

SUBMITTAL CHECKLIST

The Falls

SITE PLAN REVIEW & Replat

Location: Villa Way & Grand Falls Circle

Project Name: FALLS VILLAGE

ITEMS	DISTRIBUTION																				TOTAL REQD.					
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District <i>WTE</i>	Sewer District <i>CGUSD</i>	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers		Walker Field	QED	JAS	B.D.	
● Application Fee	VII-1	1																								
● Submittal Checklist*	VII-3	1																								
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																								
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1		1			1																			
○ Appraisal of Raw Land	VII-1	1		1	1																					
○ Deeds	VII-1	1		1	1		1																			
○ Easements	VII-2	1	1	1	1		1																			
○ Avigation Easement	VII-1	1		1			1																			
○ ROW	VII-3	1	1	1	1		1																			
● Improvements Agreement/Guarantee	VII-2	1	1	1			1																			
○ CDOT Access Permit	VII-3	1	1																							
○ Industrial Pretreatment Sign-off	VII-4	1	1																							
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																							
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Grading and Drainage Plan	IX-16	1	2										1													
○ Storm Drainage Plan and Profile	IX-30	1	2										1			1	1	1								
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1							1	1	1	1	1									
○ Roadway Plan and Profile	IX-28	1	2										1													
○ Road Cross-Sections	IX-27	1	2										1													
○ Detail Sheet	IX-12	1	2																							
● Landscape Plan <i>on site plan</i>	IX-20	2	1	1																						7
○ Geotechnical Report	X-8	1	1								1															
○ Final Drainage Report	X-5,6	1	2										1													
○ Stormwater Management Plan	X-14	1	2										1								1					
○ Phase I and II Environmental Report	X-10,11	1	1																							
○ Traffic Impact Study	X-15	1	2																							
● <i>FINAL PLAT</i>		1	2	1	1	1	1	1						1		1	1									14
● <i>NAMP & Addresses (200')</i>		1																								
● <i>DRAINAGE FEE?</i>																										

57 94

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

PRE-APPLICATION CONFERENCE

Date: 2-23-94

Conference Attendance: Lewis Hoffman

Proposal: Townhomes at the Falls, filing 2 & 3

Location: Grand Falls Circle & Villa Way

Tax Parcel Number: 2943-072-17-022 & 034 & 038

Review Fee: 160.00

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? NA

Adjacent road improvements required? sidewalk

Area identified as a need in the Master Plan of Parks and Recreation? NA

Parks and Open Space fees required? 22.50 per unit Estimated Amount: _____

Recording fees required? yes Estimated Amount: _____

Half street improvement fees required? _____ Estimated Amount: _____

Revocable Permit required? N/A

State Highway Access Permit required? N/A

Applicable Plans, Policies and Guidelines _____

Located in identified floodplain? FIRM panel # _____

Located in other geohazard area? _____

Located in established Airport Zone? Clear Zone. Critical Zone. Area of Influence? _____

Avigation Easement required? _____

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking
- Drainage
- Floodplain/Wetlands Mitigation
- Other
- Screening/Buffering
- Landscaping
- Availability of Utilities
- Land Use Compatibility
- Traffic Generation
- Geologic Hazards/Soils

Related Files: _____

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

[Signature]
Signature(s) of Petitioner(s)

[Signature]
Signature(s) of Representative(s)

March 22, 1994

**GENERAL PROJECT REPORT
FALLS VILLAGE**

This application is for site plan review and final plat on Lot 9, The Falls Filing No. 2, and Lots 11 and 15, The Falls Filing No. 3. Final Development Plans for these lots were submitted in the early 1980's (City file #6-80 and #50-82) to which we are proposing minor changes to fit the dwelling units that are to be built in the immediate future. The total number of lots being created with this proposal is actually fewer than the original Development Plans had anticipated and one unit less than the current ODP allows. The set backs are consistent with the original Development Plans. Two off-street parking spaces are provided for each unit, one in the garage and one on the driveway. This proposal is consistent with the surrounding land uses and will be an asset to the neighborhood to finally have these areas completed after 10+ years of inactivity.

The streets, curb, gutter, and sidewalks, water, and sewer were completed in the early 1980's in accordance with approved plans. On Lots 1-4, Block One and Lots 1-8, Block Two, the water and sewer services will generally be usable with some minor adjustments and/or additions. Retrofitting the services on Lots 9-18, Block 2 may have more difficulties, but with the cooperation of Ute Water, Central Grand Valley Sanitation District, and the Builder, these can easily be overcome when the units are built. The first units to be built are anticipated on Lots 3-8, Block Two where existing utilities fit the best. This will familiarize everyone with what actually exists.

#57 94

To: *Development Review
From: Bobbie Paulson
Subject: <None>
Date: 3/25/94 Time: 9:42a

A Site Plan Review meeting has been scheduled for Tuesday, March 29th at 9:00 a.m. in Conference Room A, City Hall.

The agenda is:

1. A request for a revocable permit to place a cable under the 2700 block of Crossroads Blvd. STAFF: Kristen Ashbeck
2. Lot Line Adjustment at 2740 & 2760 N 15th Street. STAFF: Dave Thornton
3. Site Plan Review for a 2nd story addition to the Home Loan building on 4th Street and Reed Avenue. STAFF: Kathy Fortner
4. A request to revise the Site Plan for the Mesa National Bank drive-through at 12th Street and Patterson Road. STAFF: Kristen Ashbeck
5. Resubdivision of The Falls, Grand Falls Circle & Villa Way. STAFF: Dave Thornton
5. Finalize recommendations for the Planning Commission Hearing items. STAFF: Kathy Fortner
6. Miscellaneous County Development items. STAFF: Dave Thornton

PARKING

Shift setbacks to 10' AT
sidewalks will be req'd
single or Double garage

Double needed

sidewalk easement needs to be dedicated R.O.W.

REVIEW COMMENTS

Page 1 of 3

FILE #57-94

TITLE HEADING: Replat & Site Plan Review - The Falls

LOCATION: Villa Way & Grand Falls Circle

PETITIONER: John A. Siegfried

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 9088
Grand Junction, CO 81501
241-1105

PETITIONER'S REPRESENTATIVE: Lewis Hoffman

STAFF REPRESENTATIVE: Dave Thornton

NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED ON OR BEFORE 5:00 P.M., , 1994.

UTE WATER **3/28/94**
Gary R. Mathews **243-5008**

Additional service lines are installed at the developers expense. The developer needs to turn off and disconnect, at the main line, all unused water services.

Policies and fees in effect at the time of application will apply.

CITY UTILITY ENGINEER **3/31/94**
Bill Cheney **244-1590**

WATER - Ute Water
SEWER - Central Grand Valley Sanitation District

MESA COUNTY BUILDING DEPARTMENT **4/1/94**
Bob Lee **244-1656**

Exterior walls built less than 3' to property lines shall be one (1) hour fire resistance per the Uniform Building Code.

CITY PARKS & RECREATION DEPARTMENT **4/5/94**
Don Hobbs **244-1542**

Open space fees are due for each dwelling unit - how many are there? I don't find that information in any of these documents. Please submit.

CITY ATTORNEY
John Shaver

4/7/94
244-1501

1. The developer needs to provide proof of release of mortgagees and/or written consent of mortgagees to plan and plat proposal.
2. Legal descriptions on title work and plat are different. Plat excludes block reference.
3. Is this replat one of many or is it a single correction? If others will occur the project should be planned as a whole not in a piece by piece fashion.
4. The note regarding Lot 18 should state that administrative review will be by the City of Grand Junction.
5. Has staff reviewed the O.D.P. for current appropriateness and viability? If not, such should occur prior to replat.

U.S. WEST
Leon Peach

4/6/94
244-4964

New or additional telephone facilities necessitated by this project may result in a "contract" and up-front monies required from developer, prior to ordering or placing of said facilities. For more information, please call Leon Peach at 244-4964.

CENTRAL GRAND VALLEY SANITATION DISTRICT
S.T. LaBonde

4/6/94
241-7076

See attached letter with comments.

CITY DEVELOPMENT ENGINEER
Don Newton

4/8/94
244-1559

Curb and sidewalk will be required along the frontage of lots 9 through 18. The new sidewalk could be constructed adjacent to the existing concrete pan if a water tight seal can be made between the new and existing concrete.

The existing street pavement width is only 24' and will not accommodate parking on both sides of the street. The petitioner will be required to place signs along the north side of the streets fronting his lots to prohibit parking on the street.

GRAND JUNCTION FIRE DEPARTMENT
George Bennett

4/8/94
244-1400

The streets and roadways must meet City standards to provide access for emergency vehicles. Fire hydrant placement looks fine.

COMMUNITY DEVELOPMENT DEPARTMENT
Dave Thornton

4/8/94
244-1447

1. Garages shall be setback from edge of sidewalk a minimum of 20 feet to allow a vehicle to park in front of the garage.

2. Sidewalk easement shall be dedicated as right-of-way.
3. Additional right-of-way may need to be dedicated along Lots 9 through 18 to accommodate new sidewalk being required.
4. All review comments shall be adequately addressed and open space fees paid prior to recording the plat. All recording costs are the responsibility of the petitioner.
5. Please submit a revised site plan and plat for our review and other agency review.
6. Please ensure plat dedication language conforms to City of Grand Junction SSID Manual.



WestWater Engineering

Consulting Engineers

2516 FORESIGHT CIRCLE, #1
April 6, 1994

GRAND JUNCTION, COLORADO 81505

(303) 241-7076

FAX (303) 241-7097

City of Grand Junction
Community Development Dept.
250 No. 5th St.
Grand Junction, CO 81501



RE: Review Comments for Falls Village - Replat of Falls
Filings #2 & #3 - Central Grand Valley Sanitation District

Dear Sirs:

We have reviewed the Falls Village, a replat of Lot 9 of the Falls Filing #2, and Lots 11 and 15 of the Falls Filing #3 for the Central Grand Valley Sanitation District and have the following comments:

1. The replatting of Lot 11 of Filing 3 does not allow for sewer service to the new Lot 2. It will be necessary to provide a new service line to Lot 2 from the existing main along North Grand Falls Court. The District's contractor will perform all work for tapping the existing main and extending it to the property line at the petitioner's cost.
2. The existing sewer service lines to Lots 1 through 3 of Block 1 and Lots 1 through 8 of Block 2, Filing 3 should be accurately shown per the District's as-built drawings, unless they have been field located. This will allow the District to provide an accurate reference to the new property lines for the existing service lines. The as-built drawings are available upon request.
3. The existing 6 inch service line extending out of the last manhole on Grand Falls Circle (MH-CV3) was originally proposed to service the multi-family units for Lot 9 of Filing 2. Based on previous discussions with the petitioner and the owner of Lot 13, Filing 3, the existing service line is now being proposed to service the assisted care living center being proposed for Lot 13, Filing 3. This method of service to Lot 13 is acceptable to the District. The 6 inch service line that will be extended to Lot 13 will be owned and maintained by the owner of Lot 13. An easement has been provided through Lot 9, Filing 2 to accommodate the service line. Since this is considered a service line, no other units will be allowed to connect to the assisted care living center's 6 inch line.

4. Because Lot 9 of Filing 2 was originally proposed as multi-family, no separate service lines have been provided to accommodate service to Lots 9 through 16 of Block 2 in Filing 2. For Lots 13 through 16, the existing sewer main can be utilized and separate service lines installed to each individual lot. As required for Lot 2 of Block 2, Filing 3, the District's contractor will install all taps on the existing main and extend the service line to each property line at the expense of the petitioner.

For Lots 17 and 18, the existing service lines installed between MH-CV2 and MH-CV4 can be utilized as shown on the site plan.

In order to provide sewer service to Lots 9 through 12 of Block 2, Filing 2, it appears that a new sewer main will have to be extended from MH-CV3 (end manhole on Grand Falls Circle), with separate service lines extended to each lot off the new main. The petitioner has noted that servicing these lots has some difficulties that can be coordinated with the District; however, the method of service should be established at this time and agreed upon, to ensure that all units will have adequate sewer service in accordance with all of the District's requirements. If the sewer main is extended along Grand Falls Circle, all of the District's requirements for sewer line extensions are to be followed. This includes submittal of detailed plan and profile sheets prepared by a Registered Professional Engineer and execution of the District's Sewerline Extension Application and Agreement.

5. The site plan shows the sewer line between MH-CV2 and MH-CV4 that extends north off of Grand Falls Circle as 6 inches. This should be noted as an 8 inch sewer main.
6. The following minimum drafting standards are required on all District submittals.
 - a) The existing sewer lines and sewer services are to be shown with dashed lines. New sewer lines are shown with solid lines.
 - b) Existing manholes are to be designated with open circles.
 - c) Directional arrows are to be provided on all sewer mains.

- d) Existing manholes are to be numbered in accordance with the District's plans that are available upon request.

Please have the petitioner revise the site plan to address the aforementioned comments, and provide any other additional submittals to the District to ensure sewer service is adequately provided to all of the proposed lots in the replat.

Respectfully,



Stephen T. LaBonde
District Engineer

STL/sc

cc: Edith Kinder, Central Grand Valley Sanitation District
Lewis Hoffman, Petitioner

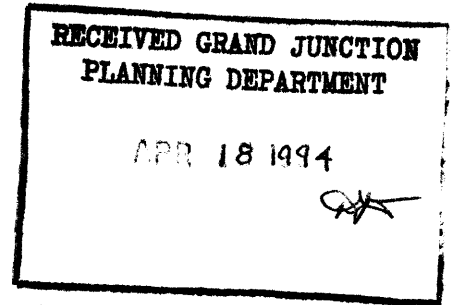
RESPONSES TO REVIEW COMMENTS

April 12, 1994

FILE #57-94

Replat & Site Plan Review - Falls Village

John Siegfried
Lewis Hoffman
P.O. Box 9088
Grand Junction, CO 81501



UTE WATER

We will follow the procedures and policies indicated.

MESA COUNTY BUILDING DEPARTMENT

We will comply with the Uniform Building Code.

CITY PARKS & RECREATION DEPARTMENT

The site plan and final plat clearly indicate the number of units.

U.S. WEST

Additional facilities will be needed.

CENTRAL GRAND VALLEY SANITATION DISTRICT

See copy of attached letter.

GRAND JUNCTION FIRE DEPARTMENT

Streets were constructed as originally approved, and accepted for maintenance May 29, 1987.

CITY ATTORNEY

1. This has never been a requirement on any subdivision we have ever processed through the City and is not listed as a required submittal document in the SSID or the Zoning and Development Code.
2. We will add Block 2 to the plat to be consistent with the title work.
3. This is a replat to divide three multi-family lots into individual lots pursuant to the ODP/Site Plan Review process in the City of Grand Junction Zoning and Development Code Sections 7-3 and 7-5. We are not prepared to replat other private holdings at this time.
4. We will revise the note in spite of the fact we are unaware of any other entities that have jurisdiction to do an administrative review on properties within the city limits.
5. This is a replat of an approved and recorded ODP. Such "planning" concerns as appropriateness and viability had been considered prior to the approval and recording of this ODP.

CITY DEVELOPMENT ENGINEER

Grand Falls Circle and Villa Way were originally approved with sidewalks on one side of the street only. These streets were built in compliance with the approved plans and were accepted for maintenance according to a May 14, 1987, letter from Don Newton, City Engineer, to Mr. Homer Brown, Valley Federal Savings and Loan. Furthermore, we have additional handwritten documents dated 1/20/93 stating that as of May 29, 1987,

"all streets accepted." Both of these documents are in the City file #2-92 (we have made numerous copies from this file verifying these facts). Upon review of other City files regarding the Falls, we have found numerous references to streets with sidewalks required on one side only. In addition to this documentation, all development agreements and guarantees have been released, as no further construction was necessary. We feel that it is unreasonable at this time to require any additional sidewalks.

We are aware of a perceived traffic problem on Villa Way and Grand Falls Circle. Upon numerous site visits over the past three years by many members of our organization, we feel that the problem is, in fact, perceived and not real. These streets are acceptable for residential use, as has been verified by documents in city files including minutes from the March 3, 1992 Grand Junction Planning Commission meeting where Don Newton stated, "the width meets the requirements for a residential street as it is." We feel that putting "no parking" signs on our side of the street would cause unnecessary undue hardship to residents living on the north side Grand Falls Circle and Villa Way. We are impacting these streets with the same level of traffic that had been anticipated in the original street designs since this project's inception. As these streets have been accepted and maintained by the City since May 29, 1987, it is the City's obligation to install signage as they deem necessary.

COMMUNITY DEVELOPMENT DEPARTMENT

1. On Villa Way, we will honor a 20' setback from the edge of sidewalk. On Grand Falls Circle we will honor a 20' setback from back of curb. (No front setback was established on the original site plans.)
2. The City has previously accepted these streets for maintenance as they were designed and constructed, including the Villa Way sidewalk in an easement. As right of access is the same for easements and ROWs, we feel that it is not necessary that additional ROW be dedicated. (see Don Newton quote in City Development Engineer response above.)
3. See response to Community Development Engineer.
4. According to a handwritten document dated 1/20/93, found in file #2-92, 19 units worth of open space fees (\$4270) were paid for Filing 3, and only 12 units have been built to date. Therefore, we have a credit for at least 7 open space fees (\$1575) associated with this replat. Any additional open space fees required will be paid to Parks and Recreation Department and District 51 Schools in the appropriate allocations of the \$225/unit (current open space fee).
5. We will submit revised plans when complete.
6. As this is not a new plat, rather a replat of an existing, previously recorded plat, we feel that the language should remain consistent with the original plat. We are not dedicating any new easements or ROW, but merely adding lot lines on top of an existing, recorded plat. To start to rededicate easements/ROW to specific entities would be cumbersome and confusing, and could infringe on current perceived/real rights.

April 12, 1994

Stephen T. LaBonde
District Engineer - Central Grand Valley Sanitation District
Westwater Engineering
2516 Foresight Cir. #1
Grand Junction, CO 81505

RE: Responses to Review Comments for Falls Village

Dear Steve:

Pursuant to our meeting of April 8, 1994, I would like to confirm our resolutions of your review comments.

As we discussed, we will be extending the sewer main in two locations to service our units. One extension will be approximately 45' of sewer main and one manhole north out of the stub-out of Manhole MHTF43 and the other extension will be the sewer main and two manholes in an easement behind the existing curb on Grand Falls Cir. extending from Manhole MHCV3 west then turning south. We will provide the construction drawings and follow the policies of the District. This will provide service to all units, and addresses your comments nos. 1, 3, and 4.

Regarding comment 2; we agreed that we used appropriate as-builts.

Regarding comment 5; the drawing will be corrected.

Regarding comment 6; the site plan shows utilities in a composite form and will be corrected as needed. Drawings that we will be submitting to the District for review will comply with your standards.

I trust that this will satisfy your concerns and allow us to proceed with the review process through the City without delay, while we work out our specifics with the District. If you have any questions, additions, or different understanding of our agreements I have reviewed herein, please call me at 241-1105.

Sincerely,



Lewis E. Hoffman III
for John Siegfried
P.O. Box 9088
Grand Junction, CO 81501

cc: City of Grand Junction Community Development Dept. (file #57-94)

STATE OF COLORADO, COUNTY OF MESA
RECORDED AT 11:30 O'CLOCK *AM* APR 22 1981
RECEPTION NO. 1254589 EARL SAWYER, RECORDER

April 16, 1981

Grand Junction City Council
250 North 5th Street
Grand Junction, CO 81501

The undersigned hereby guarantees not to request building permits for Lot 10, Block Two, The Falls, Filing No. Two, until such time as required public improvements as listed on the Subdivision Improvements Agreement are installed for said Lot 10, Block Two.

It is understood that this guarantee can be replaced with a guarantee from a lending institution acceptable to the Grand Junction City Council..

Robert P. Gerlofs
Robert P. Gerlofs

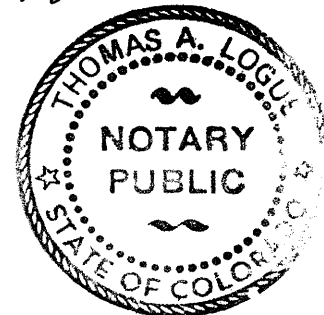
STATE OF)
)
COUNTY OF)

The foregoing instrument was acknowledged before me this 16th day of April A.D., 1981, by Robert P. Gerlofs.

Witness my hand and official seal.

Thomas A. Logue
Notary Public


My commission expires: Aug 9 1981



*Copies to Don Warner } 4-28-81
Barrel Louder }*

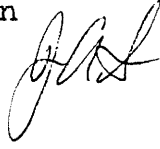
ON 6-15-94 this Building Permit hold was found in the City Clerk's OFFICE. It has been determined that Lot 10, Blk 2 of the Falls, filing 2 has been replated two times since this building permit hold was filed at the Clerk & Recorder. The last time a replat occurred was May 25, 1994 as Falls Village Streets have been accepted with additional sidewalk being installed as part of the Falls Village development. Building permits are being issued.

This building permit hold is no longer valid and should have been released


6-15-94

May 3, 1994

To: Jim Shanks and Dave Thornton
Fm: John Siegfried
Re: Falls Village, File # 57-94



After discovering we have no sidewalk on the south side of Grand Falls Circle, Jim, Don Newton and I, at our meeting last week, came to the following conclusions, which also include further conversations with Dave Thornton the following day.

1. We will provide a four foot sidewalk easement adjacent to the existing northern side of the right of way on Grand Falls Circle. These sidewalks will be constructed as each unit is built and be a part of an integrated site plan for driveways and sidewalks requiring no improvements agreement or guarantee at the time the plat is recorded. *Has this been approved?*
2. Front setbacks shall be figured from the right of way as current site plans indicate.
3. Initially, installation of "no parking" signs will not be required.
4. The existing sidewalks currently in an easement on Villa Way shall remain in an easement rather than dedicating additional right of way.

These conclusions supplement responses to review comments dated April 12, 1994. If there are any questions regarding these conclusions, please contact me at 243-5902.

Copies to: Don Newton

Tody:
FYI
Please file

May 5, 1994

TO: Dave Thornton
FM: Lewis Hoffman

RE: Falls Village, File #57-94

Attached are 5 copies each of the revised plat and site plan for Falls Village. The revisions reflect all of the various agreements we have reached with the various review agencies.

Distribute as follows:

Community Development-1 set
City Engineer-2 sets
City Attorney-1 set
Extra-1 set

I will hand deliver 1 set to Public Service Co. (as we have had continuing discussion with them over service distribution design), and 1 set to the County Surveyor.

If I have omitted any agency that you feel should receive a revised set of these drawings, please call me at 243-5902 or 214-1105.

Lewis



CITY OF GRAND JUNCTION FILE #57-94 REPLAT OF THE FALLS
LOCATED AT VILLA WAY & GRAND FALLS CIRCLE IN THE CITY OF
GRAND JUNCTION HAS BEEN REVIEWED AND APPROVED BY THE
UTILITY COORDINATING COMMITTEE.

A. Gale Clawson

CHAIRMAN

May 11, 1997

DATE

SUB NO. SB-65-94

MESA COUNTY LAND RECORDS
544 ROOD AVE
GRAND JUNCTION, COLO. 81501
(303) 244-1823

To: Monika Todd, Mesa County Clerk & Recorder.

This is to certify that the SUBDIVISION PLAT described below

FALLS VILLAGE

has been reviewed under my direction and that to the best of my knowledge it conforms with the necessary requirements pursuant to the Colorado Revised Statute 1973 38-51-102 for the recording of Land Survey Plats in the records of the County Clerk's Office. This approval does not certify as to the accuracy of Surveys, Drafting, Calculations, nor to the possibility of omissions of easements and other Rights-of-Way or Legal Ownerships.

Dated this 25th day of May, 1994.

Signed: _____

Ken Sweaenigin

NOTE "

The recording of this plat is subject to all Approved Signatures & Dates.

RECORDED IN MESA COUNTY RECORDS

DATE: _____

TIME: _____

BOOK: 14 PAGE 227+228

RECEPTION NO: _____

Drawer AA93

1683374 09:58 AM 05/25/94
MONIKA TODD CLK&REC MESA COUNTY CO

PARKS AND RECREATION DEPARTMENT
City of Grand Junction
1340 Gunnison Avenue
Grand Junction, CO 81501
(303) 244-FUNN • FAX (303) 242-1637



File No. 57-94
Proposal: Falls Village Townhomes
Location: Villa Way & Grand Falls Circle
Engineer/~~Representative~~: QED
Petitioner: John Siegfried
Address: Box Box 9088
Phone No: 241-1105 7 units were paid for previously
Fee Calculation: Account Number - 15790-45306 for Falls Filing # 3
11 Units at \$ 225⁰⁰ /unit = \$ 2475
Appraised Value at _____ % = \$ _____
Amount Paid \$ 2475 Date 5/25/94 Initials QED



White-Petitioner; Green-Finance; Yellow-Parks; Pink-Comm Development; Goldenrod-File

1424746 08:58 AM
JUN 26, 1986 E.SAWYER,CLK&REC MESA CTY,C

we, the undersigned, being current owners of Lots 1, 2, 4, 5, 6, 8, 9, 11, 12, 13, 14, 15 of Block One of Falls Subdivision, Filing #1, agree to guarantee the installation of sidewalks, as shown on the approved development plan, in the following manner.

1. At the time the first building permit is requested, subsequent to the recording of this guarantee, we will install sidewalks in front of all structures where sidewalks were not previously installed and in front of the property where the building permit is requested.
2. At the time subsequent building permits are requested, sidewalks will be installed in front of each property granted a permit and these walks will be connected with the nearest existing walks or with the sidewalk along Patterson Road.

This guarantee shall run with the above subject properties until all sidewalks have been installed in accordance with the approved plan and accepted by the City.

Richard A. Gouley

President

Mesa Federal Savings and Loan
Association of Colorado

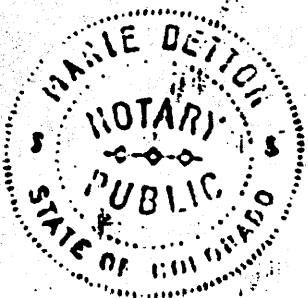
Subscribed to and sworn before me this 27th day May,

19 86.

Marie Letton

Notary Public

My commission expires Nov. 4, 1986.



MEMORANDUM

TO: City Development File #57-94, SPR and Replat Falls Village

FROM: Kathy Portner *KP*

DATE: August 7, 1995

RE: Requirements for permits

Sewer

According to Steve LaBonde, Engineer for Central Grand Valley Sewer District, there are some sewer extensions required for development in the replat area. Since we do not have an Improvements Agreement for the sewer work, prior to issuing Planning Clearances we will require documentation from Central Grand Valley that the sewer is in and accepted or that the developer has entered into an agreement with Central Grand Valley for the improvements. A C.O. will not be issued until sewer is completed and accepted.

Sidewalk

Construction of a 4' sidewalk in front of lots 9 through 18 shall be required at the time of building construction by the owner of each lot. Certificates of Occupancy (C.O.) shall be required to occupy units and a C.O. will not be issued until the sidewalk is completed.

Access to lots 3 and 4, Block 1 and lots 1 and 2, Block 2

The design and construction of access to lots 3 and 4, Block 1 and lot 2, Block 2 and lot 1, Block 2 if it accesses onto the ingress, egress easement, shall be reviewed and approved by City Engineering.

FL

A REPLAT OF LOT 9, BLOCK TWO, T...

260-6464

434-2276
(241-7076)
(Stull LaBelle)

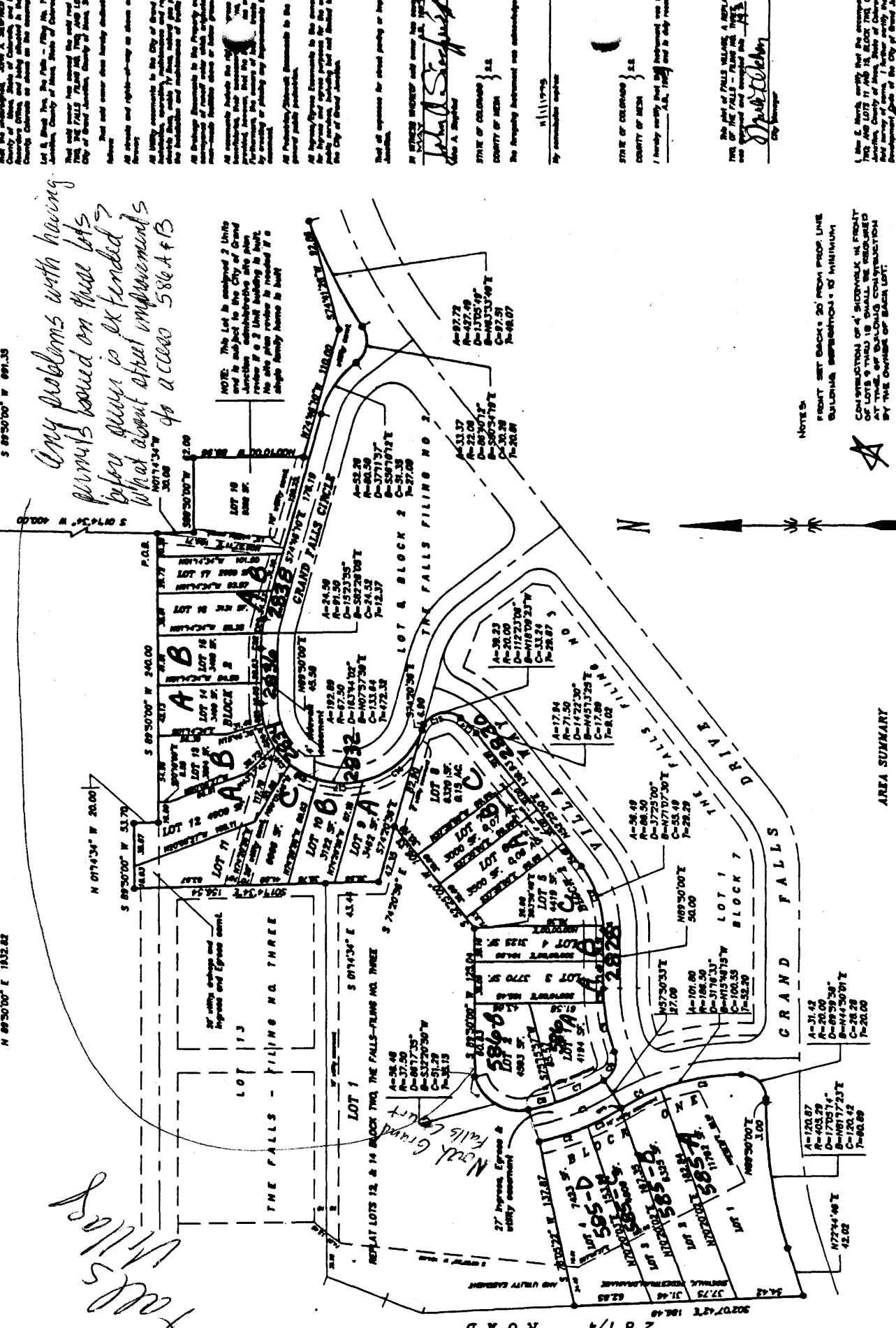
Falls Village

NW CORNER SECTION 7 7 1/2 N1/4 S 89°50'00" W 1932.82

NW CORNER SECTION 7 7 1/2 N1/4 S 89°50'00" W 891.33

ROAD (PATTERSON)

ROAD



Any problems with having pumps based on these lots before permit is extended? What about street improvements do a class 580A+B

Notes:
FRONT SET BACK: 20' FROM PROPOSED LINE
SULPHUR SEPARATION: 10' MINIMUM
CONSTRUCTION OF 4' SIDEWALK IN FRONT OF LOTS 9 & 10 SHALL BE REQUIRED AT TIME OF SUBSEQUENT CONSTRUCTION BY THE OWNER OF EACH LOT.

AREA SUMMARY

LOTS = 2.91 ACRES = 100%

CURVED NAME	LENGTH	CHORD	CHORD BEARING	DELTA ANGLE	TANGENT
1300B	69.28	69.28	S89°50'00" W	90.00	28.29
1300C	69.28	69.28	S89°50'00" W	90.00	28.29
1300D	69.28	69.28	S89°50'00" W	90.00	28.29

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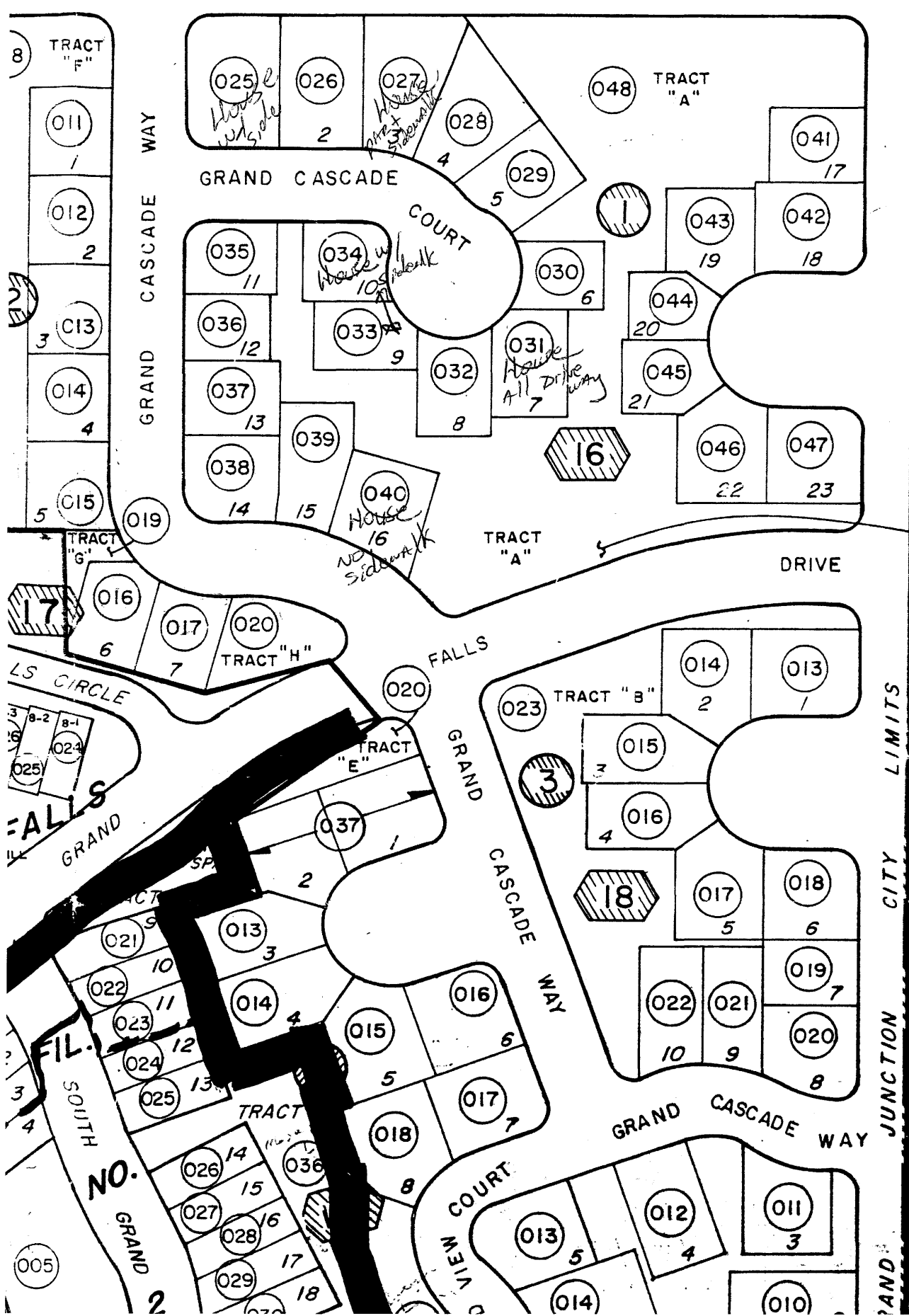
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