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Fil	e	1994-0058 Name: Knowlton Auto – Baldini – SPR - 931 North 1st Street - SPR
D	S	
P	c	A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS
е	a	retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development
s	n	file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will
e	n	be found on the ISYS query system in their designated categories.
n t	e d	Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for
		the contents of each file.
		the contents of each file.
X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
		Review Sheets
	\neg	Receipts for fees paid for anything
X	X	*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
X	\dashv	Reduction of assessor's map.
-1	\dashv	Evidence of title, deeds, easements
	\dashv	*Mailing list to adjacent property owners
	-	Public notice cards
	\dashv	Record of certified mail
	\dashv	Legal description
	\dashv	Appraisal of raw land
_	\dashv	Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
	\dashv	Traffic studies
X	X	*Review Comments
		*Petitioner's response to comments
		*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions
DOCUMENT DESCRIPTION:		
	4 21	
	A	Correspondence
X		Planning Clearance – issued - 3/25/94 - **
X		Agreement – 6/7/94 - **
X	- 1	Planning Clearance – issued – 6/8/94 - **
A	^	Plot Plan
-	\dashv	
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SUBMITTAL CHECKLIST

Recust # 1087 SITE PLAN REVIEW

Project Name: Know/ton Quito Sales Location: **ITEMS** DISTRIBUTION DESCRIPTION OTAL REGID O City Downton.
O County Planning
South Planning
South Planning
South Planning City Parks/Recreation City Fire Department SSID REFERENCE brigation District Drainage District Water District Sewer District Original Do NOT Remove From Office ● Application Fee 4/10-60 VII-1 Submittal Checklist* VII-3 Review Agency Cover Sheet* VII-3 VII-3 Planning Clearance* 11"x17" Reduction of Assessor's Map VII-1 Evidence of Title VII-2 Appraisal of Raw Land VII-1 VII-1 O Deeas 111 111 O Easements VII-2 1111111 7 Avigation Easement VII-1 7 RCW VII-3 7 Improvements Agreement/Guarantee VII-2 **CDOT Access Permit** VII-3 Industrial Pretreatment Sign-off VII-4 General Project Report X-7 Elevation Drawing IX-13 Site Plan IX-29 11"x17" Reduction of Site Plan X-29 17 17 17 17 17 17 17 17 17 17 17 17 Grading and Drainage Plan IX-16 Storm Drainage Plan and Profile IX-30 1121 Water and Sewer Plan and Profile IX-34 Roadway Plan and Profile IX-28 1 2 Road Cross-Sections IX-27 1121 Detail Sheet IX-12 1 2 Landscape Plan IX-20 2 1 1 1 1 Geotechnical Report 8-X 1111 X-5.6 Final Drainage Report 1 |2 | Stormwater Management Plan X-14 1/2/ Phase I and II Environmental Report I X-10.1 1111 Traffic Impact Study X-15

NOTES:

An asterisk in the item description column indicates that a form is supplied by the City.

2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.

3) Each submitted Item must be labeled, named, or conerwise identified as described above in the description column.



Alco Building Company, Inc.

Re: Larry Badini

931 Nth 1st

Grand Junction. Co.

#58 94

Original
Do NOT Remove
From Office

Alco Building Co. would like to construct a 900 square foot addition to the already exisiting 1200 square foot building. The addition will be used for car detailing. The addition will match the exsisting structure. This new addition will not add new employees.

Thank You

Bob Turner

Alco Building Co. Inc.

REVIEW COMMENTS

Page 1 of 2

FILE #58-94 TITLE HEADING: Site Plan Review - Knowlton Auto

Addition

LOCATION: 931 N 1st Street

PETITIONER: Jerry Badini

PETITIONER'S ADDRESS/TELEPHONE: c/o Alco Building

P.O. Box 996

Grand Junction, CO 81502

242-1423

PETITIONER'S REPRESENTATIVE: Joe Krabacher

STAFF REPRESENTATIVE: Kathy Portner

NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL <u>ALL</u> ISSUES HAVE BEEN RESOLVED.

GRAND JUNCTION FIRE DEPARTMENT 3/29/94
George Bennett 244-1400

A fire flow survey has to be conducted to determine the required fire flows and a Fire Department Clearance has to be applied for. Submit a complete set of plans to include a site plan (to scale) for our review.

CITY UTILITY ENGINEER 3/31/94
Bill Cheney 244-1590

No comment - Existing domestic services adequate. Installation of a fire hydrant may be required if lot is in excess of 150' of nearest hydrant.

CITY DEVELOPMENT ENGINEER 4/7/94

Jody Kliska 244-1591

Petitioner is responsible for curb, gutter and sidewalk improvements along his 1st Street frontage. No change in drainage is anticipated as the building addition footprint area is already paved.

FILE #58-94 / REVIEW COMMENTS / page 2 of 2

COMMUNITY DEVELOPMENT DEPARTMENT Kathy Portner

4/12/94 244-1446

- 1. The proposed addition to a car lot sales building at 931 N 1st Street is located in a C-2 Zone. This section of 1st Street is classified as a minor arterial and needs 40' of half-street right-of-way; therefore, an additional 10' of right-of-way must be dedicated.
- 2. The landscaping requirement is based on the street frontage 150.00' x 5' x .75 = 562.5 square feet. Of the required square footage, 2 trees are required and a minimum of 40% of the landscaped area must be in shrubs. The landscaped area must have an underground, pressurized irrigation system. A detailed landscaping plan is required.
- 3. The site plan must indicate the display area and the customer parking area. The required parking area must be 10% of the gross display area.
- 4. Show location of existing signage on the site plan.