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File 1994-0004

Name: Blichmann Office Building – Site Plan Review – 2501 Blichmann

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
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X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
		Review Sheets
X		Receipts for fees paid for anything
X	X	*Submittal checklist
X	X	*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map.
		Evidence of title, deeds, easements
		*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
		*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Correspondence	X		Elevation Map
X	X	Planning Clearance - ** - issued 1/12/94	X		Floor Plan
X	X	Development Summary – 1/12/94	X	X	Site Plan – not dated or stamped
X		Receipt for Drainage Fee - \$3,866.17- paid by Francis Constructors, Inc.			
X	X	Payment Bond			
X		Receipt for Half Street Improvements for 25 road – Foresight Executive Suites LLC. - \$27,840.00			
X		Curb Cut Standards guideline – 12/90			
X	X	Accessible Ramp and Parking Stall Details – Exhibit G			
X	X	Standard Concrete Details			
X		Preliminary Landscape Plan			
X	X	Final Landscape Plan			

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: _____

Project Name: Associated Insurers

ITEMS	DISTRIBUTION																					
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City Downtown Dev. Auth. Police	County Planning ACCO	County Bldg. Dept	Irrigation District	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Walker Field	TOTAL REQ'D.
		<input checked="" type="checkbox"/> Application Fee \$110	VII-1																			
<input checked="" type="checkbox"/> Submittal Checklist*	VII-3																					
<input checked="" type="checkbox"/> Review Agency Cover Sheet*	VII-3																					
<input checked="" type="checkbox"/> Planning Clearance*	VII-3																					
<input checked="" type="checkbox"/> 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> Evidence of Title	VII-2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> Appraisal of Raw Land	VII-1	1		1																		
<input type="checkbox"/> Deeds	VII-1	1		1																		
<input type="checkbox"/> Easements	VII-2	1	1	1	1																	
<input type="checkbox"/> Avigation Easement	VII-1	1		1																		
<input type="checkbox"/> ROW	VII-3	1	1	1	1																	
<input checked="" type="checkbox"/> Improvements Agreement/Guarantee	VII-2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> CDOT Access Permit	VII-3	1	1																			
<input type="checkbox"/> Industrial Pretreatment Sign-off	VII-4	1		1																		
<input checked="" type="checkbox"/> General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Elevation Drawing	IX-13	1	1																			
<input checked="" type="checkbox"/> Site Plan	IX-29	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> 11"x17" Reduction of Site Plan	IX-29	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> Grading and Drainage Plan	IX-16	1	2																			
<input type="checkbox"/> Storm Drainage Plan and Profile	IX-30	1	2										1		1	1	1					
<input type="checkbox"/> Water and Sewer Plan and Profile	IX-34	1	2	1			1						1	1	1	1	1					
<input type="checkbox"/> Roadway Plan and Profile	IX-28	1	2										1									
<input type="checkbox"/> Road Cross-Sections	IX-27	1	2																			
<input type="checkbox"/> Detail Sheet	IX-12	1	2																			
<input checked="" type="checkbox"/> Landscape Plan	IX-20	1	1	1	1																	
<input type="checkbox"/> Geotechnical Report	X-8	1	1																			
<input type="checkbox"/> Final Drainage Report	X-5.6	1	2										1									
<input type="checkbox"/> Stormwater Management Plan	X-14	1	2										1									
<input type="checkbox"/> Phase I and II Environmental Report	X-10,11	1	1																			
<input type="checkbox"/> Traffic Impact Study	X-15	1	2																	1		
<input checked="" type="checkbox"/> Signage Plan/Details		1																				

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

PRE-APPLICATION CONFERENCE

Date: 1/12/94
Conference Attendance: Dave Painter, Kristen Ashbeck
Proposal: Associated Insurers Office
Location: Foresight Park

Tax Parcel Number:
Review Fee: \$110
(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

- Additional ROW required?
X Adjacent road improvements required? Possible
Area identified as a need in the Master Plan of Parks and Recreation?
Parks and Open Space fees required? Estimated Amount:
Recording fees required? Estimated Amount:
Half street improvement fees required? Estimated Amount:
Revocable Permit required?
State Highway Access Permit required?

Applicable Plans, Policies and Guidelines
Located in identified floodplain? FIRM panel #
Located in other geohazard area?
Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?
Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- X Access/Parking
O Drainage
O Floodplain/Wetlands Mitigation
O Other
O Screening/Buffering
X Landscaping
O Availability of Utilities
O Land Use Compatibility
O Traffic Generation
O Geologic Hazards/Soils

Related Files:

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

X Signature(s) of Petitioner(s)
X David Painter Signature(s) of Representative(s)

ASSOCIATED INSURERS OFFICE COMPLEX

GENERAL PROJECT REPORT
JANUARY 12, 1994

- A. PROJECT DESCRIPTION: Executive Office Complex
1. LOCATION: 2501 Blichmann Avenue, Foresight Park
Grand Junction, Colorado 81505
 2. ACREAGE: Two acre parcel of which only one acre will be developed.
 3. PROPOSED USE: Individual Business Office Space at Insurance Agency, etc.
- B. PUBLIC BENEFIT: To supply needed office space in the area.
- C. PROJECT COMPLIANCE, COMPATIBILITY AND IMPACT.

The project will comply with all local planning and building codes for Mesa County and the City of Grand Junction.

The project is compatible with the other businesses in the area, and will allow smaller businesses and services to operate in the area. As you probably know, the surrounding area is made up of other businesses of all sizes.

Site access will be from Blichmann Avenue via 25 Road where current traffic is light to moderate.

All utilities are onsite with a fire hydrant directly across the street. There will be no special or unusual demands on utilities and would have little or no effect on public facilities.

The site soils and geology have been tested and impact is viewed as light.

The type of businesses that would usually use this type of facility would operate between the hours of 7:00 AM and 6:00 PM, Monday through Friday.

The signage plans call for no signage at this time.

This development is scheduled to begin in February, 1994 and take about four months for completion.

Associated Insurers Office Complex
Foresight Park
January 12, 1994

DEVELOPMENT SUMMARY

This is an office building designed for executive suites and offices. One wing is 6,000 square feet subdivided into office sizes to suit specific occupant requirements. The other wing is a 2,000 square foot executive office space designed for an insurance company use. There is a common vestibule entry dividing the two wings. The total building is identified as the "Associated Insurers Office Complex".

CONSTRUCTION MATERIALS SUMMARY

Foundations: Over-excavation
Structural fill
Concrete footing and stemwalls
Concrete slab on grade

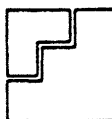
Walls: 8" concrete block - exterior
Wood or steel stud - interior

Structural System: Steel frame
Bar joist
Metal deck

Roofing: Rigid insulation
EPDM membrane

Door & Windows: Aluminum full lite entry doors
Solid core wood, interior doors
Aluminum windows, thermal break

Finishes: G.D.W. on furring for walls/paint finish
Acoustic tile suspension system for ceilings
Carpet and VCT tile floors



REVIEW COMMENTS

Page 1 of 3

FILE #6-94

TITLE HEADING: Site Plan Review - Associated
Insurance Office Building

LOCATION: 2501 Blichmann (Foresight Park)

PETITIONER: Francis Constructors

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 1767
Grand Junction, CO 81502
434-9093

PETITIONER'S REPRESENTATIVE: Dave Painter

STAFF REPRESENTATIVE: Kristen Ashbeck

NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.

GRAND JUNCTION FIRE DEPARTMENT
George Bennett

1/14/93
244-1400

A fire flow survey must be conducted prior to the issuance of a building permit. Submit a complete stamped set of building plans.

CITY UTILITY ENGINEER
Bill Cheney

1/19/94
244-1590

WATER - Ute Water
SEWER

1. There could be a potential conflict between the sewer service lines and a Grand Junction Drainage District line located on the east side of 25 Road. Both lines should be potholed to check depths prior to the start of construction of the office complex. It may be necessary to raise the building elevation to achieve adequate slope on the sewer service.
2. The Plant Investment Fee for sewer will be calculated on the proposed number of employees that will be working in both buildings.

CITY DEVELOPMENT ENGINEER
Jody Kliska

1/18/94
244-1591

1. Circled items on Site Plan Checklist (attached) need to be addressed.
2. Half street improvement fees for 25 Road will be required.

3. The driveway does not line up with the UTEC driveway across Blichmann. This should be lined up so conflicting left turn movements are avoided. Also, for an industrial street the minimum distance back from the intersection for a driveway is 100 feet (standard drawing attached). The use is more commercial than industrial, therefore the minimum driveway width should be 25 feet.
4. The site layout does not lend itself to on-site circulation to the undeveloped portion of the lot. For the future development on the lot, only one access point to 25 Road will be allowed.
5. A minimum of two (2) handicap spaces is required, and they must conform to the City Standard Detail (attached). This includes appropriate signs and markings.

COMMUNITY DEVELOPMENT DEPARTMENT
Kristen Ashbeck

1/19/94
244-1437

1. SITE DESIGN - relocate access to provide greater distance from 25 Road/Blichmann intersection. This would also facilitate the potential future access to the southern portion of the property. Access onto 25 Road from the southern portion of the site is discouraged.
2. PARKING
 - Parking blocks are required for all 90 degree stalls facing the eastern property line
 - Need some provision for vehicle turnaround at the end of row of stalls on the east side of building (e.g. leave one stall open--no parking or provide cul-de-sac)
3. LANDSCAPE
 - A more detailed plan is required for review which identifies plant species, number, size and spacing and meets City Code (see attached).
 - A letter of approval from the Architectural Control Committee is required regarding landscaping.
 - Underground, pressurized irrigation is required for all landscaped areas. Place a note on the plan that this will be provided.
 - An Improvements Agreement and Guarantee is required for any landscape improvements (including irrigation system) not installed prior to issuance of a Certificate of Occupancy for the building. Guarantee is by Letter of Credit or cash in escrow. See attached form.

GRAND JUNCTION POLICE DEPARTMENT
Mark Angelo

1/18/94
244-3587

1. Should there be more than one handicap parking space?
2. What type of parking lot lights are going to be used? Or-are there any? Would recommend parking lot lights for customers and employee safety. Would also recommend an exterior type light over every entrance-exit door.
3. Make sure entry-exit doors are solid wood or metal; the hinges are mounted on the inside and/or the hinges are pinned; deadbolt locks are installed on exterior doors not determined to be exit doors.

4. Deadbolt locks should be installed on the individual office doors.
5. Install (if possible) channel locks on the ground floor windows.
6. What type of fence (if one is being used) to shelter. If it is a 6" wooden fence - space the slats further apart to increase visibility behind it. You can also build the fence with an open space on the bottom. Again, lighting is important in this area.
7. Is there going to be a physical barrier, like a fence, along the south side of the development?



January 31, 1994

City of Grand Junction, Colorado
250 North Fifth Street
81501-2668
FAX: (303) 244-1599

Tom Gilmor
Associated Insurers of Western Colorado
P. O. Box 1869
2829 North Avenue, Suite 205
Grand Junction, CO 81502

RE: Property at 2501 Blichman

Dear Tom:

You have requested that the City allow you to post a bond which will guarantee the payment of the half-street improvements fee. You and I have negotiated the terms of the bond language and you are attempting to have that delivered by the Surety in Denver, Colorado.

The bond will be submitted by you for the purpose of guaranteeing the payment by you individually and personally, as the owner of the property of \$27,840.00 which equals our estimate of the cost of the half-street improvements which have been made a condition of the site-plan approval and building permit approval for the subject property. The dollar amount is based on a \$60.00 per lineal foot construction cost for 424 feet along 25 Road.

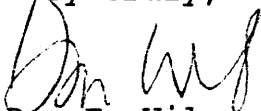
At the time of occupancy of the building, that is to say at the time the Certificate of Occupancy is issued, you shall replace the bond with cash in the amount of \$27,840.00. You agree that the City may, if it needs to, sue to collect that amount of money, either against you personally or may proceed against the property or both.

You agree to waive any defenses you may have to any such City action; the posting of the interim bond shall not act in the defense or as a bar to any such City actions or efforts.

The City agrees that the amount of money that you will pay and the amount guaranteed by the bond is the full road improvement with respect to this use (but not any later or additional development).

If you accept the issuance of the building permit, you thereby consent to these terms.

Very truly,


Dan E. Wilson
City Attorney

CNA INSURANCE COMPANIES

4500 Cherry Creek Drive South, Suite 1100
P.O. Box 17369, T.A., Denver, Colorado 80217

Sandy L. Nyburg
Senior Surety Underwriter
303-759-6499

October 7, 1994

City of Grand Junction
Construction Department
240 North 5th Street
Grand Junction, Colorado 81501

Re: Thomas W. Gilmore
Bond Number 124207094
Subdivision Bond / 2501 Blichman

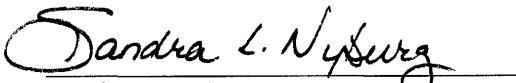
Dear Construction Department:

The CONTINENTAL CASUALTY COMPANY is the surety on the above referenced bond. Please provide documentation of the City's inspection and acceptance of the subdivision improvements related to this bond. It is our understanding that a certificate of Occupancy has been issued.

I appreciate your assistance, and have enclosed a return envelope for your reply.

Sincerely,

CONTINENTAL CASUALTY COMPANY


Sandra L. Nyburg, Attorney-in-Fact

/sn

Encl.

10/17/94 Tom Gilmore 241-1828 TC
10/18/94 John Williams REPRESENTING GILMORE - REFERRED TO L.T.

CNA

For All the Commitments You Make®

10/18/94 Spoke w/ L.T.

CITY OF GRAND JUNCTION - PAYMENT BOND

KNOW ALL MEN BY THESE PRESENTS, that we, Thomas W. Gilmor, hereinafter called Principal, and Continental Casualty Company, hereinafter called Surety, are held and firmly bound unto the City of Grand Junction, State of Colorado, a body politic and corporate, hereinafter called City, in the penal sum of TWENTY-SEVEN THOUSAND, EIGHT HUNDRED FORTY AND NO/100 DOLLARS (\$27,840.00) lawful money of the United States of America for the payment of which we bind ourselves, our heirs, executors, administrators, successors, and assigns, jointly and severally, firmly by these presents.

WHEREAS, the above named Principal has applied to the City for the approval of a site plan and building permit to improve a certain area of land within said City, and has agreed, as a condition to the approval of said plan and permit by said City, to pay Twenty Seven Thousand, Eight Hundred Forty and No/100 Dollars (based on \$60.00 per lineal foot of 25 Road Frontage), on or before the issuance of the Certificate of Occupancy or October 1, 1994, whichever shall occur first.

WHEREAS, the approval of said plan and permit by said City is further conditioned upon the furnishing of an adequate Surety Bond to be furnished to the City.

NOW, THEREFORE, the condition of this obligation is such that, if the Principal shall in all respect comply with the terms and conditions of the approval of said plan and permit, these conditions being more specifically referred to above, then this obligation shall be void, otherwise remaining in full force and effect.

And the Surety, for value received, hereby stipulates and agrees that no change involving an extension of time, alterations, or additions to the terms of the contract or to the payment to be made, or in the plans, specifications and schedules covering same, shall any way affect said obligation of said Surety on this bond and the said Surety does hereby waive notice of any said changes, extension of time, alterations or additions to the payment, or of the specifications, and schedules.

IN WITNESS WHEREOF, the Principal and Surety have caused these presents to be duly executed on the Twenty-eighth day of January, 1994.

Principal: THOMAS W. GILMOR

By: 

Surety: CONTINENTAL CASUALTY COMPANY

By: 

D. T. Johnson, Attorney-In-Fact



October 28, 1994

Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(303) 244-1430 FAX (303) 244-1599

Mr. Tom Gilmor
Associated Insurers of Western Colorado
2501 Blichmann Avenue
Grand Junction, Colorado 81505
CERTIFIED MAIL

RE: Office Project at 2501 Blichmann Avenue

Dear Mr. Gilmor,

The project referenced above required payment for half-street improvements for 424 linear feet along 25 Road in the amount of \$27,840.00. A bond was posted in the amount of \$27,840.00 to secure payment. Due to the issuance of a Planning Clearance for a Building Permit, the City is now requiring payment on that bond.

It is my understanding that you may request that your project be charged in accordance with the recently-adopted Transportation Capacity Payment (TCP) ordinance. Payment under the TCP ordinance will not be allowed. The ordinance creating the TCP specifically states: "The provisions of this new subsection H shall be effective as to those requests for development which receive final approval, pursuant to the Zoning and Development Code on or after the effective date of this Ordinance. For purposes of this subsection H, "final approval" for a planned development or other project which involves the subdivision of land means the recordation of the final plat. If a development or other use does not require that a final plat be recorded, "final approval" means the final written approval pursuant to the Zoning and Development Code."

The 2501 Blichmann Avenue office building project received "final approval" when the Planning Clearance was issued on February 1, 1994. The TCP ordinance was not effective until July 1, 1994. Thus, the City's position is that the bond shall be replaced with cash in the amount of \$27,840.00 at this time. Failure to pay on or before November 4, 1994 will result in revocation of the Certificate of Occupancy for the building.

Please do not hesitate to call if you have further questions regarding this requirement.

Sincerely,

Kristen Ashbeck
Planner

c: Mr. Jim Shanks, Director of Public Works
Mr. John Shaver, Assistant City Attorney



Thomas W. Gilmore
Foresight Executive Suites, LLC
2501 Blichman Avenue
Grand Junction, CO. 81505

RECEIVED
PLANNING DEPARTMENT
NOV 11 1994

November 3, 1994

Kristen Ashbeck
GJ Community Development
Planning and Zoning
250 North 5th Street
Grand Junction, CO. 81501-2668

Re: Office Project at 2501 Blichman Ave.

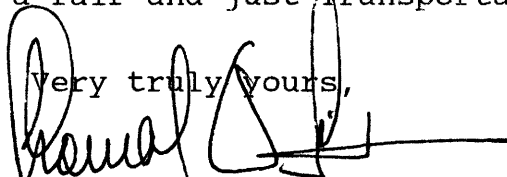
Dear Ms. Ashbeck:

I received your letter of October 28, 1994. I believe your letter is an unjustifiable demand. I do not believe the City has a legal or moral right to impose a \$27,840 fee onto my project. My entire property has never received "final approval". Moreover, I was not provided adequate information regarding the much less costly Transportation Capacity Payment Ordinance. These and other reasons should be considered by the City.

Your October 28 letter threatens revoking the Certificate of Occupancy for the building. Such conduct will merely create additional damages for me and potentially disrupt the interests of innocent third parties. Therefore, I am enclosing with this letter the \$27,840 payment. However, this payment is expressly tendered under protest and in an effort to mitigate future damages I would incur, should the City improperly revoked the Certificate of Occupancy.

My payment should not be considered as a waiver of any rights I possess to challenge the propriety of the City's demand for the \$27,840. I intend to pursue appropriate avenues to recoup the \$27,840, subject to my admitted obligation to pay a fair and just Transportation Capacity Payment.

Very truly yours,



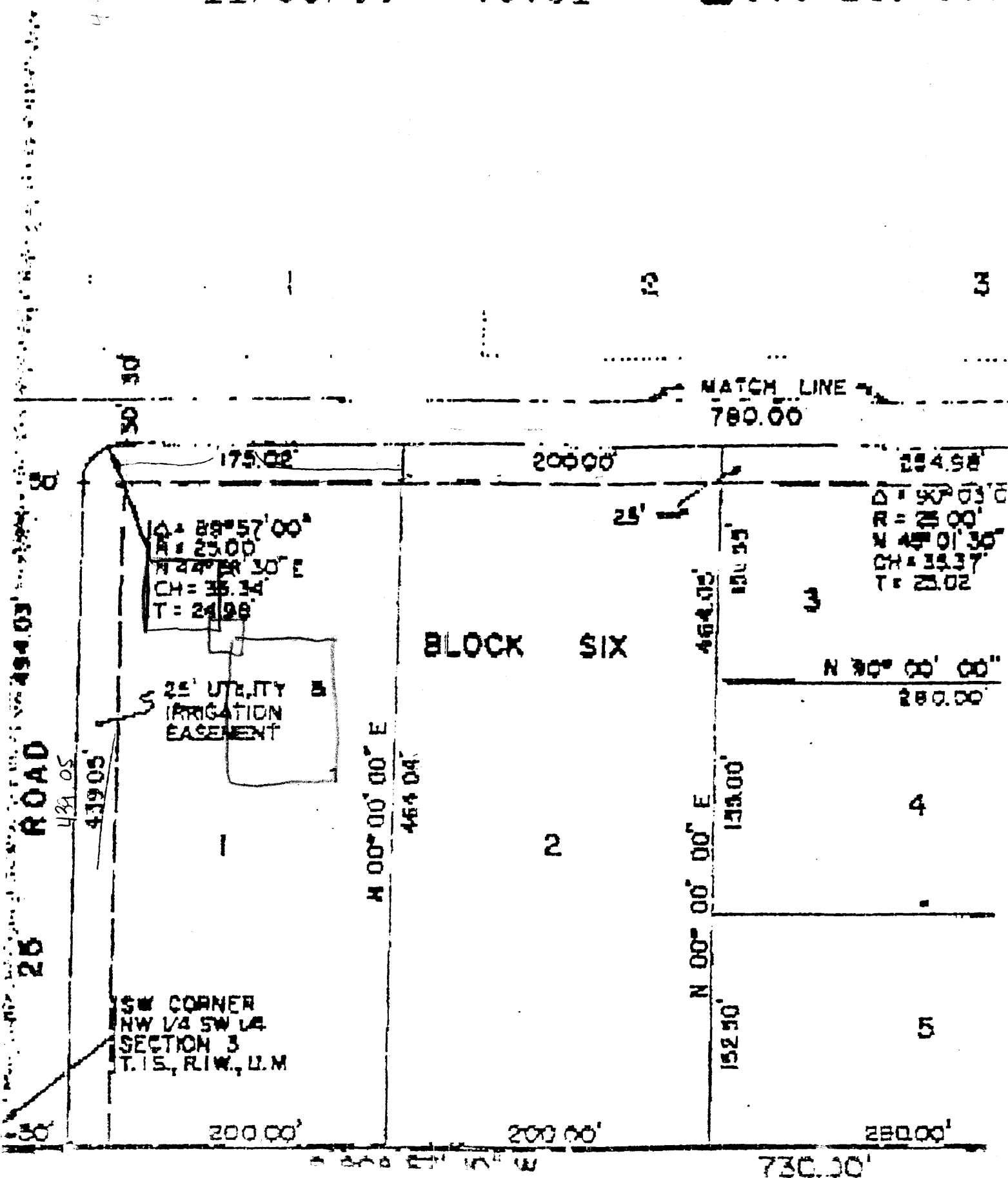
Thomas W. Gilmore

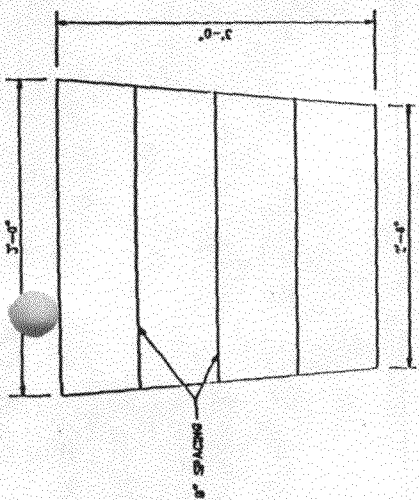
Enclosure

11/08/93

09:31

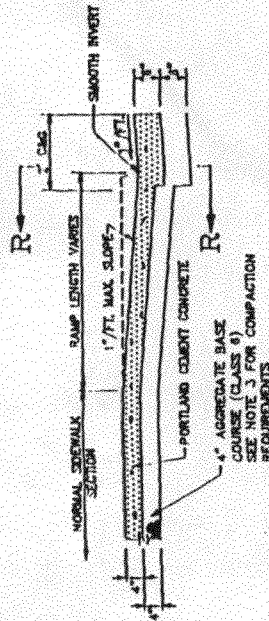
☎ 303 243 3070



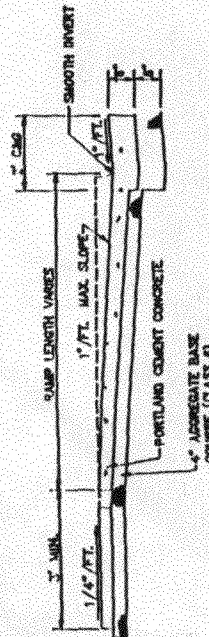


DETAIL FOR RAMP DETECTABLE WARNING

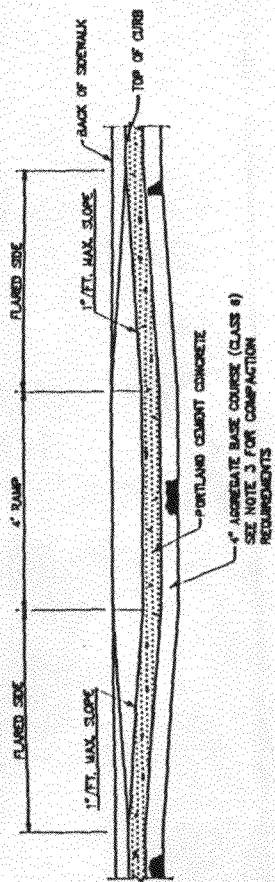
NOTE: GROOVES IN PATTERN ARE 1/4" MAX. DEPTH X 1/4" MAX. WIDTH



SECTION A-A



SECTION B-B

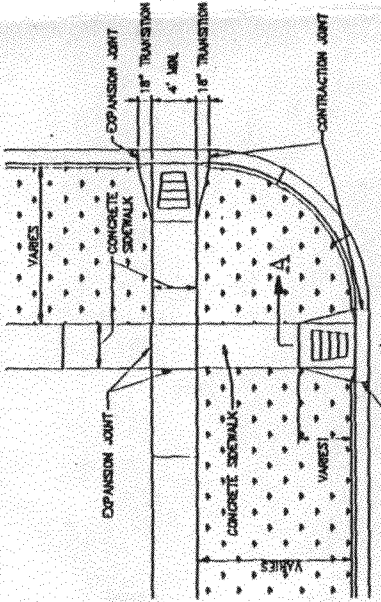


SECTION S-S

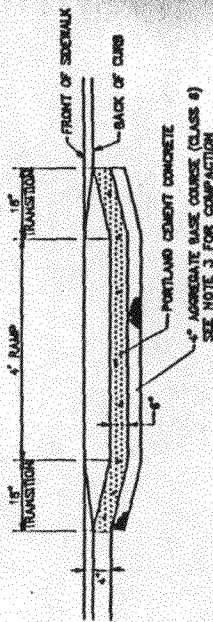
TOTAL PARKING SPACES IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 to 25	1
26 to 75	2
76 to 100	3
101 to 150	4
151 to 200	5
201 to 300	6
301 to 400	7
401 to 500	8
501 to 1000	9
1001 AND OVER	10

ACCESSIBLE PARKING REQUIREMENTS

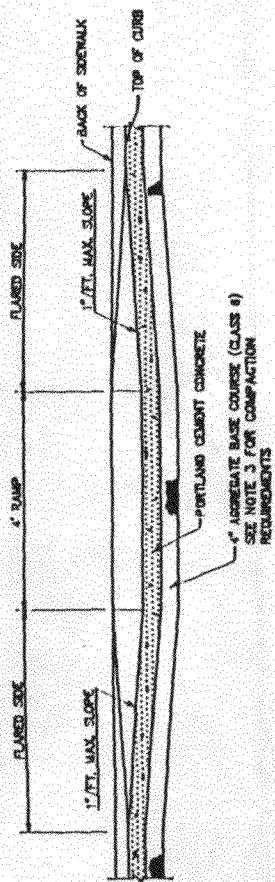
PER ADA 4.1.2(5)(6)



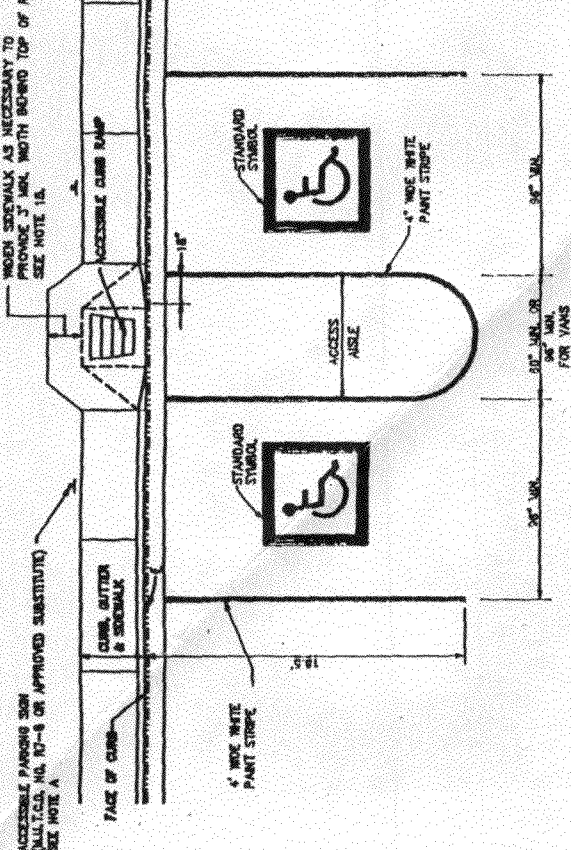
CURB RAMP(S) AT INTERSECTING SIDEWALK



SECTION R-R



SECTION S-S



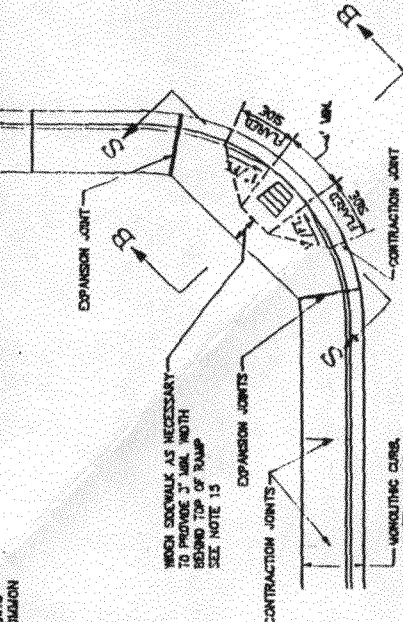
NOTES:

- ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR THE DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY (SEE UFAS 4.10.5). SPACES COMPLIANT WITH NOTE B SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL BE MOUNTED SO THEY CANNOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
- ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE DESIGNATED BY AN ACCESSIBLE 96" WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS SPECIFIED BY NOTE A.
- PARKING ACCESSIBLE SPACES SHALL BE PART OF AN ACCESS ROUTE TO THE BUILDING OR FACILITY ENTRANCE. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESSIBLE PARKING SPACES AND ACCESSIBLE SPACES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.

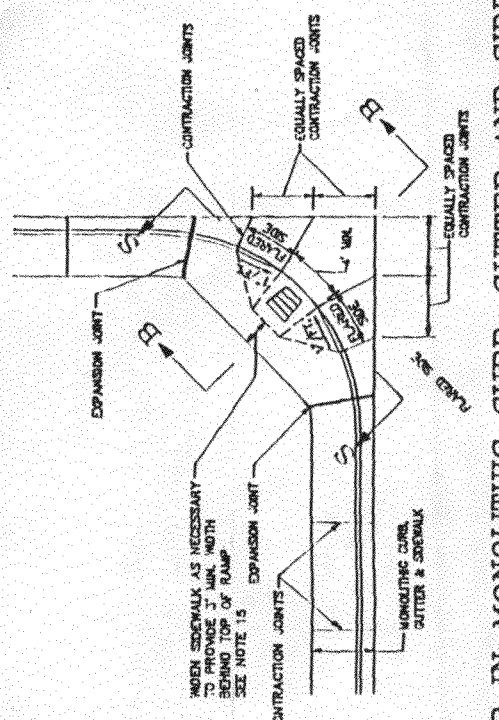
STANDARD ACCESSIBLE PARKING STALL DETAIL

GENERAL NOTES

- ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE COMPACTED AND FINISHED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STREET CONSTRUCTION SPECIFICATIONS.
- ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CONTRACTOR. CURB, GUTTER & SIDEWALK CONTRACTORS SHALL BE REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
- ALL CONCRETE RAMP, SIDEWALKS, CURBS, GUTTERS AND OTHER CONCRETE WORK SHALL BE UNDERLAIN WITH APPROPRIATE BASE COURSE (CLASS #) COMPACTED TO AT LEAST 90% OF AASHTO 1-100 MAXIMUM DENSITY. SEE DETAILS FOR BASE COURSE THICKNESS. THE TOP 8 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF AASHTO 1-99 MAXIMUM DENSITY. ALL SATURATED OR UNSATURATED SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
- ANY EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-GRIND BY CONTRACTOR.
- DRAWING INDICATES TYPICAL SECTION ONLY. CONDITIONS AND/OR OBSTRUCTIONS MAY NECESSITATE VARIATIONS OR REPOSITIONING. ALL LOCATIONS SHALL BE APPROVED ON AN INDIVIDUAL BASIS BY THE CITY ENGINEER OR HIS REPRESENTATIVE.
- IN ALL CASES, ACCESSIBLE RAMP(S) SHALL BE ALIGNED WITH STREET CROSSTWALKS.
- AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACE IMMEDIATELY AFTER FINISHING.
- ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- MINIMUM SPACING BETWEEN JOINTS IN CURB, GUTTER & SIDEWALK IS 5 FEET.
- MAXIMUM SPACING BETWEEN CONTRACTION JOINTS IS 10' IN ANY DIRECTION.
- WATER SHALL NOT BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
- THE MAXIMUM SLOPE ALLOWED ON ANY CURB RAMP OR SIDEWALK SHALL BE 1/7% (0.33%).
- THE SURFACE OF ALL ACCESSIBLE RAMP(S) AND FLARED SIDES SHALL BE FINISHED WITH A COURSE BROOMED TEXTURE PERPENDICULAR TO THE SLOPE OF THE RAMP.
- ALL HANDICAP RAMP(S), PARKING STALLS, LANDINGS, ETC., SHALL CONFORM TO THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) LATEST EDITION.
- THE ADDITIONAL 3" SIDEWALK WIDTH SHOWN BEHIND RAMP(S) IN MONOLITHIC CURB, GUTTER AND SIDEWALK IS NOT REQUIRED WHERE RAMP(S) ARE INSTALLED ON EXISTING STREETS.



RAMP IN MONOLITHIC CURB, GUTTER AND SIDEWALK



CURB RAMP AT INTERSECTING SIDEWALKS

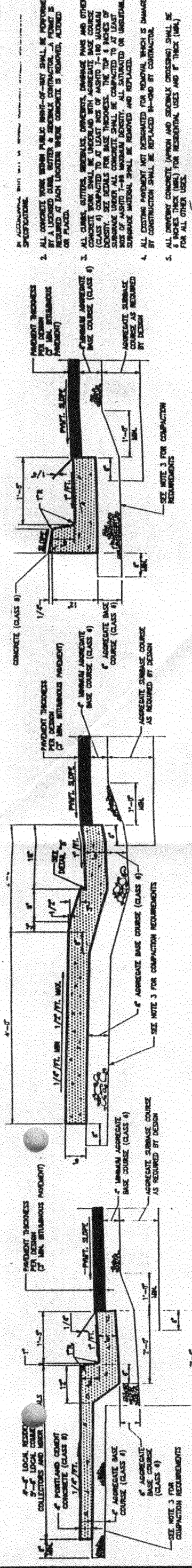
RAMP IN MONOLITHIC CURB, GUTTER AND SIDEWALK WITH CONCRETE FILET

DESCRIPTION	DATE	DRAWN BY	CHECKED BY	APPROVED BY	FIELD BOOK NO.	PAGE	SCALE	PLANS	VERT.
ADOPTED BY CITY COUNCIL RESOLUTION	7/1/72	J.A.S.	J.A.S.	J.A.S.			1/8" = 1'-0"		
REVISION									
REVISION									

DEPARTMENT OF PUBLIC WORKS AND UTILITIES
ENGINEERING DIVISION 244-1554
CITY OF GRAND JUNCTION, COLORADO

EXHIBIT "G"
ACCESSIBLE RAMP AND
PARKING STALL DETAILS

SHEET NO. _____
OF _____
FILE NO. _____



DRIVE OVER CURB, GUTTER & SIDEWALK
(RESIDENTIAL STREETS ONLY)

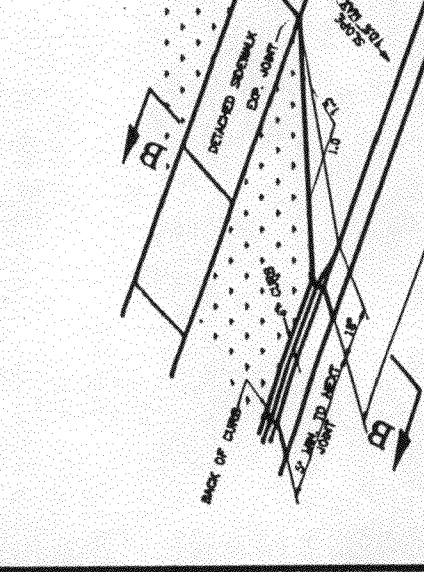
CURB & GUTTER

MONOLITHIC CURB, GUTTER & SIDEWALK
SECTION F-F

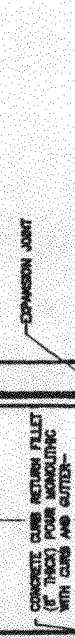
MINIMUM INTERSECTION RADIUS TO FLOWLINE OF GUTTER INTERSECTING STREET

THROUGH STREET	INTERSECTING STREET			
	ARTERIAL	COLLECTOR	LOCAL RESIDENTIAL, COMMERCIAL	LOCAL INDUSTRIAL
ARTERIAL	30'	30'	30'	30'
COLLECTOR	-	30'	20'	30'
LOCAL RESIDENTIAL	-	-	20'	-
LOCAL COMMERCIAL	-	-	20'	30'
LOCAL INDUSTRIAL	-	-	20'	-

* RADIUS AT INTERSECTIONS WITH INDUSTRIAL STREETS SHALL BE INDIVIDUALLY DESIGNED BASED ON TURNING REQUIREMENTS FOR 95-50 TRUCKS.



CONCRETE JOINT DETAILS



STREET INTERSECTION AND DRAINAGE PLAN DETAILS



MAIL BOX INSTALLATION



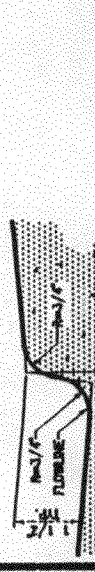
DETAIL "A"



DETAIL "B"



DETAIL "C"



DETAIL "D"



DETAIL "E"



DETAIL "F"



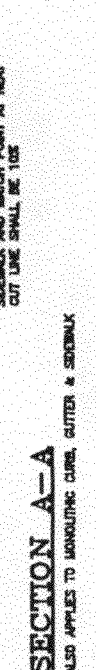
DETAIL "G"



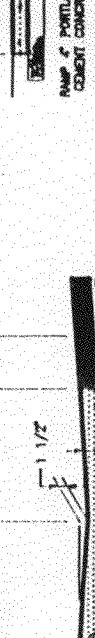
DETAIL "H"



DETAIL "I"



DETAIL "J"



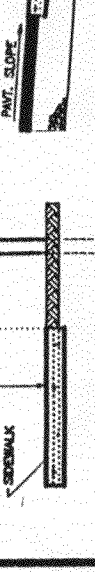
DETAIL "K"



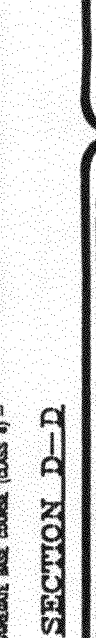
DETAIL "L"



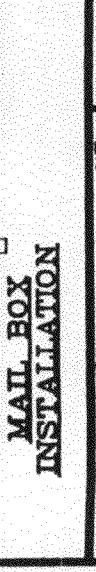
DETAIL "M"



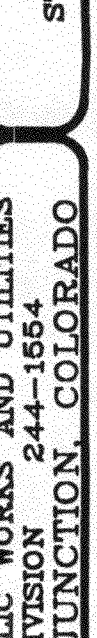
DETAIL "M"



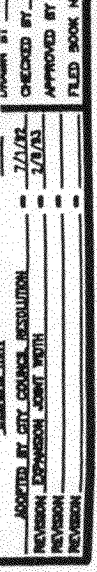
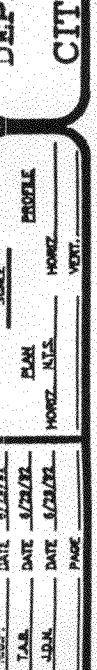
DETAIL "N"



DETAIL "O"



DETAIL "P"

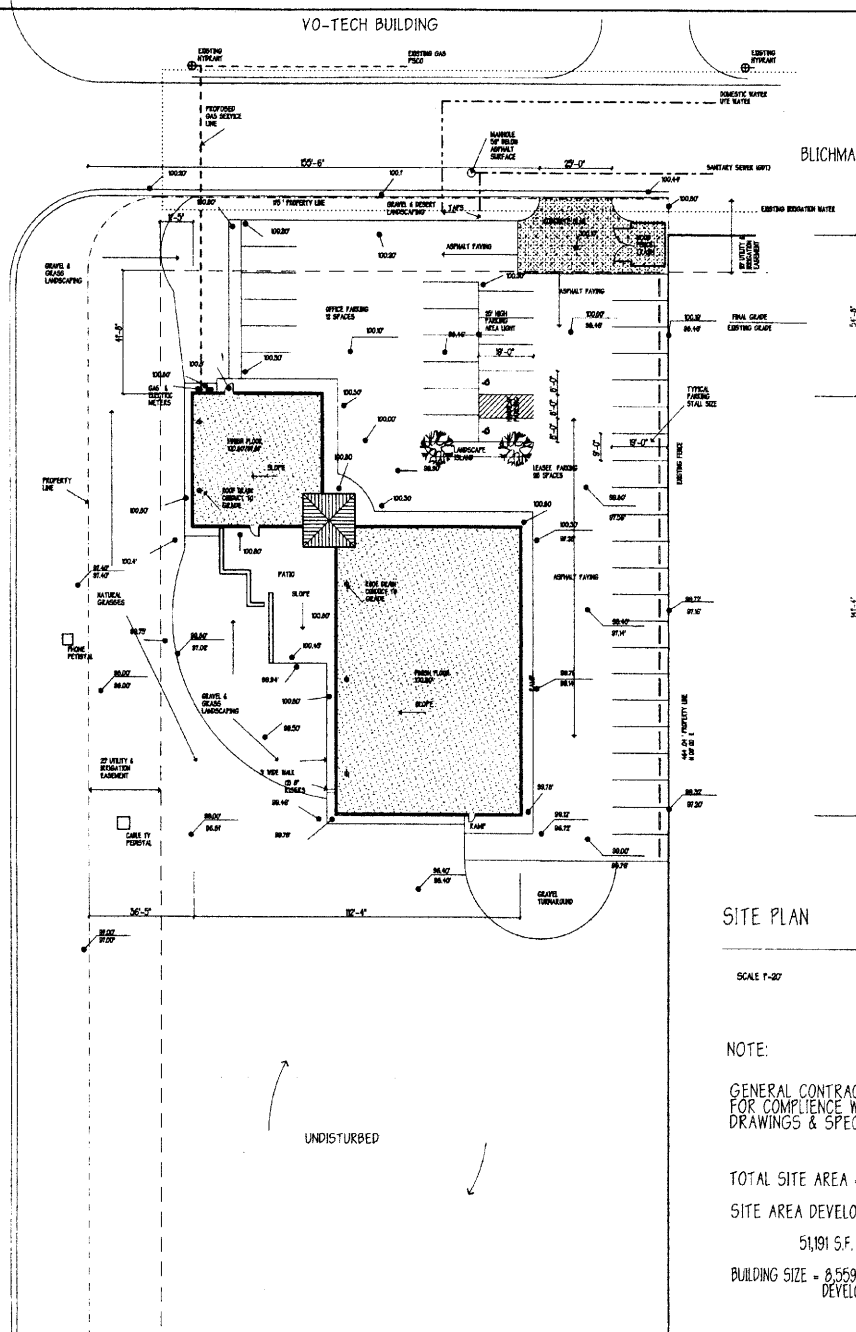


DETAIL "Q"



DETAIL "R"





SITE PLAN

SCALE 1"=20'



NOTE:

GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH CITY STANDARD DRAWINGS & SPECIFICATIONS

TOTAL SITE AREA - 92,679 S.F. OR 2.13 ACRES

SITE AREA DEVELOPED WITH THIS PROJECT

51,191 S.F. OR 1.18 ACRES. (55%)

BUILDING SIZE = 8,559 S.F. OR 17% OF DEVELOPED LAND.

FRANK A WAGNER
ARCHITECT AIA

15 No. 5th Street #440
Grand Junction Colorado
97001 1503/243-2122

FAWHAUS INC.



ENGINEERS:

STRUCTURAL

L. J. Lindauer, Inc.
715 Horizon Drive
#360 241-0900

MECHANICAL

Norm Kinney & Assoc. INC.
1000 N. 9th. Street
33 243-3851

ELECTRICAL

Norm Kinney & Assoc. INC.
1000 N. 9th. Street
33 243-3851

SITE PLAN

ASSOCIATED INSURERS

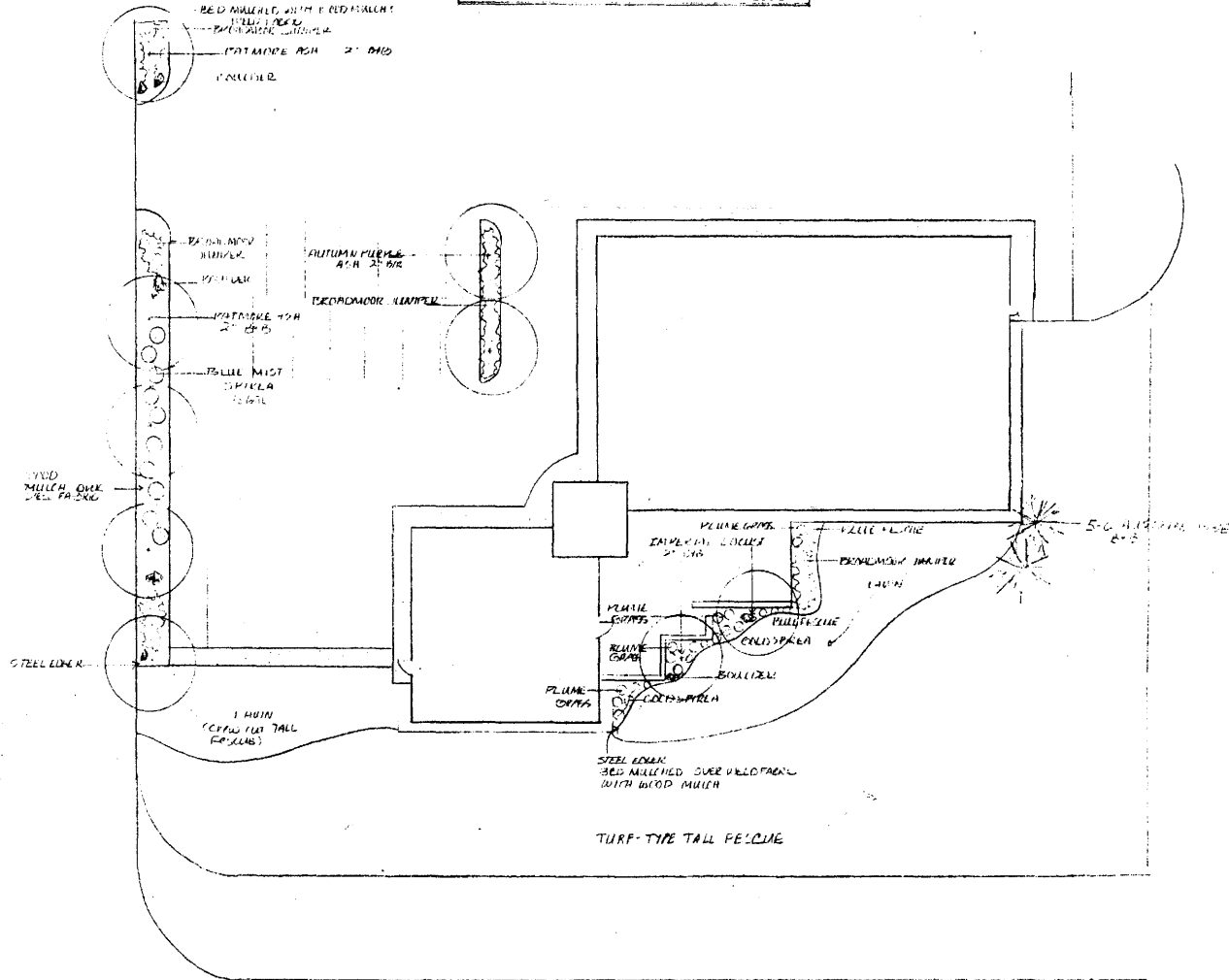
OFFICE COMPLEX

Project No. 94000

Date: 01/21/94 Drawn: FAW

SHEET NO. C11

QUAN.	SIZE	SPECIES
7	2" DIA.	SMALL TREES
2	5' G. B.C.	AMERICAN PINE
18	5' G.H.	DECIDUOUS SHRUBS
26	5' G.H.	DECIDUOUS SHRUBS
11	7' G.H.	ORNAMENTAL TREES



25 ROAD

PRELIMINARY LANDSCAPE PLAN

ALL HEIGHTS UNLESS APPROXIMATE ONLY

1. DRIVEWAY MULCH - PERMANENTLY MAINTAINED SPRINKLER SYSTEM
2. ALL SHRUBS - 2" GROUND COVER
3. BARK MULCH - 2" GROUND COVER
4. PINE MULCH - 2" GROUND COVER
5. STEEL EDGING - 4" HIGH WITH 1" GROUND COVER
6. MULCH SHALL BE CHARLISHED 3" DEEP OR DEEPER WHEN PLANTING IS COMPLETED
7. BONDING SHALL BE MAINTAINED OVER MULCHING & PLANTING PERIOD
8. TURF-TYPE TALL FESCUE AREA - IRRIGATED WITH MAINTENANCE SPRINKLER SYSTEM

FINAL
KAA 2/15/94

REVISIONS	BY
2-15-94	MEC

ASSOCIATED LANDSCAPE ARCHITECTS
25 Rd. • BUCHVADIN
GRAND JUNCTION CO.

Clarke & Co.
2336 K Road
Grand Junction, Colorado 81506
(303) 241-5317

DRAWN	CHECKED
MEC	
DATE	
2-15-94	
SCALE	
1" = 20'	
JOB NO.	
7421	
SHEET	
1	
OF	
1	
	SHEETS