

Table of Contents

File 1994-00 10

Name: Mini-Storage Units – 610 West Gunnison Avenue – Site Plan Review

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
---------------------------------	---------------------------------	--

X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
		Review Sheets
X		Receipts for fees paid for anything
X	X	*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
X		Reduction of assessor's map.
		Evidence of title, deeds, easements
		*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
		*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Exterior site rendering			
		Chicago title Ins. Co. – Commitment of Title Insurance			
X	X	Soil Report			
X	X	Mesa County Assessor Combination Form or Return to original parcels			
X	X	Turning radius diagram			
X	X	Site Plan			
X	X	Elevation Map			
X	X	Planning Clearance – issued 1/26/94 - **			
X	X	Anchor Bolt Layout			
X	X	Foundation Plan			

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: 6010 West Gunnison

Project Name: Mini-Storage

ITEMS

DISTRIBUTION

DESCRIPTION

#10 94

Original
Do NOT Remove
From Office

SSID REFERENCE

- City Community Development
- City Dev. Eng.
- City Utility Eng.
- City Property Agent
- City Parks/Recreation Police
- City Fire Department
- City Attorney
- City Downtown Dev. Auth.
- County Planning
- County Bldg. Dept.
- Irrigation District
- Drainage District
- Water District
- Sewer District
- U.S. West
- Public Service
- GVRP
- CDOT
- Corps of Engineers
- Walker Field

TOTAL REQD.
7

DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation Police	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Walker Field	
<input checked="" type="checkbox"/> Application Fee \$145	VII-1	1																				
<input checked="" type="checkbox"/> Submittal Checklist*	VII-3	1																				
<input checked="" type="checkbox"/> Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Planning Clearance*	VII-3	1																				
<input checked="" type="checkbox"/> 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
<input checked="" type="checkbox"/> Evidence of Title*	VII-2	1					1															
<input type="checkbox"/> Appraisal of Raw Land	VII-1	1				X																
<input type="checkbox"/> Deeds	VII-1	1					1															
<input type="checkbox"/> Easements	VII-2	1	1	1			1															
<input type="checkbox"/> Avigation Easement	VII-1	1					1															
<input type="checkbox"/> ROW	VII-3	1	1	1			1															
<input type="checkbox"/> Improvements Agreement/Guarantee	VII-2	1	1	1			1															
<input type="checkbox"/> CDOT Access Permit	VII-3	1	1																			
<input type="checkbox"/> Industrial Pretreatment Sign-off	VII-4	1		1																		
<input checked="" type="checkbox"/> General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> Elevation Drawing	IX-13	1	1	1																		
<input checked="" type="checkbox"/> Site Plan	IX-29	2	2	1																		
<input type="checkbox"/> 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Grading and Drainage Plan	IX-16	1	2									1								1		
<input type="checkbox"/> Storm Drainage Plan and Profile	IX-30	1	2									1					1	1	1			
<input type="checkbox"/> Water and Sewer Plan and Profile	IX-34	1	2	1		1						1	1	1	1	1						
<input type="checkbox"/> Roadway Plan and Profile	IX-28	1	2									1										
<input type="checkbox"/> Road Cross-Sections	IX-27	1	2																			
<input type="checkbox"/> Detail Sheet	IX-12	1	2																			
<input checked="" type="checkbox"/> Landscape Plan	IX-20	2	1	1																		
<input type="checkbox"/> Geotechnical Report	X-8	1	1							1												
<input type="checkbox"/> Final Drainage Report	X-5.6	1	2									1										
<input type="checkbox"/> Stormwater Management Plan	X-14	1	2									1								1		
<input type="checkbox"/> Phase I and II Environmental Report	X-10,11	1	1																			
<input type="checkbox"/> Traffic Impact Study	X-15	1	2																	1		

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

PRE-APPLICATION CONFERENCE

Date: 1/26/94 #10 94
Conference Attendance: Kristen Ashbeck, Scott Hodges
Proposal: Mini-storage units
Location: West Gunnison

Tax Parcel Number:
Review Fee: \$145
(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Original
Do NOT Remove
from Office

Additional ROW required?
Adjacent road improvements required?
Area identified as a need in the Master Plan of Parks and Recreation?
Parks and Open Space fees required? Estimated Amount:
Recording fees required? Estimated Amount:
Half street improvement fees required? Estimated Amount:
Revocable Permit required?
State Highway Access Permit required?

Applicable Plans, Policies and Guidelines
Located in identified floodplain? FIRM panel #
Located in other geohazard area?
Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?
Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Drainage, Floodplain/Wetlands Mitigation, Other, Screening/Buffering, Landscaping, Availability of Utilities, Land Use Compatibility, Traffic Generation, Geologic Hazards/Soils

Related Files:

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

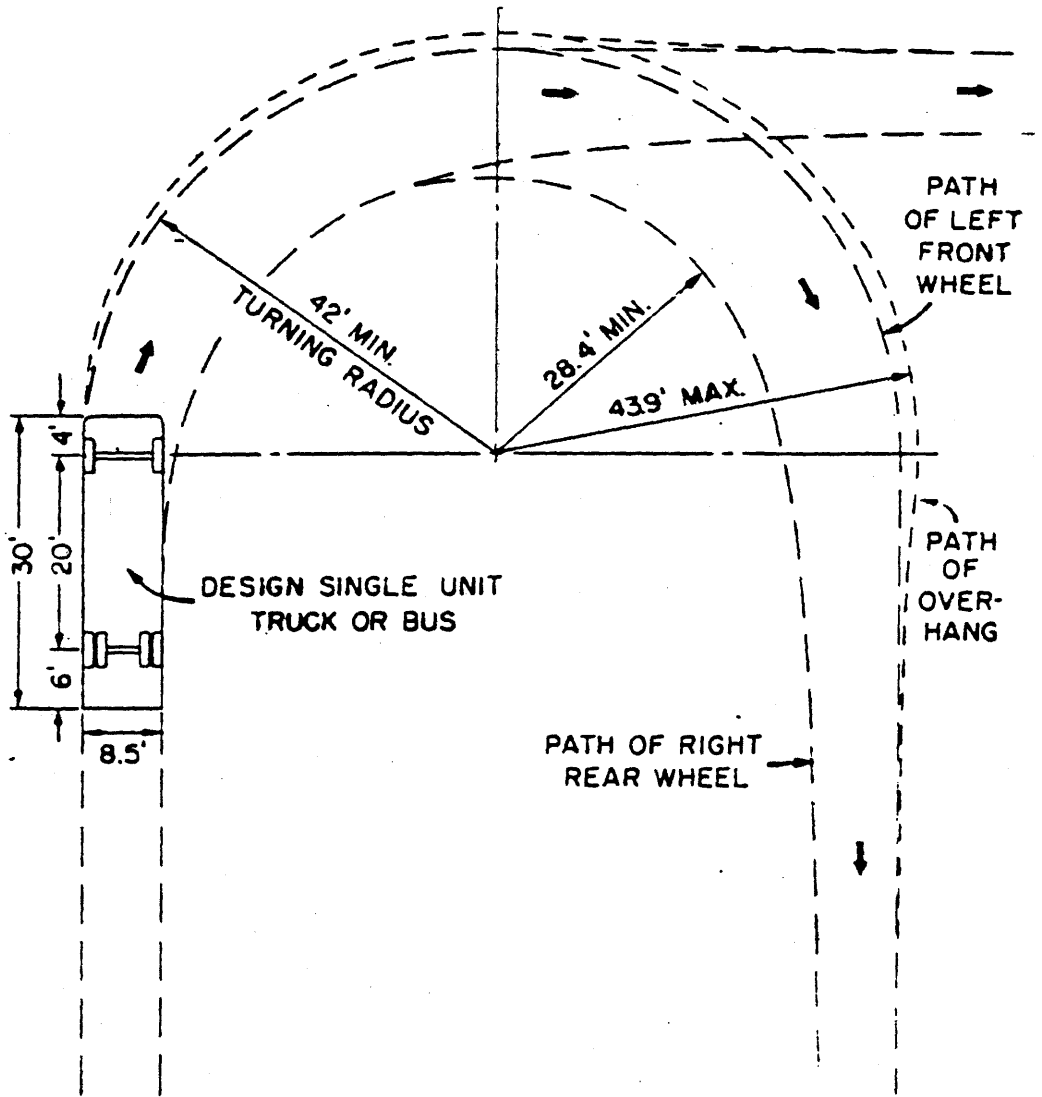
WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

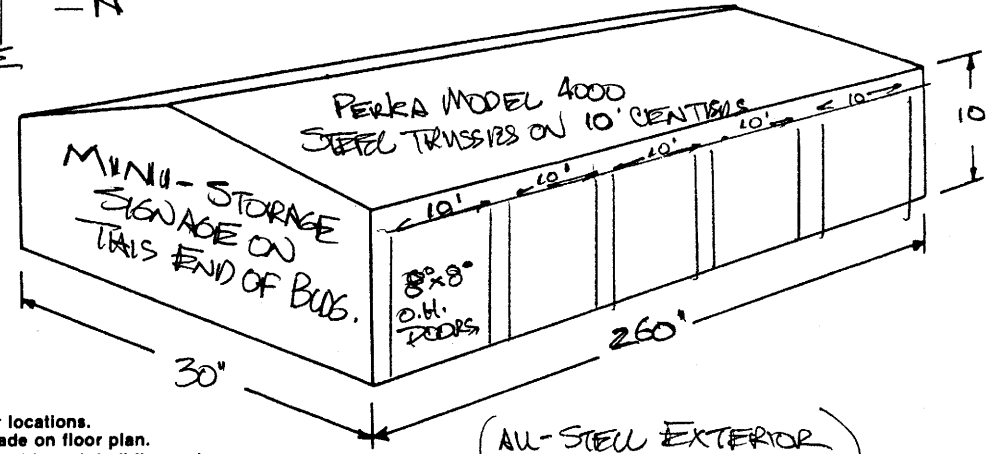
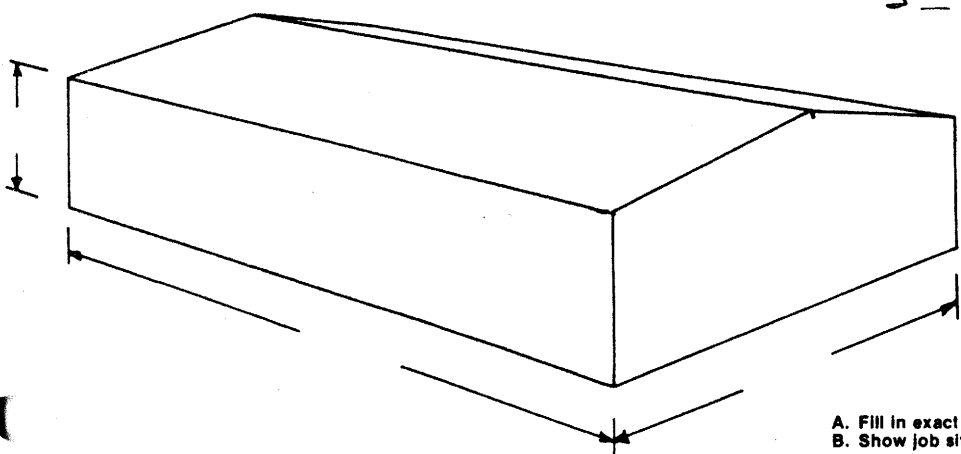
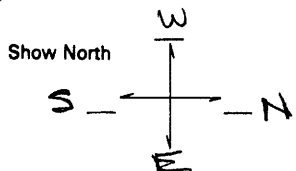
WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s) Signature(s) of Representative(s)



SU DESIGN VEHICLE

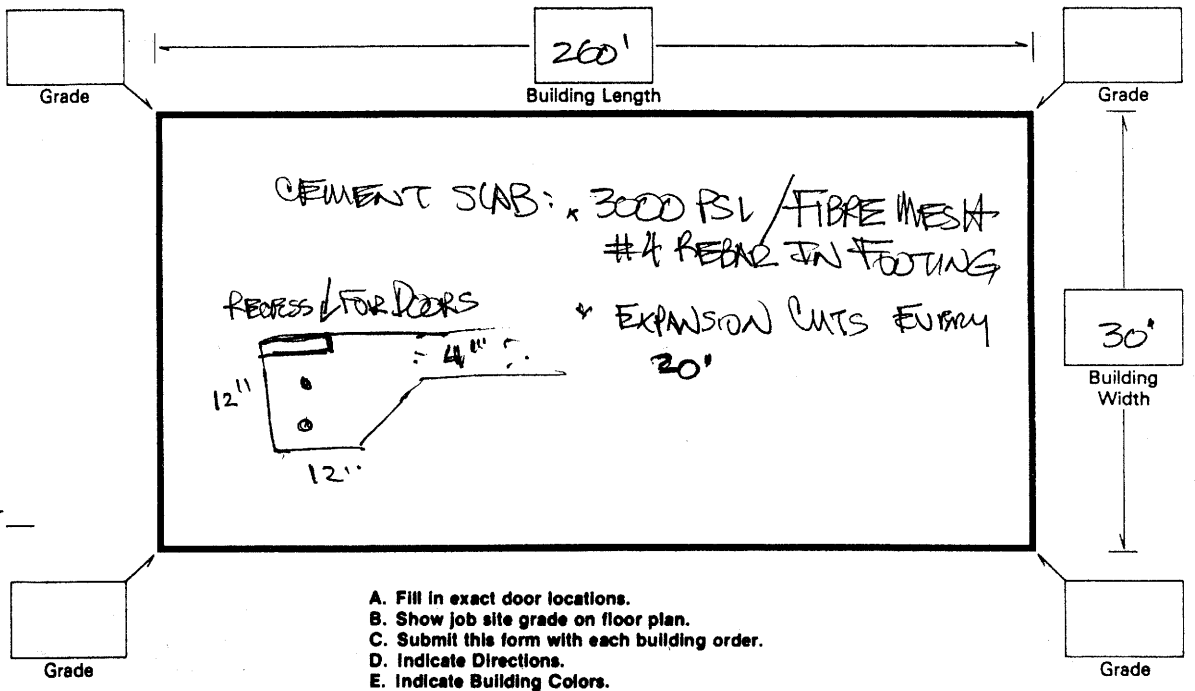
1" = 20'



- A. Fill in exact door locations.
- B. Show job site grade on floor plan.
- C. Submit this form with each building order.
- D. Indicate Direction.
- E. Indicate Building Colors.

(ALL-STEEL EXTERIOR)
30# LIVE LOAD
100MPH-WIND-SHEAR

DATE JAN 25th/94
 PROSPECT JIM CAGUE JR. / 2764 COMPASS DR.
BUS. 2-ROOM / 234
 PHONE (303) 245-2214
 TIME TO CALL 8:00 AM TO 5:30 P.M
 CITY GRAND JCT. STATE CO.
 DIRECTIONS LOTS 1 & 2 BLK S,
SIX & FIFTH WEST SUBDIVISION
(WEST GUNWISON AVE)



- A. Fill in exact door locations.
- B. Show job site grade on floor plan.
- C. Submit this form with each building order.
- D. Indicate Directions.
- E. Indicate Building Colors.

Original
 Do NOT Remove
 From Office
 #10 94

EXACT PLAN AND DOOR LOCATION APPROVED BY _____ (Customer Sign)

SCOTT HODGES CONSTRUCTION, INC.

2187 LASSEN CT.

Grand Junction, Colorado 81503

(303) 245-3448

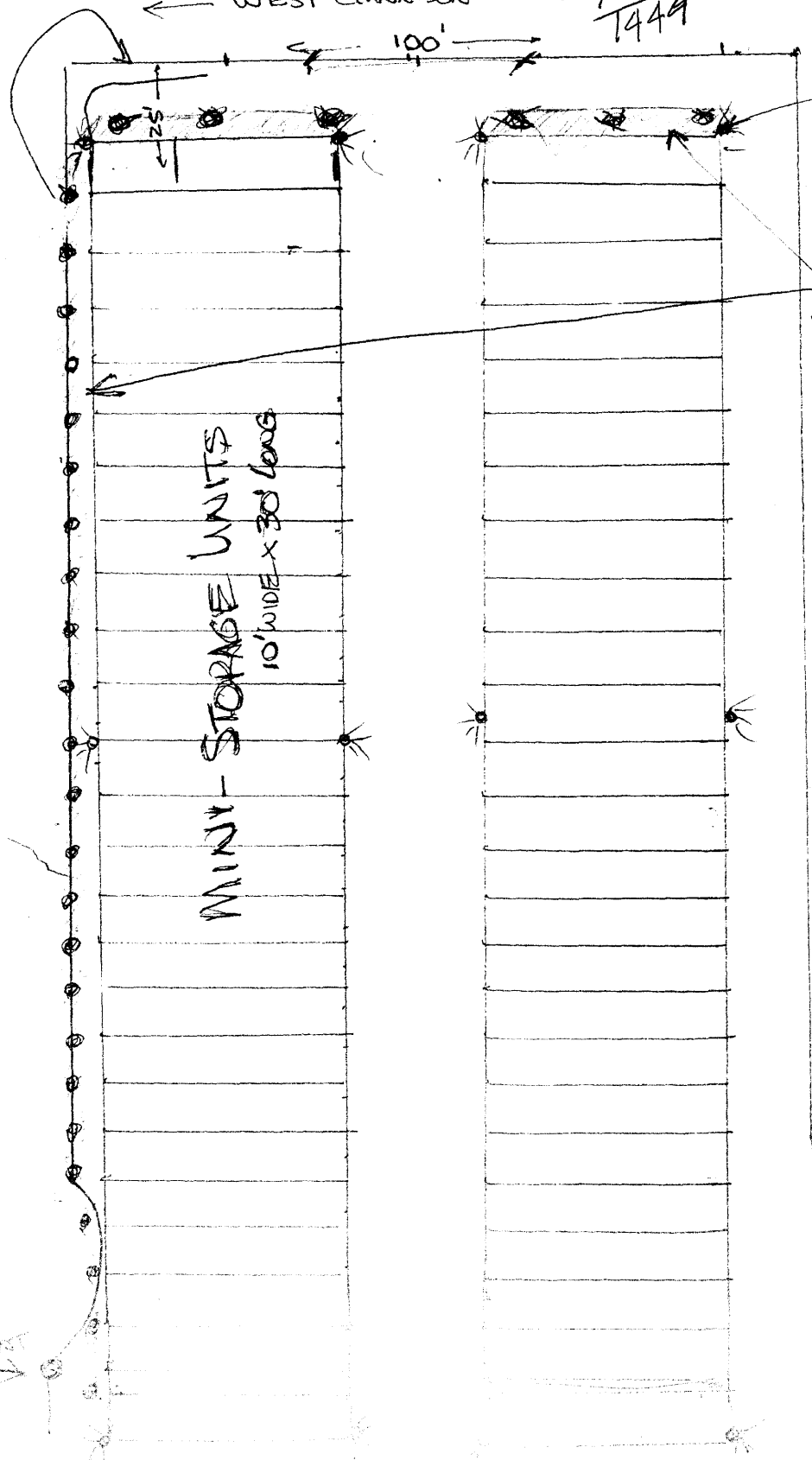
JAN. /94

375

$\frac{1069}{1449}$

WEST EWNISON

100'



EXTERIOR SENSOR LIGHTS.

ZONING C-0

ALLOWS MINI-STORAGE

TAM-TWIGERS ON SOUTH END OF BARRS. / EVERY 10'

WITH TREATED TIMBER SURROUNDS

290'

#10 94

Original
Do NOT Remove
From Office

FIRE HYDRANT

REVIEW COMMENTS

Page 1 of 3

FILE #10-94

TITLE HEADING: Site Plan Review - Mini Storage
Units

LOCATION: 610 West Gunnison (Gunnison & Maldonado)

PETITIONER: Jim Cagle, Jr.

PETITIONER'S ADDRESS/TELEPHONE: 2764 Compass Drive
Building #2, Room 234
Grand Junction, CO 81506
245-2214

PETITIONER'S REPRESENTATIVE: Scott Hodges/245-3448

STAFF REPRESENTATIVE: Kristen Ashbeck

NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.

CITY UTILITY ENGINEER
Bill Cheney

1/31/94
244-1590

No comment.

MESA COUNTY BUILDING DEPARTMENT
Bob Lee

2/1/94
244-1656

Fire-walls are required based on location on property and area of buildings. ALL plans (foundation, floor and structure) must be certified by an engineer or architect.

CITY DEVELOPMENT ENGINEER
Jody Kliska

2/1/94
244-1591

1. For final approval, the site plan and grading plan should be submitted following the criteria in the attached checklists, particularly the items circled in red.
2. The drainage fee is an option here, as long as the site is graded so it drains into the streets and not onto private property. I will need square footage of the buildings, paving and landscaping to calculate the fee.
3. The site plan should indicate there is sufficient area for moving trucks to maneuver on-site and get around the buildings. The public street may not be used for customer loading/unloading.
4. The existing curb cut should be noted on the plans, and whether or not is intended to be used. If it is being moved or modified, a City permit from the Engineering office will be required.

5. The site plan and grading plan should indicate the surfacing on-site - asphalt, concrete or other.

COMMUNITY DEVELOPMENT DEPARTMENT
Kristen Ashbeck

2/2/94
244-1437

1. Lots 1 and 2 must be combined into a single tax parcel. Contact the Mesa County Assessors office for information on this process. Documentation that this has been done must be provided prior to issuance of a Planning Clearance for a building permit. This may eliminate the need for fire-walls (see Building Department comments and contact Bob Lee).
2. Drawing must be to scale and location and dimensions of aisles, landscaped areas, and driveways noted.
3. Show intended circulation pattern (i.e. is it only 1 way on the south side - not wide enough for 2 way?). Fire Department may require a minimum of 20 feet for access around the buildings.
4. Indicate on plan that northerly units will not be accessed from the north side - doors will be on south side. Indicate that southerly units will have doors on both sides.
5. How many total storage units?
6. The landscape requirement for this site is 1,444 square feet. Per the Zoning and Development Code (see attached), this will require 3 trees and 40 percent of the landscaped area shall contain shrubs. Minimum plant sizes are included in the attached. Any plants that die or are unhealthy shall be replaced.

Provide a more detailed landscape plan (may be on site plan) that indicates number, species, planting size, and spacing of plants. Also note that the landscaping will be irrigated with an underground, pressurized system as required by Code. Show the source of water for irrigation.

It appears from the proposed construction schedule that landscaping cannot be installed until after buildings are completed. If landscaping is not to be installed prior to issuance of a Certificate of Occupancy, an Improvements Agreement, guaranteed by cash in escrow or a Letter of Credit, is required (also attached).

7. Will the development be fenced? If so, show location of fence and gate(s) and describe its height and material. If not, how will the hours of operation (8-5) be controlled.

GRAND JUNCTION FIRE DEPARTMENT
George Bennett

2/2/94
244-1400

1. Adequate access must be provided and indicated on an approved site plan shown to scale.
2. A fire flow survey must be conducted to determine the required flows. Submit a complete stamped set of building plans, to include a site plan for our review.

GRAND JUNCTION POLICE DEPARTMENT
Mark Angelo

2/3/94
244-3587

1. Is there going to be a chain link fence surrounding the storage sheds? If not, I would recommend one; minimum 6' chain link; for more security 2 strands of barbed wire extending out along top.
2. What would the distance be between the fence and building? How would the gate open? What is the distance between buildings and from the sidewalks and roadway?
3. Are the sensor lights motion sensor or are they the type that came on at dark? I would recommend ones that are on all the time at night.
4. What type of latches are going to be used on the storage doors? Are you going to offer padlocks to the owners and if so, what type?



CONSULTING ENGINEERS / LAND SURVEYORS

2150 Hwy. 6 & 50, Grand Junction, CO 81505-9422 • 303/242-5202 • FAX 242-1672

March 29, 1994
Project No. 3633

SCOTT HODGES CONSTRUCTION
2987 LASSEN COURT
GRAND JUNCTION, CO 81503

PROJECT: DRILLING, SAMPLING AND TESTING AT 546 WEST GUNNISON

LABOR	HOURS	RATE	AMOUNT
DRILLER	2.5	30.00	75.00
DRILLERS HELPER	2.5	30.00	75.00
ENGR TECHNICIAN	1.0	30.00	30.00
TOTAL LABOR			180.00

LABORATORY	NUMBER	RATE	AMOUNT
SWELL-CONSOLIDATION	1	150.00	150.00
GRAIN SIZE	1	30.00	30.00
MOISTURE CONTENT	5	8.00	40.00
ATTERBERG LIMITS	1	30.00	30.00
TOTAL LABORATORY			250.00

OTHER

DRILL RIG	2 HRS @ 46.00/HR	92.00
MILEAGE		15.00
TOTAL OTHER		107.00

TOTAL THIS INVOICE \$ 537.00

WESTERN ENGINEERS INC.
 2150 Highway 6 & 7
 GRAND JUNCTION, COLORADO 81505

LETTER OF TRANSMITTAL

(303) 242-5202 FAX (303) 242-1672

DATE	3-29-94	JOB NO.	
ATTENTION	SCOTT HODGES		
RE:	546 W. GUNNISON		

TO SCOTT HODGES CONSTRUCTION
2987 LASSEN COURT
GRAND JUNCTION, CO 81503

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Shop drawings
- Prints
- Plans
- Samples
- Specifications
- Copy of letter
- Change order
- _____

COPIES	DATE	NO.	DESCRIPTION
1			DRILL HOLE LOGS
1			DRILL HOLE LOCATION MAP
1			LABORATORY TEST RESULTS
1			INVOICE FOR WORK PERFORMED

THESE ARE TRANSMITTED as checked below:

- For approval
- For your use
- As requested
- For review and comment
- FOR BIDS DUE _____ 19 _____
- Approved as submitted
- Approved as noted
- Returned for corrections
- _____
- Resubmit _____ copies for approval
- Submit _____ copies for distribution
- Return _____ corrected prints
- PRINTS RETURNED AFTER LOAN TO US

REMARKS THE DRIVING & TESTING PROGRAM WAS IN ACCORDANCE
WITH INSTRUCTIONS RECEIVED FROM TOM CRONK ON 2-14-94

COPY TO _____ SIGNED: BRUCE D. MARVIN

If enclosures are not so noted, kindly notify us at once.

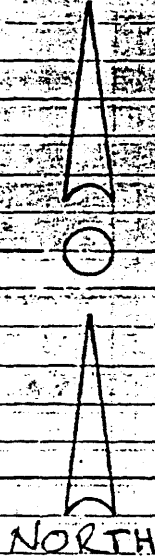
CLIENT / DESCRIPTION:

SCOTT HODGES CONSTRUCTION / DRILL
HOLE LOCATION MAP

W.O. 3633 PAGE 1 OF 1

BY: BDM DATE: 3-29-94

CONCRETE DRAINAGE PAN



125'

DRILL HOLE N° 2

60'

SIDEWALK

MALDONADO STREET

NOTE: DIMENSIONS ARE APPROXIMATE

DRILL HOLE N° 1

53'

52'

GUNNISON AVENUE



SUBSURFACE EXPLORATION

W. O. 3633 **DRILL HOLE LOG AND PENETRATION RESISTANCE** Page of
 Hole No. 1

Project Storage Building Project Ground Elev.
 Location 546 West Gunnison Ave. Depth to Water Table (Ft.) 4.3
 Drill Contract Western Engineers, Inc. Date Water Table Gaged 3-2-94
 Hole Logged by RWQ Hammer Weight 140 lb Height of Drop 30 inch Date 3-1-94

NOTES TYPE & SIZE OF HOLE TYPE OF BIT OR SPOON LOSS OF DRILLING WATER	CORE RECOVERY %	NO. BLOWS	MOISTURE %	SAMPLES FOR TESTING	DESCRIPTION AND CLASSIFICATION OF MATERIAL	DEPTH	LOG	PENETRATION RESISTANCE (BLOWS PER FOOT)						
								● ACTUAL	○ EXTRAPOLATED	20	40	60	80	
Dry Unit Weight = 98.4 Sample Non-Plastic % Gravel=3 % Sand=24 % Silt/Clay=73					Silt, sandy, clayey, some gravelly zones. Distinctly lensed with layers varying from silty clay to sandy gravel. Consisting primarily of sandy silts grading generally more sandy with depth. Dark Brown. Soft to very soft. Moist near surface to very wet at about 3 ft depth. Low dry strength. (ML-SM)	2								
			23	X		4								
			4	33			6							
			24	8			8							
							10							
			41				12							
			50	9										
						Bottom of Hole								

EXPLANATION

No. OF BLOWS..... RECORD NUMBER OF BLOWS REQUIRED FOR ONE FOOT PENETRATION IF 50 BLOWS RESULT IN LESS THAN 1 FOOT PENETRATION, RECORD DEPTH PENETRATED; THUS, 50/4 INDICATES 4 INCHES PENETRATION WITH 50 BLOWS.

DESCRIPTION AND CLASSIFICATION OF MATERIAL..... DESCRIBE SOIL TYPE, WITH EMPHASIS ON INPLACE OR NATURAL CONDITION. INCLUDE SOIL CLASSIFICATION GROUP SYMBOL. EXAMPLE: SAND; MEDIUM, CLEAN, MOIST, FIRM, DENSE, UNCEMENTED, (SP)

PENETRATION RESISTANCE..... PLOT AS SHOWN AT RIGHT, WITH DASHED LINES SHOWING THE MATERIAL CONSIDERED TO BE REPRESENTED BY EACH PENETRATION VALUE

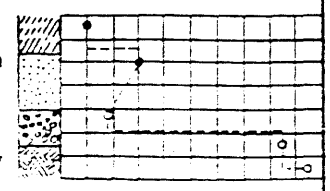


PLATE
WESTERN

W. O. 3633

SUBSURFACE EXPLORATION

BORE HOLE LOG AND PENETRATION RESISTANCE

Page _____ of _____
Hole No. 2

Project Storage Building Project

Ground Elev. _____

Location 546 West Gunnison Ave.

Depth to Water Table (Ft.) 4.6

Drill Contract Western Engineers, Inc.

Date Water Table Gaged 3-2-94

Hole Logged by RWQ

Hammer Weight 140

Height of Drop 30 inch

Date 3-1-94

NOTES TYPE & SIZE OF HOLE TYPE OF BIT OR SPOON LOSS OF DRILLING WATER	CORE RECOVERY %	NO. BLOWS	MOISTURE %	SAMPLES FOR TESTING	DESCRIPTION AND CLASSIFICATION OF MATERIAL	DEPTH	LOG	PENETRATION RESISTANCE (BLOWS PER FOOT)					
								● ACTUAL ○ EXTRAPOLATED					
								20	40	60	80		
					Silt, sandy, clayey, some gravelly zones, Distinctly lensed with layers varying from silty clay to sandy gravel. Consisting primarily of sandy silts grading generally more sandy with depth. Dark brown. Soft to very Soft. Moist near surface to very wet at about 3 ft depth. Low dry strength. (ML-SM)	2							
		5				4							
		7	31			6							
					Gravels, cobbles and boulders in a dense silty sand matrix. Some layers of dense clayey sands and fine gravels. Saturated. (GW-GP).	8							
						10							
		32				12							
		54	13										
					Bottom of Hole								

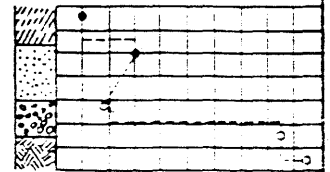
EXPLANATION

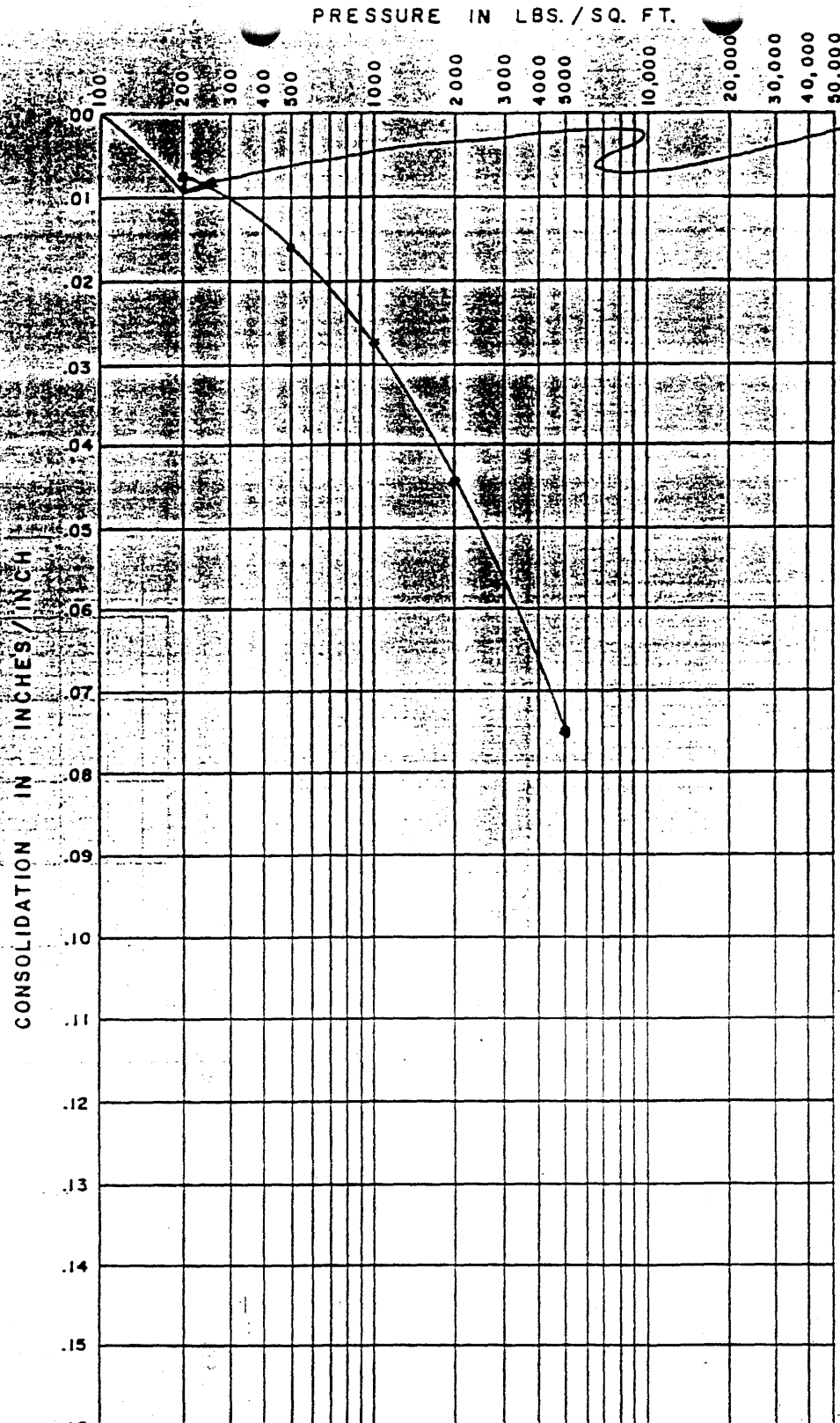
No. OF BLOWS..... RECORD NUMBER OF BLOWS REQUIRED FOR ONE FOOT PENETRATION IF 50 BLOWS RESULT IN LESS THAN 1 FOOT PENETRATION, RECORD DEPTH PENETRATED; THUS, 50/4 INDICATES 4 INCHES PENETRATION WITH 50 BLOWS.

DESCRIPTION AND..... DESCRIBE SOIL TYPE, WITH EMPHASIS ON INPLACE OR NATURAL CONDITION.

CLASSIFICATION OF MATERIAL..... INCLUDE SOIL CLASSIFICATION GROUP SYMBOL. EXAMPLE: SAND; MEDIUM, CLEAN, MOIST, FIRM, DENSE, UNCEMENTED, (SP)

PENETRATION..... PLOT AS SHOWN AT RIGHT, WITH DASHED LINES SHOWING THE MATERIALS RESISTANCE CONSIDERED TO BE REPRESENTED BY EACH PENETRATION VALUE.





sample wetted

BORING NO. AND DEPTH	SOIL TYPE	MOISTURE CONTENT		DRY DENSITY IN LBS./CU. FT.
		BEFORE	AFTER	
DH-1 at 3'-4'	SANDY SILT	23.1	24.9	98.4

546 WEST GUNNISON
CONSOLIDATION DATA

PLATE



HYDROMETER ANALYSIS

TIME READINGS

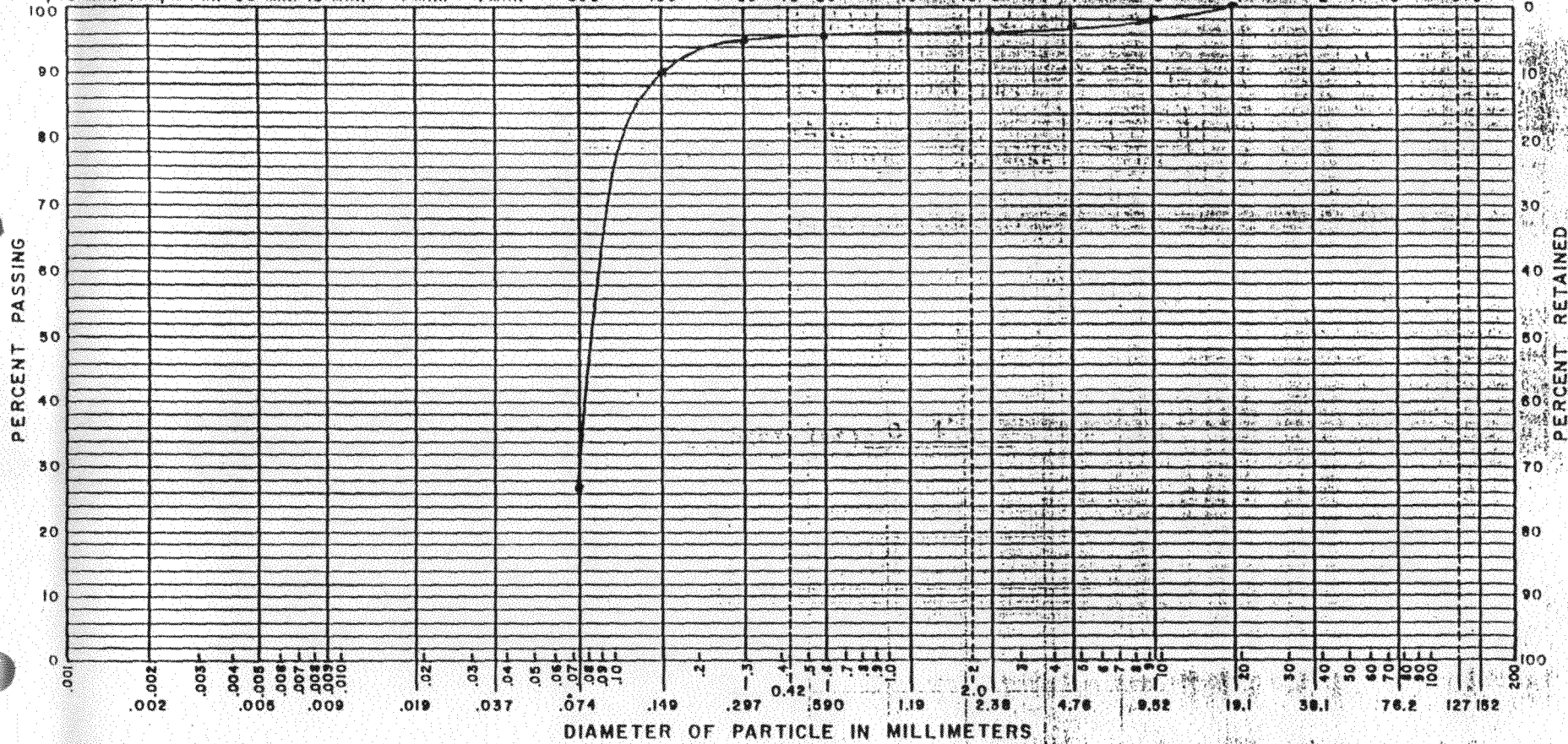
25 HR, 45 MIN. 7HR, 15 MIN. 60 MIN. 19 MIN. 4 MIN. 1 MIN.

SIEVE ANALYSIS

U.S. STANDARD SERIES

CLEAR SQUARE OPENINGS

#200 #100 #50 #40 #30 #16 #10 #8 #4 3/8" 1/2" 1" 1-1/2" 2" 3" 4" 6" 8"



CLAY (PLASTIC) TO SILT (NON-PLASTIC)	SAND			GRAVEL		COBBLES
	FINE	MEDIUM	COARSE	FINE	COARSE	

NOTES:

SAMPLE NON-PLASTIC

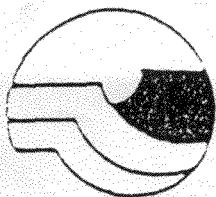
GRADATION TEST

PLATE

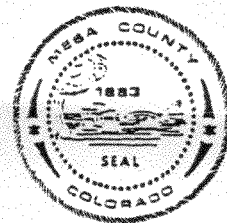
546 WEST GUNNISON

DESIGNATION _____ EXCAVATION NO. DH-1 DEPTH (FT.) 3'-4'





Mesa County Assessor



Mesa County Courthouse Annex P.O. Box 20,000-5003 Grand Junction, Colorado 81502-5003 (303) 244-1610

COMBINATION FORM or RETURN TO ORIGINAL PARCELS

EXISTING PARCEL NUMBER(S): 2945-151-11-001
2945-151-11-002

PROJECTED NEW PARCEL NUMBER(S):

Please be advised: THAT ANY NEW NUMBER(s) LISTED ABOVE IS NOT ABSOLUTELY GUARANTEED. THE NEW NUMBERS ARE SUBJECT TO CHANGE.

FROM SEPTEMBER 1 OF EACH YEAR, THERE IS NO GUARANTEE THAT THE ABOVE REQUEST WILL BE PROCESSED IN TIME FOR THE FOLLOWING JANUARY'S TAX NOTICE.

WE DO PROMISE TO PROCESS REQUESTS IN A TIMELY MANNER, AS OUR REGULAR FLOW OF WORK ALLOWS.

OWNER

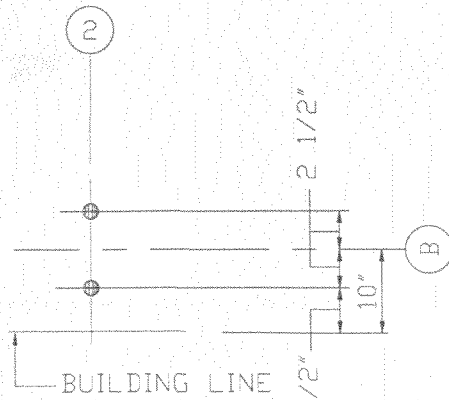
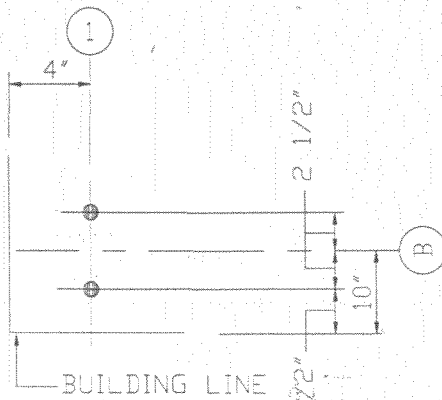
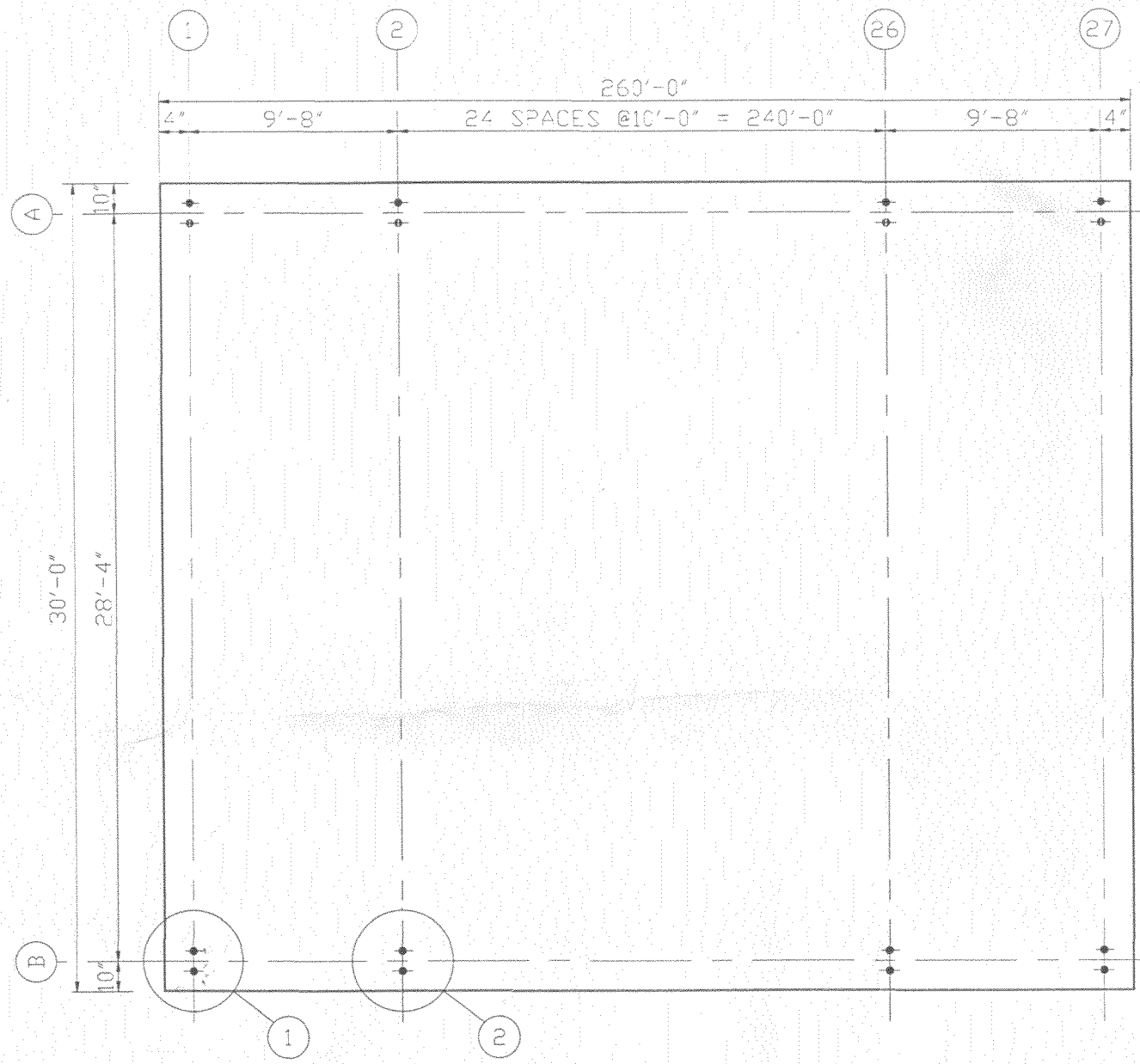
SIGNATURE : James P. Cogle, Jr.

PHONE NO: 245-2214

DATE: 7-26-94

DRAFTING TECH

SIGNATURE : Lavada F. Palmer



1 ANCHOR BOLTS AT CORNER COLUMNS

2 ANCHOR BOLTS AT SIDEWALL COLUMNS

COLUMN REACTIONS (KIPS)				
REACTIONS LOCATION		DEAD LOAD	LIVE LOAD	WIND LOAD
TRUSS	VER.	0.885	4.500	± 1960
	HOR.	0.352	2.066	± 1905

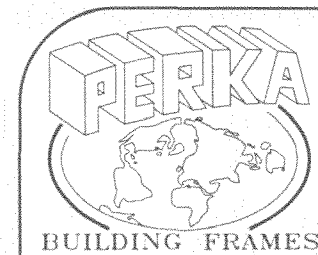
RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT
JUN 13 1994

GENERAL NOTES:

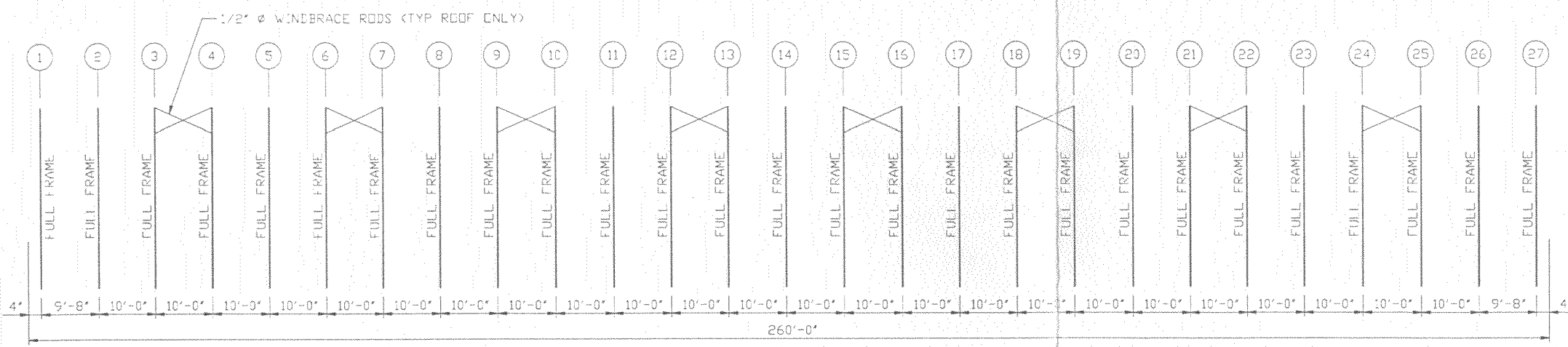
- THIS IS AN ANCHOR BOLT LAYOUT ONLY.
- THE OWNER IS RESPONSIBLE FOR THE FOUNDATION TO COMPLY WITH LOCAL BUILDING CODES.
- FOUNDATION DESIGN SHALL BE BASED ON THE COLUMN REACTIONS INDICATED AND THE SOIL BEARING CAPACITY.
- ANCHOR BOLTS TO BE 1/2" DIA. GRADE A307 UNLESS OTHERWISE NOTED.
- DESIGN DATA: LIVE LOAD = 30 psf.
WIND LOAD = 22 psf.
DEAD LOAD = 4 psf.
+ steel

NOTE:
WINDBRACE RODS TO BE LOCATED IN BAYS BETWEEN COLUMN LINES ③ & ④, ⑥ & ⑦, ⑨ & ⑩, ⑫ & ⑬, ⑮ & ⑯, ⑰ & ⑱, ⑳ & ㉑, ㉓ & ㉔

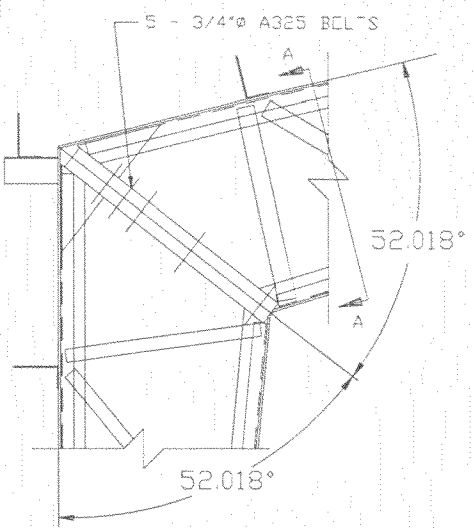
Stephen P. Maslany
 COLORADO REGISTERED
 PROFESSIONAL ENGINEER
 20029
 FEB 24 1994



U & L SANDWICHES GRAND JUNCTION, COLORADO		
ANCHOR BOLT LAYOUT		
SCALE: NTS	APPROVED BY:	DRAWN BY: TAR
DATE: 2/18/94		REVISED:
M4000		
30x10x260 @30 LL @10' BAYS		
CAD DRAWING NUMBER	PROJECT NUMBER	
1471-AB.DWG	FO-1471	

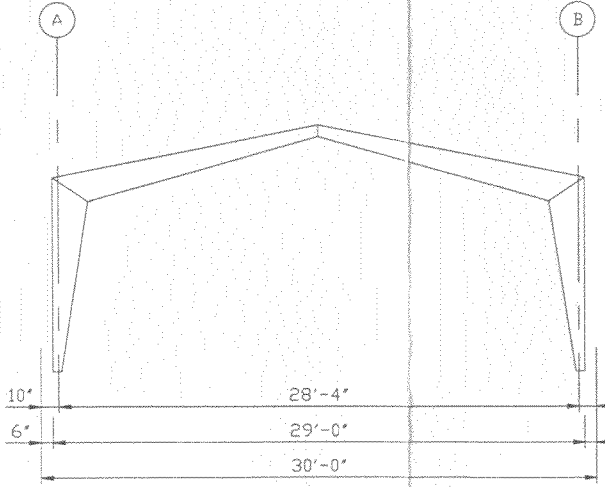


SIDEWALL ELEVATION
(TYPICAL BOTH SIDES)

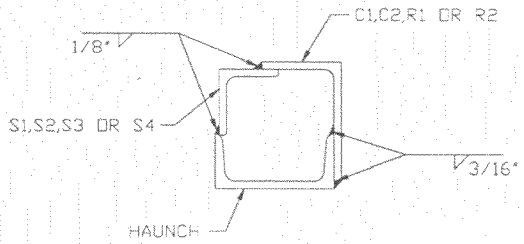


HAUNCH DETAIL

3:12 PITCH
14.036°

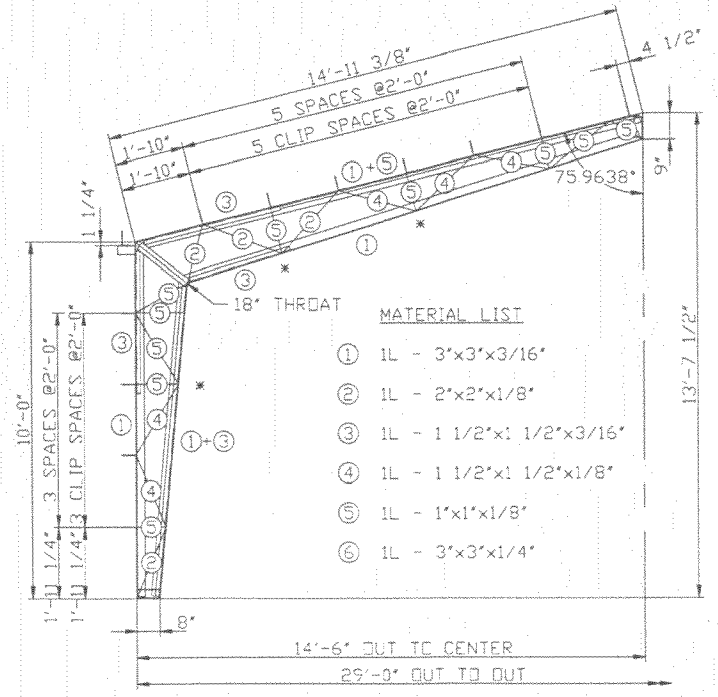


ENDWALL ELEVATION



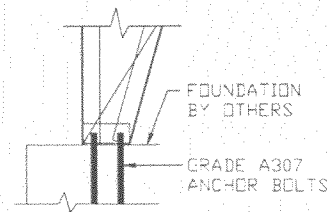
SECTION A-A

- GENERAL NOTES:**
- STRUCTURAL STEEL SHAPES & PLATES SHALL BE ASTM-A36.
 - ALL BOLTS TO BE GRADE A325.
 - ALL WELDS MUST DEVELOP FULL STRENGTH OF MEMBERS ATTACHED.
 - WELDS TO BE E70XX OR EQUAL.
 - CONCRETE SHALL DEVELOP 3000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
 - FRAME DESIGNED FOR 10'-0" MAX. SPACING.
 - DESIGN DATA:
 - LIVE LOAD = 30 psf.
 - WIND LOAD = 22 psf.
 - 90 mph
 - DEAD LOAD = 4 psf.
 - + steel

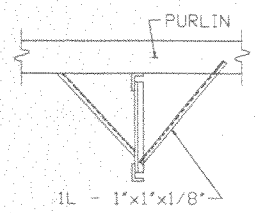


FRAME DETAIL

- MATERIAL LIST**
- ① 1L - 3"x3"x3/16"
 - ② 1L - 2"x2"x1/8"
 - ③ 1L - 1 1/2"x1 1/2"x3/16"
 - ④ 1L - 1 1/2"x1 1/2"x1/8"
 - ⑤ 1L - 1"x1"x1/8"
 - ⑥ 1L - 3"x3"x1/4"

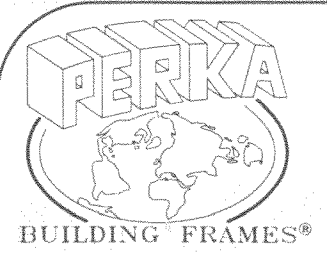


COLUMN BASE DETAIL



BRACING DETAIL (AT PTS. MARKED *)

Stephen P. Maslan
COLORADO REGISTERED PROFESSIONAL ENGINEER
 20023
 FEB 24 1994



J & L SANDWICHES GRAND JUNCTION, COLORADO		
ENGINEERING DRAWING		
SCALE: NTS	APPROVED BY	DRAWN BY: TAR
DATE: 2/18/94		REVISED:
M4300 30x10x260 @30 LL @10' BAYS		
DWG NUMBER: FO-1471	PROJECT NUMBER: FO-1471	

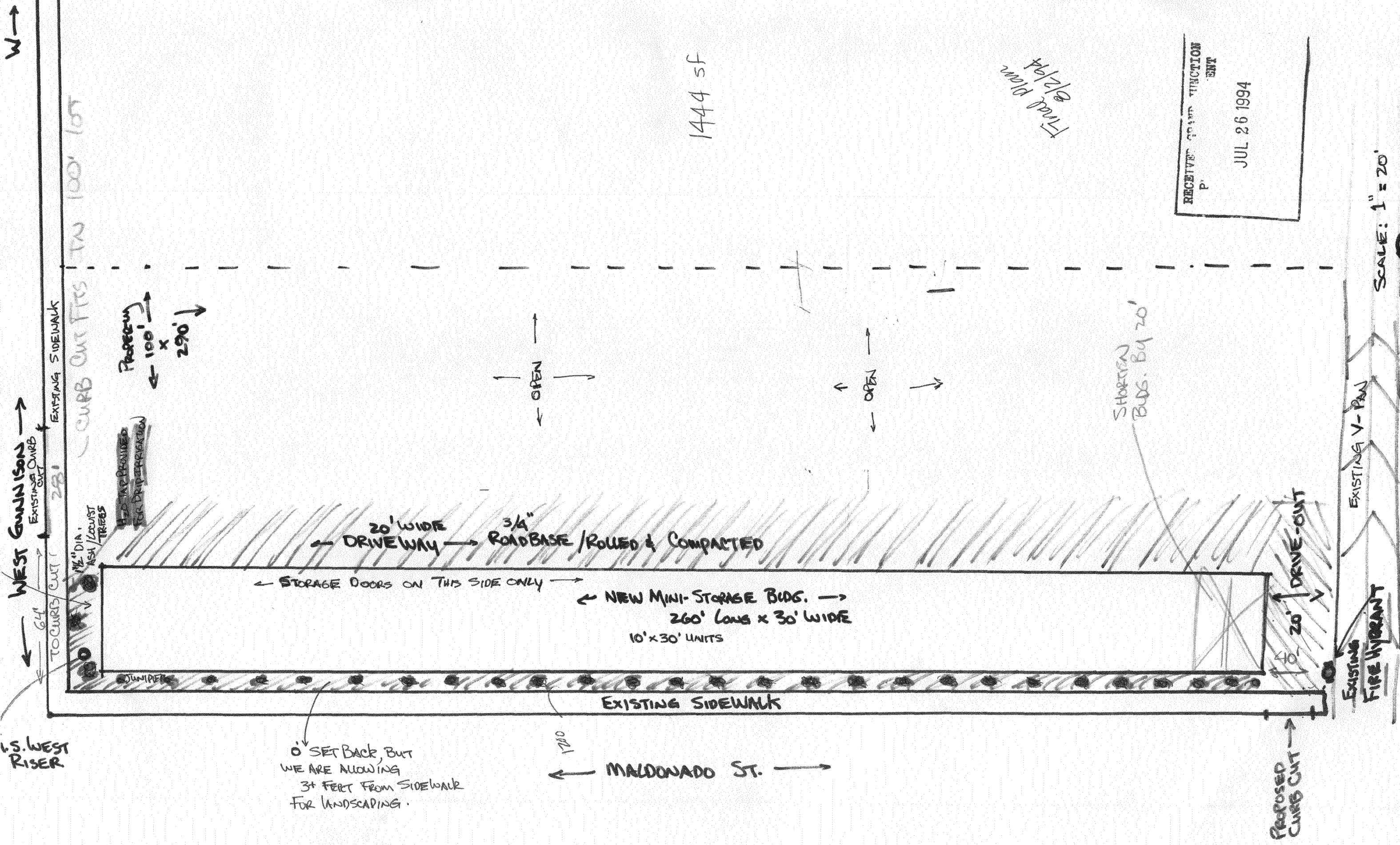
W →

1444 sf

Final plan
8/2/94

RECEIVED FOR THE FUNCTION
P. ENT
JUL 26 1994

SCALE: 1" = 20'



WEST GUNNISON →
EXISTING CURB CUT
28'

EXISTING SIDEWALK
CURB CUT FITS IN 100' LOT

Proposed
← 100' x 290'

H2O TAP PROVIDED FOR DRIP IRRIGATION

20' WIDE DRIVEWAY → 3/4" ROADBASE / ROLLED & COMPACTED

← STORAGE DOORS ON THIS SIDE ONLY →

← NEW MINI-STORAGE BLDG. →
260' LONG x 30' WIDE
10' x 30' UNITS

SHORTEN BLDG. BY 20'

20' DRIVE-OUT

EXISTING FIRE HYDRANT

EXISTING V-PAN

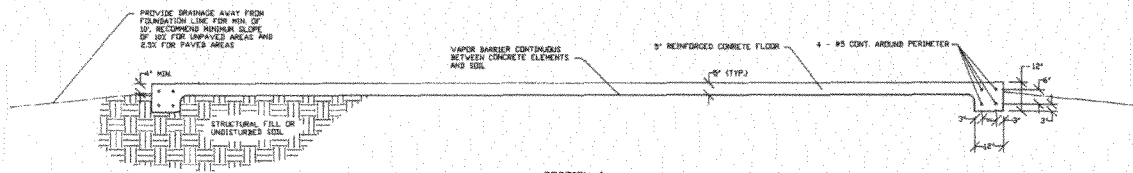
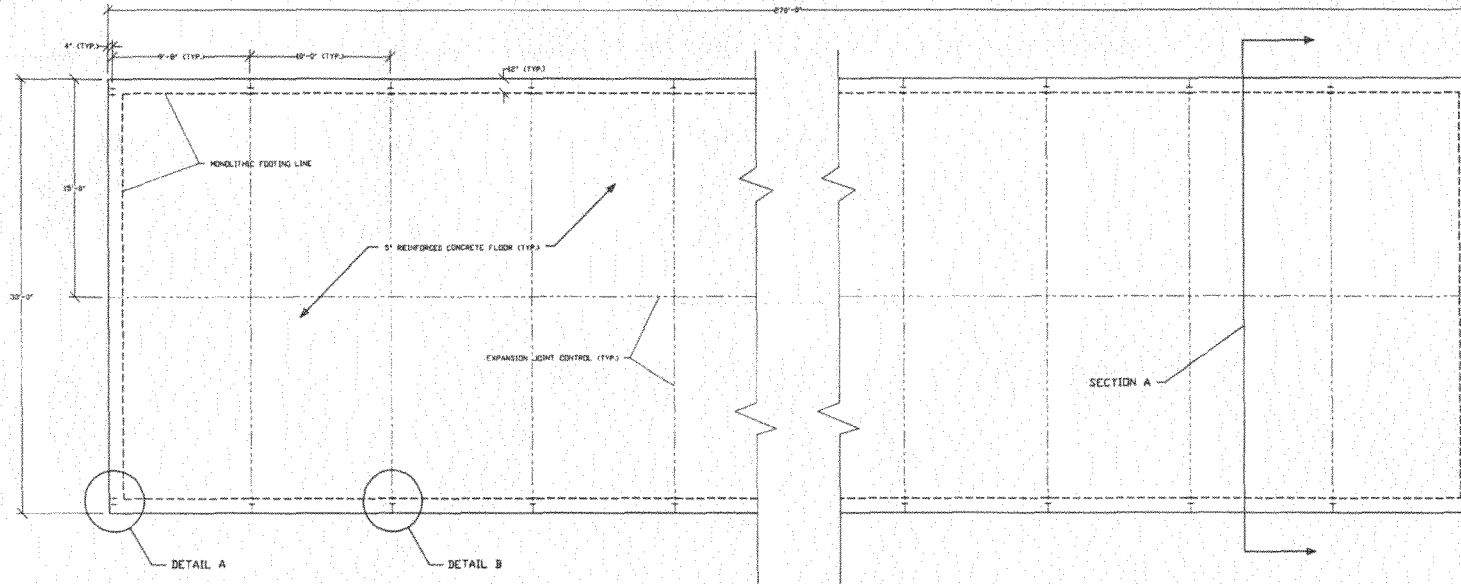
1/2" DIA. ASH LOCUST TREES

0' SET BACK, BUT WE ARE ALLOWING 3+ FEET FROM SIDEWALK FOR LANDSCAPING.

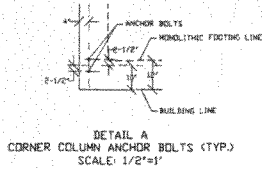
← MALDONADO ST. →

PROPOSED CURB CUT →

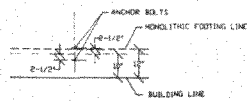




SECTION A
CROSS SECTION DETAIL
SCALE: 1/2"=1'



DETAIL A
CORNER COLUMN ANCHOR BOLTS (TYP.)
SCALE: 1/2"=1'



DETAIL B
SIDEWALL COLUMN ANCHOR BOLTS (TYP.)
SCALE: 1/2"=1'

TYPE OF DESIGN: COMMERCIAL
CONSTRUCTION: STEEL/WOOD
LOCATION: 546 W GUNNISON
SOIL TYPE: 10% CLAY/SANDY GRAVEL
BEARING CAPACITY: SURFACE - 1000 PAF BEARING
500 PAF (MOISTURE)

DESIGN CRITERIA: DESIGN LOADING
RUDF - 30/10/10 50 psf TOTAL
FLOW - 10/10/10 100 PAF TOTAL
WIND - 50 PAF, 90 MPH

NOTES

- ALL CONCRETE SHALL BE MINIMUM 3000 PSI TYPE II-V (SULFATE RESISTANT)
- ALL STEEL SHALL BE MINIMUM GRADE 60 AND PLACED IN ACCORDANCE WITH USC STANDARDS WITH A MINIMUM OF 3/8" OF CONCRETE COVER
- ALL STEEL SHALL BE SUPPORTED AT A MINIMUM OF 1" IT OVERLAP BY 170%
- MINIMUM LAP FOR CONTINUOUS REINFORCING STEEL SHALL BE 26 IN WHICH SPACES IN STRAIGHT SHALL HAVE AN 18 IN. OVERLAP IN CORNER
- ALL SLABS SHALL HAVE EXPANSION JOINTS WHERE ADJOINING STRUCTURAL CONCRETE ELEMENTS AND SHALL BE REINFORCED WITH FIBERGLASS REINFORCING MESH OR #3 REBAR PLACED ON TOP GRID. EXPANSION JOINTS IN OPEN FLOOR AREAS SHALL BE CUT OR PAVED AND SHALL BE PLACED TO HYPERDOME
- ALL CONCRETE ELEMENTS SHALL BE PLACED ON UNDISTURBED SOIL OR COMPACTED FILL PLACED IN 6" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY (ASTM D-1557)
- CONCRETE SHALL NOT BE POURED ON FROZEN SOIL
- ADEQUATE DRAINAGE SHALL BE PROVIDED TO CHANNEL SURFACE WATER FLOWS AWAY FROM THE BUILDING FOUNDATION LINE FOR A MINIMUM DISTANCE OF 10 FT.
- RECOMMENDED SLOPE OF 1/2" FOR UNPAVED AREAS AND 1/8" FOR PAVED AREAS.
- THE FOUNDATION EXCAVATION AND FORMS SHALL BE INSPECTED PRIOR TO PLACEMENT OF CONCRETE
- PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR REQUIRED INSPECTIONS
- A REPRESENTATIVE OF WESTERN ENGINEERS SHALL BE CONTACTED TO INSPECT THE EXCAVATION PRIOR TO PLACEMENT OF CONCRETE FORMS TO CONFIRM THE GEOTECHNICAL DESIGN PARAMETERS ARE AS ANTICIPATED

INSPECTIONS

EXCAVATION _____ DATE _____

FOOTING _____ DATE _____

FORMS/STEEL _____ DATE _____

AS-BUILT IN ACCORDANCE WITH _____ DATE _____

PLANS AND SPECIFICATIONS _____ DATE _____



PAGE _____ OF _____
DRAWN TAC DATE 04/18/94
REVISED _____ DATE _____
CHECKED _____ DATE _____
APPROVED _____ DATE _____

PROJECT: SCOTT HODGES CONSTRUCTION
REFERENCE: FOUNDATION PLAN
PROJECT LOCATION: 546 WEST GUNNISON
DATE: GRAND JUNCTION, CO 81505
SCALE: APRIL 18, 1994
PREPARED BY: TOM A. CRENK

CONK CONSTRUCTION INCORPORATED
1229 - 24 - ROAD
GRAND JUNCTION, CO 81505
393-243-0577

1994-08-00