

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: 2850 North Avenue

Project Name: Stop N Save w/ car wash

ITEMS	DISTRIBUTION																						
DESCRIPTION	SSID REFERENCE	<input checked="" type="checkbox"/> City Community Development	<input checked="" type="checkbox"/> City Dev. Eng.	<input checked="" type="checkbox"/> City Utility Eng.	<input checked="" type="checkbox"/> City Property Agent	<input checked="" type="checkbox"/> City Parks/Recreation	<input checked="" type="checkbox"/> City Fire Department	<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Downtown Dev. Auth.	<input type="checkbox"/> County Planning	<input checked="" type="checkbox"/> County Bldg. Dept.	<input type="checkbox"/> Irrigation District	<input type="checkbox"/> Drainage District	<input type="checkbox"/> Water District	<input type="checkbox"/> Sewer District	<input type="checkbox"/> U.S. West	<input type="checkbox"/> Public Service	<input type="checkbox"/> GVRP	<input checked="" type="checkbox"/> CDOT	<input type="checkbox"/> Corps of Engineers	<input type="checkbox"/> Walker Field	<input checked="" type="checkbox"/> City Police Dept.	TOTAL REQ'D.
<input checked="" type="checkbox"/> Application Fee \$ 115	VII-1	1																					
<input checked="" type="checkbox"/> Submittal Checklist*	VII-3	1																					
<input checked="" type="checkbox"/> Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Planning Clearance*	VII-3	1																					
<input checked="" type="checkbox"/> 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Evidence of Title	VII-2	1		1																			
<input type="checkbox"/> Appraisal of Raw Land	VII-1	1		1																			
<input type="checkbox"/> Deeds	VII-1	1		1																			
<input type="checkbox"/> Easements	VII-2	1	1	1	1																		
<input type="checkbox"/> Avigation Easement	VII-1	1		1																			
<input type="checkbox"/> ROW	VII-3	1	1	1	1																		
<input type="checkbox"/> Improvements Agreement/Guarantee	VII-2	1	1	1																			
<input checked="" type="checkbox"/> CDOT Access Permit	VII-3	1	1																				
<input type="checkbox"/> Industrial Pretreatment Sign-off	VII-4	1		1																			
<input checked="" type="checkbox"/> General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Elevation Drawings	IX-13	1	1																				
<input checked="" type="checkbox"/> Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input type="checkbox"/> 11"x17" Reduction of Site Plan	IX-29	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<input checked="" type="checkbox"/> Grading and Drainage Plan	IX-16	1	2									1											
<input type="checkbox"/> Storm Drainage Plan and Profile	IX-30	1	2									1				1	1	1					
<input type="checkbox"/> Water and Sewer Plan and Profile	IX-34	1	2	1		1							1	1	1	1							
<input type="checkbox"/> Roadway Plan and Profile	IX-28	1	2									1											
<input type="checkbox"/> Road Cross-Sections	IX-27	1	2																				
<input type="checkbox"/> Detail Sheet	IX-12	1	2																				
<input checked="" type="checkbox"/> Landscape Plan	IX-20	2	1	1																			
<input type="checkbox"/> Geotechnical Report	X-8	1	1							1													
<input type="checkbox"/> Final Drainage Report	X-5.6	1	2									1											
<input type="checkbox"/> Stormwater Management Plan	X-14	1	2									1							1				
<input type="checkbox"/> Phase I and II Environmental Report	X-10.11	1	1																				
<input checked="" type="checkbox"/> Traffic Impact Study	X-15	1	2																	1			

NOTES: 1) An asterisk in the item description column indicates that a form is supplied by the City.
 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

DRAWING STANDARDS CHECKLIST

LANDSCAPE PLAN

	ITEM	GRAPHIC STANDARDS	OK	NA
SECTION VIII	(A)	Scale: 1" = 10' or 20'		
	B	Drawing size: 24"x36"		
	C	Primary features consist only of landscape features		
	D	Notation: All non-construction text, and also construction notation for all primary features		
	E	Line weights of existing and proposed (secondary and primary) features per City standards		
	H	Vertical control: Benchmarks on U.S.G.S. datum if public facilities other than SW are proposed		
	(I)	Orientation and north arrow		
	K	Title block with names, titles, preparation and revision dates		
	M	Legend of symbols used		
	N	List of abbreviations used		
	P	Multiple sheets provided with overall graphical key and match lines		
	Q	Contouring interval and extent		
	R	Neatness and legibility		

	ITEM	FEATURES	OK	NA
	1	Use the Site Plan as a base map		
	(2)	Identify areas to be covered with specific landscaping materials		
	3	Boulders, mounds, swales, water courses, rock outcroppings		
	(4)	Planting Material Legend includes common and botanical names, quantities, minimum purchase sizes, mature height, groundcover/perennial spacing, types of soil, and other remarks		
	5	Specification of soil type and preparation		
	6	Landscape irrigation layout, design, materials, and details (if requested by City staff)		
	7	Planting/staking and other details as required		
	(8)	Required note on Plan: "An underground, pressurized irrigation system will be provided"		
	9	Space for approval signature by Community Development with date and title		

COMMENTS

1. This drawing may be eliminated if information may be put on the Site Plan. See Note (2) on the Site Plan Checklist.

FRANCIS CONSTRUCTORS, INC.
P. O. BOX 1767
GRAND JUNCTION, COLORADO 81502

GENERAL PROJECT REPORT

PROJECT: STOP N SAVE W/ CAR WASH
2050 NORTH AVENUE, GRAND JUNCTION, CO

JOB NO: 9510

OWNER: FEATHER PETROLEUM
2492 INDUSTRIAL BLVD., GRAND JUNCTION, CO

DATE: March 20, 1995

FROM: Brian Heymeyer, Field Engineer

Francis Constructors, Inc. will demolish existing convenience food store building, gasoline islands, asphalt pavement, concrete slabs, building and canopy foundations, R.V. sewer drop, used oil tank and other items indicated on the contract documents. A new convenience store and new car wash building will be constructed along with sidewalks and vehicular access. There will be separate contracts for fixtures, car wash and gas equipment, canopy, signs and landscaping as described on sheet 1 of the drawings.

Use of existing building is similar to that of the new facility. Therefore, traffic circulation should not be drastically altered.

BH:mh

cc: File - 9510

9510\me01bh

FAXED
4/11/95

REVIEW COMMENTS

Page 1 of 2

FILE #SPR-95-57

TITLE HEADING: Site Plan Review - Stop 'N' Save
with a Car Wash

LOCATION: 2050 North Avenue

PETITIONER: Feather Petroleum

PETITIONER'S ADDRESS/TELEPHONE: 2492 Industrial Blvd.
Grand Junction, CO 81505
242-5205

PETITIONER'S REPRESENTATIVE: Brien Hemeyer / Francis Constructors

STAFF REPRESENTATIVE: Michael Drollinger

NOTE: WRITTEN RESPONSE (4 COPIES) BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.

MESA COUNTY BUILDING DEPARTMENT
Bob Lee

3/24/95
244-1656

No comment..

CITY UTILITY ENGINEER
Bill Cheney

3/29/95
244-1590

No comment.

CITY DEVELOPMENT ENGINEER
Jody Kliska

3/30/95
244-1591

1. No drainage fee - no increase in site run-off.
2. Permit from City Engineering required prior to sidewalk construction.
3. The radii and curb on the westernmost driveway need to be removed and reconstructed to City Standards to meet accessibility requirements.
4. Please provide information on the number of current gas pumps, the number of proposed gas pumps so I can calculate the Transportation Capacity Payment. Credit for sidewalk, handicap ramp and driveway improvements will be given toward the Transportation Capacity Payment.
5. Is there a cross-access easement in place to use Wendy's driveway.
6. A barrier curb is needed along the west edge of the car wash to contain run-off and keep parked cars from hitting the building.

CITY POLICE DEPARTMENT
Dave Stassen

03/30/95
244-3587

I would recommend that the trash dumpster area be of a transparent design (chain link or mock wrought iron), instead of 8' walls. Is there an elevation of the building? If so, could I take a look at it prior to final comments going back to the petitioner?

COMMUNITY DEVELOPMENT DEPARTMENT
Michael Drollinger

03/30/95
244-1439

See attached comments.

CITY ATTORNEY
John Shaver

04/06/95
244-1501

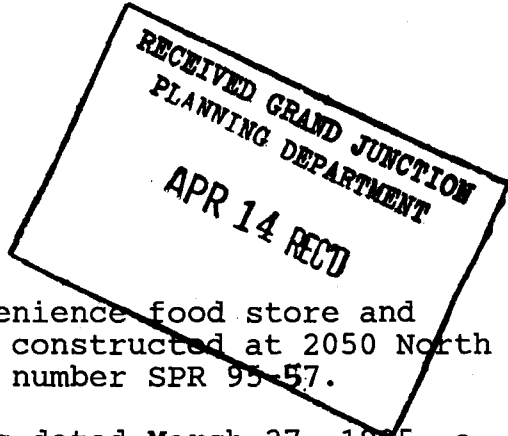
The Plan depicts access onto the adjoining parcel to the West without benefit of an easement. Is an easement provided? If not, access to the West must be restricted unless and until provided.

ROBERT A. MEDSKER, P.C.
1 HEATHER WAY
GOLDEN, COLORADO
80401

(303) 279-5323

April 6, 1995

City of Grand Junction
Community Development Department
Grand Junction, Colorado



Reference is made to the new convenience food store and gasoline unit with car wash to be constructed at 2050 North Avenue, Grand Junction, your file number SPR 95-57.

In response to your staff comments dated March 27, 1995, a site plan is attached, revised April 6, 1995, addressing the following items:

Item 1. The site plan including grading was prepared by me. No significant change was made to the drainage. I have added my stamps as Architect and P.E.

Item 2. Landscaping plan is by others.

Item 3. We have increased the size of the front center landscaping area as requested.

Item 4. The area in the right-of-way was shown on the site plan to be landscaped.

Item 5. There is no intent for the area south of the store to be used for traffic circulation. This area is necessary for the required parking. The handicap parking space is relocated to the north side of the store to allow for the required additional landscaping. Five parking spaces were provided as required (2 south of store, 1 north of store and 2 along the 21st street side). We do not feel that reorienting the north parking would be appropriate due to potential conflicts with cars in line for the car wash.

In Response to items by the City Development Engineer:

Item 3. The driveway radius is to be removed and ramp type approaches are to be constructed.

Item 6. Barrier curb is provided by the raised concrete apron along the west side of the car wash building as shown on the car wash building details. Finish grade elevations were added to further define this. There will be no significant runoff since the roof overhang covers this concrete apron and the roof slopes to drain to the east side.

If you have any questions in this regard, please call me.

Yours truly,


Robert Medsker
ARCHITECT PROFESSIONAL ENGINEER

STAFF REVIEW

FILE: #SPR 95-57
DATE: March 27, 1995
STAFF: Michael Drollinger
REQUEST: Site Plan Review
LOCATION: 2050 North Avenue - Stop N Save w/Car Wash
ZONING: C-1

STAFF COMMENTS:

1. City submittal standards require drawings to be stamped and sealed by the preparing professional. In this case, the Site Plan must be stamped and sealed by the architect and the Grading and Drainage Plan must be stamped and sealed by an Engineer.
2. Landscape Plan incomplete for review - see attached checklist for deficient items.
3. Regarding landscaping, Section 4-2-13D of the Zoning and Development Code (copy attached) requires a minimum of seventy-five (75%) of the required front yard setback, or first five feet (whichever is greater) to be landscaped. The required landscaping for each frontage is calculated as follows:

North Avenue: $150 \text{ ft (frontage)} \times 5 \text{ ft. (minimum depth)} \times .75 \text{ (min. area)} = 563 \text{ ft}^2$
21st-Street: $125 \text{ ft. (frontage)} \times 5 \text{ ft. (minimum depth)} \times .75 \text{ (min. area)} = 469 \text{ ft}^2$

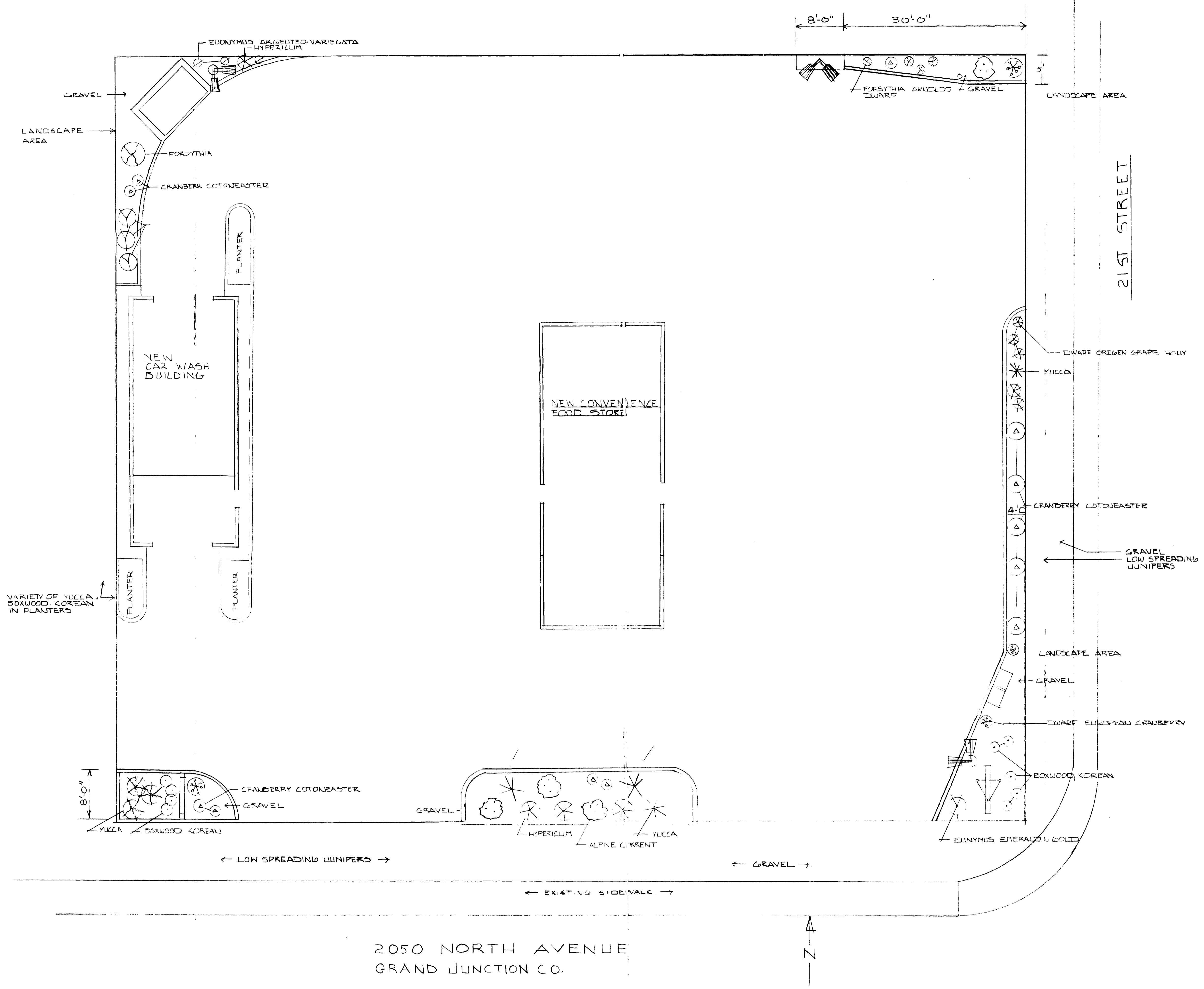
Based on the submitted landscape plan, additional landscaping will be required along North Avenue whereas the 21st Street frontage appears to meet the landscaping requirement. A complete review of the plan by the Community Development Department will occur when a complete Landscape Plan is submitted.
4. City Code requires that the area within the City right-of-way (not covered by sidewalk, driveways, etc) be landscaped.
5. The parking provided on the south side of the convenience store does not permit vehicular access across the south side of the store and/or between the gas pumps. Suggest relocation of at least one space to the rear of the store. Spaces at the rear of the store should be reoriented perpendicular to the building since adequate maneuvering space exists. Minimum parking required is five (5) spaces.
6. Proof of ownership provided is inadequate; either a copy of the deed or title commitment must be provided.

PLEASE TAKE NOTE OF THE FOLLOWING:

1. ALL SIGNS TO BE ERECTED ON THE SITE WILL REQUIRE A SIGN PERMIT PRIOR TO INSTALLATION OF THE SIGN.
2. SITE IMPROVEMENTS (INCLUDING LANDSCAPING) MUST BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY MODIFICATIONS MUST BE APPROVED, IN WRITING, BY THE COMMUNITY DEVELOPMENT DEPARTMENT. FAILURE TO INSTALL SITE IMPROVEMENTS AS PER THE APPROVED PLANS MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. SITE IMPROVEMENTS (E.G. LANDSCAPING, SIDEWALK, ETC.) NOT COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE GUARANTEED.

You are urged to contact the Community Development Department if you require clarification or further explanation of any items.

h:\cityfil\1995\95-572.wpd



Justin Feather
 3-21-95
 1" = 7 1/2' NTS

J F LANDSCAPE
 & DESIGN
 2492 Industrial Blvd. * Grand Junction, Co 81503
 Phone (303) 242-0299 HM (303) 245-5355

FEATHER PETROLEUM
 2492 INDUSTRIAL BLVD.
 GRAND JUNCTION, CO.

SHEET
 11

Revised Submittal

LOT 14

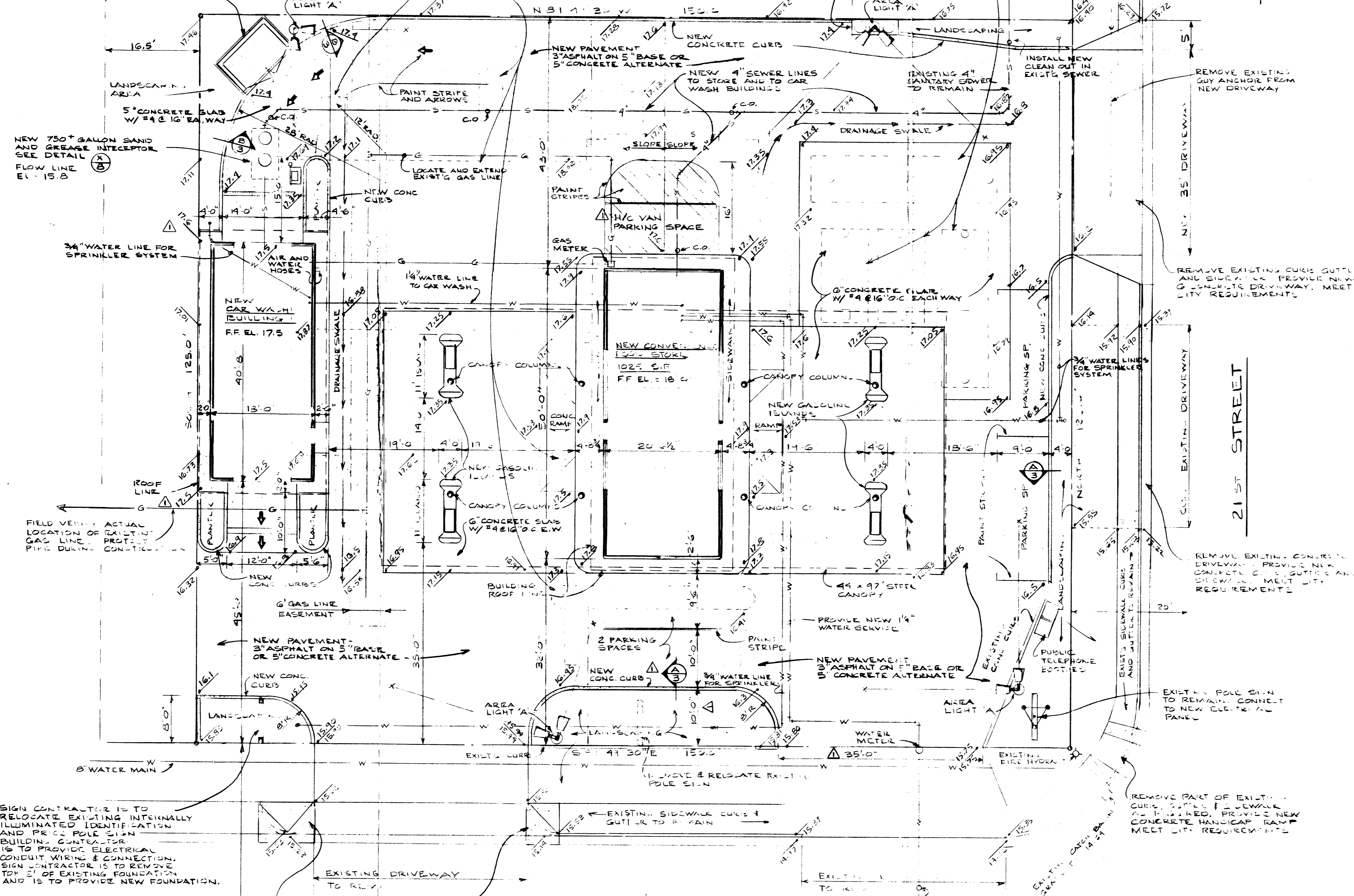
LOT 15

LOT 12

TRASH AREA ENCLOSURE
 11'-4" x 6'-8" 5" CONCRETE BLOCK WALLS
 6'-0" HIGH WITH SOLID CONCRETE CAP
 PLACE 11'-4" x 7'-0" CONCRETE SLAB
 WITH #4 REBARS @ 12" O.C. EACH WAY,
 CENTERED IN SLAB AND #4 DOWELS
 INTO BLOCK WALLS @ 16" O.C.
 PROVIDE SYNTHETIC STONE VENEER
 ON EXTERIOR SIDES OF BLOCK WALLS.
 PROVIDE G.I. FLASHING CAP, PAINT CAP,
 INSTALL 2-5'-0" x 6'-0" GATES MADE
 OF 1x8 CEDAR BOARDS VERTICALLY
 WITH 2x6 R.S. CEDAR RAILS AND
 DIAGONAL BRACING, 3 PAIRS OF STEEL
 STEAP HINGERS, 2 CANE BOLTS AND
 PADLOCK HASP, 2 CANE BOLTS AND
 STAIN CEDAR.

REMOVE EXISTING CONCRETE
 POOL STONE GASOLINE ISLANDS
 CANOPY ASPHALT PAVEMENT, STEEL POSTS,
 CONCRETE SLABS, FOUNDATION AND
 R.V. SEWER DROP, USED OIL TANK
 ETC. (SEE PLAN DETAIL C)
 COMPLETELY.
 FILL ALL RESULTING HOLES WITH
 APPROPRIATE GRANULAR FILL COMPACTED
 TO AT LEAST 95% RELATIVE
 DENSITY AT OPTIMUM MOISTURE
 CONTENT.

4 EXISTING TUBES (SEE PLAN)
 2" DIA. TUBES TO REMAIN
 1" DIA. TUBES TO REMAIN
 1" DIA. TUBES TO REMAIN
 1" DIA. TUBES TO REMAIN



SIGN CONTRACTOR IS TO
 RELOCATE EXISTING INTERNALLY
 ILLUMINATED IDENTIFICATION
 AND PRICE POLE SIGN
 BUILDING CONTRACTOR
 IS TO PROVIDE ELECTRICAL
 CONDUIT WIRING & CONNECTION.
 SIGN CONTRACTOR IS TO REMOVE
 TOP 2' OF EXISTING FOUNDATION
 AND IS TO PROVIDE NEW FOUNDATION.

REMOVE PARTS OF EXISTING
 SIDEWALKS, DRIVEWAYS AND
 ROAD CURBS AS SHOWN.
 REPLACE WITH NEW CONCRETE
 HANDICAP RAMPS TO MEET
 CITY REQUIREMENTS

CANOPY CONTRACTOR (Not in this contract)
 The Canopy Contractor will furnish and install a
 pre-engineered, pre-fabricated steel canopy including steel
 pipe columns, anchor bolts, steel beams, purlins, steel
 decking, steel ceiling, gutters, under canopy lighting, and
 back lighted plastic and steel fascia, (including lighting)
 as detailed.
 The canopy is to be designed for a snow load of 30 pounds
 per square foot and a wind load of 20 pounds per square foot
 The Canopy Contractor is to provide foundation drawings for
 the Building Contractor to place the concrete foundations and
 anchor bolts. The Canopy Contractor shall install the
 steel canopy, complete, including installing the lighting
 fixtures and bulbs, and including grouting all base plates.
 The Gasoline Contractor is to provide conduit, wiring and
 connections for the lighting.

SIGN CONTRACTOR (Not in this contract)
 The sign contractor will install the new internally lighted
 canopy signs on the canopy. He will relocate the existing
 internally lighted identification and price pole sign
 (including removing part of the existing foundation and
 placing a new foundation where shown). The Gasoline
 Contractor is to provide the electrical conduit, wiring and
 connections to the canopy signs. The Building Contractor is
 to provide electrical conduit, wiring and connections to the
 pole sign.

SITE PLAN 1"=10'
 EXISTING GRADES, ELEVATIONS BELOW SLASH-LINES
 PER SURVEY BY ARCHITECTS
 FOR #731990 DATED 10-17-78.
 NEW GRADES, ELEVATIONS ABOVE SLASH-LINES.

BUILDING CONTRACTOR
 This Contractor is to include all the following:
 1. Remove the existing convenience food store building,
 gasoline islands, asphalt pavement, concrete
 slabs, building and canopy foundations, R.V. sewer
 drop, used oil tank, etc. as shown. Take care not to
 damage the existing gasoline storage tanks or the
 related manholes, probe boxes, and fill boxes.
 Furnish to the Owner all gasoline dispensing, control
 gasoline control equipment and food sales equipment,
 walk-in cooler, etc.. Make arrangements with the
 Public Service Co. to remove the existing guy wire from
 the gasline. THE GASOLINE CONTRACTOR WILL REMOVE THE
 NEW DRIVEWAY. GASOLINE DISPENSERS AND CONTROL EQUIPMENT.
 2. Provide all new, approved granular fill, compacted as
 specified, to bring the site to the new subgrades as
 required for the new grades shown on the Site Plan.
 3. Do all work and furnish all materials required to
 construct the new store building and the new car wash
 building as shown, detailed and specified on drawings
 1 thru 11 inclusive.
 4. Provide all new water, sewer, natural gas and
 electrical utilities to these buildings as shown,
 specified or required.
 5. Provide the new sidewalks, curbs, concrete slabs,
 concrete driveways, asphalt pavement and base, canopy foundations,
 area lights, landscape areas, vacuum island, trash area
 enclosure, etc. as shown and as required for a complete
 and operable site.
 (Note that the Gasoline Contractor is to place the
 concrete in the gasoline islands only).
 6. Paint parking stripes and curbs.

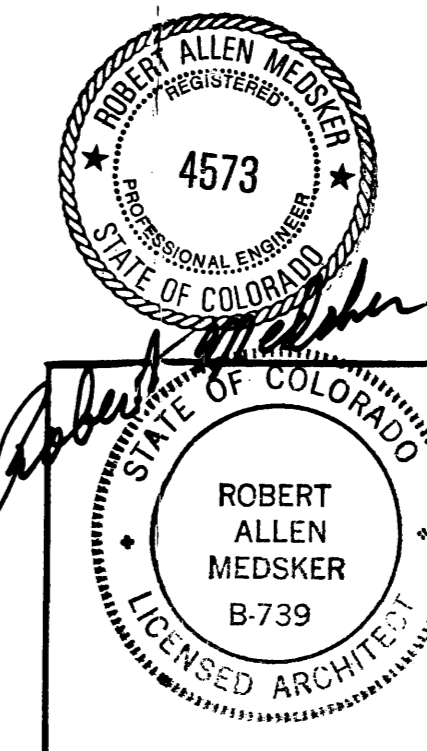
See other drawings and schedules for the descriptions of
 work to be performed and materials to be furnished by the
 Canopy Contractor, by the Gasoline Contractor, by the
 Fixture Contractor, by the Car Wash Contractor, by the
 Landscape Contractor, by the Sign Contractor. The
 Building Contractor is to cooperate with these separate
 contractors and is to provide dimensional control and grade
 elevations to them.

FIXTURE CONTRACTORS (Not in this contract)
 The fixture contractor or contractors will furnish and
 install the following equipment:
 1. Walk-in cooler 19'-8" x 10'-0", complete with roof
 mounted compressors, condensing units, fans, walk-in
 door, 7 reach-in doors with sidelighting, 3 ceiling
 lights and switch, thermostats, coolant lines and
 coolant, coil drain piped to floor drain, and wire
 shelving. The Building Contractor is to provide
 electrical conduit and wiring and make electrical
 connections for the door side lights, fans, compressor
 and thermostats and will install the ceiling lights as
 shown on the drawings.
 2. Prefabricated beverage counter and attendant's counter.
 3. Built-in desk in office.
 4. Gondolas and shelving units.
 5. Soft drink dispensers, bag in box stand, coffee makers,
 hot chocolate maker, hot dog cookers, juice and
 sandwich merchandizers, microwave ovens, condiment
 stations, and all other such food preparation
 appliances as selected by the owners.
 6. Cash registers.
 7. Three compartment sink complete with faucet and crumb
 cups.
 8. Fire extinguisher.
 9. Money safe - bolt to the floor.
 10. Air and water sign.
 11. Tee cream case.
 12. Hanging cigarette rack.
 13. Hand sink complete with faucet and pop-up drain.
 14. Waste receptacles.
 15. Vacuum cleaner.

CAR WASH CONTRACTOR (Not in this contract)
 The car wash contractor will furnish and install all of the
 required equipment for a complete, operable, automatic,
 drive-thru type car wash facility with dryer and under
 car wash equipment, including but not limited to water,
 chemical, soap and wax containers, pumps, mixing equipment,
 heating equipment, blowers, piping, hoses, spray equipment
 and mounting devices, tracks and rails, coin boxes, and
 control equipment.
 (Note the Building Contractor will provide water and
 electrical lines to the location of the car wash main
 terminal as shown on the drawings). All other wiring and
 piping for the car wash unit is to be provided by the Car
 Wash Contractor)

LANDSCAPING CONTRACTOR (Not in this contract)
 A separate landscaping contractor will be employed to design
 and install a sprinkler system and to design and plant the
 landscaping areas.

BUILDING DEPARTMENT NOTES
 Legal description
 Beginning at the Southeast corner of Lot 12 in Block 6
 of Arcadia Village, according to the replat plat
 thereof, in the City of Grand Junction; thence North
 125 feet, thence West 150 feet, thence South 125 feet,
 thence East 150 feet to the point of beginning.
 Zoned - C-1
 Setbacks - Front - 55 feet from centerline of North
 Avenue
 East Side - 25 feet from centerline of 21st
 Street
 West Side - 0
 Rear - 0
 Occupancy Group - B-2
 Construction type - VN



NEW CONVENIENCE FOOD STORE AND GASOLINE UNIT WITH CAR WASH		REVISIONS Δ APRIL 8, 1995 Revised submittal
2050 NORTH AVENUE GRAND JUNCTION, COLORADO		
FOR FEATHER PETROLEUM COMPANY		
SITE PLAN		
ROBERT A. MEDSKER, P.C. 1 HEATHER WAY GOLDEN, COLORADO	ARCHITECT (303) 279-5223 COLORADO	SHEET 1
		JAN. 11, 1995