

SUBMITTAL CHECKLIST

Receipt # 1087

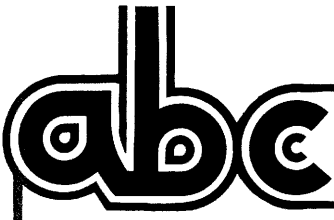
SITE PLAN REVIEW

Location: 931 N. 1st St.

Project Name: Knowlton Auto Sales

ITEMS		DISTRIBUTION														TOTAL REQ'D.								
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District	Sewer District		U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Walker Field	City Police Dept.	
● Application Fee <u>4110-00</u>	VII-1	1																						
● Submittal Checklist*	VII-3	1																						
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																						
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1		1		1																		
○ Appraisal of Raw Land	VII-1	1		1	1																			
○ Deeds	VII-1	1		1		1																		
○ Easements	VII-2	1	1	1	1		1																	
○ Avigation Easement	VII-1	1		1		1																		
○ RCW	VII-3	1	1	1	1		1																	
○ Improvements Agreement/Guarantee	VII-2	1	1	1		1																		
○ CDOT Access Permit	VII-3	1	1																					
○ Industrial Pretreatment Sign-off	VII-4	1		1																				
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																					
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Grading and Drainage Plan	IX-16	1	2									1												
○ Storm Drainage Plan and Profile	IX-30	1	2									1				1	1	1						
○ Water and Sewer Plan and Profile	IX-34	1	2	1	1	1							1	1	1	1	1	1						
○ Roadway Plan and Profile	IX-28	1	2									1												
○ Road Cross-Sections	IX-27	1	2																					
○ Detail Sheet	IX-12	1	2																					
● Landscape Plan	IX-20	2	1	1																				
○ Geotechnical Report	X-8	1	1							1														
○ Final Drainage Report	X-5.6	1	2									1												
○ Stormwater Management Plan	X-14	1	2									1									1			
○ Phase I and II Environmental Report	X-10.11	1	1																					
○ Traffic Impact Study	X-15	1	2																		1			

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.



Alco Building Company, Inc.

Re: Larry Badini
931 Nth 1st
Grand Junction. Co.

#58 94

**Original
Do NOT Remove
From Office**

Alco Building Co. would like to construct a 900 square foot addition to the already existing 1200 square foot building. The addition will be used for car detailing. The addition will match the existing structure. This new addition will not add new employees.

Thank You

Bob Turner
Alco Building Co. Inc.

REVIEW COMMENTS

Page 1 of 2

FILE #58-94

TITLE HEADING: Site Plan Review - Knowlton Auto
Addition

LOCATION: 931 N 1st Street

PETITIONER: Jerry Badini

PETITIONER'S ADDRESS/TELEPHONE: c/o Alco Building
P.O. Box 996
Grand Junction, CO 81502
242-1423

PETITIONER'S REPRESENTATIVE: Joe Krabacher

STAFF REPRESENTATIVE: Kathy Portner

NOTE: WRITTEN RESPONSE BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.

GRAND JUNCTION FIRE DEPARTMENT
George Bennett

3/29/94
244-1400

A fire flow survey has to be conducted to determine the required fire flows and a Fire Department Clearance has to be applied for. Submit a complete set of plans to include a site plan (to scale) for our review.

CITY UTILITY ENGINEER
Bill Cheney

3/31/94
244-1590

No comment - Existing domestic services adequate. Installation of a fire hydrant may be required if lot is in excess of 150' of nearest hydrant.

CITY DEVELOPMENT ENGINEER
Jody Kliska

4/7/94
244-1591

Petitioner is responsible for curb, gutter and sidewalk improvements along his 1st Street frontage. No change in drainage is anticipated as the building addition footprint area is already paved.

COMMUNITY DEVELOPMENT DEPARTMENT
Kathy Portner

4/12/94
244-1446

1. The proposed addition to a car lot sales building at 931 N 1st Street is located in a C-2 Zone. This section of 1st Street is classified as a minor arterial and needs 40' of half-street right-of-way; therefore, an additional 10' of right-of-way must be dedicated.
2. The landscaping requirement is based on the street frontage $150.00' \times 5' \times .75 = 562.5$ square feet. Of the required square footage, 2 trees are required and a minimum of 40% of the landscaped area must be in shrubs. The landscaped area must have an underground, pressurized irrigation system. A detailed landscaping plan is required.
3. The site plan must indicate the display area and the customer parking area. The required parking area must be 10% of the gross display area.
4. Show location of existing signage on the site plan.