

# Table of Contents

File FPP-1995-163  
Date 9/27/99

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, not all entries designated to be scanned, are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been included.</p> <p>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</p> <p>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</p>
X	X	<b>*Summary Sheet – Table of Contents</b>
X	X	Application form
X	X	Receipts for fees paid for anything
		<b>*Submittal checklist</b>
		<b>*General project report</b>
		Reduced copy of final plans or drawings
		Reduction of assessor's map
		Evidence of title, deeds
		<b>*Mailing list</b>
		Public notice cards
		Record of certified mail
X	X	Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		<b>*Final reports for drainage and soils (geotechnical reports)</b>
		Other bound or nonbound reports
		Traffic studies
		Individual review comments from agencies
X	X	<b>*Consolidated review comments list</b>
		<b>*Petitioner's response to comments</b>
		<b>*Staff Reports</b>
		<b>*Planning Commission staff report and exhibits</b>
		<b>*City Council staff report and exhibits</b>
		<b>*Summary sheet of final conditions</b>
		<b>*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)</b>
<b>DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:</b>		
X		Letter from Jody Kliska to John Davis – 1/15/97
X	X	Release of Improvements Agreement Guarantee - **
X		Memo to Ute Water from Kathy Portner – 5/30/97
X	X	Cody Subdivision – Filing #3
X		Letter from JoAnne Boll from John Davies re: Pump House Easement – 7/7/97
X	X	Memorandum of Improvements Agreement - **
X	X	Development Improvements Agreement - **
X	X	Disbursement Agreement - **
X	X	Letter to John Davis from Kathy Portner – 5/8/95
X		Form for approval of filing & recording
X	X	Declaration of Covenants, Conditions and Restrictions
X	X	Disbursement Agreement - **
X		Approval by Utility Coordinating Committee
X	X	Drainage Report – 9/13/95
X	X	Sanitary Sewer Plan & Profile
X		Street Plan & Profile
X	X	Standard Sewer Details

# SUBMITTAL CHECKLIST

## MAJOR SUBDIVISION: FINAL

 Location: Cody filing # 394

 Project Name: Cody

ITEMS	DISTRIBUTION																												
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City of P.C. (8 sets)	City Downtown Dev. Auth.	City Police	County Planning Department	County Building Department	County Surveyor	Walker Field	School Dist. #51	Irrigation District	Drainage District	Water District	Sewer District	Public Service	GVRP	CDOT	Corps of Engineers	Colorado Geologic Survey	U.S. Postal Service	Pensgo WWTF	TIC Corp	TOTAL REQ'D.
		● Application Fee	VII-1	1																									
● Submittal Checklist*	VII-3	1																											
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Application Form*	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<del>● Reduction of Assessor's Map</del>	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<del>● Evidence of Title</del>	VII-2	1		1		1		1																					
○ Appraisal of Raw Land	VII-1	1			1	1																							
<del>● Names and Addresses*</del>	VII-2	1																											
<del>● Legal Description*</del>	VII-2	1			1																								
○ Deeds	VII-1	1			1			1																					
○ Easements	VII-2	1	1	1	1			1													1	1	1					1	
○ Avigation Easement	VII-1	1			1			1							1														
○ ROW	VII-2	1	1	1	1			1													1	1	1					1	
○ Covenants, Conditions & Restrictions	VII-1	1	1					1																					
○ Common Space Agreements	VII-1	1	1					1																					
<del>● County Treasurer's Tax Cert</del>	VII-1	1																											
● Improvements Agreement/Guarantee*	VII-2	1	1	1				1																					
○ CDOT Access Permit	VII-3	1	1																										
○ 404 Permit	VII-3	1	1																										
○ Floodplain Permit*	VII-4	1	1																										
<del>● General Project Report</del>	X-7	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	1	1
● Composite Plan	IX-10	1	2	1	1																								
● 11"x17" Reduction Composite Plan	IX-10	1			1	1	1	8	1	1	1	1					1	1	1	1	1	1	1	1	1	1	1	1	1
● Final Plat	IX-15	1	2	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"X17" Reduction of Final Plat	IX-15	1						8	1	1	1				1	1	1	1	1	1	1	1				1	1		
● Cover Sheet	IX-11	1	2																										
● Grading & Stormwater Mgmt Plan	IX-17	1	2														1							1	1			1	
○ Storm Drainage Plan and Profile	IX-30	1	2														1			1	1	1						1	
● Water and Sewer Plan and Profile	IX-34	1	2	1		1													1	1	1	1	1				1	1	
● Roadway Plan and Profile	IX-28	1	2														1												
○ Road Cross-sections	IX-27	1	2																										
○ Detail Sheet	IX-12	1	2																										
○ Landscape Plan	IX-20	2	1	1				8																					
<del>● Geotechnical Report</del>	X-8	1	1																						1				
○ Phase I & II Environmental Report	X-10,11	1	1																										
● Final Drainage Report	X-5,6	1	2														1												
○ Stormwater Management Plan	X-14	1	2														1							1					
○ Sewer System Design Report	X-13	1	2	1																1									
○ Water System Design Report	X-16	1	2	1															1										
○ Traffic Impact Study	X-15	1	2																										
○ Site Plan	IX-29	1	2	1	1		1	8																					

NOTES: \* An asterisk in the item description column indicates that a form is supplied by the City.



# DEVELOPMENT APPLICATION

Community Development Department  
250 North 5th Street, Grand Junction, CO 81501  
(303) 244-1430

Receipt \_\_\_\_\_

Date \_\_\_\_\_

Rec'd By JKP

File No. FPP-95-163

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input checked="" type="checkbox"/> Subdivision Plat/Plan	<input type="checkbox"/> Minor <input checked="" type="checkbox"/> Major <input type="checkbox"/> Resub		<i>Cody filing # 394</i>	<i>PR</i>	<i>Residential</i>
<input type="checkbox"/> Rezone				From: To:	
<input type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final				
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Variance					
<input type="checkbox"/> Special Use					
<input type="checkbox"/> Vacation					<input type="checkbox"/> Right-of Way <input type="checkbox"/> Easement
<input type="checkbox"/> Revocable Permit					

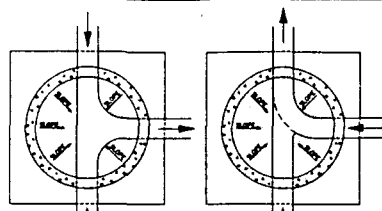
<input checked="" type="checkbox"/> PROPERTY OWNER	<input checked="" type="checkbox"/> DEVELOPER	<input checked="" type="checkbox"/> REPRESENTATIVE
<i>John Davis</i>	<i>John Davis</i>	<i>Wayne Lizer</i>
Name	Name	Name
<i>1023 24 RD</i>	<i>1023 24 RD</i>	
Address	Address	Address
<i>Grand Jct Colo</i>	<i>65 Colo 81505</i>	
City/State/Zip <i>Home</i>	City/State/Zip <i>mobil</i>	City/State/Zip
<i>243-3921</i>	<i>250-0720</i>	<i>241-1129</i>
Business Phone No.	Business Phone No.	Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

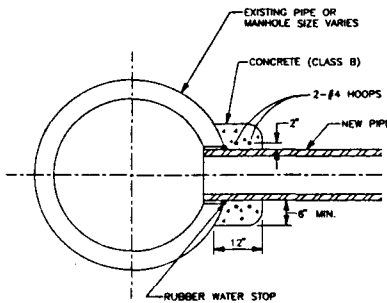
X *[Signature]* Signature of Person Completing Application *9-7-95* Date

X *[Signature]* Signature of Property Owner(s) - attach additional sheets if necessary *9-7-95* Date



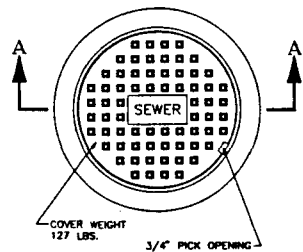
T JUNCTION  
Y JUNCTION  
INVERTS SHALL BE FORMED TO PROVIDE A 24" MIN. APPROACH IN LINE WITH EACH PIPE FOR MAINTENANCE EQUIPMENT.

**SECTION B-B**

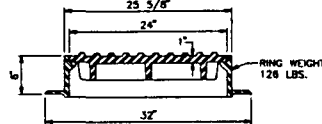


NOTE: IF THE HOLE IN THE EXISTING PIPE OR MANHOLE IS CORED, THE CONNECTION CAN BE MADE BY INSTALLING A FLEXIBLE PIPE TO MANHOLE CONNECTOR ("BOOT") AND THE CONCRETE ENCASUREMENT ELIMINATED.

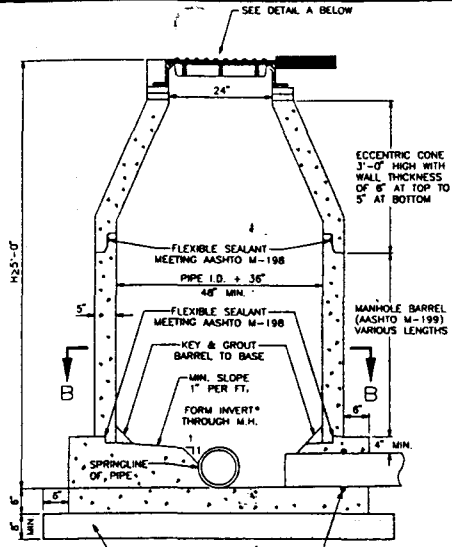
**CONNECTION TO EXISTING MANHOLE OR INLET BOX**



**STANDARD CAST IRON MANHOLE RING & COVER**

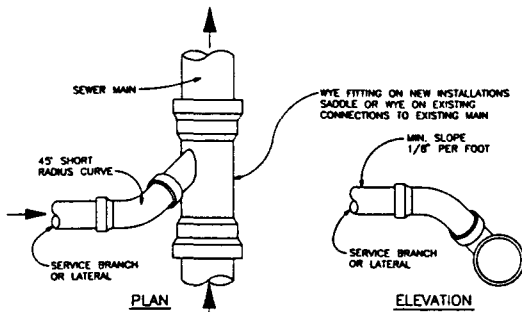


**SECTION A-A**



\* FOR IN LINE MANHOLES THE PIPE MAY BE INSTALLED THROUGH THE MANHOLE AND THE TOP HALF REMOVED.

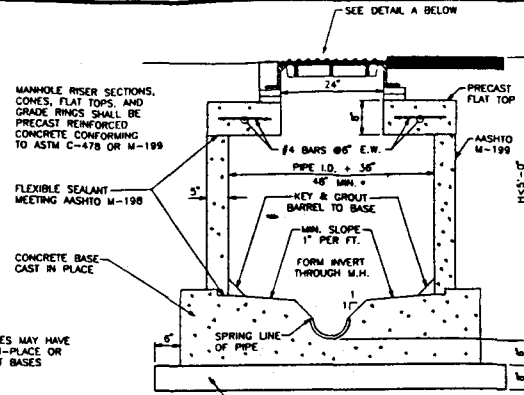
**STANDARD MANHOLE CAST-IN-PLACE BASE**



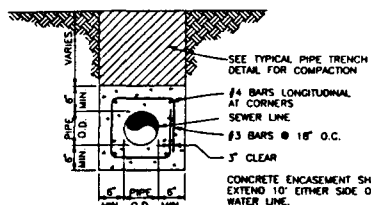
**TYPICAL SERVICE "Y" CONNECTION**

**GENERAL NOTES:**

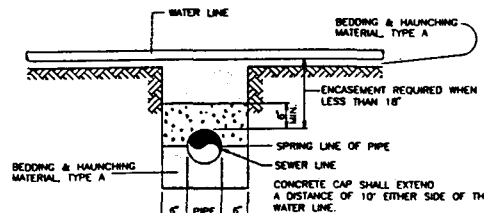
1. CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B" (SECTION 801.02)
2. ALL CEMENT USED IN MORTAR, CONCRETE BASES, GRADE RINGS, RISER SECTIONS, CONES, AND FLAT TOPS, FOR SANITARY SEWER MANHOLES, SHALL BE TYPE V OR MODIFIED TYPE II PORTLAND CEMENT WITH LESS THAN 5% TRICALCIUM ALUMINATE.
3. MANHOLE RISER SECTIONS, CONES, FLAT TOPS, AND GRADE RINGS SHALL BE PRECAST REINFORCED CONCRETE CONFORMING TO ASTM C-478 OR AASHTO M-199.
4. BACKFILL AROUND MANHOLES AND OTHER STRUCTURES SHALL BE PLACED IN 6" MAX. LIFTS AND COMPACTED TO 93% AASHTO T-99.
5. ALL WORK SHALL BE IN ACCORDANCE WITH APPROVED PLANS AND CITY SPECIFICATION.
6. MANHOLE CONE AND FLAT TOP SECTIONS SHALL BE POSITIONED SUCH THAT THE MANHOLE RING AND COVER IS CENTERED 1" LEFT OR RIGHT OF THE UPSTREAM FLOW LINE.
7. IF THE MANHOLE SECTIONS ARE FURNISHED WITH STEPS THEY SHALL BE INSTALLED IN VERTICAL ALIGNMENT WITH THE RING AND COVER.



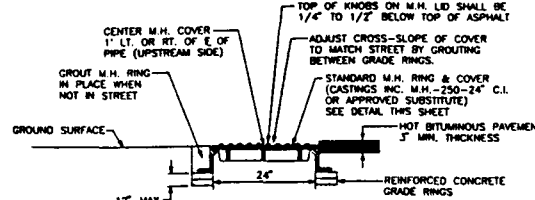
**STANDARD SHALLOW MANHOLE CAST-IN-PLACE BASE**



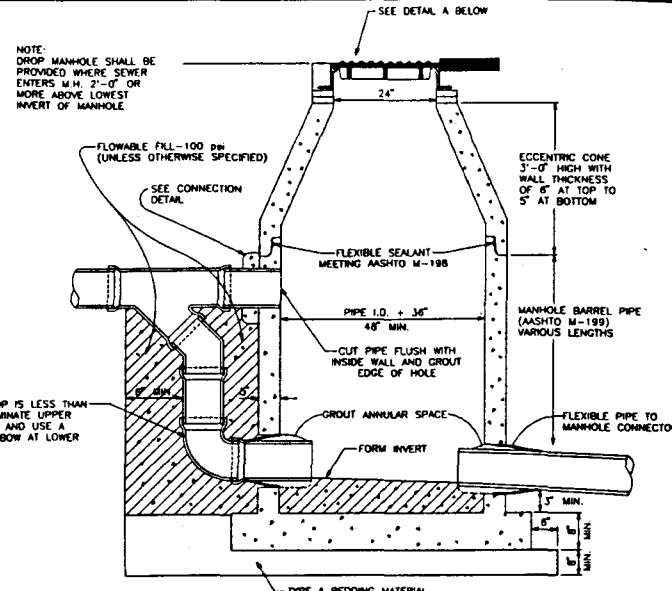
**WATER LINE BELOW SEWER LINE**



**WATER LINE ABOVE SEWER LINE CONCRETE ENCASUREMENT DETAILS**

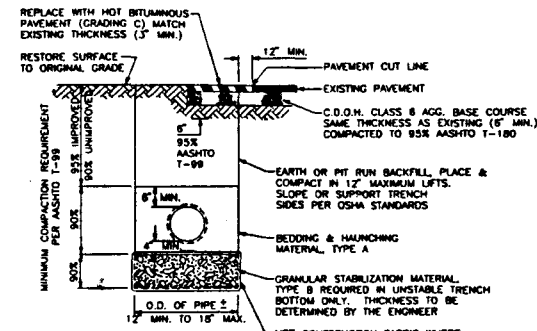


**DETAIL A**



NOTE: DROP MANHOLE SHALL BE PROVIDED WHERE SEWER ENTERS M.H. 2'-0" OR MORE ABOVE LOWEST INVERT OF MANHOLE

**DROP MANHOLE PRECAST BASE**



**TYPICAL TRENCH DETAIL**

SIEVE SIZE	PERCENT BY WEIGHT PASSING SQUARE MESH SIEVES		
	PIPE BEDDING & HAUNCHING MATERIAL (TYPE A)	GRANULAR STABILIZATION MATERIAL (SCREENED OR CRUSHED ROCK TYPE B)	PIT RUN AGGREGATE (TO BE USED WHERE SPECIFIED OR DIRECTED BY THE ENGINEER)
8 INCH	---	---	100
2 INCH	---	100	---
1 INCH	100	---	---
NO 4	---	15 MAX	30 MAX
NO 200	20 MAX	---	---

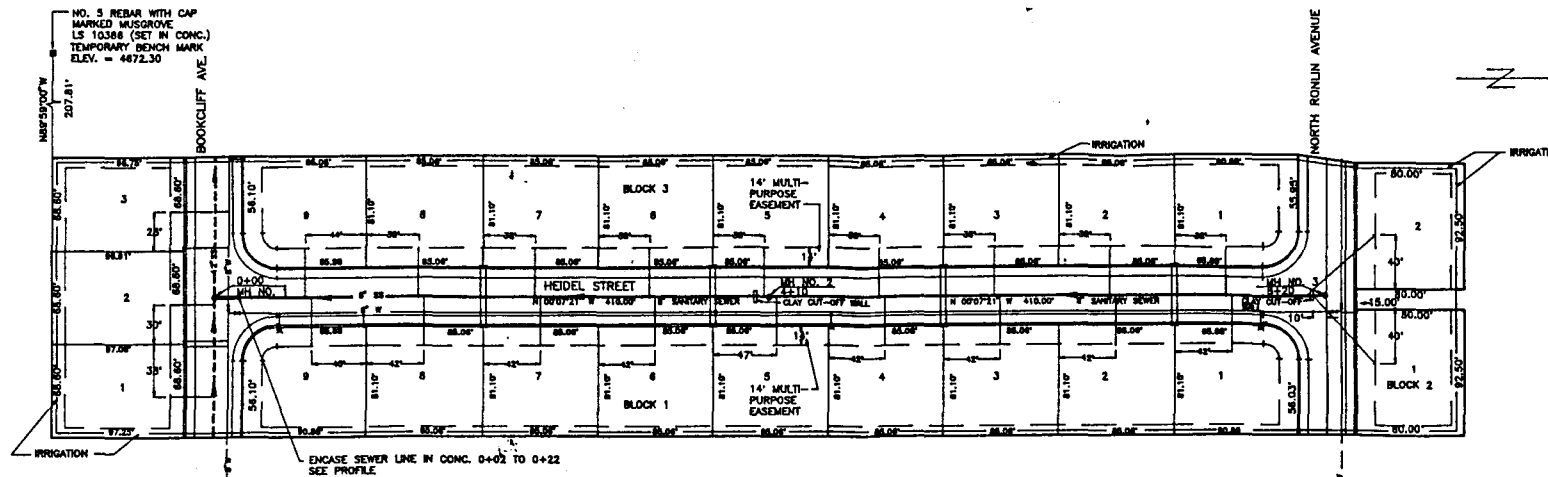
ALL BACKFILL MATERIAL SHALL BE PLACED FULL WIDTH IN 12" MAX. LIFTS AND COMPACTED TO THE MIN. RELATIVE DENSITIES SHOWN  
NOTE: NATIVE MATERIAL MAY BE USED IN LIEU OF GRANULAR BEDDING & HAUNCHING MATERIAL IF APPROVED BY THE CITY ENGINEER AND THE NATIVE MATERIAL IS IN COMPLIANCE WITH SIZE REQUIREMENTS FOR "TYPE A"

DESCRIPTION	DATE	DRAWN BY	N.O.P.	DATE	5/27/92	SCALE	
ADOPTED BY CITY COUNCIL RESOLUTION	7/1/92	CHECKED BY	T.A.B.	DATE	5/27/92		PROFILE
REVISION BY CITY COUNCIL RESOLUTION	5/15/94	APPROVED BY	B.C.	DATE	5/27/92	HORIZ. N.T.S.	HORIZ.
REVISION							VERT.
REVISION		FILED BOOK NO.		PAGE			

DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
ENGINEERING DIVISION 244-1554  
CITY OF GRAND JUNCTION, COLORADO

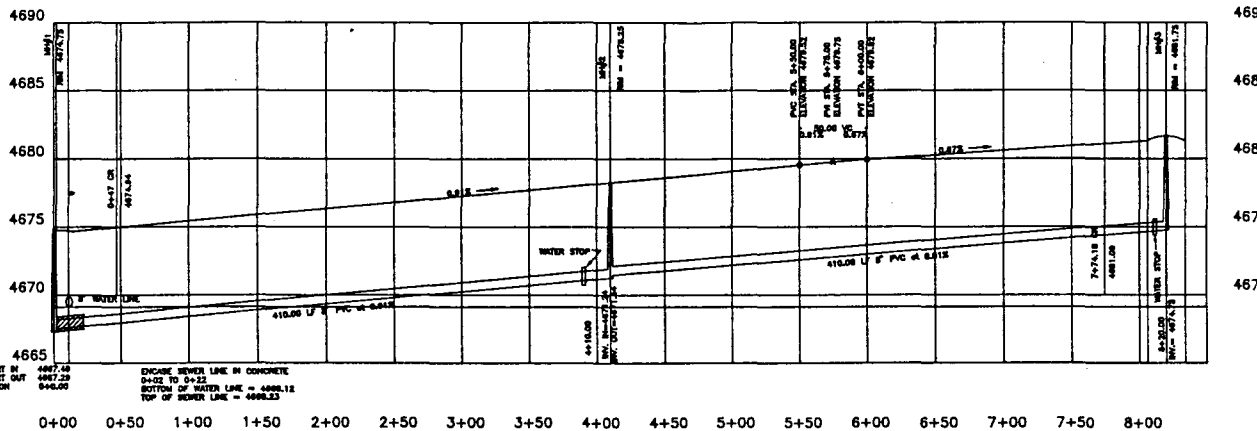
EXHIBIT "I"  
STANDARD SANITARY SEWER DETAILS

SHEET NO. \_\_\_\_\_  
OF \_\_\_\_\_  
FILE NO. \_\_\_\_\_  
EX-1-94.DWG



N

SCALE: VERT: 1" = 5'  
HORIZ: 1" = 50'



- LEGEND
- 12" --- EXISTING 12" SEWER LINE
  - 6" --- PROPOSED 6" SEWER LINE
  - 6" --- EXISTING 6" WATER LINE
  - 6" --- PROPOSED 6" WATER LINE
  - 6" --- PROPOSED 6" WATER LINE
  - 6" --- PROPOSED 6" WATER LINE
  - 6" --- FIRE HYDRANT
  - 6" --- WATER SERVICE LINE W/METER
  - 6" --- PROPOSED IRRIGATION LINE

APPROVED FOR CONSTRUCTION  
CENTRAL GRAND VALLEY  
SANITATION DISTRICT

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CONSTRUCTION AND AS-BUILTS  
ACCEPTED AND APPROVED  
CENTRAL GRAND VALLEY  
SANITATION DISTRICT

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

HEIDEL STREET SEWER LINE

NOTES: SANITARY SEWER

- A. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CENTRAL GRAND VALLEY SANITATION DISTRICT. THE DISTRICT AND THE CITY OF GRAND JUNCTION RESERVE THE RIGHT TO ACCEPT OR REJECT ANY MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO THEIR STANDARDS AND SPECIFICATIONS.
- B. THE CONTRACTOR SHALL HAVE ONE SET OF COPIES OF THE PLANS AND A COPY OF THE CENTRAL GRAND VALLEY SANITATION DISTRICT'S ORDINANCES AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
- C. ALL SANITARY SEWER PIPE TO BE PVC SDR 35 UNLESS OTHERWISE NOTED. ALL PIPE JOINTS SHALL BE 13 FOOT PIPE JOINTS UNLESS APPROVED OTHERWISE.
- D. ALL SEWER MAINS SHALL BE Laid TO GRADE UTILIZING A PIPE LASSER.
- E. ALL SERVICE LINE CONNECTIONS TO THE MANHOLE SHALL BE ACCOMPLISHED WITH FULL BODY WYDS OR TEE. TAPPING SADDLES WILL NOT BE ALLOWED.
- F. A MINIMUM OF 18 FOOT SEPARATION SHALL BE MAINTAINED AT ALL TIMES BETWEEN THE WATER LINE AND SEWER LINE (EXCEPT AT SPECIFIED CROSSINGS).
- G. SEWER SERVICE STUB CUTS SHALL EXTEND 14 FEET BEYOND THE PROPERTY LINE AND SHALL BE BLUE CAPPED AND MARKED WITH 2" X 4" PAINTED GREEN.
- H. THE CONTRACTOR SHALL NOTIFY THE DISTRICT 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- I. INSTALLATION OF MANHOLES OVER EXISTING SEWER LINES  
THE CONTRACTOR SHALL EXCAVATE FOR THE MANHOLE TO A DEPTH OF 14 1/2 INCHES BELOW THE FLOWLINE OF THE EXISTING SEWER LINE AND ALLOW THE ENGINEER TO INSPECT AND ASSESS THE SOIL CONDITIONS.  
UNDER THE DIRECTION OF THE ENGINEER, THE CONTRACTOR SHALL PLACE TYPE A BEDDING MATERIAL AND POUR THE BASE OF THE MANHOLE AND COMPLETE THE MANHOLE AS PER STANDARD SANITARY SEWER DETAILS, CITY OF GRAND JUNCTION. THE CONTRACTOR AT THIS TIME ONLY NOTCH OUT OR CUT THE EXISTING PIPE OUT TO THE SPRING LINE OF THE PIPE.  
THE CONTRACTOR SHALL CONTROL ALL LAKE SEWAGE FLOW AND SHALL NOT ALLOW DEBRIS FROM THE CUTTING OR OTHER WORK TO ENTER THE EXISTING PIPE LINE WHILE THE WORK IS BEING DONE.
- J. CONTRACTOR IS TO EXPOSE EXISTING SANITARY SEWER MAIN TO ALLOW THE ENGINEER TO FIELD VERIFY EXISTING PIPE INVERTS PRIOR TO CONSTRUCTION OF MANHOLES AND ADJUST INVERT ELEVATIONS IF REQUIRED.
- K. NO SERVICES SHALL BE CONNECTED DIRECTLY INTO MANHOLES.

- L. THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED SEWER LINE TESTING TO BE COMPLETED IN THE PRESENCE OF THE DISTRICT ENGINEER OR THEIR REPRESENTATIVE. FINAL TESTING IS TO BE ACCOMPLISHED ONLY AFTER ALL OTHER INFRASTRUCTURE HAS BEEN INSTALLED. THIS INCLUDES WATERLINES, GAS LINES, ELECTRIC LINES, ETC. TESTING WILL BE PERFORMED AFTER ALL COMPACTION OF STREET SUBGRADE AND PRIOR TO STREET PAVING. FINAL LAMPING WILL ALSO BE ACCOMPLISHED AFTER PAVING IS COMPLETED TO INSURE THAT THE LINE IS CLEAR. THESE TESTS SHALL BE THE BASIS FOR SURETY FINAL ACCEPTANCE OF THE SEWER LINE EXTENSION.
- M. ALL FUTURE STUB-CUTS ARE TO BE BLUE-CAPPED AND MARKED WITH A 2X4 PAINTED GREEN.
- N. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED MEZA COUNTY UNDERGROUND UTILITY PERMITS FOR ALL WORK WITHIN EXISTING COUNTY ROAD RIGHT-OF-WAY PRIOR TO CONSTRUCTION.
- O. A CLAY CUT-OFF WALL SHALL BE PLACED 10 FEET DOWNSTREAM FROM ALL NEW MANHOLES. THE CUT-OFF WALL SHALL EXTEND FROM 6 INCHES BELOW TO 6 INCHES ABOVE BANGORIAN BACKFILL MATERIAL AND SHALL BE 2 FEET WIDE. IF WYDE MATERIAL IS NOT AVAILABLE, THE CONTRACTOR SHALL REPORT MATERIAL APPROVED BY THE ENGINEER.
- P. ALL SERVICE TAPS FROM THE EXISTING SEWER LINE IN BOOKCLIFF AVE. SHALL BE INSTALLED BY THE DISTRICT'S CONTRACTOR, FOLLOWING THE SERVICE LINE TO THE LOT, UNDER THE DISTRICT'S CURRENT TAP FEE POLICY.
- Q. THE SEWER LINE IS TO BE CONSTRUCTED ON STREET CENTERLINE FROM 0+00 TO 8+00 ON HEIDEL STREET.

WATER LINE NOTES

1. ALL CURRENT UTE WATER DISTRICT SPECIFICATIONS SHALL APPLY.
2. WATER SERVICE LINES SHALL TERMINATE AT THE STREET ROW LINE AND SHALL TYPICALLY BE 2 FEET FROM LOT LINES, UNLESS OTHERWISE SHOWN.

SEWER PLAN AND PROFILE--SHEET 1 OF 2

**CODY SUBDIVISION**  
**FILING 3**  
NE 1/4, SECTION 8, T. 1 S., R. 1 E., U.M.  
MEZA COUNTY, COLORADO

**W.H. LIZER AND ASSOCIATES**  
ENGINEERING CONSULTING AND LAND SURVEYING  
576 25 ROAD--UNIT 8  
GRAND JUNCTION, COLORADO

DATE: SEPT., 1998	PROJ. NO.: 003188-8	SCALE: 1" = 50'	FILE NAME: 00073	DRAWN BY: DS, WLS	CHECKED BY: W.H.L.
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January 15, 1997

John Davis  
P.O. Box 2867  
Grand Junction, CO 81502

City of Grand Junction, Colorado  
250 North Fifth Street  
81501-2668  
FAX: (970)244-1599

Subject: Cody Filing 3 Subdivision

Dear Mr. Davis:

A final inspection of the streets and drainage facilities in Cody Filing 3 Subdivision was conducted on January 24, 1996. As a result of this inspection, a list of remaining items was given to you for completion. These items were reinspected and found to be satisfactorily completed.

"As Built" record drawings and required test results for the streets and drainage facilities were received on November 15, 1996. These have been reviewed and found to be acceptable.

In light of the above, the streets and drainage improvements are eligible to be accepted for future maintenance by the City of Grand Junction one year after the date of substantial completion. The date of substantial completion is May 1, 1996.

Your warranty obligation for all materials and workmanship for a period of one year beginning with the date of substantial completion will expire upon acceptance by the City.

If you are required to replace or correct any defects which are apparent during the period of the warranty, a new acceptance date and extended warranty period will be established by the City.

Thank you for your cooperation in the completion of the work on this project.

Sincerely,

A handwritten signature in cursive script that reads "Jody Kliska".

Jody Kliska  
City Development Engineer

cc: Doug Cline  
Kathy Portner  
Walt Hoyt



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

May 8, 1995

John Davis  
P.O. Box 2867  
Grand Junction, CO 81502

RE: Cody Subdivision, Filing #2

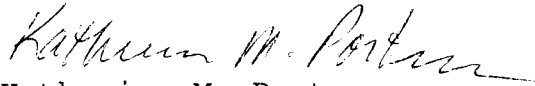
Dear Mr. Davis:

We have reviewed Mesa County Development File #C71-93 for Cody Subdivision to determine what outstanding items there were for Filing #2. Filing #1 did receive final acceptance by the Mesa County Commissioners with Resolution #MCM 94-150. The following requirements for Filing #2 must be complied with prior to the City releasing the Improvements Agreement and accepting the streets:

1. Submittal of as-built drawings, one mylar set and two blue-line sets stamped by the engineer, and a computer disk with Autocadd compatible drawing files.
2. Submittal of test results for concrete, asphalt and base course on the streets. Test results have been received for utility work, sidewalk subgrade, and street subgrade.
3. Construction of a temporary drainage facility. The original punch list given to you indicated the construction of the on-site detention facility would be a requirement of the next filing. However, since that time the Development Engineer has found that there is an easement recorded for a temporary facility and has received a copy of the utility composite showing a temporary facility. It appears the temporary facility was a requirement made by Mesa County and must be constructed now. The permanent facility will be required with the next filing.
4. Backfill is required behind sidewalks.
5. A copy of the landscaping plan for the F Road frontage, as approved by Mesa County, must be submitted and the landscaping completed as per the plan.

All of the above requirements must be complied with by June 9, 1995, or a new Improvements Agreement and Guarantee must be completed extending the deadline. Thank you for your cooperation in completing Cody, Filing #2.

Sincerely,



Katherine M. Portner  
Planning Supervisor



*Cody Sub.*

Cody Homeowners Association  
P. O. Box 40326  
Grand Junction, Co. 81504

Mr. John Davies  
Sundance Properties  
P. O. Box 2867  
Grand Junction, Co. 81502

July 7, 1997

RE: Pump House Easement  
Cody Subdivision

Dear Mr. Davies:

It has been determined by a title search that the pump house in the above mentioned subdivision is not located in a dedicated easement.

The Cody Homeowners Association believe that it is your responsibility, as the Developer, to accomplish this.

Since the home where the pump house is located is now for sale, the Cody Homeowners feel it is imperative that this matter be handled expeditiously. Please contact me at 243-7745 no later than July 25, 1997 to discuss this matter and its resolution.

Sincerely,

JoAnne Boll, President  
Cody Homeowners Association

cc:  
Planning Department, City of Grand Junction  
Attn: Kathy Portner  
Castle Construction  
Attn: Bill Fitzgerald  
Charlotte Bowhay, Secretary Cody HOA  
Cindy Richards, Treasurer Cody HOA  
Bill Barslund, Board member Cody HOA  
Dick Klassen, Board member Cody HOA  
Joe Grout, Board member Cody HOA

W.H. LIZER & ASSOCIATES  
Engineering Consulting and Land Surveying  
576 25 Road, Unit #8  
Grand Junction, Colorado 81505  
(970) 241-1129

September 13, 1995

DRAINAGE REPORT  
FOR  
CODY SUBDIVISION  
FILINGS 1 THROUGH 4 INCLUSIVE

GENERAL

Cody Subdivision is located at the Southeast Corner of F Road and 29 3/4 line and is bounded on the North by F Road.

The site historically drains from North to South and approximately 0.95%, then drains to the West via a waste ditch along the South side of the property.

The site contains approximately 24 acres with no exterior contribution to the site.

METHOD OF ANALYSIS

The Rational Method was used to determine the amount of storm runoff, using the formula  $Q = CIA$  since this is a very small area,

where  $Q$  = runoff in cfs  
 $C$  = runoff coefficient  
 $I$  = rainfall intensity (in./hr.)  
 $A$  = area in acres

Historic

A value of 0.24 was used for "C" for a 2 year event and 0.30 for a 100 year event. (soil group "D")

After development, a value of 0.35 was used for a 2 year event and 0.43 for a 100 year event (table B-1)

SUMMARY

	$Q_2$	$Q_{100}$
Historic	5.3 CFS	17.7 CFS
After Development	10.3	28

Drainage Report  
Cody Subdivision  
September 13, 1995  
Page 2

A storm detention basin is designed at the Southwest corner, of Cody Subdivision Filing 4.

The detention basin will discharge into an existing waste ditch along the South side of Cody Subdivision, of which waste ditch drains to the West.

Due to the relatively flat grade from East to West, a 2% grade across the detention basin is not practical.

A percolation rate, including proper presoaking was conducted by W.H. Lizer and Associates and a weighted percolation rate of 30 minutes per inch was used for the basin rate.

At a maximum depth of 16 inches will allow the basin to drain in 9 hours.

A grassed park is planned by the developer for the detention area since the area is fairly large and shallow.

Calculations are attached.

Respectfully submitted,



Wayne H. Lizer, P.E., P.L.S.

WHL:dp



Cody Sub.

1/

$T_c$  HISTORIC = 24r, C from Chart B-3

$$T_{c2} = \frac{1.87(1.1 - 0.24)(300)^{1/2}}{(0.95)^{1/3}} \quad 300' \text{ max}$$

$$T_{c2} = 28 \text{ min}$$

$$I_2 = 0.92 \text{ (Table A-1)}$$

$$Q_2 = CIA = (0.24)(0.92)(24) = 5.3 \text{ CFS}$$

$$T_{c100} = \frac{1.87(1.1 - 0.30)(300)^{1/2}}{(0.95)^{1/3}} = 26 \text{ min}$$

$$I_{100} = 2.46$$

$$Q_{100} = CIA = (0.30)(2.46)(24) = 17.7 \text{ CFS}$$

AFTER DEVELOPMENT

$$T_{c2} = \frac{1.87(1.1 - 0.35)(300)^{1/2}}{(0.95)^{1/3}} = 24.7 \text{ min}$$

$$I \text{ From Table A-1} = 1.0$$

$$Q_2 = CIA = (0.43)(1)(24) = 10.3 \text{ CFS}$$

$$T_{c100} = \frac{1.87(1.1 - 0.43)(300)^{1/2}}{(0.95)^{1/3}} = 22 \text{ min}$$

$$Q_{100} = CIA = (0.43)(2.7)(24) = 28 \text{ CFS}$$

Cody

21

From page N-4

$$T_{d2} = \left\{ \frac{633.4 C_d A}{\frac{Q_r - Q_r^2 \cdot T_{cd}}{81.2 C_d A}} \right\}^{1/2} - 15.6$$

$$= \left\{ \frac{633.4 (0.43)(24)}{10 - \frac{(10)^2 (24.7)}{(81.2)(0.43)(24)}} \right\}^{1/2} - 15.6 = 14.8 \text{ min}$$

$$T_{d100} = \left\{ \frac{1832 C_d A}{\frac{Q_r - Q_r^2 \cdot T_{cd}}{213 C_d A}} \right\}^{1/2} - 17.2$$

$$= \left\{ \frac{1832 (0.43)(24)}{10 - \frac{10^2 (24)}{213 (0.43)(24)}} \right\}^{1/2} - 17.2 = 28.9$$

$$I_{d2} = \frac{40.6}{T_{d2} + 15.6} = \frac{40.6}{14.8 + 15.6} = 1.33$$

$$I_{d100} = \frac{106.5}{T_{d100} + 17.2} = \frac{106.5}{28.9 + 17.2} = 2.31$$

Cody

31

$$V_2 =$$

$$V_{100} = 60 \left[ Q_d T_d - Q_r T_d - Q_r T_{cd} + \frac{k Q_r T_{cd}}{2} + \frac{Q_r^2 T_{cd}}{2 Q_d} \right]$$

$$\begin{aligned} &= 60 \left[ \overset{686}{(23.8)(28.9)} - \overset{289}{10(28.9)} - \overset{220}{10(22)} + \frac{\overset{130}{1.18(10)(22)}}{2} + \frac{\overset{46}{(10)^2(22)}}{2(23.8)} \right] \\ &= 60 [ 355 ] = 21300 \text{ Ft}^3 \text{ req'd} \end{aligned}$$

Area of detention pond = 13344  
ft<sup>2</sup> at top

Use  $21300 / 13344 = 1.60$  nominal  
depth Detention pond

# Summary

Co dy 4/

Historical

After Development

$T_{c2}$

28 min

24.7 min

$Q_2$

5.3 CFS

10.3 CFS

$T_{c100}$

26 min

22 min

$Q_{100}$

17.7 CFS

28 CFS

$K_2$

1.13

$K_{100}$

1.18

$T_{d2}$

14.8

$T_{d100}$

28.9

$Q_{2d}$

13.7

$Q_{100d}$

23.8

*Recorded*

1665239 09:43 AM 12/22/93  
MONIKA TODD CLK&REC MESA COUNTY CO

DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS

This Declaration is made on the date hereinafter set forth by John Davis and Debra J. Davis, hereinafter referred to as "Declarant".

WITNESSETH:

WHEREAS, the Declarant is the owner of certain property in the County of Mesa, State of Colorado, which includes all lots included in Cody subdivision, Cody Subdivision Filings 2, 3, and 4.

NOW, THEREFORE, the Declarant hereby declares that all of the above said properties shall be held, sold and conveyed subject to the following easement restrictions, covenants and conditions which are for the purpose of protecting the value and desirability of, and which shall run with, the real property and be binding on all parties having any right, title or interest in the described properties or any part thereof, their heirs, successors and assigns, and shall inure to the benefit of each owner thereof.

ARTICLE I

DEFINITIONS

Section 1: "Owner" shall mean and refer to the record owner, whether one or more persons or entities, of a fee simple title to any lot which is a part of the properties, including contract sellers, but excluding those having such interest merely as security for the performances of an obligation.

Section 2: "Properties" shall mean and refer to that certain real property hereinabove described, and such additions thereto as may hereafter be brought within the jurisdiction of the development.

Section 3: "Lot" shall mean and refer to any plot of land shown upon any recorded subdivision map of the properties.

Section 4: "Declarant" shall mean and refer to John Davis and Debra J. Davis, their successors and assigns, if such successors or assigns should acquire more than one undeveloped lot from the Declarant for the purpose of development.

ARTICLE II

BUILDING RESTRICTIONS

Section 1: The erection of more than one dwelling per lot is



prohibited.

Section 2: All building setback lines are to be as follows:

Front - 20 Feet

Rear - 10 Feet

Side - Principle Structures - shall be a minimum of 5 feet from property line or allowing a minimum of 15 feet between principal structures on any adjacent Lot, whichever is greater (except where 10 foot easements are shown on said recorded plat).

Accessory Structures - front half of Lot same as Principal Structures, rear half of Lot - 5 feet from property line (except where 10 foot easements are shown on said recorded plat).

Section 3: No trailer, camper, basement, tent, shack, garage, barn or any other outbuilding erected on any lot shall at anytime be used as a residence, temporarily or permanently, nor shall any structure of a temporary character be used as a residence.

Section 4: No dwelling shall be erected, altered, placed or permitted to remain on any lot other than one single-family dwelling of ranch style of not less than 1,200 square feet plus a private garage for not more than three cars and any other building incidental to residential use of the tract or lot.

Section 5: Vehicle parking in driveways and on the streets in front of houses shall be limited to temporary parking of guest or resident vehicles in current use and currently licensed. Storing automobiles, trucks, campers, boats, snowmobiles, motorcycles, motor bikes or any other vehicle of any other description in the street, driveway, yards or residences, in front of the principle building set back lines is specifically prohibited. Such vehicles may be stored behind the privacy fencing within the boundaries of such lot. Vehicular maintenance or repair which renders the vehicle inoperable for more than seventy-two hours is prohibited on streets, driveways or in front of any privacy fencing of the residences. This provision shall not permit the commercial repair of any type of vehicle, such activity being expressly prohibited.

Section 6: No sign of any kind shall be displayed to the public view on any lot except one sign of not more than six (6) square feet advertising a property for resale.

Section 7: No fence, foliage, trees or hedge in the nature of a fence shall be planted, maintained, constructed or erected nearer than twenty (20) feet to the front Residential Building lot Line or nearer than twenty (20) feet to the side street Residential

building Lot Line. Fences and hedges in the nature of a fence not closer to the front Residential Building Lot Line than the minimum set back line shall not be higher than six (6) feet.

Section 8: No noxious or offensive trade or activity shall be carried on upon any lot nor shall anything be done thereon which may be an annoyance or nuisance to the neighborhood.

Section 9: No animals, included but not limited to, horses, cows, pigs, goats, chickens, ducks, rabbits, or any other domesticated animals, except household pets, shall be maintained temporarily or permanently on any said lot.

Section 10: Landscaping, including but not limited to a sprinkler system, grass, sod, rock, shrubs, or any other plants, shall have been completed on the front and side yards of said Lot within one (1) year of transferring of the deed from the Declarant to the Owner.

Section 11: Perimeter lots will be required to put up a five (5) foot wood fence.

ARTICLE III

GENERAL PROVISIONS

Section 1: Enforcement. Any owner shall have the right to enforce, by any proceeding at law or in equity, all restrictions, conditions, covenants, reservations, liens, and charges not or hereafter imposed by the provisions of this Declaration. Failure by any owner to enforce any covenant or restriction herein contained shall in no event be deemed a waiver of the right to do so thereafter.

Section 2: Severability. Invalidation of any one of these covenants or restrictions by judgement of Court Order shall in no way affect any other provision which shall remain in full force and effect.

Section 3: Amendment. The covenants and restrictions of this Declaration shall run with and bind the land, for a term of twenty (20) years from the date of this Declaration is recorded, after which time they shall be automatically extended for successive period of ten (10) years. This Declaration may be amended during the first twenty (20) year period by an instrument signed by not less than ninety (90%) percent of the lot owners, and thereafter by an instrument signed by not less than seventy-five (75%) percent of the lot owners. Any amendment must be recorded.

Section 4: Public Utilities. All lots are subject to and bound by Public Service Company tariffs which are now and may be in the future filed with the Public Utilities Commission of the State of Colorado relating to street lighting in this subdivision, together with rates, rules, and regulations, therein provided and

subject to all future amendments and changes thereto. The owner or owners shall pay as billed a portion of the cost of public street lighting in the subdivision according to Public Service Company rates, on file with the Public Utilities Commission of the State of Colorado.

Section 5: Homeowners Association. A Homeowners Association will own and maintain any open space in the said subdivision and will also own and maintain the irrigation system, and the detention pond located in Tract A.

Section 6: These Covenants specifically prohibit the discrimination against any person who is a prospective purchaser of a lot, due to racial, ethnic or religious reasons. It is the intention of the Covenants to insure that persons of varying racial, ethnic or religious background are made welcome as prospective purchasers and homeowners.

Dated this 14 of December, 1993

JOHN DAVIS

DEBRA J. DAVIS

BY: *John Davis*

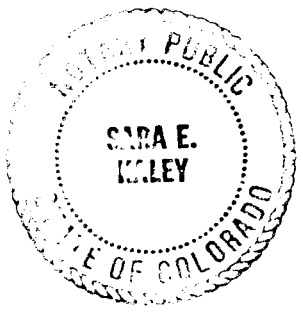
BY: *Debra J. Davis*

ATTEST:

STATE OF COLORADO )  
COUNTY OF MESA : ss.

I, Sara E. Kaley, a Notary Public, hereby certify that on the 14<sup>th</sup> day of December, 1993, personally appeared before me that John Davis and Debra J. Davis, who after being duly sworn, declared that they were the persons who signed the foregoing document and that the statements therein contained are true.

WITNESS my hand and official seal. My commission expires 11/3/97.



*Sara E. Kaley*  
Notary Public

# REVIEW COMMENTS

Page 1 of 2

FILE #FPP-95-163

TITLE HEADING: Final Plat - Cody Subdivision  
Filing #3

LOCATION: 29 3/4 & F Roads

PETITIONER: John Davis

PETITIONER'S ADDRESS/TELEPHONE: 1023 24 Road  
Grand Junction, CO 81505  
243-3921 or 250-0720

PETITIONER'S REPRESENTATIVE: Wayne Lizer

STAFF REPRESENTATIVE: Kathy Portner

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**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS .**

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**PUBLIC SERVICE COMPANY** 9/26/95  
**Dale Clawson** 244-2695

---

Require 14' front lot line easements across Block 2 and Block 4.

**GRAND JUNCTION DRAINAGE DISTRICT** 9/29/95  
**John L. Ballagh** 242-4343

---

There are no additional requirements that the Grand Junction Drainage District has on this site.

**UTE WATER** 9/29/95  
**Gary R. Mathews** 242-7491

---

Water main shall be C-900, class 150. Installation of pipe fittings, valves and services including testing and disinfection shall be in accordance with Ute Water standard specifications and drawings. Developer is responsible for installing meter pits and yokes for a complete installation. Ute Water will furnish the meter pits and yokes. Policies and fees in effect at the time of application will apply.

**CITY UTILITY ENGINEER** 10/4/95  
**Trent Prall** 244-1590

---

WATER - Ute Water

SEWER - Central Grand Valley Sanitation District

1. MH#1 should have also have the existing east "invert in" elevation.

**CITY DEVELOPMENT ENGINEER** 10/4/95  
**Jody Kliska** 244-1591

---

1. No grading and drainage plan was submitted showing the construction of the detention pond. This is required submittal prior to approval of plans. The submitted drainage report is acceptable, but must be accompanied by a plan.

ADDITIONAL COMMENTS

CITY DEVELOPMENT ENGINEER

10/11/95

Jody Kliska

244-1591

PLAT

- 1. Where is drainage easement granted by deed last year?
- 2. How does stormwater get to pond from the end of the street? We will need an additional drainage easement for conveyance.
- 3. What is the 15' strip between Lots 1 & 3, Block 2? It needs to be addressed.
- 4. Tract A needs to be dedicated to the Homeowners Association. - Dedication on plat to array of all lots need labeled
- 5. The easement along south boundary Lots 1 & 3, Block 2 needs to be labeled.
- 6. Easements need to be extended across Tract A.
- 7. Lot 3, Block 4 - will allow only one single family home as platted.
- 8. For UCC approval, need Public Service signoff.

DRAINAGE PLAN

The plan shows direct discharge from a street to the pond. Since no street is proposed to be constructed in this location at this time, the drawing is incorrect. Please show the conveyance of stormwater to the pond.

STREET PLANS

These do not show handicap ramps or the crossspan across the south end of Heidel at Bookcliff.

COMMUNITY DEVELOPMENT DEPARTMENT

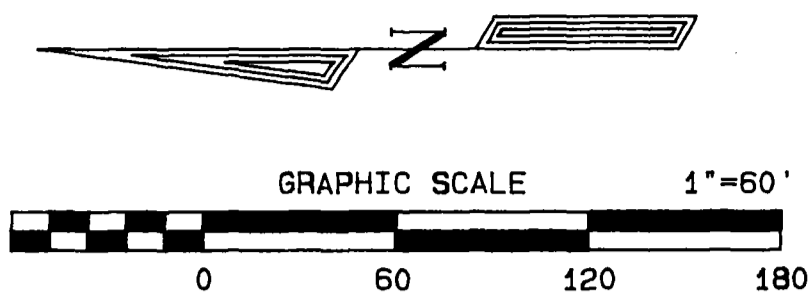
10/11/95

Kathy Portner

244-1446

- 1. Where is the irrigation storage reservoir as required by Palisade Irrigation District and Mesa County? - In City filing #2 first lot on right as you first
- 2. Covenants must be provided which include the ownership and maintenance responsibilities for the detention pond.
- 3. Must submit original improvements agreement with original signatures.

# CODY SUBDIVISION FILING 3



### LEGEND

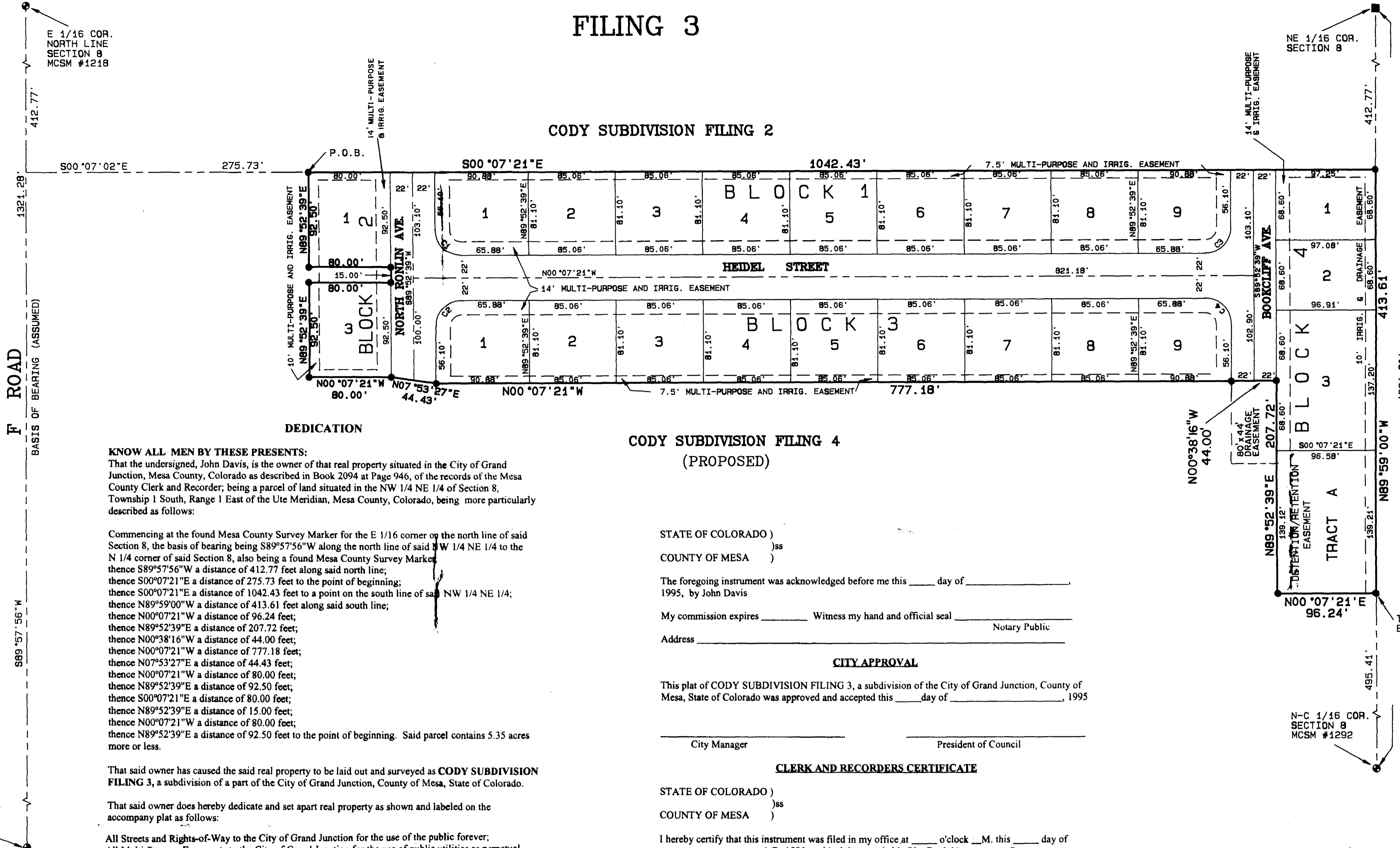
- MESA COUNTY SURVEY MARKER
- FD. 3" BRASS CAP ON 30" PIPE STAMPED PE PLS 14113
- FD. #5 REBAR AND CAP MARKED MUSGROVE LS 10386 (SET IN CONC.)
- SET #5 REBAR W/2" ALUM. CAP STAMPED D H SURVEYS INC. LS 24306 IN CONC.

### BUILDING SETBACKS

FRONT 20'  
SIDE 5'  
REAR 10' EXCEPT ON EASEMENTS

### AREA SUMMARY

NUMBER OF LOTS/TRACTS = 24  
AREA OF LOTS = 4.14 AC. 77%  
AREA OF STREETS = 1.21 AC. 23%  
TOTAL = 5.35 AC.  
DENSITY = 4.49 UNITS/AC.



### DEDICATION

#### KNOW ALL MEN BY THESE PRESENTS:

That the undersigned, John Davis, is the owner of that real property situated in the City of Grand Junction, Mesa County, Colorado as described in Book 2094 at Page 946, of the records of the Mesa County Clerk and Recorder; being a parcel of land situated in the NW 1/4 NE 1/4 of Section 8, Township 1 South, Range 1 East of the Ute Meridian, Mesa County, Colorado, being more particularly described as follows:

Commencing at the found Mesa County Survey Marker for the E 1/16 corner of the north line of said Section 8, the basis of bearing being S89°57'56"W along the north line of said NW 1/4 NE 1/4 to the N 1/4 corner of said Section 8, also being a found Mesa County Survey Marker; thence S89°57'56"W a distance of 412.77 feet along said north line; thence S00°07'21"E a distance of 275.73 feet to the point of beginning; thence S00°07'21"E a distance of 1042.43 feet to a point on the south line of said NW 1/4 NE 1/4; thence N89°52'39"E a distance of 413.61 feet along said south line; thence N00°07'21"W a distance of 96.24 feet; thence N89°52'39"E a distance of 207.72 feet; thence N00°38'16"W a distance of 44.00 feet; thence N00°07'21"W a distance of 777.18 feet; thence N07°53'27"E a distance of 44.43 feet; thence N00°07'21"W a distance of 80.00 feet; thence N89°52'39"E a distance of 92.50 feet; thence S00°07'21"E a distance of 80.00 feet; thence N89°52'39"E a distance of 15.00 feet; thence N00°07'21"W a distance of 80.00 feet; thence N89°52'39"E a distance of 92.50 feet to the point of beginning. Said parcel contains 5.35 acres more or less.

That said owner has caused the said real property to be laid out and surveyed as **CODY SUBDIVISION FILING 3**, a subdivision of a part of the City of Grand Junction, County of Mesa, State of Colorado.

That said owner does hereby dedicate and set apart real property as shown and labeled on the accompany plat as follows:

All Streets and Rights-of-Way to the City of Grand Junction for the use of the public forever;  
All Multi-Purpose Easements to the City of Grand Junction for the use of public utilities as perpetual easements for the installation, operation, maintenance and repair of utilities and appurtenances thereto including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines, telephone lines, and also for the installation and maintenance of traffic control facilities, street lighting, street trees and grade structures;  
All Irrigation/ Drainage Easements to the owners (Property / Homeowners Association) of the lots and tracts hereby platted as perpetual easements for the installation, operation, maintenance and repair of private irrigation systems;  
Tract A to the owners of all lots and tracts hereby platted and all owners of Cody Subdivision Filing 1, 2 and 4 for the purpose of conveying and detaining / retaining runoff water which originates from the area hereby platted, and also for the conveyance of runoff from upstream areas;  
All easements include the right of ingress and egress on, along, over, under, and through and across by the beneficiaries, their successors, or assigns, together with the right to trim or remove interfering trees and brush, and in Drainage and Detention / Retention easements, the right to dredge; provided, however, that the beneficiaries of said easements shall utilize the same in a reasonable and prudent manner.  
Furthermore, the owners of lots and tracts hereby platted shall not burden nor overburden said easements by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.  
THAT all expenses for street paving or improvements shall be furnished by the seller or purchaser, not by the City of Grand Junction.

IN WITNESS WHEREOF said owners have caused their names to be hereunto subscribed this \_\_\_\_ day of \_\_\_\_\_, 1995.

John Davis

### CODY SUBDIVISION FILING 4 (PROPOSED)

STATE OF COLORADO )  
COUNTY OF MESA )

The foregoing instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 1995, by John Davis

My commission expires \_\_\_\_\_ Witness my hand and official seal \_\_\_\_\_  
Notary Public

Address \_\_\_\_\_

### CITY APPROVAL

This plat of CODY SUBDIVISION FILING 3, a subdivision of the City of Grand Junction, County of Mesa, State of Colorado was approved and accepted this \_\_\_\_ day of \_\_\_\_\_, 1995

City Manager \_\_\_\_\_ President of Council \_\_\_\_\_

### CLERK AND RECORDERS CERTIFICATE

STATE OF COLORADO )  
COUNTY OF MESA )

I hereby certify that this instrument was filed in my office at \_\_\_\_ o'clock \_\_\_\_ M. this \_\_\_\_ day of \_\_\_\_\_ A.D., 1995, and is duly recorded in Plat Book No. \_\_\_\_\_, Page \_\_\_\_\_

Fee \$ \_\_\_\_\_ Clerk and Recorder \_\_\_\_\_ Deputy \_\_\_\_\_

C	DELTA	RADIUS	ARC	CH. BRG.	CHORD
C1	90°00'00"	25.00'	39.27'	N44°52'39"E	35.36'
C2	90°00'00"	25.00'	39.27'	S45°07'21"E	35.36'
C3	89°59'59"	25.00'	39.27'	S45°07'21"E	35.36'
C4	90°00'04"	25.00'	39.27'	S44°52'39"W	35.36'

### SURVEYOR'S CERTIFICATE

I, Steven L. Hagedorn, a registered Professional Land Surveyor in the state of Colorado, do hereby certify that this subdivision was made by me and / or under my direct supervision, and that both are accurate to the best of my knowledge and belief. I also certify that this plat conforms to all applicable requirements of the Zoning and Development Code of the City of Grand Junction and all applicable laws and regulations of the State of Colorado.

Steven L. Hagedorn PLS 24306

Date \_\_\_\_\_

**CODY SUBDIVISION  
FILING 3  
NE 1/4, SEC. 8. T.1S.,R.1E., U.M.  
D H SURVEYS INC.  
118 OURAY AVE. - GRAND JUNCTION,  
(970) 245-8749**

Designed By M.W.D. Checked By S.L.H. Job No. 198-95  
Drawn By TMODEL Date AUG. 1995 Sheet 1 OF

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

REPLAT OF TRACT C FILING 1 EASTWOOD SUBDIVISION

T.B.M. ELEV. = 4672