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File 1994-0030

Name: Knights of Columbus – 2853 N. Ave. -SPR /RevPermit

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
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X	X	Table of Contents
		*Review Sheet Summary
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		Review Sheets
X		Receipts for fees paid for anything
X	X	*Submittal checklist
X	X	*General project report
		Reduced copy of final plans or drawings
X		Reduction of assessor's map.
		Evidence of title, deeds, easements
		*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
X	X	*Petitioner's response to comments
X	X	*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	City Council Minutes – 4/20/94 - **	X	X	Resolution No 33-94 - **
X	X	Correspondence	X		Listing Package from Western CO Title Co. – 2/8/94
X		Tax Information	X		Deed of Trust – Bk 1653 / Pg 500 – not conveyed to City
X	X	Drainage Report	X	X	Landscape Plan – to be scanned
X	X	Department Comments	X		Topographic Map
X	X	DIA – Bk 2064/Pg 594 and Bk 2099 / Pg 841– Release – Bk 2155 / Pg 201 and Bk 2081 / Pg 361- ** - to be scanned	X		Floor Plan
X	X	State Hwy Access Permit Information and Billing	X		Elevations and Details
X		Lease between David Wood and Mesa Assets Holding Corp. – Bk 2064 / Pg 597	X		Elevations and Schedules
X	X	Warranty Deed - Bk 2064 / Pg 595	X	X	Site Plans

SUBMITTAL CHECKLIST

SITE PLAN REVIEW/REV PERMIT

Location: 2853 North Avenue

Project Name: Knights of Columbus

ITEMS		DISTRIBUTION																TOTAL REQD.						
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City Downtown Dev. Auth. - Police	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District	Sewer District	U.S. West	Public Service		GVRP	CDOT	Corps of Engineers	Walker Field	FDV/FC/DC Dist No.	
● Application Fee	VII-1	1																						
● Submittal Checklist*	VII-3	1																						
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																						
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1		1			1																	
○ Appraisal of Raw Land	VII-1	1		1	1																			
● Deeds - Warranty	VII-1	1		1			1																	
○ Easements	VII-2	1	1	1	1		1																	
○ Aviation Easement	VII-1	1		1			1																	
○ ROW	VII-3	1	1	1	1		1																	
○ Improvements Agreement/Guarantee	VII-2	1	1	1			1																	
○ CDOT Access Permit	VII-3	1	1																					
○ Industrial Pretreatment Sign-off	VII-4	1	1																					
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Elevation Drawing / Floorplan	IX-13	1	1				1			1														
● Site Plan	IX-29	2	2	1	1																			
● 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan	IX-16	1	2									1												1
○ Storm Drainage Plan and Profile	IX-30	1	2									1				1	1	1						
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1						1	1	1	1	1	1							
○ Roadway Plan and Profile	IX-28	1	2									1												
○ Road Cross-Sections	IX-27	1	2																					
○ Detail Sheet	IX-12	1	2																					
● Landscape Plan	IX-20	2	1	1																				
○ Geotechnical Report	X-8	1	1							1														
○ Final Drainage Report	X-5.6	1	2									1												
○ Stormwater Management Plan	X-14	1	2									1												1
○ Phase I and II Environmental Report	X-10,11	1	1																					
○ Traffic Impact Study	X-15	1	2																					1

12 TOTAL REQD.

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

PRE-APPLICATION CONFERENCE

Date: 2/15/94
Conference Attendance: State Colony, Kristen Ashbeck
Proposal: Knights of Columbus
Location: 2853 North Avenue

Tax Parcel Number: 2943-181-01-972
Review Fee: \$145

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? Yes
Adjacent road improvements required? sidewalks
Area identified as a need in the Master Plan of Parks and Recreation?
Parks and Open Space fees required? Estimated Amount:
Recording fees required? -yes/deed Estimated Amount:
Half street improvement fees required? Estimated Amount:
Revocable Permit required?
State Highway Access Permit required?

Applicable Plans, Policies and Guidelines

Located in identified floodplain? FIRM panel #

Located in other geohazard area?

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?

Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Drainage, Floodplain/Wetlands Mitigation, Other, Screening/Buffering, Landscaping, Availability of Utilities, Land Use Compatibility, Traffic Generation, Geologic Hazards/Soils

Related Files:

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s)

Signature(s) of Representative(s)

PROJECT NARRATIVE
KNIGHTS OF COLUMBUS - NEW RECREATION HALL
2853 NORTH AVENUE
GRAND JUNCTION, COLORADO

The project is a new recreation hall for the local Knight of Columbus organization. The new facility will be constructed on their property on the east side of the existing facility. The existing facility and parking will be used until the new building is completed. At that time the old building will be demolished and new asphalt parking and concrete walks will be built in front of the new building.

The new facility will have a main assembly room, restrooms, commercial kitchen, offices and a ceremonial room. The main assembly room will be used for Friday night bingo, group meetings and occasionally as a reception hall. The kitchen may also be used as a commissary kitchen on a very limited basis. The facility will only be utilized an average of 3 to 4 days per week, and usually in the evenings.

The on site parking lot will meet the requirements for all uses in the main assembly hall. Parking agreements with adjoining commercial properties will be provided to meet the additional parking requirements of the ceremonial room. It is not anticipated, though, that the main assembly room and the ceremonial room will be used simultaneously at full capacity. Ceremonial gatherings will not be scheduled when the main assembly hall is being used by a large group, therefore, additional parking agreements with adjoining properties may never be fully utilized.

The ceremonial room finishes, lights and mechanical equipment will be bid into the project as alternates. Pending the costs of subcontractor bids, the ceremonial room may not be completed and usable with the rest of the building and may have to be finished at a future date. If this happens, parking agreements from the adjoining property owners would not be required at the time the new building is ready for occupancy. The agreements would then be required prior to the owner finishing the ceremonial room.

DRAINAGE REPORT

KNIGHTS OF COLUMBUS MEETING HALL

2853 NORTH AVENUE

CITY OF GRAND JUNCTION

Prepared For:

KNIGHTS OF COLUMBUS
2853 North Avenue
Grand Junction, Colorado 81501

Prepared By:

BANNER ASSOCIATES, INC.
2777 Crossroads Boulevard
Grand Junction, Colorado 81506

November 1993

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EXHIBIT B - SITE PLAN	14
EXHIBIT C - DRAINAGE PLAN	15

CERTIFICATION

I hereby certify that this Drainage Report for the Knights of Columbus Meeting Hall was prepared under my direct supervision.

David E. Chase
Registered Professional Engineer
State of Colorado, #24991

DRAINAGE REPORT

KNIGHTS OF COLUMBUS MEETING HALL

INTRODUCTION

The Knights of Columbus Meeting Hall is located at 2853 North Avenue as shown on the Vicinity Map that is included in this report as Exhibit A. The location can also be described as Lot 2, Meeks Subdivision and Tract 2 and Tract 3, NW ¼ of Section 18, Township 1 South, Range 1 East, Ute Principal Meridian, in the City of Grand Junction. The parcel is approximately 1.0 acres in size and is bounded by North Avenue on the north, a business complex on the west and on the east, and private residences on the south. The existing Knights of Columbus Meeting Hall building is approximately 3,550 s.f. in size, with approximately one quarter of the parcel consisting of gravel parking and the remaining area being asphalt parking and concrete walks.

It is proposed to replace the existing Knights of Columbus structure with a new building, larger in size, and relocate the new building to the east boundary of the parcel. The proposed meeting hall will encompass approximately 7,800 s.f., with approximately 2,500 s.f. of the parcel designated for landscaping and the remaining area being asphalt parking and concrete walks as illustrated on the Site Plan that is included in this report as Exhibit B. The current use of the establishment as a private organization meeting hall will not change. The topography is flat with surface grades ranging from 1.10% to 1.40% sloping downward to the south and west.

HYDROLOGY

North Avenue borders the parcel on the north and consists of an asphalt traveling surface with a concrete curb and gutter section that transports drainage westward to 28½ Road. Also bordering the parcel on the north is an open irrigation ditch which helps isolate the property from drainage introduced from the north. The business complex that exists to the west is surrounded in its entirety by an asphalt parking lot graded to drain to the west. Approximately 1900 s.f. of roof area drainage from this business complex is directed onto the Knights of Columbus property near the southwest corner of the parcel. The business complex on the east also contributes drainage to the site. Approximately 6500 s.f. of graveled surface area introduces runoff to the southeast corner of the Knights of Columbus property where it is then deflected to the west by a short earthen berm. It is recommended

by Banner Associates that the southern boundary of the property be improved by the installation of a concrete barrier curb to direct and transport runoff in its entirety to the southwest corner of the property. There is no runoff introduced from the south due to the natural topography of the land sloping to the south.

Runoff that will be collected at the southwest corner of the Knights of Columbus property is then conveyed to the south, along a projection of the west property line. A semi-circular earthen ditch, approximately 18 inches in diameter, transports drainage to Belford Avenue using an eight foot utility easement shown on the Replat of The Powell Apartments and Business Center on record in the office of Clerk and Recorder in Plat Book 11, Page 335. A Topographic Map is included in this report, as Exhibit C, illustrating the drainage flow path and contributing areas of runoff to the site.

Calculations were performed to determine historical runoff from this site for a 10-year frequency and 100-year frequency storm event. These calculations were in accordance with "Mesa County Storm Drainage Criteria Manual" adopted in 1992 and are included in Appendix A. Runoff from the site was estimated by the Rational Method as outlined in the aforementioned manual.

HYDRAULICS

Although the existing building will be replaced with a larger and relocated building, the drainage characteristics of the site will remain virtually the same. The existing building area will be replaced with an asphalt mat that is to be graded to match the existing asphalt surface.

Along with the relocation of a new meeting hall building, it is planned by Knights of Columbus to construct a concrete wall, approximately 4 feet in height, along the entire length of the east property line. The proposed wall will act as a retaining wall at the south end of the parcel and as such may prevent the natural drainage path from the area east of the Knights of Columbus property. If a retaining wall is constructed, an allowance should be made that would not disrupt the natural drainage flow pattern from this adjacent property. There appears, however, the possibility of maintaining the runoff from this property from discharging onto the Knights of Columbus property. With some minor grading it could be directed to the on site drainage facilities that currently are in place.

Since the developed discharge from the site will not be increased no detention for runoff will be required as shown in calculations in Appendix A for. This seemingly uncommon characteristic is partly due to the requirement for landscape features that currently do not exist.

CONCLUSION

The replacement and relocation of the Knights of Columbus Meeting Hall, if constructed as proposed should have no adverse affects relating to drainage in this area. Calculations were performed to determine the capacity of the existing earthen ditch and illustrate that the 100-year frequency storm should be conveyed by this existing channel. Banner Associates recommends that the drainage flow path near the southwest corner of the property be better defined to transition into the earth ditch.

APPENDIX A
CALCULATIONS

JOB NO. 8017-96
JOB KNIGHTS OF COLUMBUS
CALCULATED BY LES DATE 11-23-93
CHECKED BY _____ DATE _____

SHEET NO. 1 OF 1

PRE-DEVELOPED CONDITION

ON-SITE DRAINAGE AREA, $A_T = 0.96 \text{ AC.}$

SUB-AREA A $A_T = 0.96 \text{ AC.}$

BLDG. (ROOF) 3557 s.f. = 0.08
DRIVE AND WALKS = 0.64
GRAVEL = 0.24

SUB-AREA B $A_T = 0.04 \text{ AC.}$ = 1.15 AC.

BLDG. (ROOF) 1890 s.f. = 0.04

SUB-AREA C $A_T = 0.15 \text{ AC.}$

GRAVEL = 0.15

POST-DEVELOPED CONDITION

SUB-AREA A $A_T = 0.96 \text{ AC.}$

BLDG. (ROOF) 7800 s.f. = 0.18
DRIVE AND WALKS = 0.72
LANDSCAPING = 0.06

SUB-AREA B $A_T = 0.04 \text{ AC.}$

BLDG. (ROOF) 1890 s.f. = 0.04

SUB-AREA C $A_T = 0.15 \text{ AC.}$

GRAVEL = 0.15

JOB NO. _____

JOB KNIGHTS OF COLUMBUS

CALCULATED BY SES DATE 11-23-93

CHECKED BY _____ DATE _____

SHEET NO. 1 OF 3

DRAINAGE CALCULATIONS

PRE-DEVELOPED

<u>DRAIN AREA</u>	$A_T = 1.15 A_c$	C_{10}	C_{100}
ROOFS	0.12	0.90	0.95
DRIVES/WALKS	0.64	0.90	0.95
GRAVEL	0.39	0.80	0.85

$$C_c = \frac{0.90(0.12) + 0.90(0.64) + 0.80(0.39)}{1.15}$$

$$C_{10} = 0.87$$

$$C_{100} = 0.92$$

T_c CALCULATION

CALCULATE T_c FOR 3 SITUATIONS:

1. FROM NE CORNER TO WEST, THEN SOUTH
2. FROM NE CORNER TO SOUTH, THEN TO WEST
3. FROM FARTHEST POINT EAST IN GRAVEL LOT, SOUTH OF GREASE MONKEY, THEN TO WEST.

1ST SITUATION

$$T_c = 1.8(1.1 - C_{10})L^{0.5}S^{-0.33}$$

SHEET FLOW FROM NE CORNER TO WEST

$$L = 215' \quad S = 100 - 97.2 / 215 = 1.30\% \quad C_{10} = 0.90$$

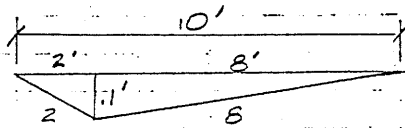
$$T_c = 1.8(1.1 - 0.90)(215)^{0.5}(1.30)^{-0.33} = 4.84 \text{ min.}$$

CHANNEL FLOW IN ASPHALT SWALE

$$L = 128' \quad N = 0.016 \quad S = 97.2 - 96.4 / 128 = 0.63\%$$

JOB NO. _____
 JOB KNIGHTS OF COLUMBUS
 CALCULATED BY SES DATE _____
 CHECKED BY _____ DATE _____

SHEET NO. 2 OF 3



$$A = \frac{1}{2}(10 \times 1.1) = 0.5 \text{ ft}^2$$

$$P = 10 \text{ ft}$$

$$r_H = 0.5/10 = 0.05 \text{ ft}$$

$$V = \frac{1.49}{n} (r_H)^{2/3} (s)^{1/2} = \frac{1.49}{0.016} (0.05)^{2/3} (0.0063)^{1/2} = 1 \text{ fps}$$

$$T = L/V = 128 \text{ ft} / 1 \text{ fps} = 128 \text{ sec.} = 2.13 \text{ min.}$$

TOTAL $T_c = 7.0 \text{ min.}$

2ND SITUATION

SHEET FLOW FROM NE TO SOUTH.

$$L = 38' \quad S = 100 - 99.5 / 38 = 1.32\% \quad C_{10} = 0.90$$

$$T_c = 1.8 (1.1 - 0.90 \times 38)^{.5} (1.32)^{-.33} = 2.02 \text{ min.}$$

SHEET FLOW OVER GRAVEL TOW. SOUTH

$$L = 164' \quad S = 99.5 - 98 / 164 = 0.91\% \quad C_{10} = 0.80$$

$$T_c = 1.8 (1.1 - 0.80 \times 164)^{.5} (0.91)^{-.33} = 7.13 \text{ min.}$$

CHANNEL FLOW IN ASPHALT SWALE

$$\text{ASSUME } V = 1.5 \text{ fps} \quad T = 152 \text{ ft} / 1.5 \text{ fps} = 101.3 \text{ sec}$$

$$= 1.69 \text{ min.}$$

TOTAL $T_c = 10.8 \text{ min.}$

JOB NO. _____
JOB KNIGHTS OF COLUMBUS
CALCULATED BY SES DATE _____
CHECKED BY _____ DATE _____

SHEET NO. 3 OF 3

3RD SITUATION

SHEET FLOW FROM EAST FOR 70 ft
 $L = 70'$ $S = 1.26\%$ $C_{10} = 0.80$

$$T_c = 1.8(1.1 - 0.80 \times 70)^{1.5} (1.26)^{-1.33} = 4.19 \text{ min.}$$

CHANNEL FLOW TO WEST FOR 60'
ASSUME $V = 1.5 \text{ fps}$

$$T = L/V = 60 \text{ ft} / 1.5 \text{ fps} = 40 \text{ sec} = 0.67 \text{ min.}$$

CHANNEL FLOW TO WEST TO SW COR. FOR 220'
ASSUME $V = 1.5 \text{ fps}$

$$T = L/V = 220 / 1.5 = 147 \text{ sec} = 2.44 \text{ min.}$$

$$\underline{\underline{\text{TOTAL } T_c = 7.3 \text{ min.}}}$$

∴ FOR THIS SMALL AREA, USE SMALLEST

$T_c \Rightarrow$ HIGHEST INTENSITY

$$T_c = 7.0 \text{ min.}$$

$$C_{10} = 1.9 \text{ in/hr}$$

$$C_{100} = 4.1 \text{ in/hr}$$

$$Q = C \cdot A$$

$$Q_{10} = 0.87(1.9 \times 1.15)$$

$$Q_{100} = 0.92(4.1 \times 1.15)$$

$$Q_{10} = 1.90 \text{ cfs}$$

$$Q_{100} = 4.34 \text{ cfs}$$

JOB NO. _____
 JOB KNIGHTS OF COLUMBUS
 CALCULATED BY SES DATE 11-23-93
 CHECKED BY _____ DATE _____

SHEET NO. 1 OF 3

DRAINAGE CALCULATIONS

POST-DEVELOPED

<u>DRAIN AREA</u>	$A_T = 1.15 A_C$	C_{10}	C_{100}
BUDGS. (ROOF)	0.22	0.90	0.95
DRIVE AND WALKS	0.72	0.90	0.95
LANDSCAPING	0.06	0.30	0.40
GRAVEL	0.15	0.80	0.85

$$C_c = \frac{0.90(0.22) + 0.90(0.72) + 0.30(0.06) + 0.80(0.15)}{1.15}$$

$$C_{10} = 0.86$$

$$C_{100} = 0.91$$

T_c CALCULATION

1ST SITUATION.

$$T_c = 1.8(1.1 - C_{10})L^{0.5}S^{-0.33}$$

SHEET FLOW FROM NE TO SW FOR 28' (Asphalt)

$$L = 28' \quad S = 1.07\% \quad C_{10} = 0.90$$

$$T_c = 1.8(1.1 - 0.90)(28)^{0.5}(1.07)^{-0.33} = 1.86 \text{ min.}$$

CHANNEL FLOW IN ASPHALT GUTTER FOR 100'

$$L = 100' \quad \text{ASSUME } V = 1.5 \text{ fps}$$

$$T = L/V = 100/1.5 = 66.67 \text{ sec} = 1.11 \text{ min.}$$

SHEET FLOW TO WEST-SW FOR 102' ON ASPHALT

$$L = 102' \quad S = 1.47\% \quad C_{10} = .90$$

$$T_c = 1.8(1.1 - 0.90)(102)^{0.5}(1.47)^{-0.33} = 3.20 \text{ min.}$$

JOB NO. _____
 JOB KNIGHTS OF COLUMBUS
 CALCULATED BY eds DATE _____
 CHECKED BY _____ DATE _____

SHEET NO. 2 OF 3

CHANNEL FLOW IN ASPHALT SWALE FOR 128'
 $L = 128$ $S = 0.63$ $n = 0.016$

SAME AS PRE-DEVEL. SITUATION FOR THIS
 AREA OF DRAINAGE PATH,

$$A = 0.5 \text{ ft}^2 \quad P = 10 \text{ ft} \quad r_H = .5/10 = .05 \text{ ft}$$

$$V = \frac{1.49}{.016} (1.05)^{2/3} (.0063)^{1/2} = 1 \text{ ft/s}$$

$$T = L/V = 128/1 = 128 \text{ sec} = 2.13 \text{ min.}$$

$$\text{TOTAL } T_c = 8.30 \text{ min.}$$

2ND SITUATION

SAME AS 3RD SITUATION FOR PRE-DEVELOPED
 DRAINAGE CALCULATIONS,

$$\underline{T_c = 7.3 \text{ min}}$$

\therefore USE $T_c = 7.0 \text{ min}$

$$i_{10} = 1.9 \text{ in/hr} \quad i_{100} = 4.1 \text{ in/hr}$$

$$Q = C i A$$

$$Q_{10} = 0.86 (1.9 \times 1.15)$$

$$Q_{100} = 0.91 (4.1 \times 1.15)$$

$$Q_{10} = 1.88 \text{ cfs}$$

$$Q_{100} = 4.29 \text{ cfs}$$

JOB NO. _____

JOB KNIGHTS OF COLUMBUS

CALCULATED BY Seb DATE _____

CHECKED BY _____ DATE _____

SHEET NO. 3 OF 3

EARTH DITCH CAPACITY (EXISTING)!

FLOWING FULL, SEMI-CIRCULAR

$$D = 1.50, d = 0.750', d/D = 0.50$$

$$A = 0.8836 \text{ ft}^2$$

$$\text{HYDR. RADIUS} = 0.3750 \text{ ft}$$

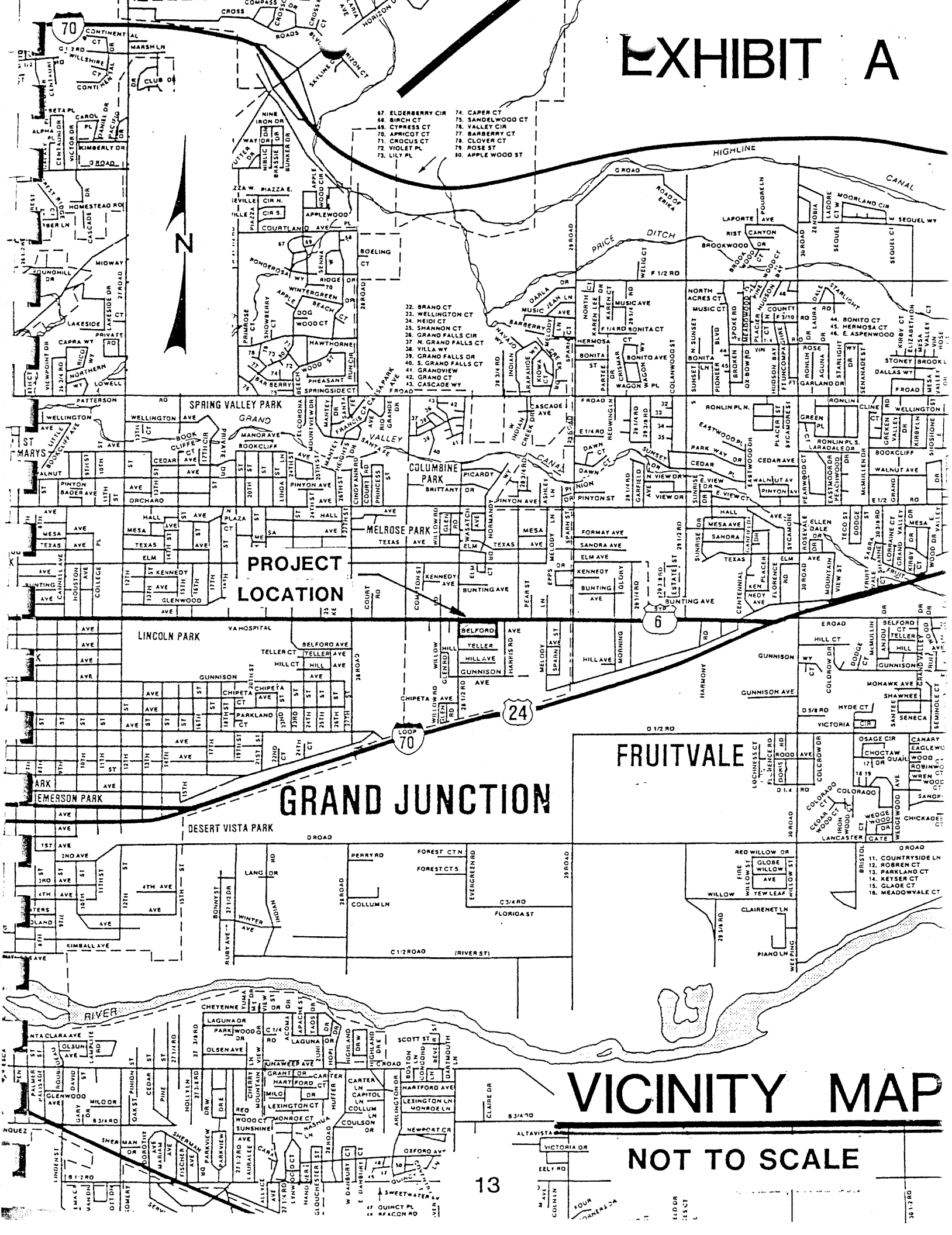
Assume $n = 0.018$ (smooth earth)

$$S = 0.0166 \text{ ft/ft}$$

$$Q = \frac{1.49}{0.018} (0.8836 \times 0.3750)^{2/3} (0.0166)^{1/2}$$

$$Q = 4.90 \text{ cfs} > Q_{100} = 4.34 \text{ cfs}$$

EXHIBIT A



**PROJECT
LOCATION**

GRAND JUNCTION

FRUITVALE

VICINITY MAP

NOT TO SCALE

EXHIBIT B

NORTH AVENUE

REMOVE APPROACH
INSTALL NEW CURB

NEW WALK

NEW PIPE & OPEN IRRIGATION DITCH

10'-0" R.O.W.
DEDICATION

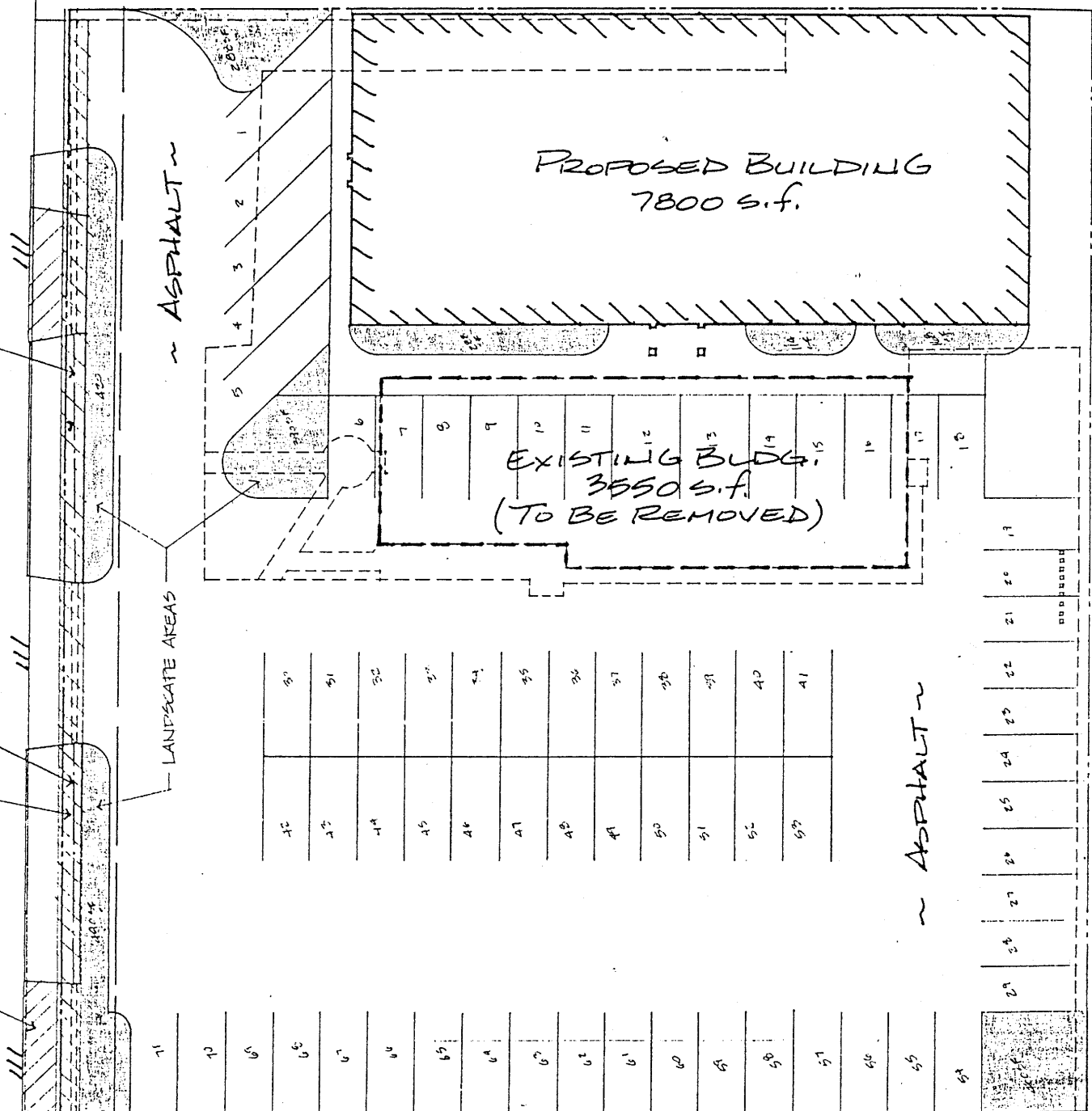
LANDSCAPE AREAS

~ ASPHALT ~

~ ASPHALT ~

PROPOSED BUILDING
7800 S.F.

EXISTING BLDG.
3550 S.F.
(TO BE REMOVED)



REVIEW COMMENTS

Page 1 of 3

FILE #30-94

TITLE HEADING: Site Plan Review & Revocable
Permit - Knights of Columbus

LOCATION: 2853 North Avenue

PETITIONER: Alpine C.M., Inc.

PETITIONER'S ADDRESS/TELEPHONE: 1111 S. 12th Street
Grand Junction, CO 81501
245-2505

PETITIONER'S REPRESENTATIVE: Steve Colony

STAFF REPRESENTATIVE: Kristen Ashbeck

NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.

MESA COUNTY BUILDING DEPARTMENT 2/25/94
Bob Lee 244-1656

No comments. Plans are in for plan review.

CITY UTILITY ENGINEER 2/28/94
Bill Cheney 244-1590

Based on information supplied by the Architect the following applies:

1. Sewer - an additional 0.8 E.Q.U. (equivalent residential units) will be applied for the kitchen facilities resulting in an additional "Plant Investment Fee" of \$600, payable at the time the sewer clearance is requested.
2. Water - An additional tap fee of \$2,650 will be required in going from 5/8" x 3/4" to 1 1/2" service.
3. Location of available fire hydrants may be an issue. Check with Grand Junction Fire Department.
4. A grease trap to service the kitchen shall be required. Contact the Industrial Pretreatment Coordinator at 244-1489 for size requirements.

U.S. WEST 3/1/94
Leon Peach 244-4964

No comments at this time.

COMMUNITY DEVELOPMENT DEPARTMENT
Kristen Ashbeck

3/3/94
244-1437

See attached comments.

CITY DEVELOPMENT ENGINEER
Jody Kliska

244-1591

See attached comments

FIRE DEPARTMENT
George Bennett

3/3/94
244-1414

A fire flow survey needs to be conducted to determine the flow requirements and if any fire protection is required. Submit a complete set of building plans to include a site plan to scale.

PUBLIC SERVICE
Mike Richardson

3/4/94
244-2690

No objections at this time.

FRUITVALE LATERAL & WASTE DITCH CO.
Gerald L. Hill

3/5/94
243-6402

1. **NO** additional storms/surface drainage into this Associations irrigation system to the south of this proposed site will be allowed. Owner/Developer must take appropriate steps to prevent any additional drainage from entering the Association system.
2. Pipe to be installed in irrigation ditch on north boundary must be PVC blue brute type pipe. Corrugated or concrete pipe will not be allowed. Pipe must be installed to conform to existing grade and be covered with appropriate (3" minimum) concrete thickness.
3. Owner/Developer must install one each 2'D x 2'W x 3'L concrete clean-out in conjunction with installation of new PVC blue brute irrigation pipe. Clean-out must have a 1/2" thick steel lockable cover, level with finished surface of surrounding area. A round cast iron manhole cover would be acceptable if the rectangular clean-out is not possible.
4. Blue brute irrigation pipe must be the same I.D. as existing pipe. The new pipe must be installed and inspected (by the Association) no later than April 15, 1994. The irrigation water will be in the system by that date and the association cannot turn it off after that date due to our responsibility to deliver water to association members.
5. Be advised that the irrigation ditch/pipe on North Ave. serves as a storm drain from 28 1/4 Road east to 29 Road at this time. Precautions need to be taken in the event of a heavy rainfall during installation of the new pipe.
6. Your office must provide us more than three days review time on future projects. I know that you require much more than that prior to approval of a project. We would like the same courtesy extended to us. This project has already begun (site prep. & pilings installed) two days before we received the review documents and you have had "0" input from this Association. You should review Colorado Water Law before you make any assumptions relative to irrigation systems and held water rights.

LATE COMMENTS

COLORADO DEPARTMENT OF TRANSPORTATION
R.Perske/J.Nall/W.Spanicek and C.Dunn

3/11/94
248-7232

An access permit will be required.

GENERAL

1. Comments will be forthcoming from the Fruitvale Lateral and Waste Ditch Company.
2. A Warranty Deed is required to dedicate the 10 feet of North Avenue right-of-way. Once right-of-way is dedicated, this item will be scheduled before City Council for hearing on the revocable permit for landscaping in the right-of-way.

PARKING/CIRCULATION

1. In order to determine the parking requirement, what is the occupancy of each of the main rooms--the Assembly Room and the Meeting Room?
- ? 2. If determined necessary, parking "agreements" must be in the form of a 20-year lease--see attached example.
- P 3. Provide for vehicular circulation between the K of C parking lot and the property to the west.
- Y 4. The western row of parking stalls should have wheel stops to prevent damage to neighboring building.
- P 5. What is the distance between eastern-most proposed curb cut and the existing Grease Monkey curb cut? If too close, this second access may need to be closed.
6. Due to the existing median in North Avenue, both access points will be right-in/right-out only. Signage may be needed to indicate "No Left Turn" at exits--contact. Public Works Department.

Signage still required @ 1

LANDSCAPING

1. Total landscape requirement to be provided on site is 1,930 square feet, of which approximately 1,300 square feet is shown. The landscaping within the dedicated North Avenue right-of-way can be counted towards meeting this balance if it is determined that the right-of-way will not likely be utilized by the City. Please contact the City Engineer concerning this question. If it is not likely to be used and the landscaping can count towards the total requirement, some additional landscaping must still be provided on site. Suggest an end-island (minimum 5' x 40') on the north side of the middle parking bay. If it is likely to be used, all of the landscape requirement must be provided on site.

Still do!

2. Minimum planting size for shrubs is 5 gallon (plan indicates 2 gallon).
3. Need more detailed information on plant species.
4. Watering plantings by hand is not acceptable, particularly for the areas that will be along North Avenue, in the southwest corner of the site, and at the northeast corner of building. The Zoning and Development Code requires an underground, pressurized irrigation system for all landscaped areas.

OTHER

1. Since most activity is expected to be at night, provide lighting in the parking lot. Indicate on the Site Plan where it is to be located and provide a detail of the standard to be used.
2. An Improvements Agreement and Guarantee is required for improvements in the public right-of-way (sidewalk and drives) and for landscaping/irrigation. The latter is only required if it will not be installed prior to issuance of a Certificate of Occupancy. Guarantee is by cash in escrow or a Letter of Credit.

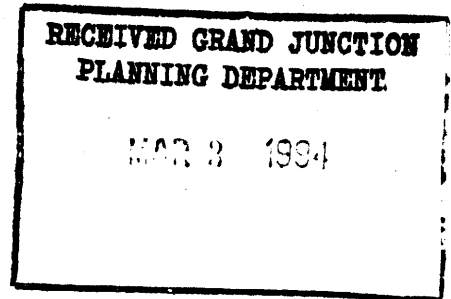
30-94

KNIGHTS OF COLUMBUS - 2853 NORTH AVENUE
COMMUNITY DEV DEPT COMMENTS 3/8/94

1. Screening is required along each side of a parking lot that is used for non-residential purposes which abuts a residential zone or use--in this case, along the south property line. The screening shall consist of fencing and/or plantings six feet (6') in height which effectively visually block the parking area year-round, except as limited by sections 5-2-5 and 5-3-2 of the Zoning and Development Code.

March 3, 1994

REVIEW COMMENTS FOR: Knights of Columbus
TYPE OF REVIEW: Site Plan, Drainage
REVIEWED BY: Jody Kliska



Drainage

The drainage report and the plans show a concrete barrier curb on the southern boundary of the property. There needs to be an outlet for the water to get into the ditch. A detail showing this would be helpful. A detail drawing for the curb and the retaining wall should be included on the plans.

For future submittals, the City criteria for grading and drainage reports should be used.

On page three of the drainage report, I am not clear if the sentence regarding the retaining wall refers to runoff from the adjacent property, and if so, who will do the minor grading.

In the landscaped area in the southwest corner, it is surrounded by a concrete curb with 4" PVC pipes directing water into the landscaping. How does the stormwater flow into the ditch from there?

We will need a copy of the easement for the drainage ditch to the south.

Driveways

I applaud the closing of two driveways into this site, and would encourage the closing of the easternmost driveway as well. If the parking on that end of the building is reconfigured to 90 degrees, one driveway will suffice.

CDOT will probably require a permit for any modifications to the driveways.

Parking

Attached is a copy of the City standard for handicap parking spaces. The dimensions and signing should conform to this. The ramp into the building must also meet the standards for slope.



ALPINE C.M., INC.

1111 S. 12TH ST. • GRAND JUNCTION, CO 81501 • 303/245-2505 • FAX 303/245-2591

March 9, 1994

Ms. Kristen Ashbeck, Planner
Grand Junction Community Development Department
250 N. 5th Street
Grand Junction, CO 81501

RE: Responses to site plan review comments for the Knights of
Columbus Recreation Hall

Dear Ms. Ashbeck,

We have analyzed the site plan review comments for the subject
property and propose the following responses:

Fire Department

A fire hydrant will be installed along North Avenue near the
center of the property and south of the new city sidewalk.
Plans have been delivered for final review.

City Utility Engineer

- 1,2. Water and sewer tap fees will be paid.
3. See previous comments for Fire Department.
4. A grease trap will be installed. The industrial pretreatment
coordinator has been contacted and they have responded to the
Mesa County Building Department.

Development Engineer

Drainage - The attached sketch will change the PVC drainage
channels to notches in the concrete curbing. This will facilitate
better flow of drainage water. A plan of the landscape curbing at
the southwest corner of the site is included to clarify the
drainage flow.

The contractor will provide grading/backfill adjacent to the
retaining wall on the adjoining property to the east.

A copy of the drainage easement is included.

Driveways - The driveway access on the western side of the
property off North Avenue will not be utilized. It will be closed
off with new curbing. Instead, we will utilize the westernmost
existing driveway access off North Avenue. In doing so we will
lose three parking spaces, but, we can use that access for two way
traffic because it aligns with the median cut in the center of
North Avenue. It also complies with a Community Development review
comment to provide access with the property to the west.

A CDOT permit for R.O.W. work will be obtained if it is
required.

Parking - The handicap asphalt ramp in front of the building
should not have been included on the plan. The asphalt slopes up
to meet the top edge of the concrete walk, and a ramp will not be

required. The concrete wheel stops will keep vehicles off the sidewalk. Handicap symbols and signage will be installed as required.

Community Development

General

1. Comments were received from the Fruitvale Lateral Waste Ditch Company.
2. A warranty deed will be provided for the 10' R.O.W. dedication along North Avenue.

Parking/Circulation

- 1,2. The assembly room occupancy is 200 persons and the meeting room, 91 persons for a total of 291 persons. Total on-site parking is 67 spaces, which meets the requirements for the assembly room (200/3 persons per stall = 67 parking spaces). The owner has stated they will never utilize both rooms at full capacity simultaneously, therefore additional parking may never be required, but the owner is pursuing parking 'agreements' with adjoining properties, and will have the additional 31 parking spaces secured prior to completion of the building.
3. See comments under Development Engineer, Driveways, above.
4. Wheel stops will be included along the western row of parking adjacent to the adjoining building.
5. There is 55' from the east side of the easternmost curb cut to the west side of the westernmost curb cut at the neighboring Grease Monkey.
6. The driveway will be moved. See comment under Development Engineer, Driveways, above.

Landscaping

1. We discussed the R.O.W. issue with Mr. Don Newton. He said the R.O.W. dedication was more for the classification of the road and not specifically for widening of the roadway. (The existing R.O.W. is only 80 feet wide.) He said there was no plan under consideration for roadway widening and required landscaping could be included in this area. With that landscaping included, the site should have 200 - 300 more square feet of planting areas than is required.
2. Shrub sizes will be changed from 2 gallon to 5 gallon.
3. The owner will complete the landscaping with volunteer help and donations from their members. They will develop and submit a landscape plan (and improvements agreement, if required) prior to the requested issuance of a Certificate of Occupancy.
4. The owner will install an underground irrigation system for the landscaped areas. This system will be included in their landscape plan per item 3 above.

Other

1. Site lighting was not shown on the portions of the drawings you received in our original submittal package. Parking lot/site lights will be located on the north, west, and south faces of the new building as well as on the east face of the adjoining building to the west to illuminate the parking areas. The lights will be on timers to allow for adjusting hours of use.
2. See item 1 and 3 under Landscaping above.

Additional

1. A 6' cedar wood fence will be constructed by the owner along the south property line adjacent to the residences in that area.

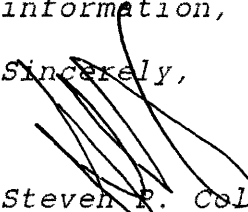
Fruitvale Lateral & Waste Ditch Co.

1. All site drainage will be controlled and will exit the property through the existing easement at the southwest corner of the site. Refer to the drainage report submitted with our original submittal package.
2. We will utilize the specified pipe and match existing grade. Concrete thickness over the pipe will be City of Grand Junction minimum sidewalk standard.
3. We will install the specified clean-out or manhole.
4. The pipe will match the existing ditch size and we acknowledge the time constraints.
5. Construction will be performed when the weather is appropriate for the pipe installation.
6. Permits are not required for the start of site prep and pile driving. These activities were undertaken early only to take advantage of a 'window of opportunity' in the subcontractors schedule and to expedite the construction mobilization. Construction will not proceed further until all required clearances and permits are obtained from the various agencies and departments involved. We apologize for any inconvenience this may have caused your association, but your concerns and comments will be properly addressed.

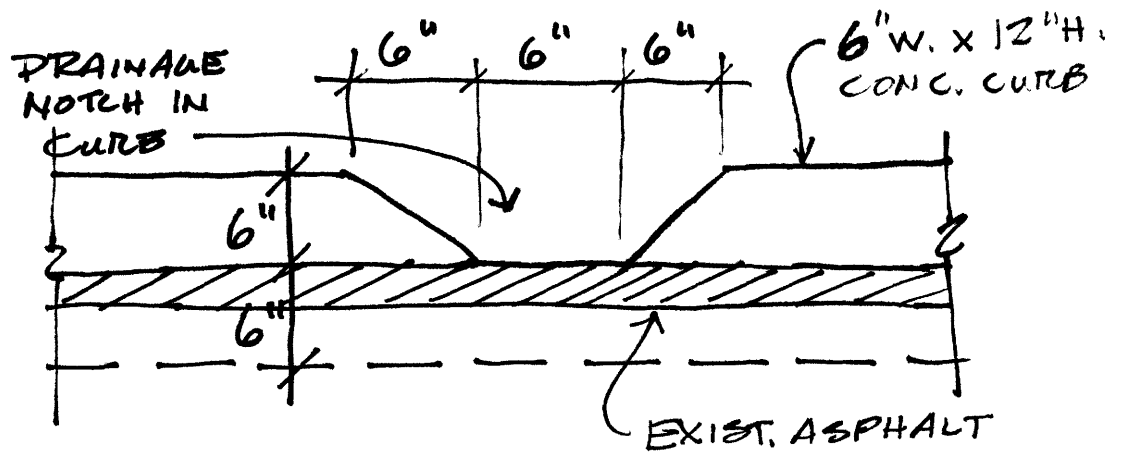
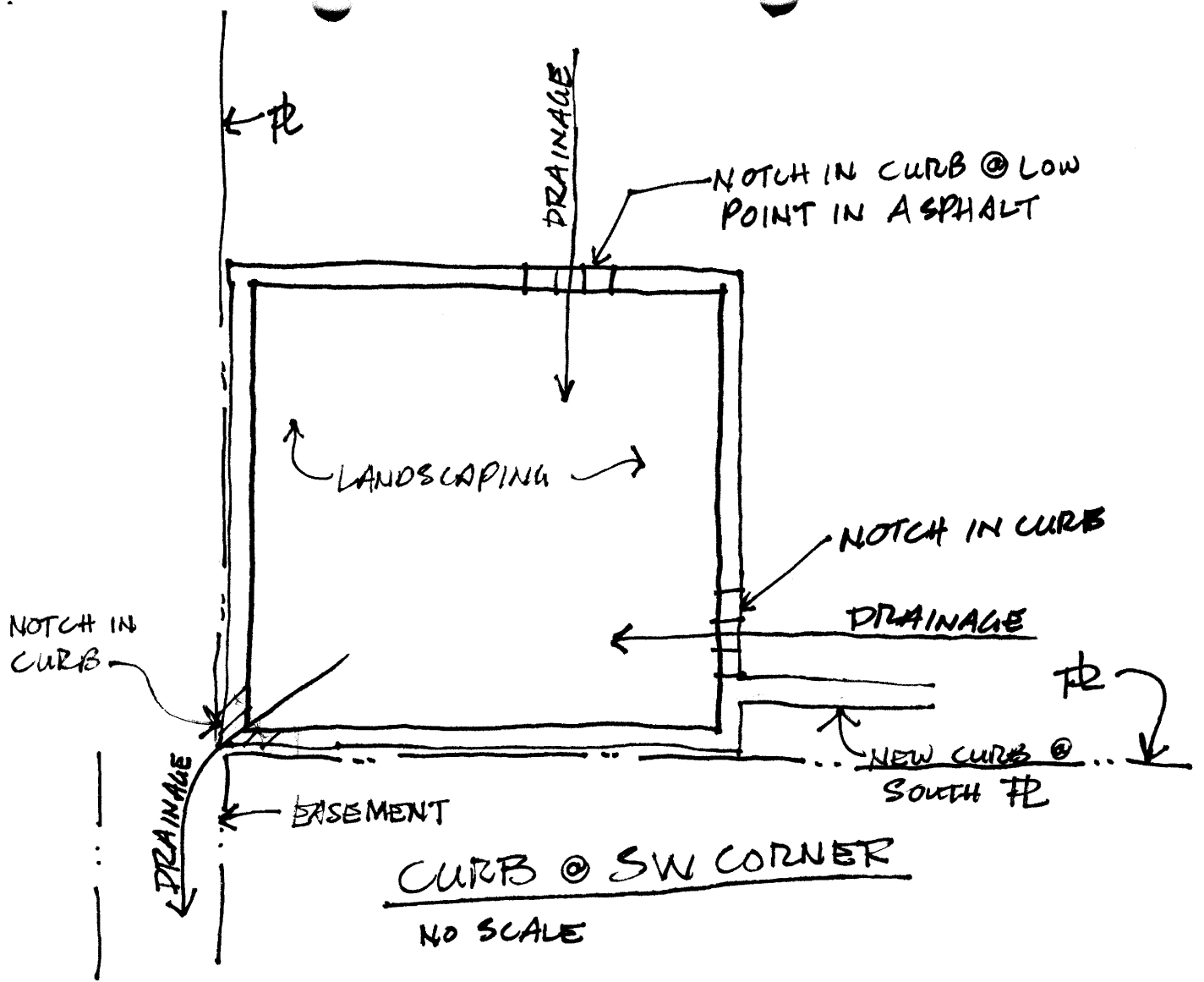
The owner acknowledges that they may not hold water rights on your ditch.

If you have any further questions or require any other information, please contact me at 245-2505.

Sincerely,


Steven P. Colony, Architect
Project Manager

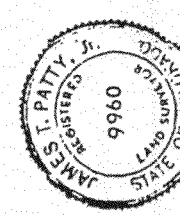
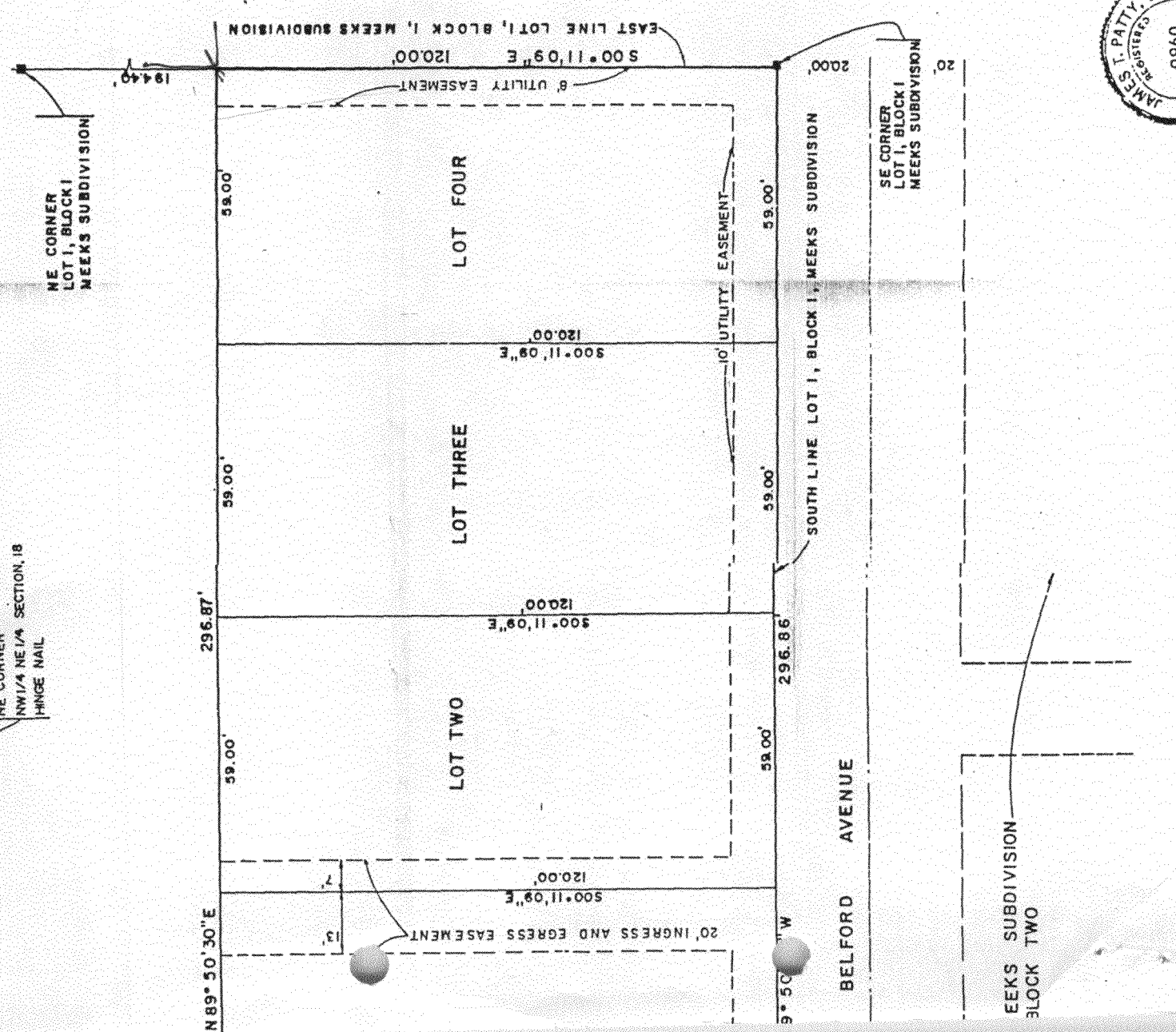
cc: File



DETAIL @ NOTCH

NO SCALE

NE CORNER
NW 1/4 NE 1/4 SECTION 18
HINGE NAIL



DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned William H. Buttolph and Aerial A. Buttolph are the owners of that real property situated in the City of Grand Junction, County of Mesa, State of Colorado and being a part of Lot 1, Block 1, Meeks Subdivision located in a part of NW 1/4 NE 1/4 of Section 18, T.13, R.1E, U. M. as shown on the accompanying plat thereof, said real property being more particularly described as follows:

The South 120.00 feet of Lot 1, Block 1 Meeks Subdivision as filed in the office of the Mesa County Clerk and Records office in Plat Book 7, Page 44. The above described contains 0.818 Acres.

That said owners have caused the said real property to be layed out and surveyed as The Powell Apartments and Business Center A Replat of a part of Lot 1, Block 1 Meeks Subdivision.

That said owners do hereby dedicate to the utility companies those portions of said real property, which are labeled as utility easements on the accompanying plat, as easements for the installation and maintenance of such utilities as telephons lines, electric lines, poles and cables, storm and sanitary sewer lines, gas pipelines with further right of ingress and egress to and from the above described utility easements.

IN WITNESS WHEREOF said owners William H. Buttolph and Aerial A. Buttolph have caused their names to be hereunto subscribed this 5th day of DECEMBER, A.D., 1977.

William H. Buttolph
William H. Buttolph

Aerial A. Buttolph
Aerial A. Buttolph

STATE OF COLORADO)
COUNTY OF MESA)

The foregoing instrument was acknowledged before me this 5th day of DECEMBER, A.D., 1977 by William H. Buttolph and Aerial A. Buttolph.

My Commission Expires: Aug. 9th 1981
Witness My Hand and Official Seal.

Chorus Holgate
Notary Public

CITY APPROVAL

This plat of The Powell Apartments and Business Center, a Replat of a part of Lot 1, Block 1, Meeks Subdivision, a subdivision of the City of Grand Junction, County of Mesa and State of Colorado was approved and accepted on this 1st day of JANUARY, A.D., 1978.

James E. Wyszynski
City Manager

Richard P. Pigeon
President of Council

Janice Libke
Chairman, Grand Junction City Planning Commission

Ronald P. Rosh
Grand Junction City Engineer

Edward J. Beave
Director of Development

CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO)
COUNTY OF MESA)

has 1154318

I hereby certify that this instrument was filed in my office at 2:00 o'clock P. M., this 3 day of January, A.D., 1978 and is duly recorded in Plat Book 11, Page 335.

Earl Sawyer
Clerk and Recorder

Deputy

Fee \$ 12.00

SURVEYORS CERTIFICATE

I, James T. Patty Jr., do hereby certify that the accompanying plat of The Powell Apartments and Business Center, a Replat of a part of Lot 1, Block 1, Meeks Subdivision, a subdivision of the City of Grand Junction, County of Mesa, State of Colorado, has been prepared under my direction and accurately represents a field survey of same.

James T. Patty Jr.
James T. Patty Jr.

March 11, 1994

Mr. Steve Colony, Project Manager
Alpine C.M., Inc.
1111 South 12th Street
Grand Junction, CO 81501

RE: Knights of Columbus Hall

Dear Steve,

Your response to comments on the proposed new building at 2853 North Avenue addressed many of the concerns and questions of the review agencies; however, there are still a number of items that must be addressed during the project which I have outlined below.

1. Prior to issuance of a Foundation Only Building Permit:
 - Submit a revised plan showing: driveway changes, signage for right-in, right-out only at eastern driveway, landscaping on north end of middle parking island, locations of lighting, fencing.
2. Prior to issuance of a Full Building Permit:
 - Parking lease for remaining 30 spaces.
 - Improvements Agreement and Guarantee for public improvements (sidewalk and curb cut improvements).
 - Warranty Deed for North Avenue right-of-way dedication
 - CDOT access permit, if needed
 - Payment of Plant Investment Fee
3. Prior to issuance of a Certificate of Occupancy:
 - Improvements Agreement and Guarantee for landscaping, irrigation, fencing, and pavement of parking lot if not already installed.
 - Detailed landscape plan submitted to Community Development Department for approval. The plan must generally conform with the revised plan in terms of area covered by landscaping, area covered by shrubs, total number and location of shrubs, and total number and location of trees.

Let me know if you have questions regarding these requirements.

Sincerely,

Kristen Ashbeck
Planner

March 25, 1994

Mr. Steve Colony, Project Manager
Alpine C.M., Inc.
1111 South 12th Street
Grand Junction, CO 81501

RE: Knights of Columbus Hall

Dear Steve,

Upon review of the information provided regarding parking for the proposed Knights of Columbus hall, the decision of the Community Development Department is that parking for the seating capacity of the entire structure (both meeting rooms, total of 97 spaces) is required. The required spaces must be provided on-site or by leased off-site spaces. Although the owner states that the use of the building will not warrant the total parking requirement, the statement is not a satisfactory guarantee that the facility will always be operated in that manner.

The parcel to the south of the property proposed to be purchased by the Knights of Columbus for expanded parking is presently zoned Residential Single Family 8 units per acre (RSF-8). The zone category does not allow membership clubs or recreation halls nor does it allow parking accessory to such uses. A zone change would be required in order for a parking lot to be constructed on the parcel. Other than the office building and apartment buildings on the northeast corner of 28-1/2 Road and Belford, the entire block consists of well-established single family residential development. Since the parcel is adjacent to a Planned Business zone, there may be some justification for the change; however, further encroachment of non-residential uses into the area would be generally discouraged.

Please do not hesitate to call if you have further questions regarding the parking situation for the proposed recreation hall.

Sincerely,



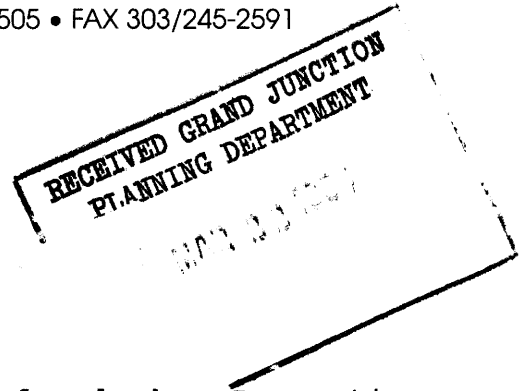
Kristen Ashbeck
Planner



ALPINE C.M., INC.

1111 S. 12TH ST. • GRAND JUNCTION, CO 81501 • 303/245-2505 • FAX 303/245-2591

March 22, 1994



Mr. Larry Timm, Director
Community Development Department
City of Grand Junction
250 N. 5th Street
Grand Junction, CO 81501

RE: Parking requirements for new Knights of Columbus Recreation Hall

Dear Mr. Timm,

We recently submitted the subject property for the site plan review process through your department. We responded to the comments we received back, and feel we have addressed all but one of the issues of concern. The remaining issue is the parking requirements.

The attached
resubmitted per
plan. The main
Friday night bingo
room #102. The
support areas for
south end of the
used only by a
this room will be
'guard' is placed
compliance to
twice a month in
membership. Of
conflict on the

Stoff/Sewers to
accomodate a
full (200 people)
assembly?
Zoning issue - more
parking to South?

The plan (revised and received) and a floor as designed for include ns in the main assembly .tchen and restrooms are meeting room #117 on the emonial room and will be 20 max.). Admittance to s of Columbus only and a de the room to insure stings are held once or different 'degrees' of g are not scheduled to

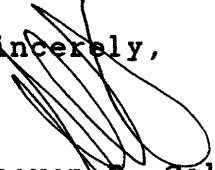
The total seating capacity for the assembly room is 200 persons maximum. The zoning and development code requires one parking space per every 3 persons of design capacity. Two hundred persons divided by 3 per stall equals 67 parking spaces required and the revised site plan provides 67 on-site parking spaces. This is the maximum anticipated parking load the building will have at any given time and will only be reached if a Friday night bingo game or a reception completely fills the assembly room. Other uses of the building are not scheduled to coincide with large group usage of the assembly room.

The ceremonial meeting room has a design seating capacity (by code) of 91 persons. The room will not be utilized at anything approaching that level of people for the private functions that take place there. If the meeting room is treated like the assembly room, an additional 30 parking spaces would be required (91 divided by 3 = 30). We feel that the parking should not be required for this room because of the unique nature of its use and its not being utilized simultaneously with other main functions in the building.

Due to the unique nature of the special and limited uses of this building, it may be appropriate to reduce the number of parking spaces required. We feel the on-site parking provided satisfies the intent of the zoning regulations.

We ask that you review our request for reduced parking requirements and respond. We would be glad to come down and discuss the issue with you if you have additional questions or concerns.

Sincerely,



Steven R. Colony, Architect
Project Manager

STATE OF COLORADO

DEPARTMENT OF TRANSPORTATION

Region 3



222 South Sixth St., Room 317
Grand Junction, CO 81501-2769
(303) 248-7208 Fax No. (303) 248-7254

STATE HIGHWAY ACCESS PERMIT INFORMATION AND BILLING

Knights of Columbus
(Mesa Assets Holding Corp.)
2853 North Avenue
Grand Junction, CO 81501

March 31, 1994

Permittee: Please review both sides of the attached State Highway Access Permit (form #101) and all attachments.

NOTE: IF YOU FAIL TO SIGN AND RETURN THE ATTACHED ACCESS PERMIT WITHIN 60 DAYS OF THE DATE OF THIS LETTER, THE COLORADO DEPARTMENT OF TRANSPORTATION WILL CONSIDER THE PERMIT VOID.

If you choose not to act on the permit:

- return the permit unsigned
(existing accesses may be removed by the Department -
Please call before returning the permit form.)

If you wish to appeal the terms and conditions of the permit:

- refer to the back of the Access Permit for an explanation of
appeal procedures

If you accept the permit please:

- sign the Access Permit on the line marked "PERMITTEE".
Your signature confirms your agreement to all listed terms and
conditions
- provide a check or money order made out to Colorado Department
of Transportation for the amount of \$100.00 * (\$50/ea.)
- return ALL COPIES AND ATTACHMENTS of the Access Permit along
with your payment back to the Colorado Department of
Transportation in the envelope provided.

The Department of Transportation will process and return to you a validated (signed) copy of your Access Permit.

DO NOT BEGIN ANY WORK WITHIN THE STATE RIGHT OF WAY WITHOUT A VALIDATED ACCESS PERMIT. USE OF THE PERMIT WITHOUT TRANSPORTATION DEPARTMENT VALIDATION SHALL BE CONSIDERED A VIOLATION OF STATE LAW.

If you have any questions, please call Charles Dunn at (303) 248-7234 in Grand Junction.

Do not change any of the Other Terms and Conditions on the attached sheet(s) without prior approval from Charles Dunn. Doing so will void the permit.

The transmittal to you of the access permit form for your approval constitutes final action by the Colorado Department of Transportation pursuant to section 43-2-147, C.R.S. as amended.

**COLORADO DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ACCESS PERMIT**

SH No/MP/Side: 6/33.05/R
Local Jurisdiction: City of Grand Junction
Dist/Section/Patrol: 3211
DOT Permit No.: 394046
Permit Fee: \$50.00
Date of Transmittal: 3-31-94

THE PERMITTEE;

Knights of Columbus
(Mesa Assets Holding Corp.)
2853 North Avenue
Grand Junction, CO 81501

is hereby granted permission to construct and use an access to the state highway at the location noted below. The access shall be constructed, maintained and used in accordance with the terms and conditions of this permit, including the State Highway Access Code and listed attachments. This permit may be revoked by the issuing authority if at any time the permitted access and its use violate any of the terms and conditions of this permit. The use of advance warning and construction signs, flashers, barricades and flaggers are required at all times during access construction within State right-of-way in conformance with the MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, Part VI. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

LOCATION:

On the south side of State Highway 6, a distance of 280 feet east from Mile Post 33; easterly driveway at 2853 North Avenue, Grand Junction.

ACCESS TO PROVIDE SERVICE TO:

Knights of Columbus Hall (8,044 sf).

OTHER TERMS AND CONDITIONS:

Access to be constructed as per Alpine C.M., Inc plans dated 2-14-94 and revised 3-11-94.

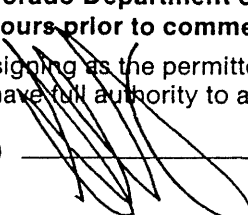
MUNICIPALITY OR COUNTY APPROVAL

Required only when the appropriate local authority retains issuing authority.

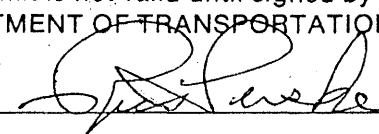
By (X) Not Required Date _____ Title _____

Upon the signing of this permit the permittee agrees to the terms and conditions and referenced attachments contained herein. All construction shall be completed in an expeditious and safe manner and shall be finished within 45 days from initiation. The permitted access shall be completed in accordance with the terms and conditions of the permit prior to being used. **The permittee shall notify** Wendell Bates **with the Colorado Department of Transportation in** _____ **at** 242-4126 **at least 48 hours prior to commencing construction within the State Highway right-of-way.**

The person signing as the permittee must be the owner or legal representative of the property served by the permitted access and have full authority to accept the permit and all its terms and conditions.

Permittee (X)  Date 3/31/94

This permit is not valid until signed by a duly authorized representative of the Department.
DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO

By (X)  Date 3/31/94 Title PCR
(Date of issue)

COPY DISTRIBUTION:

Required;
1. District (Original)
2. Applicant
3. Staff ROW

Make copies as necessary for;
Local Authority
MTCE Patrol
Inspector
Traffic Engineer

Previous Editions are Obsolete and will not be used
CDOT Form #101
7/91

The following paragraphs are pertinent highlights of the State Highway Access Code. They are provided for your convenience but do not alleviate compliance with all sections of the Access Code. A copy of the State Highway Access Code is available from your local issuing authority (local government) or the Colorado Department of Transportation (Department). When this permit was issued, the issuing authority made its decision based in part on information submitted by the applicant, on the access category which is assigned to the highway, what alternative access to other public roads and streets is available, and safety and design standards. Changes in use or design not approved by the permit or the issuing authority may cause the revocation or suspension of the permit.

I Appeals

1. Should the permittee or applicant choose to object to any of the terms or conditions of the permit placed therein by the Department, an appeal must be filed with the Colorado Transportation Commission within 60 days of transmittal of the permit for permittee signature. The request for the hearing shall be filed in writing and submitted to the Colorado Transportation Commission, 4201 East Arkansas Avenue, Denver, Colorado 80222. The request shall include reasons for the appeal and may include recommendations by the permittee or applicant that would be acceptable to him.
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II Construction standards and requirements

1. The access must be under construction within one year of the permit date. However, under certain conditions a one year time extension may be granted if requested in writing prior to permit expiration.
2. The applicant shall notify the office specified on the permit at least 48 hours prior to construction. A copy of the permit shall be available for review at the construction site. Inspections will be made during construction.
3. The access construction within highway right-of-way must be completed within 45 days.
4. It is the responsibility of the permittee to complete the construction of the access according to the terms and conditions of the permit. If the permittee wishes to use the access prior to completion, arrangements must be approved by the issuing authority and Department and included on the permit. The Department or issuing authority may order a halt to any unauthorized use of the access. Reconstruction or improvements to the access may be required when the permittee has failed to meet required specifications of design or materials. If any construction element fails within two years due to improper construction or material specifications, the permittee is responsible for all repairs.
5. In the event it becomes necessary to remove any right-of-way fence, the posts on either side of the access shall be securely braced with an approved end post before the fence is cut to prevent any slacking of the remaining fence. All posts and wire removed are Department property and shall be turned over to a representative of the Department.
6. A copy of the permit shall be available for review at the construction site. If necessary, minor changes and additions shall be ordered by the Department or local authority field inspector to meet unanticipated site conditions.
7. The access shall be constructed and maintained in a manner that shall not cause water to enter onto the roadway, and shall not interfere with the drainage system in the right-of-way.
8. Where necessary to remove, relocate, or repair a traffic control device or public or private utilities for the construction of a permitted access, the work shall be accomplished by the permittee without cost to the Department or issuing authority, and at the direction of the Department or utility company. Any damage to the state highway or other public right-of-way beyond that which is allowed in the permit shall be repaired immediately.
9. Adequate advance warning is required at all times during access construction, in conformance with the Manual on Uniform Traffic Control Devices for Streets and Highways. This may include the use of signs, flashers, barricades and flaggers. This is also required by section 42-4-501, C.R.S. as amended. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

III Changes in use and violations

1. If there are changes in the use of the access, the access permit-issuing authority must be notified of the change. A change in property use which makes the existing access design or use in non-conformance with the Access Code or the terms and conditions of the permit, may require the reconstruction or relocation of the access. Examples of changes in access use are; an increase in vehicular volume by 20 percent, or an increase by 20 percent of a directional characteristic such as a left turn. The issuing authority will review the original permit; it may decide it is adequate or request that you apply for a new permit.
2. All terms and conditions of the permit are binding upon all assigns, successors-in-interest and heirs.
3. When a permitted driveway is constructed or used in violation of the Access Code, the local government or Department may obtain a court order to halt the violation. Such access permits may be revoked by the issuing authority.

IV Further Information

1. When the permit holder wishes to make improvements to an existing legal access, he shall make his request by filing a completed permit application form with the issuing authority. The issuing authority may take action only on the request for improvement. Denial does not revoke the existing access.
2. The permittee, his heirs, successors-in-interest, and assigns, of the property serviced by the access shall be responsible for meeting the terms and conditions of the permit and the removal or clearance of snow or ice upon the access even though deposited on the access in the course of Department snow removal operations. The Department shall maintain in unincorporated areas the highway drainage system, including those culverts under the access which are part of that system within the right-of-way.
3. The issue date of the permit is the date the Department representative signs the permit which is after the permittee has returned the permit signed and paid any required fees.
4. The Department may, when necessary for the improved safety and operation of the roadway, rebuild, modify, remove, or redesign the highway including any auxiliary lane.
5. Any driveway, whether constructed before, on, or after June 30, 1979, may be required by the Department, with written concurrence of the appropriate local authority, to be reconstructed or relocated to conform to the Access Code, either at the property owner's expense if the reconstruction or relocation is necessitated by a change in the use of the property which results in a change in the type of driveway operation; or at the expense of the Department if the reconstruction or relocation is necessitated by changes in road or traffic conditions. The necessity for the relocation or reconstruction shall be determined by reference to the standards set forth in the Access Code.

**COLORADO DEPARTMENT OF TRANSPORTATION
STATE HIGHWAY ACCESS PERMIT**

4 No/MP/Side: 6/33.05/R
Local Jurisdiction: City of Grand Jct.
Dist/Section/Patrol: 3211
DOT Permit No.: 394047
Permit Fee: \$50.00
Date of Transmittal: 3-31-94

THE PERMITTEE;

Knights of Columbus
(Mesa Assets Holding Corp.)
2853 North Avenue
Grand Junction, CO 81501

is hereby granted permission to construct and use an access to the state highway at the location noted below. The access shall be constructed, maintained and used in accordance with the terms and conditions of this permit, including the State Highway Access Code and listed attachments. This permit may be revoked by the issuing authority if at any time the permitted access and its use violate any of the terms and conditions of this permit. The use of advance warning and construction signs, flashers, barricades and flaggers are required at all times during access construction within State right-of-way in conformance with the MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, Part VI. The issuing authority, the Department and their duly appointed agents and employees shall be held harmless against any action for personal injury or property damage sustained by reason of the exercise of the permit.

LOCATION:

On the south side of State Highway 6, a distance of 280 feet east from Mile Post 33; westerly driveway at 2853 North Avenue, Grand Junction.

ACCESS TO PROVIDE SERVICE TO:

Knights of Columbus Hall (8,044 sf).

OTHER TERMS AND CONDITIONS:

Access to be constructed as per Alpine C.M., Inc. plans dated 2-14-94 and revised 3-11-94.

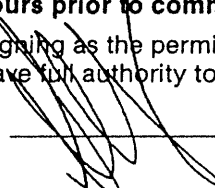
MUNICIPALITY OR COUNTY APPROVAL

Required only when the appropriate local authority retains issuing authority.

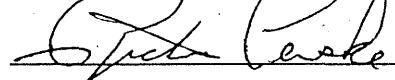
By (X) Not Required Date _____ Title _____

Upon the signing of this permit the permittee agrees to the terms and conditions and referenced attachments contained herein. All construction shall be completed in an expeditious and safe manner and shall be finished within 45 days from initiation. The permitted access shall be completed in accordance with the terms and conditions of the permit prior to being used. **The permittee shall notify** Wendell Bates **with the Colorado Department of Transportation in** _____ **at** 242-4126 **at least 48 hours prior to commencing construction within the State Highway right-of-way.**

The person signing as the permittee must be the owner or legal representative of the property served by the permitted access and have full authority to accept the permit and all its terms and conditions.

Permittee (X)  Date 3/31/94

This permit is not valid until signed by a duly authorized representative of the Department.
DEPARTMENT OF TRANSPORTATION, STATE OF COLORADO

By (X)  Date 3/31/94 Title PCE
(Date of issue)

COPY DISTRIBUTION:

Required;
1. District (Original)
2. Applicant
3. Staff ROW

Make copies as necessary for;
Local Authority
MTCE Patrol
Inspector
Traffic Engineer

Previous Editions are Obsolete and will not be used
CDOT Form #101
7/91

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STAFF REVIEW

FILE: 30-94

DATE: April 14, 1994

STAFF: Kristen Ashbeck

REQUEST: Revocable Permit for Landscaping in North Avenue Right-of-Way

LOCATION: 2853 North Avenue

APPLICANT: Mesa Asset Holding Corporation (Knights of Columbus)

EXISTING LAND USE: Recreation Hall

PROPOSED LAND USE: Reconstruct Recreation Hall

SURROUNDING LAND USE:

NORTH: Commercial
SOUTH: Single Family Residential
EAST: Commercial
WEST: Commercial

EXECUTIVE SUMMARY: Resolution authorizing the issuance of a Revocable Permit to allow placement of landscaping in the public right-of-way for North Avenue adjacent to the property at 2853 North Avenue.

STAFF ANALYSIS: The Knights of Columbus organization is in the process of constructing a new recreation hall at 2853 North Avenue. A requirement of the Site Plan Review process was dedication of 10 feet of right-of-way. The petitioner is planning to landscape this area; thus, requiring the revocable permit request. It is unlikely that this portion of the right-of-way will be needed for roadway improvements in the future.

City Charter gives Council authority to allow private use of public right-of-way, provided such use is substantiated by resolution. The Revocable Permit essentially gives the adjacent landowners a license to use the right-of-way. The City may revoke the permit and require the landowner to restore the right-of-way to its original condition by giving 30 days written notice.

STAFF RECOMMENDATION: Review and adopt proposed resolution

To: Randy Booth
From: Kristen Ashbeck
Subject: Knights of Columbus Impr Guar
Date: 6/22/94 Time: 12:15p

Please release the \$3,500 being held in escrow for the Knights of Columbus project on North Avenue. The Release of Improvements Agreement and Guarantee has been signed and is in the process of being recorded. Thanks!

245-2505

**Colorado
State
FOREST
SERVICE**

State Services Building
222 S. 6th Street, Room 416
Grand Junction, Colorado 81501
Telephone (303) 248-7325

August 4, 1994

Mr. Charles Malone
590 Agana St.
Grand Junction, CO 81504

Dear Chuck,

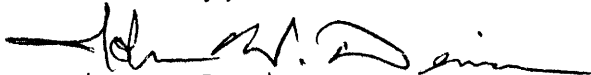
I presented your landscaping plan for the new Knights of Columbus Recreation Hall to the Grand Junction Forestry Board at their August 1, 1994 meeting. We were all impressed with the variety of shrubs and trees selected and your attention to drought tolerant species.

The Forestry Board is in concurrence with your request to delay the planting of the shrubs and trees until Spring of 1995. When I visited the site last Friday I could see that it was your club members that are volunteering their time to do the soil preparation work and planting, so the requested delay will give them more time to do a good job at this critical task.

More importantly, the Forestry Board (and the Colorado State Forest Service) consider spring to be a much preferable time to plant than fall. Fall planting should only be considered when there is no other option, and winter watering is possible and easy to do. The irrigation system for your landscaping at this location does not allow for winter watering. Newly transplanted plants will always do better when planted prior to the growing season rather than the dormant season. Without winter watering that can be easily applied; I am afraid you would lose many if not all of the plants.

Perhaps the Community Development Department will consider a delay until June 1, 1995 for the completion of your landscaping plan implementation. This should allow your membership adequate time to do the site preparation, irrigation installation, selection of quality plant material, and planting in the thoughtful manner your plan presents on paper.

Sincerely,



John W. Denison
District Forester

cc: Mr. Craig Bowman, Chairman, Grand Junction Forestry Board

MEMORANDUM

DATE: SEPTEMBER 13, 1994

TO: MARK ACHEN
FROM: KRISTEN ASHBECK

RE: Request your signature on Knights of Columbus Recreation Hall
Improvements Agreement

The Knights of Columbus recently completed their new building located at 2853 North Avenue. In order to be issued a Certificate of Occupancy, they were to have completed all site improvements per the approved plan or provide guarantee that they would be completed. The attached Improvements Agreement is for the remaining landscaping that they expect to install in the Spring of 1995 and which they have guaranteed with cash in escrow. Since some of the landscaping is in the North Avenue right-of-way, City Council approved a revocable permit in April 1994.

David Wood
Grease Monkey
2857 North Avenue
Grand Junction CO 81501

January 12, 2006

RE: Parking Lease for Property at 2853 North Avenue

Dear Mr. Wood,

As we spoke on the phone earlier this week, I have researched the development files relevant to this property and the referenced parking lease. The lease was required for the construction of the building currently located at 2853 North Avenue for purposes of meeting parking requirements for the use proposed at that time - a Knights of Columbus meeting hall (file SPR-1994-030).

Subsequently, this building has changed ownership and the use is now the community homeless shelter (file COU-2001.04.05). The parking needs for the shelter use did not require that the lease with your business be maintained. Therefore, this letter is to acknowledge your question regarding termination of the lease agreement and let you know that the City has no further interest in its continuance.

Please contact me at 244-1437 if you have further questions.

Sincerely,



Kristen Ashbeck
Senior Planner

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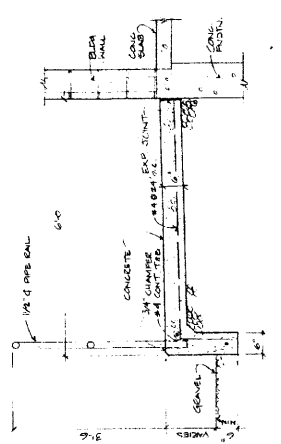
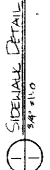
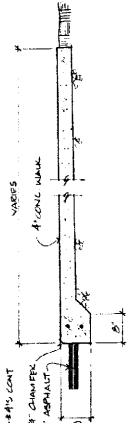
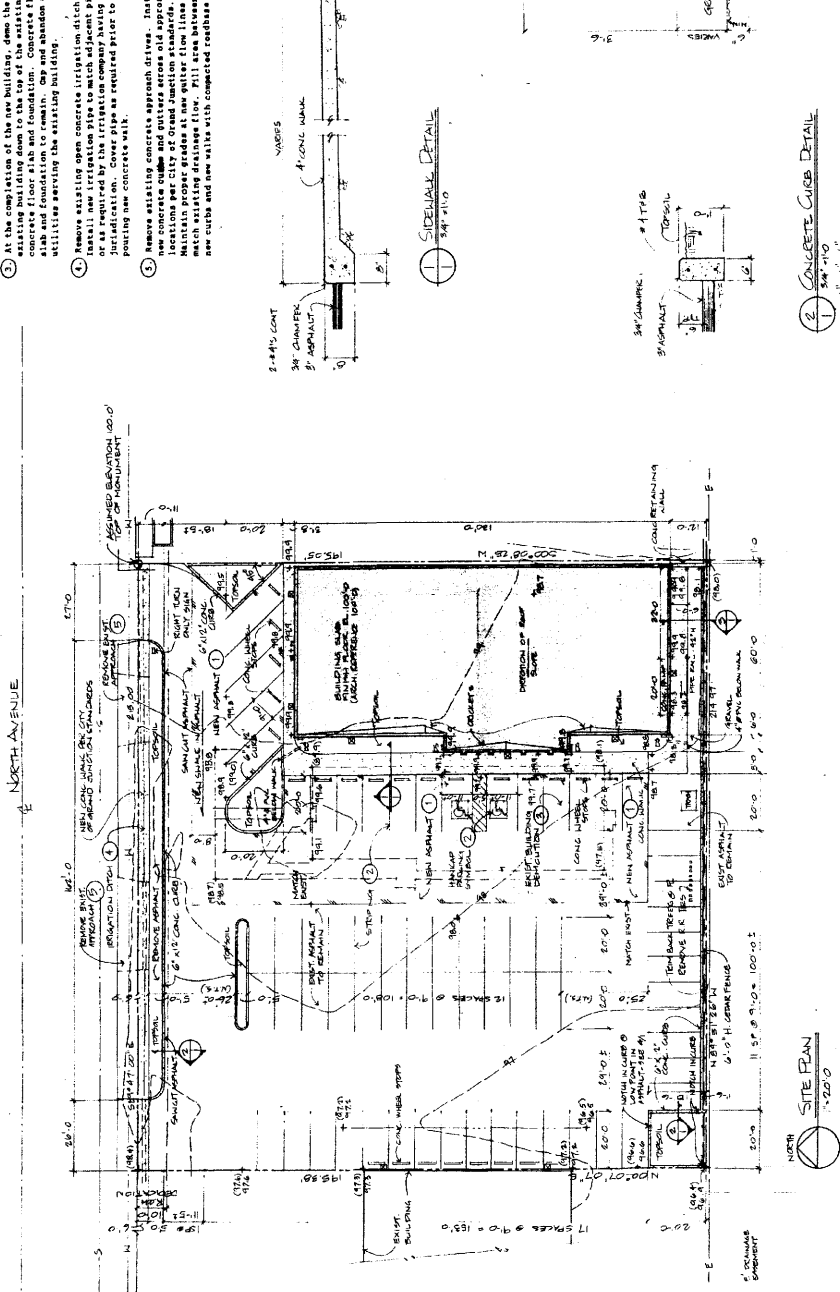
- 1 SITE PLAN
- 2 FLOOR PLAN
- 3 ELEVATIONS / DETAILS
- 4 ELEVATIONS / SCHEDULES
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- P-1 PLUMBING FLOOR PLAN
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- P-3 WATER DIAGRAM / PLUMBING SCHEDULE
- E-1 ELECTRICAL SITE PLAN / PANEL SCHEDULE
- E-2 LIGHTING PLAN / LIGHTING SCHEDULE
- E-3 POWER PLAN

SITE NOTES

- 1) Remove asphalt as shown. Remove existing asphalt as required below new asphalt. Existing concrete slab and foundation from old building to remain. Compact and grade to match existing finish grade. Place new 3" asphalt paving.
- 2) Paint existing parking striping with bituminous paint. New parking stripes and handicap symbols as shown.
- 3) At the completion of the new building, demish concrete floor slab and foundation. Concrete floor slab and foundation to remain. Cap and abandon all utilities serving the existing building.
- 4) Remove existing open concrete irrigation ditch. Install new irrigation pipe to match adjacent pipe and foundation. Maintain proper grade at new gutter flow line to match existing drainage. Maintain proper grade at new gutter flow line to match existing drainage. Maintain proper grade at new gutter flow line to match existing drainage.
- 5) Remove existing concrete approach driveway. Install new concrete ramp and gutters across old approach location per city of Grand Junction standards. Maintain proper grade at new gutter flow line to match existing drainage. Maintain proper grade at new gutter flow line to match existing drainage.

SITE LEGEND

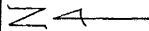
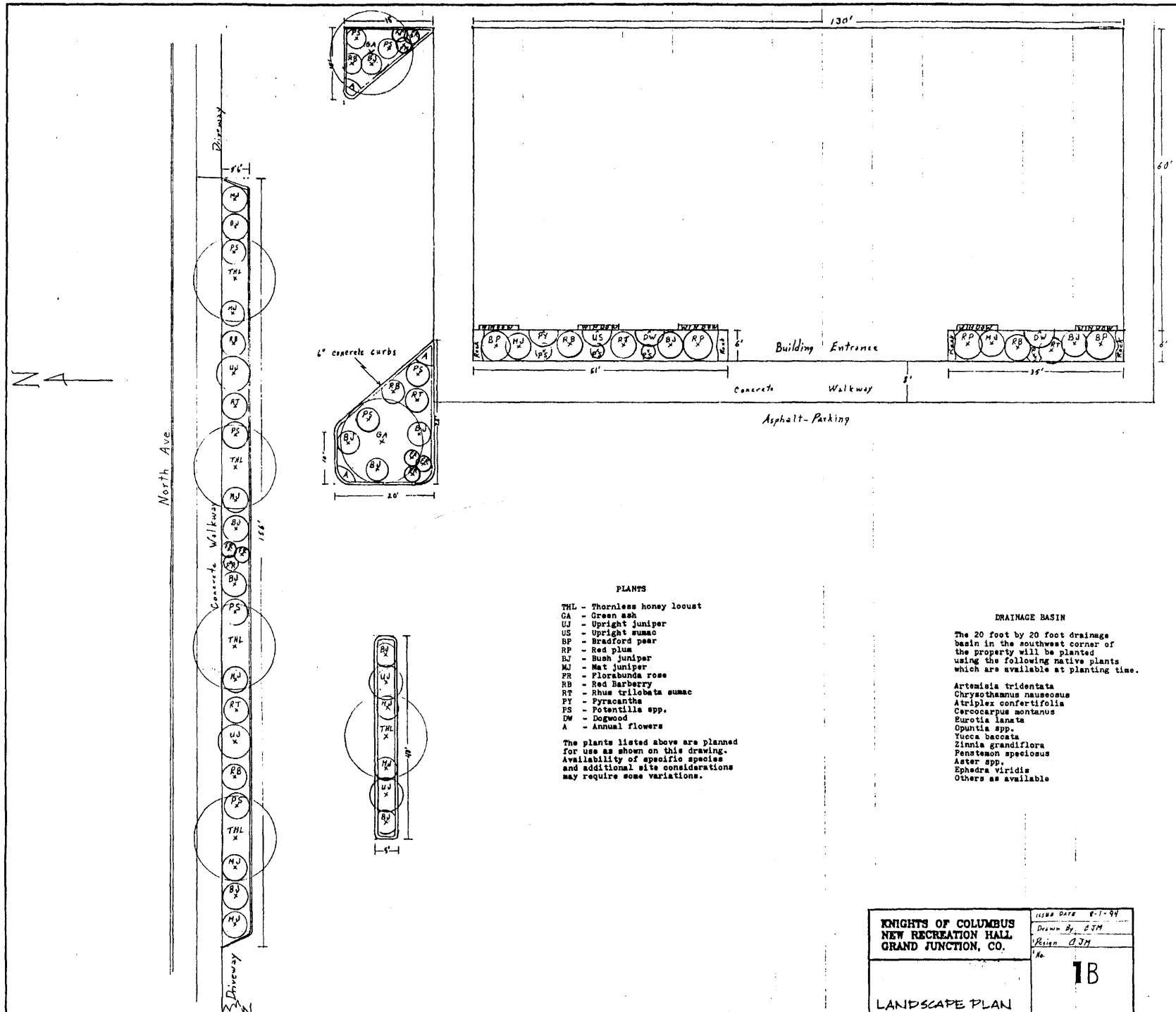
- ◊ BENCHMARK - ASSUMED ELEV. 100'-0"
- (18.7) EXISTING GRADE
- 18.5 NEW GRADE
- LIMIT OF NEW ASPHALT PAVING
- ⊗ LOCATION OF ORIGINAL LOT/PLAT LIGHTS ON BUILDING



REVISED 3/11/94

<p>ALPINE C.M., INC. 1115 WEST CO. BLVD. GRAND JUNCTION, CO. 81501 970-242-2867 / FAX 970-242-2868</p>	<p>KNIGHTS OF COLDBURN'S NEW RECREATION HALL, GRAND JUNCTION, CO.</p>
	<p>STEVEN P. COLONY, ARCHITECT P.O. BOX 177 GRAND JUNCTION, CO. 81501 970-242-2871</p>
<p>SITE PLAN</p>	

LEGAL DESCRIPTION
 SECTION 16, T11N, R11E, U1M,
 GRAND JUNCTION, COLORADO
 PROPERTY AS SURVEYED BY BANNER ASSOCIATES, INC.
 JOB NO. 907-96, DATED 10-28-93.



North Ave

Driveway

Concrete Walkway

Driveway

6" concrete curbs

130'

60'

Building Entrance

Concrete Walkway

Asphalt-Parking

PLANTS

- THL - Thornless honey locust
- GA - Green ash
- UJ - Upright juniper
- US - Upright sumac
- RP - Bradford pear
- BJ - Bush juniper
- MJ - Mat juniper
- FR - Florsbunda rose
- RB - Red Barberry
- RT - Rhus trilobata sumac
- PY - Pyracantha
- PS - Potentilla spp.
- DW - Dogwood
- A - Annual flowers

The plants listed above are planned for use as shown on this drawing. Availability of specific species and additional site considerations may require some variations.

DRAINAGE BASIN

The 20 foot by 20 foot drainage basin in the southwest corner of the property will be planted using the following native plants which are available at planting time.

- Artemisia tridentata
- Chrysothamnus nauseosus
- Atriplex confertifolia
- Cercocarpus montanus
- Eurotia lanata
- Opuntia spp.
- Yucca baccata
- Zinnia grandiflora
- Fenestron speciosus
- Aster spp.
- Ephedra viridis
- Others as available

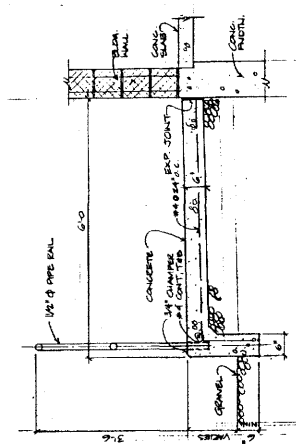
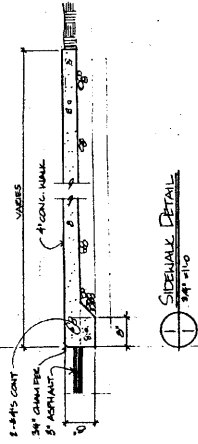
KNIGHTS OF COLUMBUS NEW RECREATION HALL GRAND JUNCTION, CO.	<small>ISSUE DATE</small> 6-1-44 <small>Drawn By</small> C.J.M. <small>Revised</small> C.J.M.
	<small>No.</small> 1B
LANDSCAPE PLAN	

INDEX TO DRAWINGS

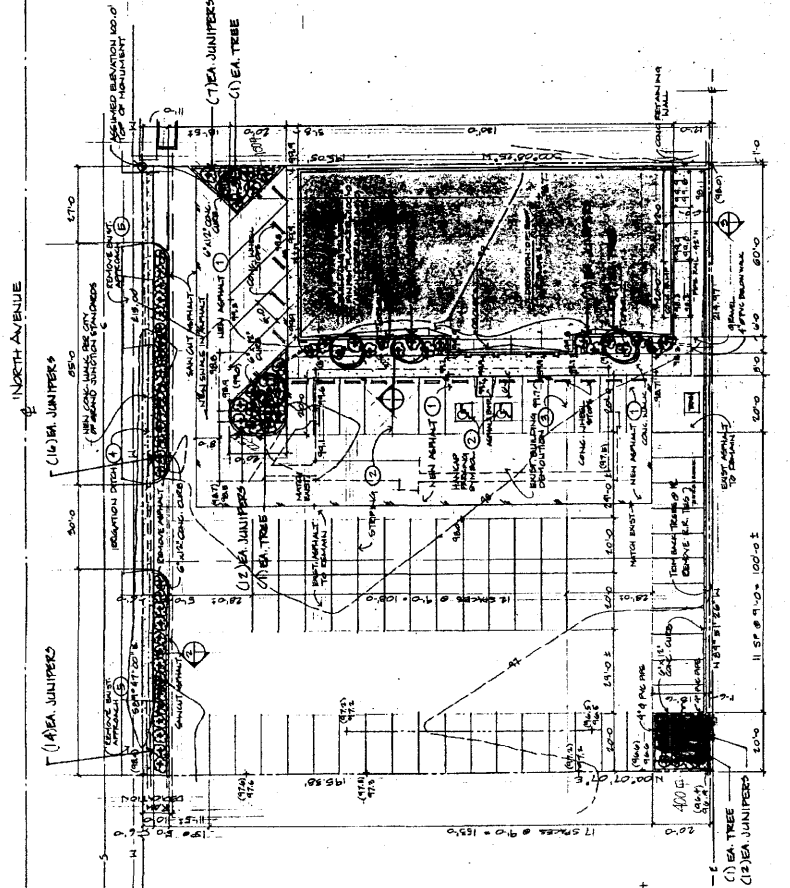
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- 7-6 PUMPING FLOOR PLAN
- 7-7 WATER DIAGRAM / CONNECTION SCHEDULE
- 7-8 WATER DIAGRAM / PUMPING SCHEDULE
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- 4. Remove existing open concrete irrigation ditch. Install new irrigation pipe to match adjacent pipe as required by the irrigation company having jurisdiction. Cover pipe as required prior to planting new trees.
- 5. Remove existing concrete approach drives. Install new concrete curb and sidewalk as shown. Maintain proper grades at new gutter line to match existing drainage flow. Fill area between new curbs and new walks with compacted roadbase.



1 CONCRETE CURB DETAIL
2 CONCRETE RAMP DETAIL



LANDSCAPE PLAN
11-2010

LANDSCAPE SCHEDULE

IRREGULAR: THE PLANTING WILL BE MAINTAINED BY LANDSCAPING, TRUCKS OF THE TOWN, ADDITIONAL SCOPES AND SITE DRAINAGE WILL BE INSTALLED PLANTINGS ON THE NORTH SIDE OF THE BUILDING AND THE PLANTING SCHEDULE OF THIS SITE.


1 TREES: TOTAL # OF TREES ONE (1). TREES TO BE PLANTING TYPE #1 (M). 10' CALIPER.

2 JUNIPERS: TOTAL # OF JUNIPERS SEVENTY-THREE (73). JUNIPERS TO BE PLANTING TYPE #2 (M). 2' CAL. AND PLANTING MAX. 4'0\"/>

ALL TREES AND JUNIPERS STRIPES.

LEGAL DESCRIPTION

LOT 2 NEEDS SUBDIVISION AND TRACT 2 A TRACT 3, NE 1/4 SECTION 10, T12N, R1E, U1M, PROPERTY AS SURVEYED BY BANNER ASSOCIATES, INC. JOB NO. 8001-10, DATED 10-28-93.

 <p>ALPINE C.M., INC. 1111 S. 12TH ST., SUITE 100 GRAND JUNCTION, CO 81505</p>	<p>KNIGHTS OF COLUMBUS NEW RECREATION HALL GRAND JUNCTION, CO.</p>
<p>STEVEN P. COLONY, ARCHITECT P.O. BOX 177 GRAND JUNCTION, CO 81501</p>	<p>LANDSCAPE PLAN</p>