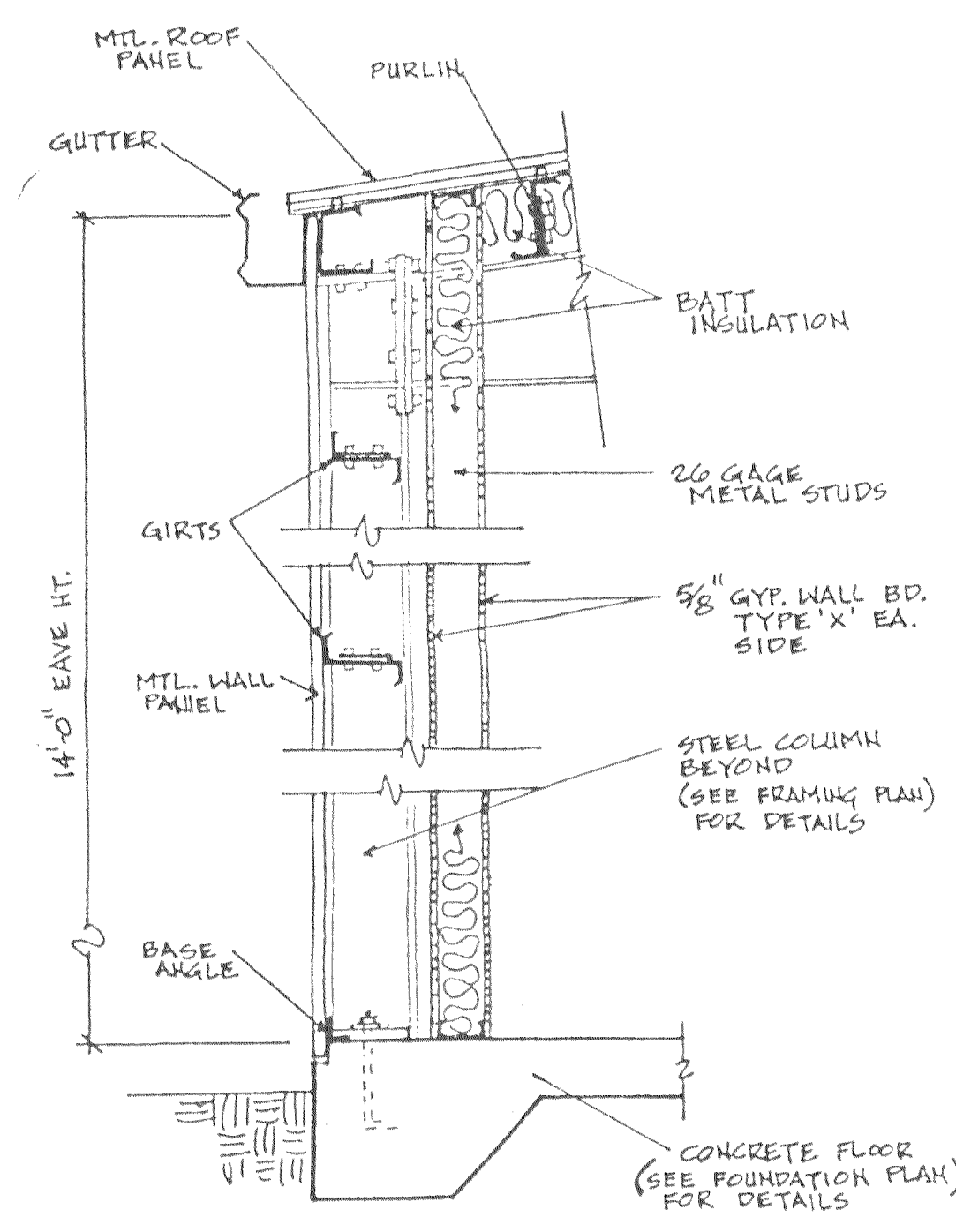
NOTICE: THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND LOCATING ALL UTILITIES AND PROPERTY LINES.

Date: 12/15/93  
 Revisions:  
 Sheet No.: A1

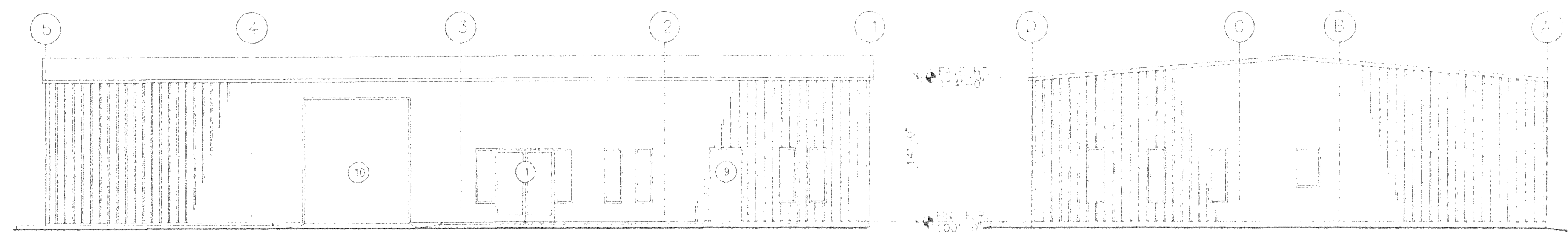




**1 FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 NORTH

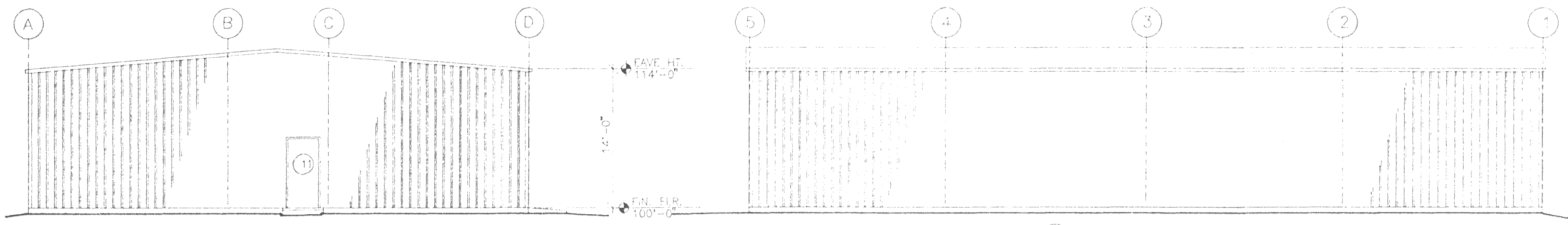


**6 WALL SECTION**  
 SCALE:



**2 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

**3 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



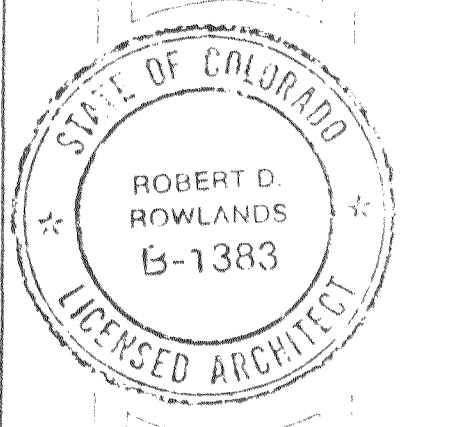
**4 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**5 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

- NOTES:**
- ① 5/8" G.W.B. EACH SIDE OF 3 5/8" x 25 GA. METAL STUDS AT 16" O.C.
  - ② 5/8" G.W.B. EACH SIDE OF 3 5/8" x 25 GA. METAL STUDS AT 24" O.C.
  - ③ 5/8" G.W.B. EACH SIDE OF A DBL. ROW OF 2 1/2" x 25 GA. METAL STUDS 8" APART AT 16" O.C.
  - ④ ALL DOORS TO BE 3'-0"
  - ⑤ EXIT DOORS TO HAVE EGRESS HARDWARE
  - ⑥ ONE HOUR FIRE WALL FULL LENGTH AND HEIGHT THIS WALL
  - ⑦ ALL COLUMNS TO OCCUR INSIDE ONE HOUR ASSEMBLY WALL

ANTLER ART  
 2517 WESLO CT. Grand Junction, Colorado

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Date  
 12/15/93

Revisions

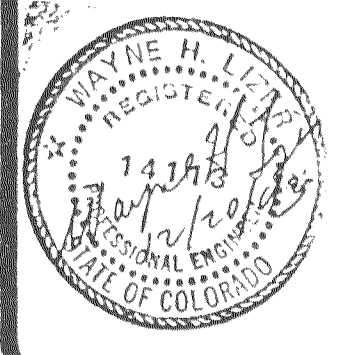
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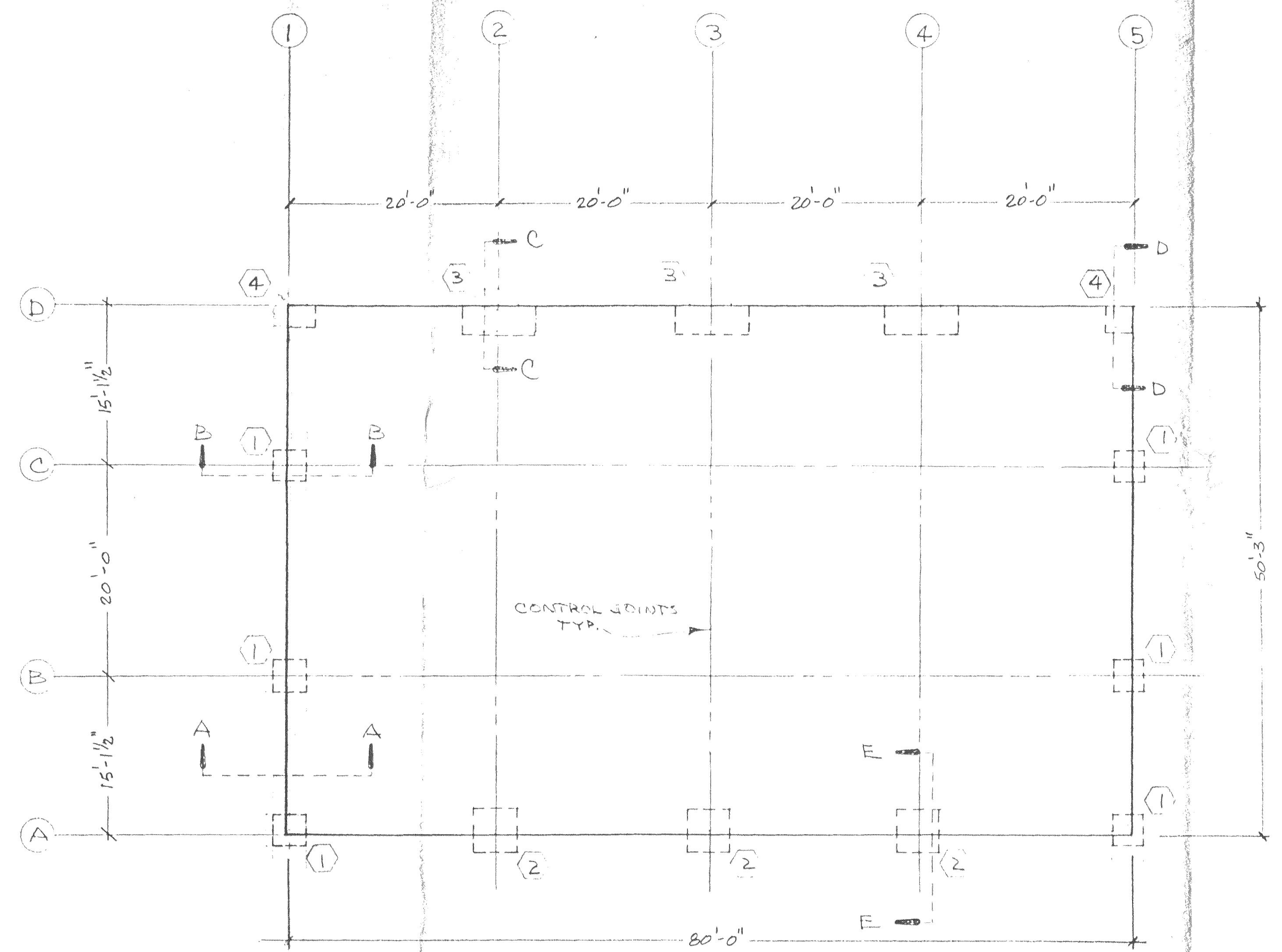


REVISIONS	BY

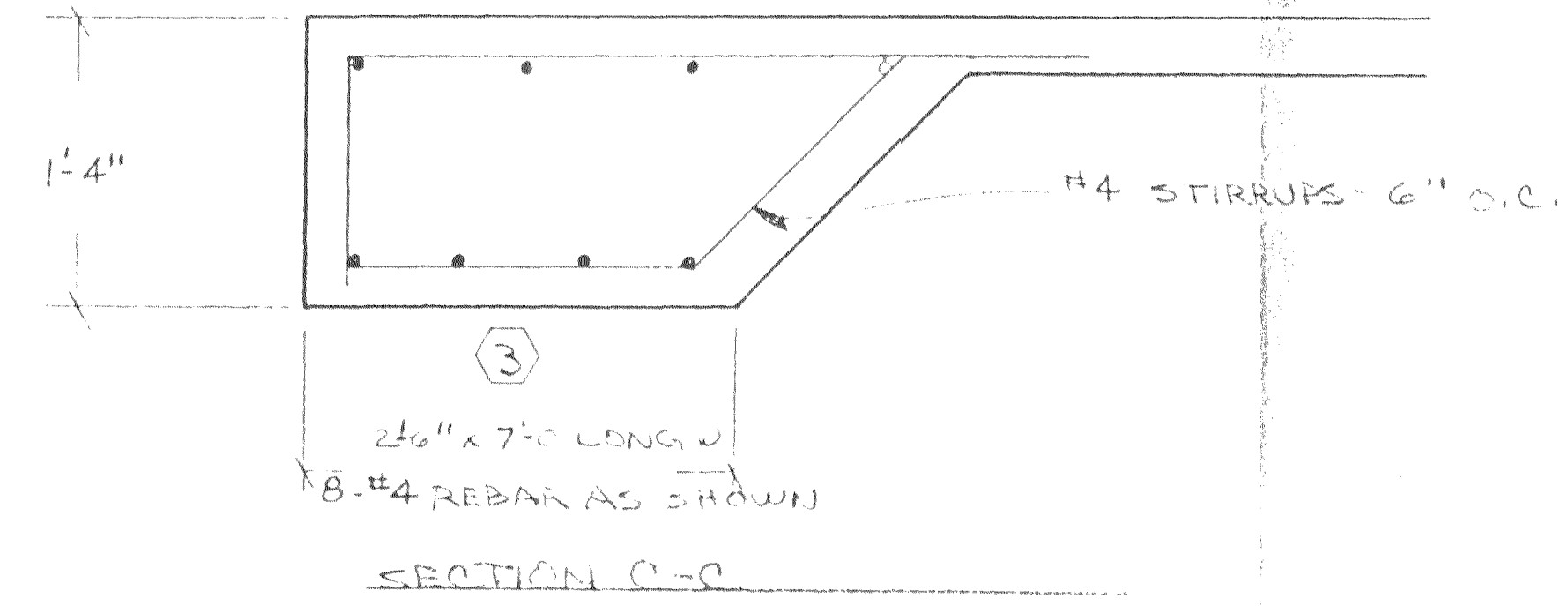
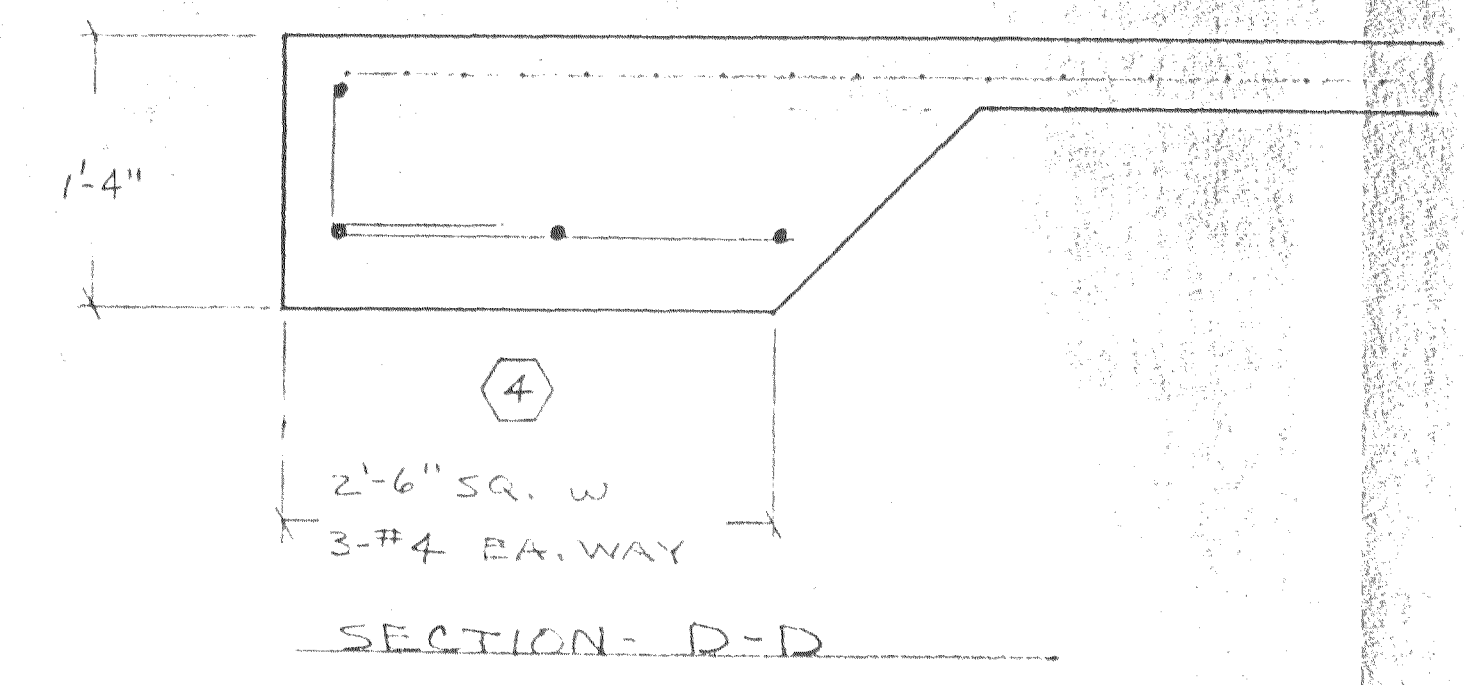
G & R BUILDERS INC.  
GRAND JUNCTION, COLORADO



DRAWN
CHECKED
DATE 12-11-92
SCALE 1/2" = 1'-0"
JOB NO. ANTLER B.B.T.
SHEET
CONCRETE
OF SHEETS



FOUNDATION PLAN  
SCALE: 1/2" = 1'-0"



GENERAL NOTES:

1. CONCRETE F'CD = 3,000 PSI IN 28 DAYS
2. GRADE 60 REBAR
3. CENTER ALL PANS UNDER ANCHOR BOLTS
4. WIND SNOW LOAD, 20 M.P.S. WIND LOAD, 1 LB. EXPOSURE
5. SOIL COMPACTION
6. CLEAR TO STEEL - 3" MINIMUM
7. CLEAR TO STEEL - 1 1/2" MINIMUM
8. LOAD FACTOR ASSUMED SOIL BEARING CAPACITY
9. REINFORCING STEEL LAP - MINIMUM 3x BAR DIAMETER
10. 1'-4" x 1'-4" WELDED WIRE MESH LAF MESH ONE SQUARE
11. COMPLY WITH LATEST VERSION A.C.I. 308 AND 309
12. OPTIONAL DOOR OPENINGS SHALL BLOTT 1" FROM REINFORCING

