

# Table of Contents

File            SPR-1995-087

Date            8/23/99

P	S	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, not all entries designated to be scanned, are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been included.</p> <p>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</p> <p>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</p>
X	X	<p><b>*Summary Sheet – Table of Contents</b></p> <p>Application form</p> <p>Receipts for fees paid for anything</p>
X	X	<p><b>*Submittal checklist</b></p>
X	X	<p><b>*General project report</b></p> <p>Reduced copy of final plans or drawings</p>
X	X	<p>Reduction of assessor's map</p> <p>Evidence of title, deeds</p>
		<p><b>*Mailing list</b></p> <p>Public notice cards</p> <p>Record of certified mail</p>
X		<p>Legal description</p> <p>Appraisal of raw land</p> <p>Reduction of any maps – final copy</p>
		<p><b>*Final reports for drainage and soils (geotechnical reports)</b></p> <p>Other bound or nonbound reports</p> <p>Traffic studies</p>
X		<p>Individual review comments from agencies</p>
X	X	<p><b>*Consolidated review comments list</b></p>
X	X	<p><b>*Petitioner's response to comments</b></p>
X	X	<p><b>*Staff Reports</b></p> <p><b>*Planning Commission staff report and exhibits</b></p> <p><b>*City Council staff report and exhibits</b></p> <p><b>*Summary sheet of final conditions</b></p> <p><b>*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)</b></p>

## DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:

		X	E-mail from Trent Prall to Kathy Portner – 6/14/95	
X	X	X	Site Lighting pLAN	
X		X	Letter from Jayne Messer to Fred Turner re: Agreement of Sale, Legal Description, Ground Lease – 10/12/94	
X		X	Letter from Michael Drollinger to Jim Hathaway – 6/22/95	
X		X	X	Fax from James Hathaway - Storm Drain Easement – 6/28/95
X		X	X	Letter to James Hathaway from Michael Drollinger – 7/24/95
X		X	X	Letter from Michael Drollinger to James Hathaway – 7/13/95
X		X	X	Letter to Michael Drollinger from James Hathaway – 8/30/95
X	X	X	X	Letter to James Hathaway from Michael Drollinger re: revised plans – 10/11/95
X				Fax Transmission from James Hathaway to Michael Drollinger – 10/12/95
X				Fax to James Hathaway – ** - 9/21/95
X				Fax to Eriq Marquez - ** - 9/21/95
X	X			Letter to James Hathaway from Michael Drollinger – 9/20/95

3 WKS

# SUBMITTAL CHECKLIST

## SITE PLAN REVIEW

Location: Sunk's Club

Project Name: Golden Corra

ITEMS	DISTRIBUTION																						
	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Planning	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Health Dept.	Legislation District	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVNP	CDOT	Corps of Engineers	Walker Field	City Police Dept.	
SPR-95-87																							
DESCRIPTION																							
reduce site to 12ndx. plan only to 11x17																							
<i>Tom Drum</i>																							
● Application Fee \$120/1100	VII-1	1																					
● Submittal Checklist	VII-3	1																					
● Review Agency Cover Sheet	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance	VII-3	1																					
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Evidence of Title / LEASE	VII-2	1		1																			
○ Appraisal of Raw Land	VII-1	1		1	1																		
○ Deeds	VII-1	1		1																			
○ Easements	VII-2	1	1	1	1			1															
○ Avigation Easement	VII-1	1		1				1															
○ ROW	VII-3	1	1	1	1			1															
○ Improvements Agreement/Guarantee	VII-2	1	1	1				1															
○ CDOT Access Permit	VII-3	1	1																				
○ Industrial Pretreatment Sign-off	VII-4	1		1																			
● General Project Report 10/2/00	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Elevation Drawing	IX-13	1	1																				
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Grading and Drainage Plan (Sam's)	IX-16	1	2									1								1			
○ Storm Drainage Plan and Profile	IX-30	1	2									1			1	1	1						
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1						1	1	1	1	1							
○ Roadway Plan and Profile	IX-28	1	2									1											
○ Road Cross-Sections	IX-27	1	2																				
○ Detail Sheet	IX-12	1	2																				
● Landscape Plan	IX-20	2	1	1																			
○ Geotechnical Report	X-8	1	1							1													
○ Final Drainage Report	X-5.6	1	2									1											
○ Stormwater Management Plan	X-14	1	2									1								1			
○ Phase I and II Environmental Report	X-10, 11	1	1																				
○ Traffic Impact Study	X-15	1	2																				
<del>○ Stormwater Management Plan</del>																							

of all items for site

NOTES: 1) An asterisk in the item description column indicates that a fee is applied by the City.

2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.

3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

# GENERAL PROJECT REPORT

## GOLDEN CORRAL RESTAURANT

### A. Project Description

1. Location - SE corner of Faith St. and Independent Ave.- a pad site at the Sam's Wholesale Club.
2. Acreage - 0:848 ac. or 36,937 s.f.
3. Proposed use - Golden Corral Restaurant Facility with full service, sit down of 8825 s.f. and 314 seats without drive thru.

### B. Public Benefit

The Golden Corral Restaurant is a beautifully appointed full service facility with a broad menu that attracts clients of all age groups. The architecture is of a residential character which will add to and compliment adjacent as well as surrounding developments and businesses. Golden Corral's commitment to the community is unquestioned and we look forward to a successful relationship with the Grand Junction community.

### C. Project Compliance, Compatibility and Impact

1. Adopted plans and or policies - the Golden Corral Restaurant development required NO rezones, variances, conditional and special uses, revocable permits and vacations etc.
2. Land use in the surrounding area - surrounding land uses include wholesale, retail, office and light industrial uses.
3. Site access and traffic patterns - access to the Golden Corral development is from a 4-way, full movement, signalized access drive to Sam's off Independent Ave. and an access drive to Sam's off Faith St. Direct access to the Golden Corral Restaurant is from the Sam's parking lot circulation drive. The overall access design mitigates any potential traffic problems.
4. Availability of utilities, including proximity of fire hydrants - all utilities i.e. water, sanitary sewer, gas, electric, storm water, telephone and cable are all either on site or adjacent to property lines. The nearest fire hydrant is on the east property line and approximately 48' from the restaurant.
5. Special or unusual demands on utilities - The Golden Corral restaurant puts NO unusual demands or high use demands on existing utilities.
6. Effects on public facilities - the Golden Corral Restaurant will place NO unusual or high demands on fire/police protection, sanitation, roads, parks, schools or irrigation.

7. Site soils and geology - SCS Soil classification G,: Green River silty clay loam, deep over gravel, 0 to 2 percent slopes.
8. Impact of project on site geology and geological hazards if any - None.
9. Hours of operation - the anticipated hours of operation will be 6:00 a.m. thru 11:00 p.m. although hours of operation may be adjusted depending on customer demand.
10. Signage plans - type and size of signage including locations is attached.
11. Development schedule and phasing -
  - May 2, 1995 - site plan review submittal
  - May 23, 1995 - building permit application
  - June 21, 1995 - receive building permit
  - June 28, 1995 - start construction
  - October 25, 1995 - restaurant open (120 day construction schedule)

This schedule is anticipated and subject to modification and will be completed in one phase only,

# REVIEW COMMENTS

Page 1 of 2

FILE #SPR-95-87

TITLE HEADING: Site Plan Review - Golden Corral  
Restaurant

LOCATION: Faith Street & Independent Avenue

PETITIONER: LKB, Corporation

PETITIONER'S ADDRESS/TELEPHONE: 110 Alpine Drive  
Frisco, CO 80443  
668-5907

PETITIONER'S REPRESENTATIVE: Jim Hathaway / 303-730-0696

STAFF REPRESENTATIVE: Tom Dixon

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**NOTE: WRITTEN RESPONSE (4 COPIES) BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.**

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**CITY POLICE DEPARTMENT**  
**Dave Stassen**

**5/8/95**  
**244-3587**

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This site poses no concerns other than whatever landscaping is used, shrubs be kept to 3' or less and trees, at full maturity, have lower branches no lower than 7' from the ground. This will help address any future security or police concerns.

**CITY FIRE DEPARTMENT**  
**Hank Masterson**

**5/11/95**  
**244-1414**

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This proposed site plan will be acceptable to the Fire Department provided:

1. The building has a complete fire sprinkler system installed - this reduces the required fire flow so that additional hydrants are not necessary, and
2. The existing hydrant shown along the east parking area is provided with a 6' wide lane between parking spaces for Fire Department access.

**CITY DEVELOPMENT ENGINEER**  
**Jody Kliska**

**5/15/95**  
**244-1591**

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1. Please provide the developed flows for storm water runoff on the plans.
2. The original drainage report for Sam's Club shows the runoff from the site (developed) was including in sizing the detention facility. Recordation or provision of an easement or agreement from Sam's Club to discharge stormwater into their system should be provided.

**CITY UTILITY ENGINEER**  
**Trent Prall**

**5/16/95**  
**244-1507**

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SEWER: City

1. Item 22 - Grease Trap: Please contact Industrial Pretreatment Section (244-1489 at the Persigo Wastewater Treatment Facility.
2. Please contact Utility Billing (244-1580) for more information regarding plant investment fees for connecting to sewer.
3. Show location of sewer lines and proposed taps.

WATER: Ute

1. Show location of water lines and proposed taps.

**UTE WATER DISTRICT**  
**Gary R. Mathews**

**5/15/95**  
**242-7491**

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1. Potable water would come from a 2" main on Independent Avenue
2. Policies and fees in effect at the time of application will apply.

**COMMUNITY DEVELOPMENT DEPARTMENT**  
**Tom Dixon**

**5/19/95**  
**244-1447**

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See attached comments.

**TO DATE, COMMENTS HAVE NOT BEEN RECEIVED FROM:**

City Property Agent  
City Attorney  
Mesa County Building Department  
U.S. West  
Public Service Company

5 October, 1995

Mr. Michael T. Drollinger  
Senior Planner  
Grand Junction Community Development Department  
250 North 5<sup>th</sup> Street  
Grand Junction, Colorado 81501

Re: Golden Corral Restaurant  
1100 Independent Avenue

Dear Michael,

This letter is in response to your letter  
and review comments of September 20, 1995

My response to your comments follows:

issue #1: The architectural site plan  
sheet A1B shows the property  
lines in a heavy line with the  
bearings and property line  
dimensions shown adjacent  
to the heavy line. Additional  
information regarding property  
lines is shown on the A.L.T.A.  
survey sheet A1A (previously  
provided). The property lines  
on the A.L.T.A. are also

shown with a heavy line with bearings and property line dimensions shown adjacent.

Issue 2: The bike rack location is shown on the architectural site plan sheet A1B and as detailed per 10A1B.

Issue 3: Inconsistencies among the site development drawings have been cleaned up. The landscape issues have been addressed as follows: the landscape buffer along the east property line has been increased to 5'; all landscape material has been deleted from the R.O.W. areas and no landscape materials will be placed outside of the Golden Corral property lines; a 10' landscape buffer has been provided at the southern and western property lines; landscape islands in the parking



area are revised to the  
required 9' per code  
(please note that the island  
along the east property line  
is a concrete access isle  
required by the FIRE  
MARSHALL).

I believe all issues outlined in your  
letter of 9-20-95 have been addressed.  
Please contact me should you require  
additional information regarding this  
project.

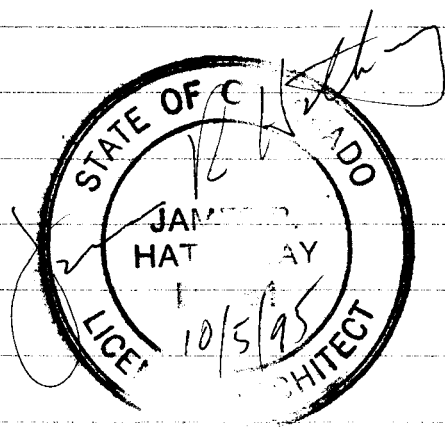
Sincerely,

*James R. Hathaway*

JAMES R. HATHAWAY - ARCHITECT P.C.

encl.

cc: Mr Tom Frazier



**CITY UTILITY ENGINEER**  
**Trent Prall**

**5/16/95**  
**244-1507**

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SEWER: City

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**UTE WATER DISTRICT**  
**Gary R. Mathews**

**5/15/95**  
**242-7491**

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1. Potable water would come from a 2" main on Independent Avenue
2. Policies and fees in effect at the time of application will apply.

**COMMUNITY DEVELOPMENT DEPARTMENT**  
**Tom Dixon**

**5/19/95**  
**244-1447**

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See attached comments.

## **LATE COMMENTS**

**PUBLIC SERVICE COMPANY**  
**Dale Clawson**

**5/19/95**  
**244-2695**

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No objections.

**TO DATE, COMMENTS HAVE NOT BEEN RECEIVED FROM:**

City Property Agent  
City Attorney  
Mesa County Building Department  
U.S. West

**ADMINISTRATIVE DECISION**

**FILE: #SPR-95-87**

**DATE: May 19, 1995**

**STAFF: Tom Dixon, AICP**

**REQUEST: Site Plan Review for a 8,825-square foot restaurant (Golden Corral)**

**LOCATION: Independent Avenue**

**APPLICANT: LKB Corporation**

**EXISTING LAND USE: Undeveloped**

**PROPOSED LAND USE: Commercial**

**SURROUNDING LAND USE: Commercial**

**EXISTING ZONING: C-1**

**SURROUNDING ZONING: C-1**

**RELATIONSHIP TO COMPREHENSIVE PLAN/POLICIES/GUIDELINES: No such plans have been adopted for this area of the City.**

**STAFF ANALYSIS:** The proposed 8,825-square foot restaurant is an allowed use in the C-1 zone. Development of the site is subject to the standards of the zone which are identified below:

Front setback: 25 feet (from local street)

Side setback: 0 feet

Rear setback: 0 feet

Height limit: 40 feet

Landscaping: 75% of the required front yard or 75% of the first five (5) feet if the setback is less than five (5) feet

Parking: One space per each three seats based on designed seating capacity

Parking lot landscaping: For parking lots designed for 50 or more spaces, additional landscaping standards apply as well as a required lighting plan

Based on the proposed 314 seats in the restaurant, 105 parking spaces are proposed. 52 of these spaces, four of which are handicapped spaces, will be provided on the subject site. The remaining 53 spaces will be provided by shared parking arrangement with Sam's Club. When Sam's Club was developed, 807 parking spaces were provided. Based on their existing building size of 133,706 square feet, only 669 spaces are required. The proposed Golden Corral restaurant is arranging to satisfy the remaining portion of their parking

requirement by a shared parking agreement with Sam's Club.

**ADMINISTRATIVE DECISION:** Approval of the proposed 8,825-square foot restaurant subject to the following conditions:

- 1) A copy of a shared access, circulation and parking agreement (Exhibit C) with a Wal-Mart (Sam's Club) signature, shall be submitted for the file. This agreement shall specify the availability of at least 53 parking spaces that may be utilized by the Golden Corral restaurant.
- 2) A lighting plan, as required in Section 5-5-1 F.2.i (see attachment), shall be submitted for review and approval, prior to the planning clearance.
- 3) The proposal satisfies all other development standards.

3. A written agreement between the owners and lessees is executed for a minimum of twenty years, approved by the Administrator, recorded, and a copy maintained in the project file. Should the lease expire or otherwise terminate, the use for which the leased parking was provided shall be considered nonconforming. Any and all approvals, including Special or Conditional Use permits, shall be subject to revocation and continuation, expansion or addition to or of the use shall be prohibited unless the use is brought into compliance with the parking regulations of this Code.
- E. Location - The parking area shall be provided on the same parcel as the principal structure wherever practicable. In business, commercial and industrial districts, the parking may be up to two hundred feet (200') from the property, but must be located within a zone district allowing business, commercial or industrial parking. Parking spaces for residential uses in residential zones shall not be in a front yard setback except in the case of parking for single family structures (see Section 5-1-2).
- F. Parking Lot Landscaping and Lighting - The minimum landscaping requirements of this section are intended to alleviate adverse visual and environmental effects associated with parking facilities including climate modification. The application of these standards will serve to improve compatibility and the attractiveness of such facilities, provide relief from unshaded paved areas, and minimize glare and lights associated with parking areas. In addition, these requirements will improve pedestrian safety, and optimize traffic circulation patterns with better defined space. The use of native planting materials and xeriscape landscaping is encouraged.
1. When a parking facility provides parking spaces for more than fifteen (15) cars but less than fifty (50) cars, at least five percent (5%) of the total area of the parking lot shall be used for landscaping. Part of this area may be required to include shade trees.
  2. The requirements of this section apply to all developments and uses which are required to provide surface parking facilities for more than fifty (50) cars and parking lots of fifty spaces or greater as allowed by Code. In case of redevelopment or partial expansion of a use, the provisions of Section 4-9 apply. The requirements of this section are in addition to other landscaping requirements in a particular zoning district, including Section 5-4-15G(1)&(2).
    - a. Street Frontage Landscaping: Landscaping shall include one (1) tree for each fifty (50) linear feet of frontage or fraction thereof. Required trees shall be placed between the abutting street right-of-way and the parking lot area and shall be planted in a planting area of at least twenty-five (25) square feet with a minimum depth of at least ten (10) feet. A landscape barrier to shield the parking lot from the street not to exceed three and one-half (3 1/2) feet at maturity but at least two and one-half (2

1/2) feet at the time of planting shall be placed along but not in the right-of-way. The height of the landscape barrier can be achieved either with plantings and/or berming.

- b. Parking Area Perimeter Landscaping: The perimeter of parking areas abutting residential or commercial properties shall provide, at a minimum, a five foot landscaped strip, but no less than the required setback. All required landscape areas on the perimeter of a parking lot shall contain a least one (1) tree for each forty (40) linear feet or fraction thereof. At least forty (40%) of the landscaped area shall contain shrubs at full maturity as recognized by horticultural and landscape standards.
- c. Parking Area Interior Landscaping:
- (1) Parking areas shall provide a minimum of five (5) percent of net interior area as landscaping. The interior area of a parking facility is defined as the perimeter of the curbs or the edge of paving. One (1) tree shall be provided for each 100 square feet or fraction thereof of required landscaped area. Such landscaped areas shall be located and designed in such a manner as to break up the expanse of paving and better define parking lot circulation. Where possible, existing large trees shall be maintained. Such required interior landscaping shall be in addition to required perimeter and street frontage landscaping as set forth in a. and b. above.
  - (2) All landscaped areas shall be protected from vehicular encroachment by curbing as per City standards. Planting islands shall be wide enough to protect against trees and vegetation against bumper overhang and swinging doors. A two and one-half (2 1/2) foot paved overhang shall be provided on planting islands where vehicle or door overhang is anticipated. Paving materials to be used for overhang areas are limited to concrete or paver blocks; asphalt paving is not permitted.
  - (3) Planting islands which parallel parking spaces shall be a minimum of 9 feet wide.
  - (4) Planting islands between parking rows shall be a minimum of 10 feet wide.
  - (5) Planting islands shall be provided at the end of all parking rows.
  - (6) One (1) landscaped divider island designed to prevent high-speed diagonal movement and located parallel with parking islands shall be provided for no greater than every three parking aisles. The landscape divider shall have a minimum width of ten feet.
  - (7) One (1) landscaped island encompassing the area of one (1) parking space shall be provided for every 20 parking spaces in rows which contain greater than 20

spaces. The landscaped island shall be located within the row of spaces to break up the expanse of paved area.

- (8) In instances where the strict interpretation of this section will seriously limit the function of the parking area or the use, the Administrator may permit a portion of the required landscaping to be located near the perimeter of the lot, or allow such other variation of the parking requirements or landscaping requirements as he deems reasonable.
- d. Percentage in Living Materials: Unless otherwise specified, any required landscape area shall consist of a minimum of seventy-five percent (75%) in ground covering by living grass or other plant material (e.g. shrubs) at full maturity as recognized by horticultural and landscape standards. The foliage crown of trees shall not be used in the 75% or other required percentage calculation. The remaining twenty-five percent (25%) of the required landscape area may be covered with bark, wood chips, rock, stone or similar materials.
  - e. Use of Landscape Paving Materials: Pedestrian crossing areas in parking lots (especially near building areas) shall be constructed of surface pavers, such as brick, stone blocks, interlocking brick pavers, stamped concrete or other materials as may be approved by the Administrator which form a smooth surface but contrast with asphalt.
  - f. Irrigation of Parking Area Landscaping: All street frontage, perimeter and interior parking area landscaping shall be provided with a pressurized, underground irrigation system.
  - g. Responsibility of Maintenance: The maintenance of all required landscaping, whether located on the property in question or on adjoining right-of-way shall be the responsibility of the property owner. The property owner is responsible for obtaining required permits for the location of landscaping in a public right of way.
  - h. Submittal Requirements: A Landscape Plan shall be submitted in conformance to the standards in the Submittal Standards for Improvements and Development (SSID) Manual. All plantings must meet the minimum size requirements in Section 15-4-15B.
  - i. Parking Lot Lighting Requirements: Adequate lighting shall be provided for surface parking facilities used at night. Lighting shall be installed and maintained in a manner not to cause glare or reflection into abutting or facing properties, nor to interfere with the safe operation of vehicles moving on or near the site.
- (1) Illumination Requirements: The minimum required lighting intensity to be provided in all parking areas is 0.6 footcandle. High activity areas such as near

building entrances and pedestrian corridors shall be provided with a greater lighting intensity as may be required by the Administrator.

(2) **Lighting Height - Maximum:** The maximum height of required lighting is twenty-five (25) feet. Lighting located near buildings and adjacent to sidewalks shall be provided with lower, pedestrian scale lighting not to exceed twelve (12) feet in height.

(3) **Lighting Location:** Parking area lighting shall, where possible, be located in landscaped areas.

(4) **Submittal Requirements:** A Lighting Plan shall be submitted which details the location and specifications of all lighting provided. An isofootcandle diagram shall also be provided to indicate the level and extent of proposed lighting.

G. **Screening** - Screening is required along each side of a parking lot that is used for non-residential purposes which abuts a residential zone or use. The screening shall consist of fencing and/or plantings six feet (6') in height which effectively visually block the parking area year-round, except as limited by Sections 5-2-5 and 5-3-2.

H. The following are the minimum requirements for parking spaces in connection with the structures and uses indicated. Parking shall be in the ownership or control of the owner of the use for which it is required, except as otherwise provided in this section.



**Storm Drain Easement  
Golden Corral Restaurant**

Grand Junction, Colorado

June 28, 1995

This is an easement description for a storm drain located near the southwest corner of Sam's Club parking lot, in the northeast quarter of the southwest quarter, Section 10, Township 1 South, Range 1 West, Ute Meridian, Grand Junction, Mesa County, Colorado. It is described by metes-and-bounds as follows:

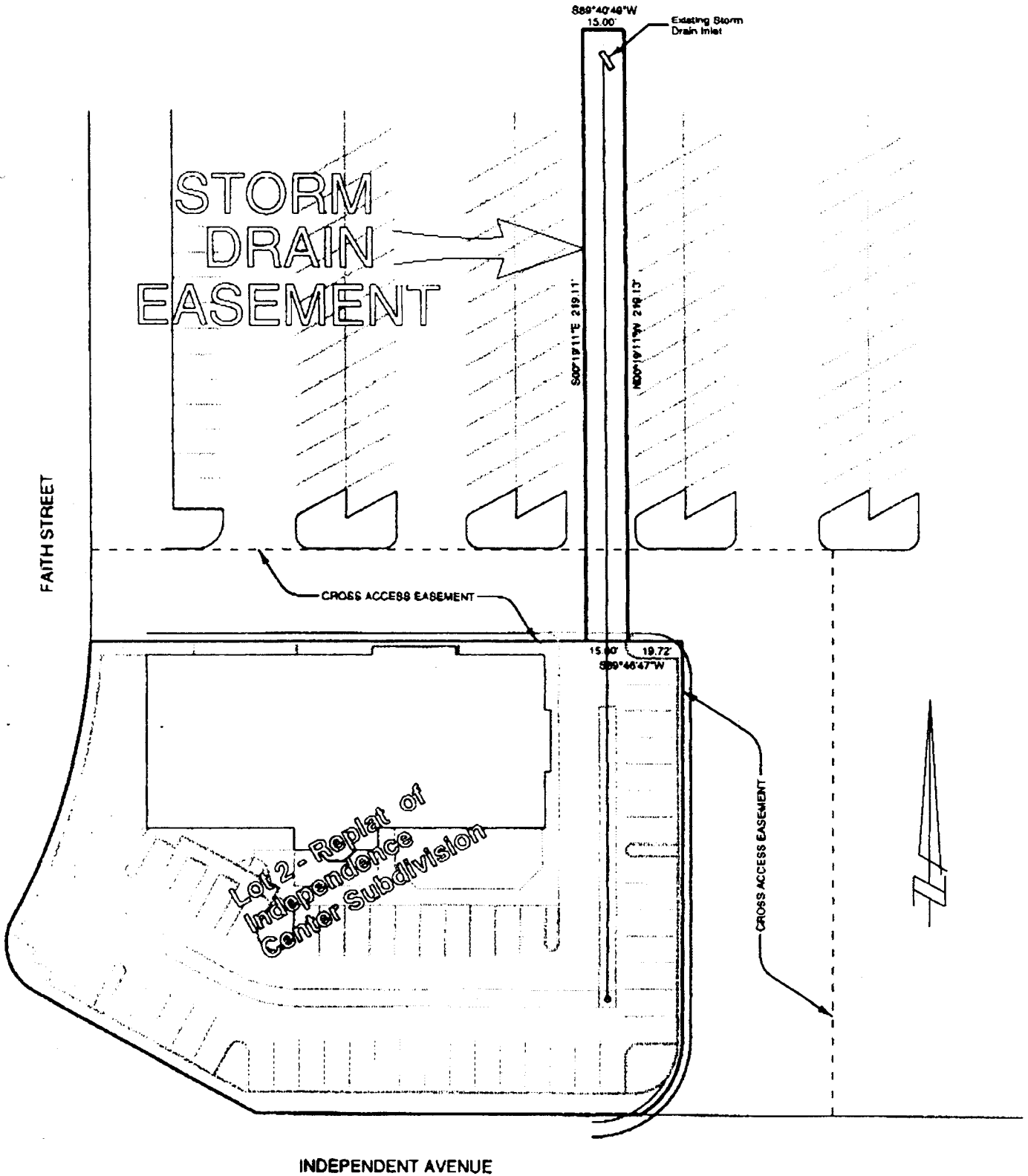
Beginning at a point on the north line of Lot 2, Replat of Independence Center Subdivision, which is  $S89^{\circ}46'47''W$  19.72 feet from the northeast corner of Lot 2, then along the four following courses:

1.  $N00^{\circ}19'11''W$  219.13 feet;
2.  $S89^{\circ}40'49''W$  15.00 feet;
3.  $S00^{\circ}19'11''E$  219.11 feet;
4.  $N89^{\circ}46'47''E$  15.00 feet along the north line of Lot 2, to the beginning.

The basis for bearings is as shown on the Replat of Independence Center Subdivision:  $S89^{\circ}56'22''W$  1308.87 feet from the south sixteenth corner to the southwest sixteenth corner of Section 10. Both corners are Mesa County Survey Monuments.

Refer to Exhibit A, Storm Drain Easement, Golden Corral Restaurant, Grand Junction, Colorado, June 28, 1995.

EXHIBIT A  
Storm Drain Easement



Golden Corral Restaurant  
Grand Junction, Colorado

Jun 26, 1996

**Parking Easement  
Golden Corral Restaurant**

Grand Junction, Colorado

June 28, 1995

This is an easement description for 77 parking spaces (each space approximately 9 by 18 feet) located near the southwest corner of Sam's Club parking lot, in the northeast quarter of the southwest quarter, Section 10, Township 1 South, Range 1 West, Ute Meridian, Grand Junction, Mesa County, Colorado. It is described by metes-and-bounds as follows:

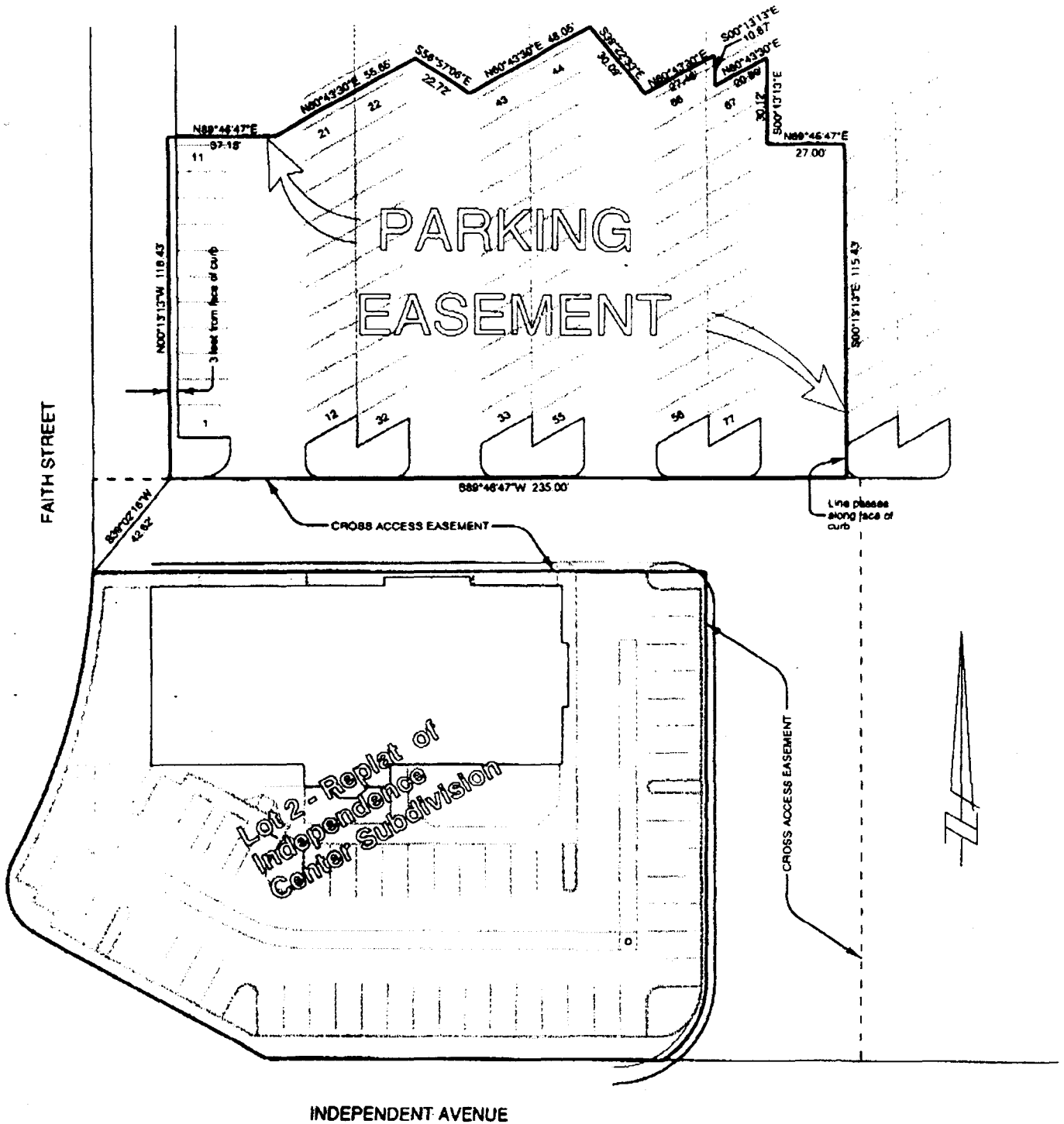
Beginning at a point on the north line of the **CROSS ACCESS EASEMENT**, Replat of Independence Center Subdivision, which is  $N37^{\circ}13'42''E$  41.57 feet from the northwest corner of Lot 2, then along the thirteen following courses:

1.  $N00^{\circ}13'13''W$  118.43 feet along a line 3 feet west of the existing face of concrete curb;
2.  $N89^{\circ}46'47''E$  37.18 feet;
3.  $N60^{\circ}43'30''E$  55.85 feet;
4.  $S56^{\circ}57'06''E$  22.72 feet;
5.  $N60^{\circ}43'30''E$  48.05 feet;
6.  $S39^{\circ}22'33''E$  30.09 feet;
7.  $N60^{\circ}43'30''E$  27.46 feet;
8.  $S00^{\circ}13'13''E$  10.87 feet;
9.  $N60^{\circ}43'30''E$  20.59 feet;
10.  $S00^{\circ}13'13''E$  30.12 feet;
11.  $N89^{\circ}46'47''E$  27.00 feet;
12.  $S00^{\circ}13'13''E$  115.43 feet along a line which passes along the face of the curb of the traffic island near the northeast corner of the **CROSS ACCESS EASEMENT**;
13.  $S89^{\circ}46'47''W$  235.00 feet along the north line of the **CROSS ACCESS EASEMENT** to the beginning.

The basis for bearings is as shown on the Replat of Independence Center Subdivision:  $S89^{\circ}56'22''W$  1308.87 feet from the south sixteenth corner to the southwest sixteenth corner of Section 10. Both corners are Mesa County Survey Monuments.

Refer to Exhibit A, Parking Easement, Golden Corral Restaurant, Grand Junction, Colorado, June 28, 1995.

EXHIBIT A  
Parking Easement



Golden Corral Restaurant  
Grand Junction, Colorado

Jun 28, 1995



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

July 24, 1995

James R. Hathaway  
6879 South Prince Way  
Littleton, CO 80120

RE: Golden Corral Restaurant (Our File #SPR-95-87)

Dear Mr. Hathaway,

As per our phone conversation last week, I have summarized the items which need to be addressed prior to the issuance of a Planning Clearance for building permit.

1. Curb-wall height and design must be identified on the plans. What material will be used between the existing road improvements and the proposed curb-wall? Please identify on Landscape Plan. Site and Grading Plan shall show location of public improvements (and elevations) relative to proposed curb-wall. It appears on some of your drawings that some of the street improvements may be located outside of the right-of-way (on Golden Corral property). Please verify location of property lines.
2. Bicycle parking has not been provided as per Code. Please see attached Code requirement and bicycle rack detail (or equivalent) which must be shown on plans.
3. Please provide fence detail.
4. Parking lot circulation does not permit adequate turn-around at west end of lot. The last two (2) parking spaces must be removed to allow for adequate turn-around (see attached drawing).
5. Parking lot aisle in front of restaurant may be narrowed to 25 feet; this would allow street frontage landscaping to be widened to more closely meet our Code requirements.
6. A Revocable Permit will be required for landscaping or other private improvements in the right-of-way; please contact our office for submittal details.
7. Please identify where loading and unloading for restaurant deliveries will take place.

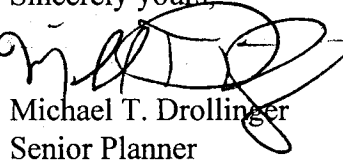
James Hathaway  
July 24, 1995

2

Four copies of revised plans must be submitted to our office for review.

For your information, since an existing freestanding sign already exists on your property (the Sam's Club sign) no additional freestanding signs will be permitted for the Golden Corral unless the sign is combined on the Sam's Club sign (if sufficient sign allowance remains) or if the Sam's Club sign is removed. The Sam's Club sign may also impact the amount of wall signage permitted on your building. Please determine the size of the Sam's Club sign and contact our office concerning your sign allowance.

Please do not hesitate to call should you have any questions or if you require further information.

Sincerely yours,  
  
Michael T. Drollinger  
Senior Planner

Encls.

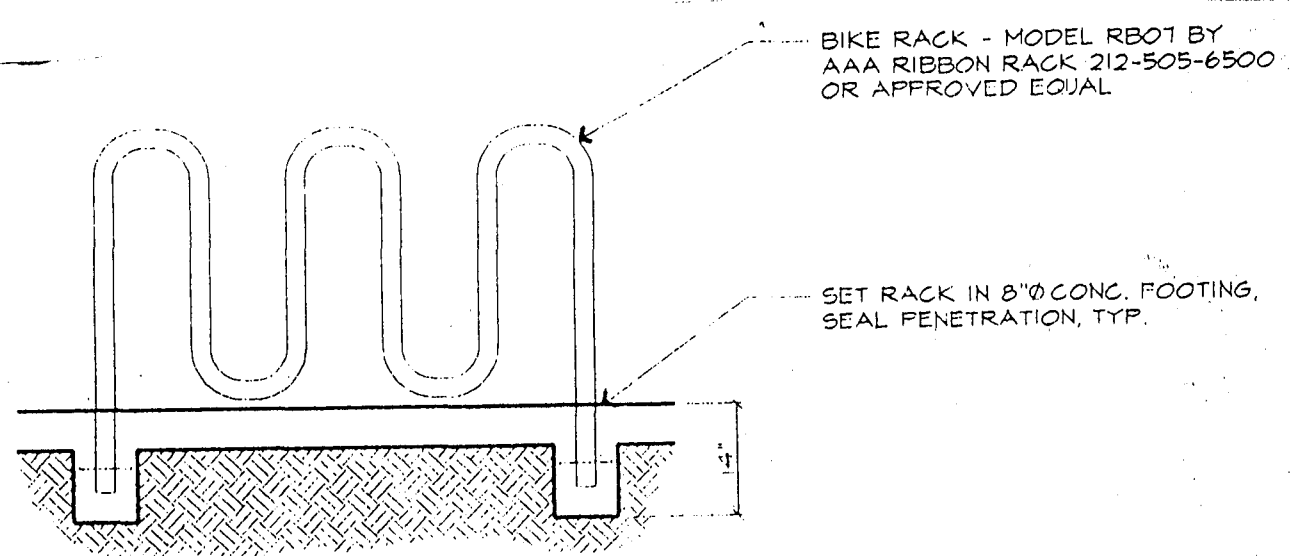
cc: File SPR 95-87  
Jody Kliska, City Development Engineer

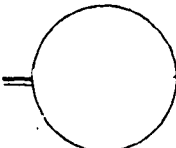
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USE

MINIMUM PARKING REQUIREMENTS

- |    |   |   |
|----|---|---|
| 1. | All structures except single family, duplex, triplex, and four-plex residential ..... | Bicycle rack(s) sufficient to hold three bicycles or the number of bicycles equal to ten percent of the required off-street parking spaces for the use, whichever is greater  |
| 2. | Residential .....   | For all single family, duplex, triplex and four-plex residential structures: two spaces per dwelling unit<br><br>For all multifamily dwelling units having five or more dwelling units per structure: one and one-half spaces per dwelling unit, plus one additional space per every five spaces for recreation vehicles and/or visitor parking |
| 3. | Theaters .....  | One space per each four seats (designed seating capacity)   |
| 4. | Bowling Alleys .....  | Four spaces per lane  |
| 5. | Elementary and Junior High Schools .....  | Two spaces per classroom  |
| 6. | High Schools .....  | One space per each four persons (design capacity)   |
| 7. | Day Care & Nursery Schools .....  | One and one-half spaces per employee. Adequate drop-off/pick-up area must be provided   |
| 8. | Vocational/Trade Schools .....  | One space per two students based on design capacity of the building(s) plus one space for each teacher or other employee  |
| 9. | College or University .....   | One space for every employee and staff member plus one space for every three full-time students not residing on campus (in addition to dormitory/fraternity/sorority parking requirements - see item 18 below)  |



 **BIKE RACK**  
1/2" = 1'-0"





RECEIVED GRAND JUNCTION, COLORADO  
PLANNING DEPARTMENT  
City of Grand Junction, Colorado  
250 North Fifth Street  
AUG 4 1995  
81301-2668  
FAX (970)244-1599

August 4, 1995

Jim Hathaway  
6879 South Prince Way  
Littleton, CO 80120  
Phone (303)-730-0696  
Fax (303)-794-4930

Project: **Golden Corral Restaurant SPR-95-87  
Faith St & Independent Ave.**

Subject: Sewer Availability

Dear Mr. Hathaway,

The City of Grand Junction agrees to provide sanitary sewer service for the above project. Sanitary sewer is available adjacent to the proposed project located on the northeast corner of Faith Street and Independent Avenue.

The developer is responsible for extending sewer service lines to the property as well as provide an adequate grease interceptor that has been approved by Dan Tonello with the Industrial Pretreatment section (244-1489) at the Persigo Sewer Treatment Plant. Hook-up fees, as outlined in the "Code of Ordinances, City of Grand Junction, Colorado," will be applicable to the project and due at the time the building permit for the project is issued.

Please contact me at (970)-244-1590 if additional information is required.

FOR THE CITY OF GRAND JUNCTION

Trent Prall  
Utility Engineer

August 30, 1995

Michael T. Drollinger  
Senior Planner  
Grand Junction Community Development Department  
250 North Fifth Avenue  
Grand Junction, Colorado 81501-2668

Re: Golden Corral Restaurant (file #SPR-95-87)

Dear Mr. Drollinger:

This letter is in response to issues raised in your letter dated July 24, 1995. You raised 8 points of concern (including signage issue on page 2 of your letter) and my responses to these issues are as follows:

1. The curb-wall height and design is detailed out on sheet C-2 (lower left corner of sheet - 2nd detail from left and noted as curb-wall) on the original submittal. The attached sheet C-1 is revised to provide additional spot elevations at the curb-wall.

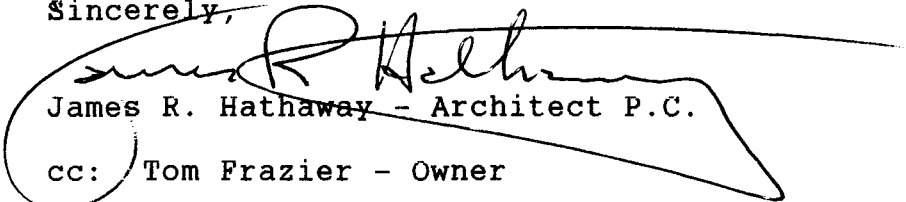
The attached revised landscape plan shows more clearly the material notations. There is approximately 12" of landscape material between the backside of the sidewalk and the south property line along Independent Avenue.

2. The bike rack is shown on the revised site and grading plan sheet C-1.
3. The fence or screen detail is per detail 9 - sheet A1B of the original submittal.
4. The two parking spaces at the west end of the parking area will be deleted to improve circulation.
5. We would prefer to maintain the drive isles "as is" to allow greater flexibility and maneuverability within the parking lot.
6. A revocable permit for landscaping within the R.O.W. is no problem.

7. Off loading of food and supplies will occur along the north property line at rear of building.
8. A variance application will be made for additional pole signage on the property.

Hopefully, this will resolve outstanding issues and allow for the planning release to be sent to the Building Department. Please do not hesitate to call me with any questions.

Sincerely,



James R. Hathaway - Architect P.C.

cc: Tom Frazier - Owner



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

September 20, 1995

James R. Hathaway  
6879 South Prince Way  
Littleton, CO 80120

RE: Golden Corral Restaurant (Our File #SPR-95-87)

Dear Mr. Hathaway,

We have reviewed your revised plans for the Golden Corral Restaurant dated August 30, 1995 and have identified the following items that still remain outstanding:

1. We still have no information which identifies the source of property lines - are they from a survey? It appears from your drawing that some of the public improvements are on the subject property.
2. Bicycle rack detail (which was supplied with my letter of July 24, 1995) was not included on the plans as required.
3. I still believe that the parking aisle should be narrowed to allow for more landscaping, although the landscaping issue is discussed in more detail below.

The "Site and Grading Plan" and the "Landscape Plan" contain a number of inconsistencies - e.g. the parking which was eliminated on the Site Plan must also be taken off on the Landscape Plan; landscaping is shown on a parking island along the eastern property line on the Landscape Plan but is shown as a concrete slab on the Site and Grading Plan. Also, the Landscape Plan indicates shrubs to be planted along the rear of the restaurant where the Site and Grading Plan shows concrete ramps and is not clear as to where the planting bed could be accommodated. Please review your plans in detail and correct any inconsistencies between the plans.

Since my letter of July 13, 1995 the plans have not changed to address the deficiencies in parking lot landscaping which are detailed in the attachment to that letter. Among the deficiencies are:

- At least five feet of landscaping is required between the parking lot and the property line on the east side of the property. I refer you to section 5-4-15 of the Zoning and Development

Code that does not permit parking lot landscaping to be located in the right-of-way. Also, we will not permit parking lot landscaping to be located on land other than that of the Golden Corral (such is the situation along the eastern property boundary).

- Street frontage landscaping along the south and western edges of the parking lot must be at least ten (10) feet deep as required by Code. Neither frontage presently meets this requirement.
- Parking islands in the lot must be at least nine (9) feet wide as required by Code.

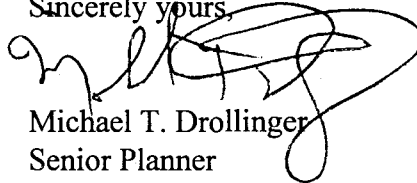
I refer you again to the attachment to my July 13, 1995 letter to you which details the minimum requirements for landscaping area and required amount of landscape materials.

In our conversation, you referred to Section 5-5-1F2(c)8 which does permit some variation in the landscaping standards. While some variation may be permitted where lot configuration or parking lot layout would not permit strict adherence to the requirements, the design variation must still conform to the intent and purposes of the Code. This Department does not believe that the significant deficiencies in the area and location provided for landscaping in the Golden Corral design still achieves the purposes and intent of the landscaping code.

Unless the plan deficiencies identified in this letter are addressed, it is our recommendation that the application be denied. Appeals of a decision for denial would be referred to the Planning Commission.

Please do not hesitate to call should you have any questions or if you require further information.

Sincerely yours,



Michael T. Drollinger  
Senior Planner

cc: File SPR 95-87  
Eric Marquez, Nichols Associates, Inc.

h:\cityfil\1995\95-873.wpd



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

October 11, 1995

James R. Hathaway  
6879 South Prince Way  
Littleton, CO 80120

**RE:** Golden Corral Restaurant (Our File #SPR-95-87)

Dear Mr. Hathaway,

We have reviewed your revised plans for the Golden Corral Restaurant dated October 4, 1995 and received from Nichols Associates October 9th.

There appears to have been some confusion regarding landscaping which extended into the ROW. The Code does not permit REQUIRED landscaping to be in the ROW, in other words, the 10 ft. minimum landscape area on Faith Street and Independent Avenue and the 5 ft. minimum along the Sam's driveway must be on the site, however, landscaping in the ROW is required IN ADDITION to the on-site requirements. So, the landscaping which you originally proposed in the ROW may remain. Also, the landscaping along the northern side of the restaurant may remain. I apologize if there was any confusion; I thought the Code was clear on this issue.

To assist in bringing this project to completion, I have enclosed a marked-up landscape plan drawing with City requirements noted. Please call me when you receive this to discuss. Please remember that revised plans are required and that all plans must be adjusted to reflect the required changes. I would suggest that before sending me the revised sets that you FAX the revisions to me and I will promptly review them and advise you of any problems.

Please do not hesitate to call should you have any questions or if you require further information.

Sincerely yours

A handwritten signature in black ink, appearing to read "M. Drollinger", is written over the typed name and title.

Michael T. Drollinger  
Senior Planner

Encl.

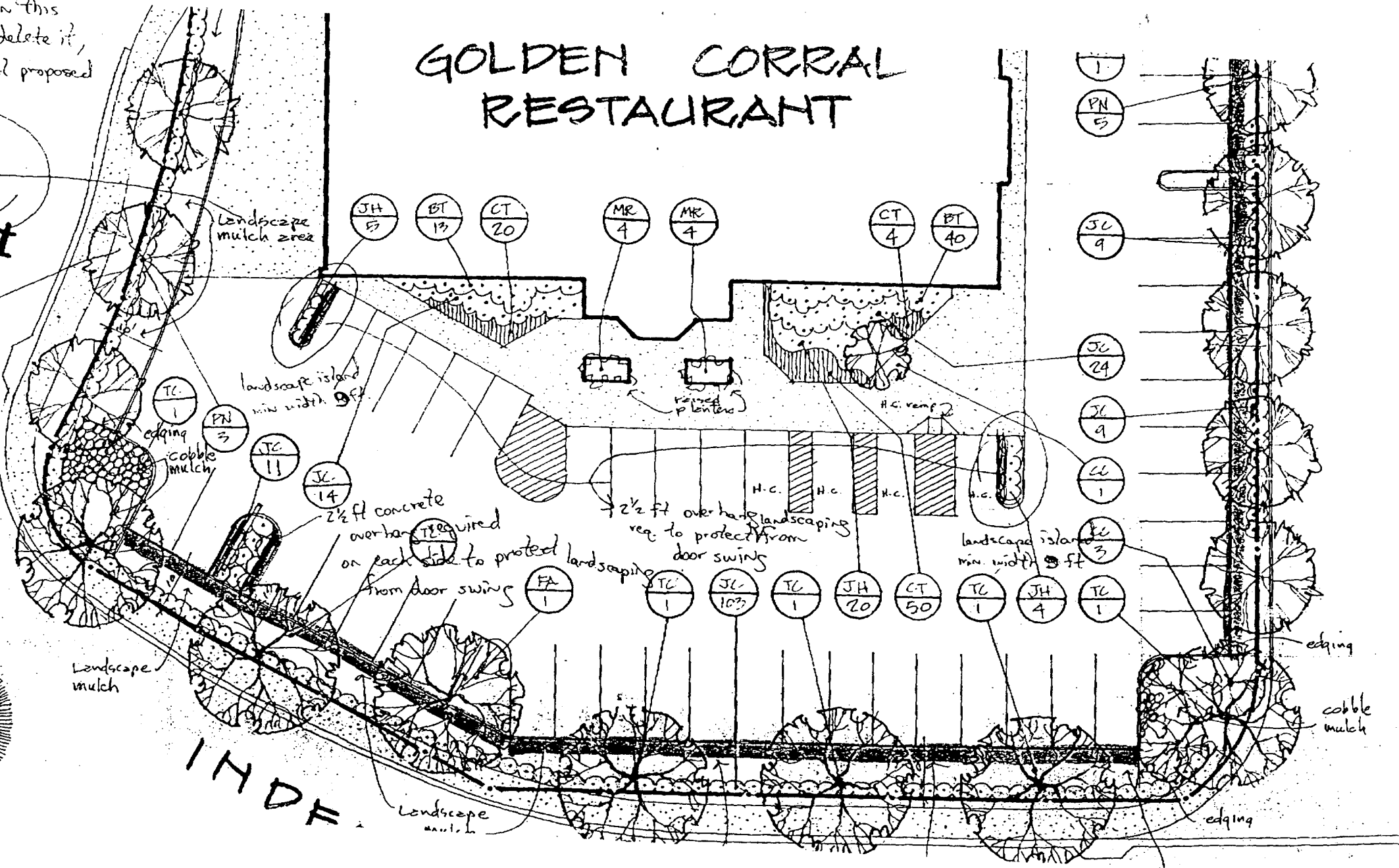
cc: File SPR 95-87  
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Landscaping was OK in this area; if you want to delete it, please indicate material proposed

is "landscape mulch" a wood chip mulch?

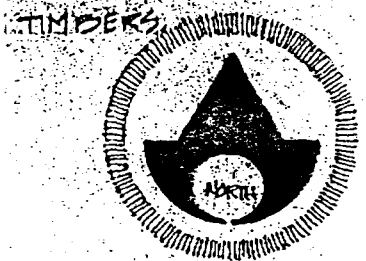
landscaping OK in this area, if you want to delete it, please indicate material proposed

# GOLDEN CORRAL RESTAURANT



FAITH

INDH



# NOTES TO LANDSCAPE CONTRACTOR

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A MINIMUM 75% DATE OF Maturity AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR VANILISM.
2. ANY PLANT THAT IS DETERMINED DEAD, DYING OR UNHEALTHY, UNSIGHTLY, LOST ITS SHAPE DUE TO DEAD BRANCHES, OR OTHER CAUSE OF PEER NON-VIGOROUS GROWTH SHALL BE REPLACED WITH THE COST OF REPLACEMENT INCLUDED IN THE BID OR PROPOSAL COST.
3. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, DRAINAGES, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND RESERVE THE GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE SATISFACTORY TO THE LANDSCAPE CONTRACTOR.
4. PLANT MATERIAL SHALL CONFORM TO THE PLANT LIST AND KEYS ON THIS DRAWING AND TO THE HORTICULTURAL STANDARDS OF THE AMERICAN ASSOCIATION OF NURSEMEYERS AS TO AGE, KIND, SEX, SIZE, CONDITION ETC. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS AND SIZE SPECIFIED.
5. PREPARED BACKFILL SOIL MIXTURE SHALL BE MIXED ON SITE IN ONE PART TOPSOIL AND TWO PARTS SOIL FROM THE EXCAVATED HOLE. EXCAVATED HOLES FOR ALL PLANTS SHALL BE THREE TIMES LARGER THAN THE CONTAINER OR ROOT BALL DIAMETER. WATER THOROUGHLY TWICE IN THE FIRST 34 HOURS.
6. ALL MULCH SHALL BE SHREDDED HARDWOOD BARK MULCH FROM PEST AND DISEASE FREE TREES, ONE TO TWO YEARS OLD, OF UNIFORM COLOR, NON-ROTTING WITH A NOMINAL THICKNESS OF 1/8 TO 1/2 INCH THICK. IT SHALL BE FREE OF TWIGS, LEAVES OR OTHER MATERIAL INJURIOUS OR UNSIGHTLY TO PLANTS. NO AMERICAN ELM BARK SHALL BE USED.
7. SUBSTITUTIONS SHALL BE PERMITTED UPON WRITTEN SUBMISSION OF PROOF THAT ANY PLANT IS UNAVAILABLE OR UNACCEPTABLE DUE TO MICROCLIMATIC CONDITIONS OR HARDINESS. SUBSTITUTED MATERIAL SHALL BE THE NEAREST EQUIVALENT SIZE, CONDITION AND GROWTH HABIT HAVING THE SAME ESSENTIAL CHARACTERISTICS OF THE SPECIFIED PLANT WITH AN EQUIVALENT ADJUSTMENT IN COST.
8. PRIOR TO INSTALLATION THE LANDSCAPE CONTRACTOR SHALL VERIFY FROM THE OWNER OR GENERAL CONTRACTOR SPECIFIC OR SODDING REQUIREMENTS FOR THE INSTALLATION AND INCLUDE IN THE BID OR PROPOSAL PRICE A SODDING ALTERNATE AND SODDING ALTERNATE IF REQUESTED.
9. CLEAN UP SHALL BE DAILY AT THE END OF EACH WORK DAY AND INCLUDE ALL TRASH, NON-USABLE EXCESS MATERIAL WITH NO OPEN PITS LEFT UNATTENDED OVERNIGHT.
10. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO INSTALLATION AND WORK SHALL NOT PROCEED UNTIL SUCH DISCREPANCIES ARE RESOLVED AND SATISFACTORY TO THE LANDSCAPE CONTRACTOR.
11. SOD, IF REQUIRED SHALL BE INSTALLED WITHIN 24 HOURS AFTER DELIVERY AND STORED IN A PROTECTIVE MANNER TO PREVENT EXCESSIVE DRYING OR SUN BURN UNTIL INSTALLED.

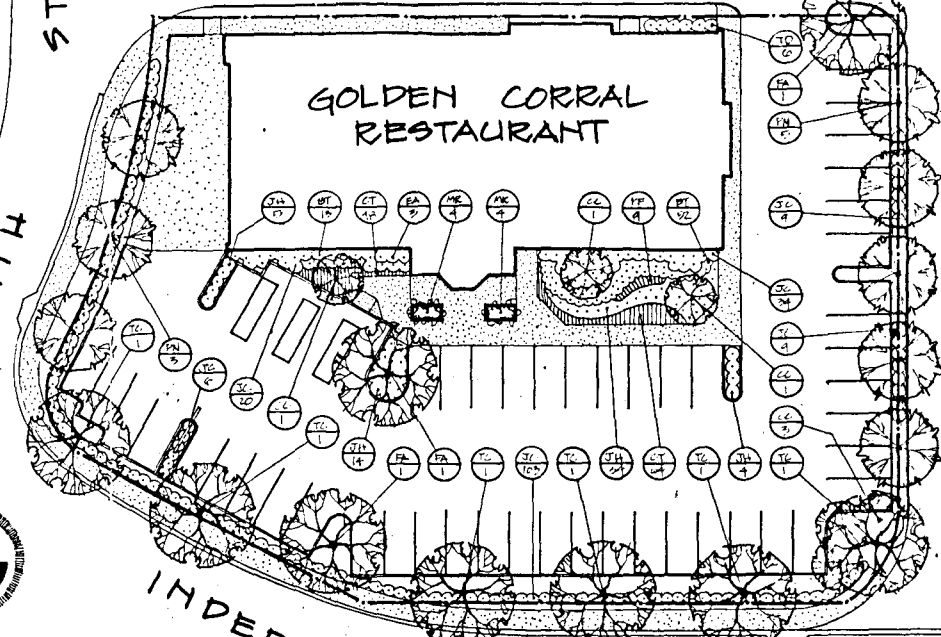
## PLANT MATERIAL SCHEDULE

SYM	BOTANICAL AND COMMON NAME	QUAN	SIZE	COND	REMARKS
BT	BETULA PULVERULA ATROPURGEEA COMMON PONY CRAWFORD PONY BARKBERRY	69	16"	95	PLANT 30" ON CENTER SPACED AT ROWS
CC	CERES CANADENSIS EASTERN REDBUD	6	12cal	95D	SPECIMEN QUALITY
CT	CERASTIUM TEMENTOSUM SNOW IN SUMMER	112	12"Ø	91	PLANT 18" ON CENTER
EA	EUCHROMIS ALATA COMPACTA DWARF WINDY BURNING BUSH	3	24"Ø	95	PLANT 4'Ø ON CENTER
FA	FRAXINUS AMERICANA AUTUMN APPLAUSE AUTUMN APPLAUSE	3	2cal	95D	SPECIMEN QUALITY
JK	JUNIPERUS SIBIRICA PRITZERIANA COMPACTA COMPACTA JUNIPER	181	30"	95	PLANT 3'Ø ON CENTER
JA	JUNIPERUS HORIZONTALIS YOUNGSTOWN YOUNGSTOWN JUNIPERUS	67	16"	95	PLANT 3'Ø ON CENTER
ME	MAHONIA REPENS CREMISH MAHONIA	8	24"Ø	95	-
MI	MIRUS NORA AUSTRALIAN PINE	8	6"Ø	95D	SPECIMEN QUALITY
PT	POTENTILLA FRUTICOSA POTENTILLA	9	16"	95	PLANT 2'Ø ON CENTER
T	TILIA CORCUTA GREENHOPE GREENHOPE LILIBEN	6	2cal	95D	SPECIMEN QUALITY
TD	TAXUS CANADATA BENTHAMIANA JAVANOE SPRAWL FOR YEW	6	24"Ø	95	PLANT 3'Ø ON CENTER

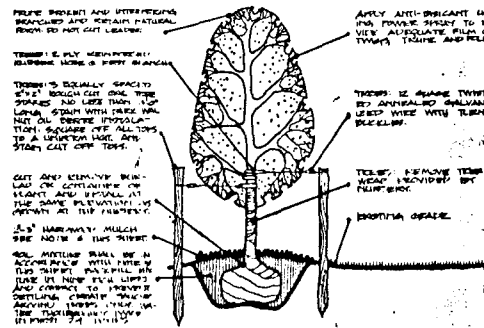
## LANDSCAPE PLAN GOLDEN CORRAL RESTAURANT GRAND JUNCTION, COLORADO SCALE 1" = 20' Ø



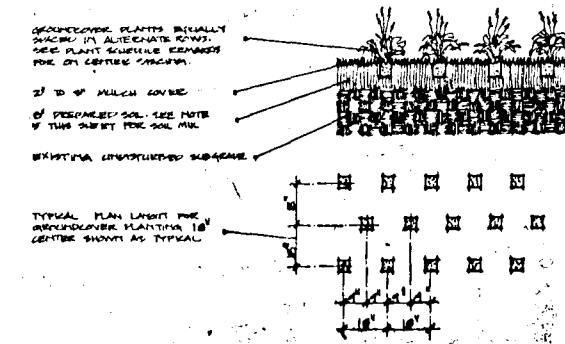
STREET  
FAITH



INDEPENDENCE AVENUE



1 PLANTING DETAIL  
SIMILAR FOR SHRUBS, TYPICAL FOR TREES



2 GROUNDCOVER PLANTING DETAIL  
TYPICAL FOR GROUNDCOVERS

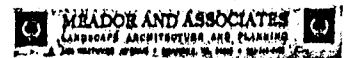
R. GARY GLEUCK, A.I.A.  
ARCHITECT - PLANNERS  
228 SOUTH CHURCH STREET, POST OFFICE BOX 273  
ROCKY MOUNT, NORTH CAROLINA 27801  
TELEPHONE (919) 442-1666

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT JOB SITE.

LANDSCAPE PLAN  
GOLDEN CORRAL RESTAURANT  
GRAND JUNCTION, COLORADO

NO.	REVISIONS

DRAWN BY: J. J. J.  
CHECKED BY: J. J. J.  
DATE: 15 APRIL 1980  
SHEET 11 OF 11  
PROJECT: SHEET NO. 11





**2 general notes**

PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR WORK SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND PERMITS DOCUMENTS APPROVED BY ALL OF THE PERMITS AND AGENCIES.

ALL WORK SHALL BE PERFORMED ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE SOIL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY BETWEEN THESE PLANS AND THE SOIL REPORT.

SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND UTILITIES, PIPES, VALVES, AND OTHER OBSTRUCTIONS.

SITE GRADING SHALL BE PERFORMED ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOIL REPORT REFERENCED. THIS PLAN SET THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOIL YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. THE SOIL REPORT ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MOISTURE PROCTOR MAXIMUM DENSITY PER A.S.T.M. D-1558. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT PREPARED BY QUALIFIED SOIL ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. FORTY PERCENT (40%) OF ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOTPRINT AND AREAS TO BE PAVED SHALL BE COMPACTED ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOIL REPORT.

THE ALTA SURVEY SHALL BE CONSIDERED PART OF THESE PLANS. THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK ORICE.

ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES EXISTING PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR OR WORK HAVING BEEN DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS SUCH NOTIFICATION HAS NOT BEEN GIVEN.

WATER SERVICE MATERIALS SHALL BE COPPER TYPE "K" DIAMETER SHALL BE AS NOTED ON THESE PLANS AND SHALL BE INSTALLED WITH MINIMUM COVER OR BELOW FROSTLINE WHICH EVER IS GREATER. CONTRACTOR SHALL PROVIDE WATER SERVICE SHALL INCLUDE ALL FEES AND APPURTANCES REQUIRED BY THE UTILITY TO PROVIDE COMPLETE WORKING SERVICE.

**3 construction notes**

CONSTRUCT ASPHALT CONCRETE PAVEMENT AS SPECIFIED.  
TATE D.O. SPECIFICATIONS  
SEE S-10 REPORT FOR ASPHALT PAVEMENT DESIGN AND FINISH DETAIL TO ARCHITECT PRIOR TO APPROVAL BEFORE CONSTRUCTION.

GRAVEL SUPPLIER & INSTALLER MUST CALL CITY OF GOLDEN FOR PERMITS AND APPROVALS PRIOR TO STARTING WORK. ALL GRADING SHALL BE PERFORMED ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOIL REPORT REFERENCED. THIS PLAN SET THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOIL YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED. THE SOIL REPORT ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MOISTURE PROCTOR MAXIMUM DENSITY PER A.S.T.M. D-1558. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT COMPACTION REPORT PREPARED BY QUALIFIED SOIL ENGINEER REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED. FORTY PERCENT (40%) OF ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING FOOTPRINT AND AREAS TO BE PAVED SHALL BE COMPACTED ACCORDANCE WITH THESE PLANS AND SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOIL REPORT.

**8 demolition notes**

1 All existing structures to be demolished shall be demolished in accordance with the following notes:

2 All existing structures to be demolished shall be demolished in accordance with the following notes:

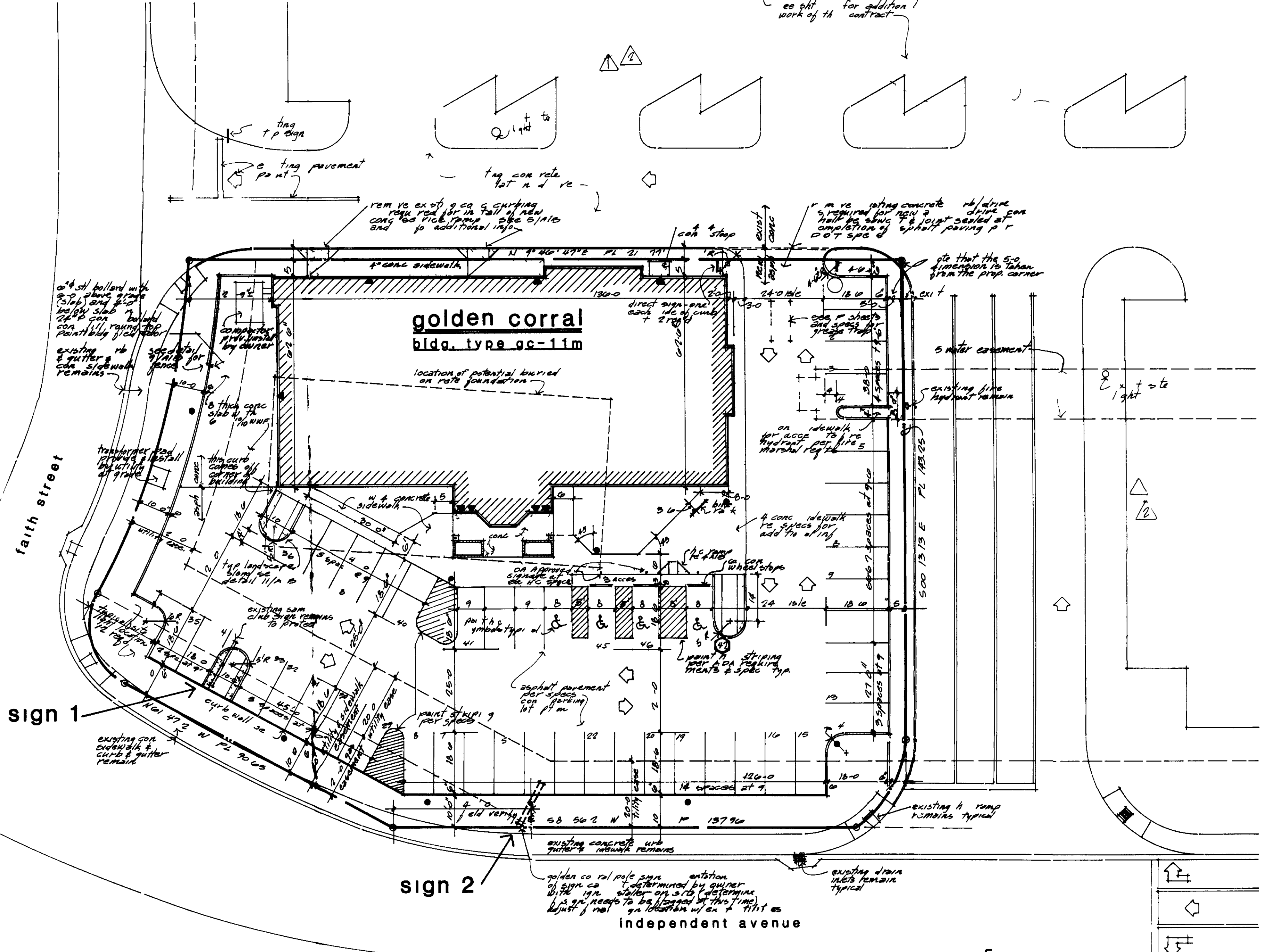
3 Existing structures to be demolished shall be demolished in accordance with the following notes:

4 Existing structures to be demolished shall be demolished in accordance with the following notes:

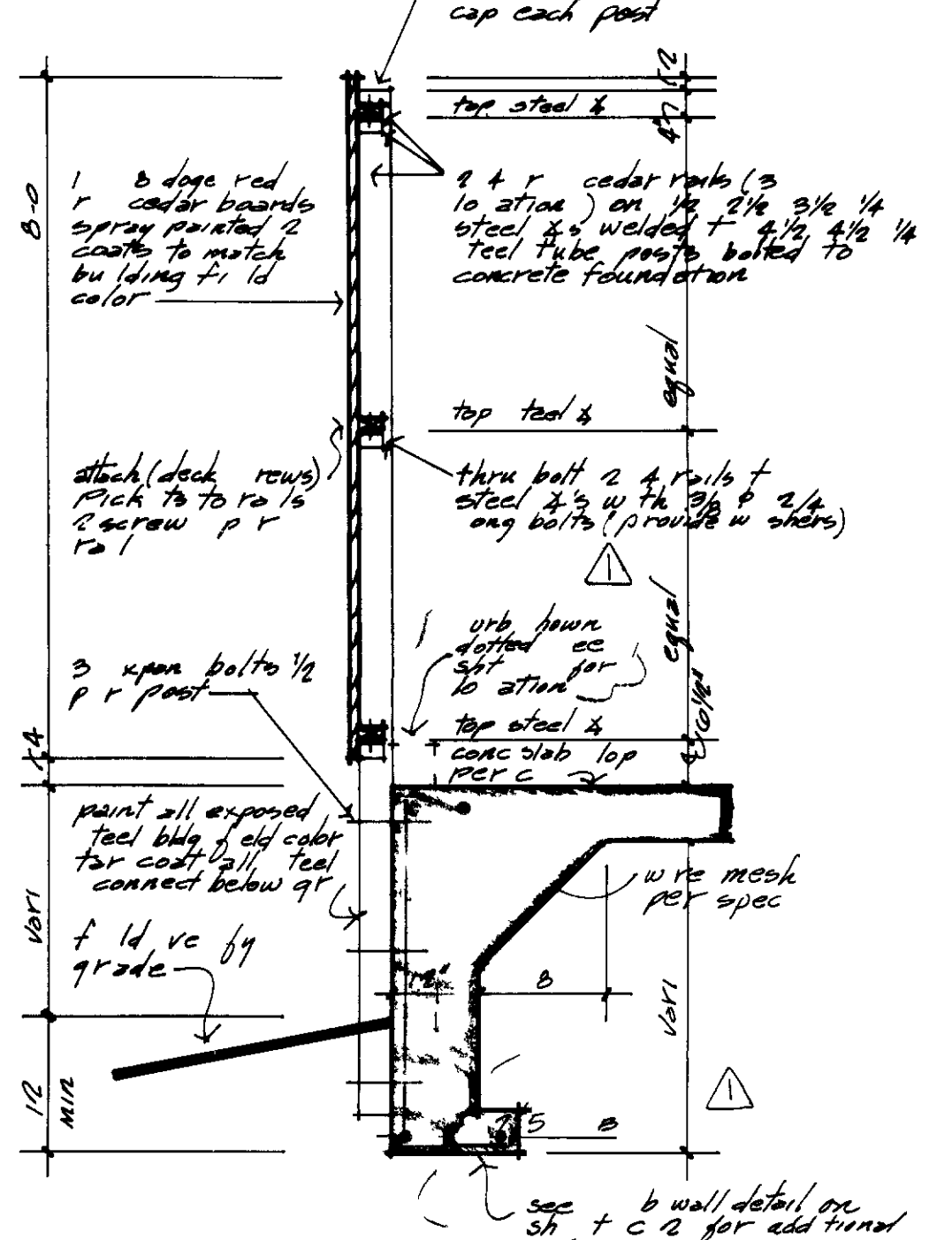
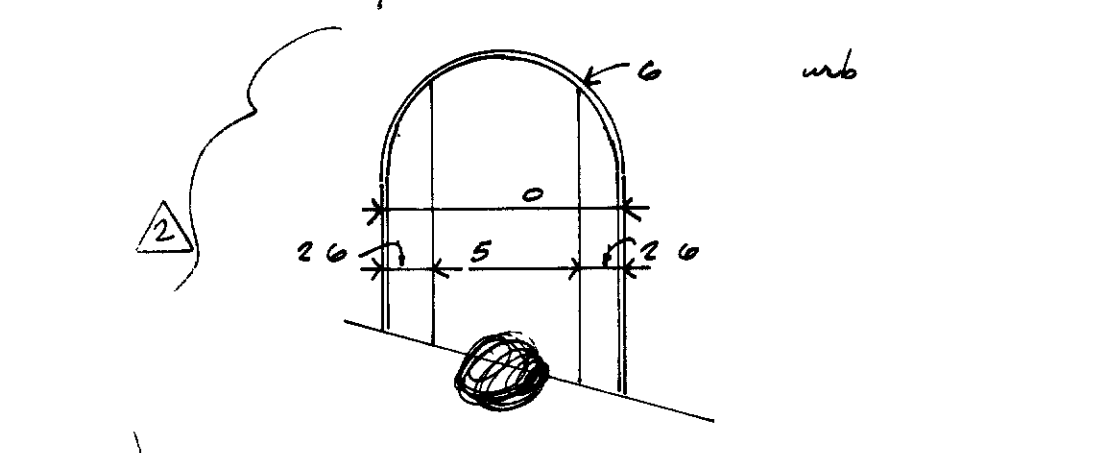
5 Existing structures to be demolished shall be demolished in accordance with the following notes:

6 Existing structures to be demolished shall be demolished in accordance with the following notes:

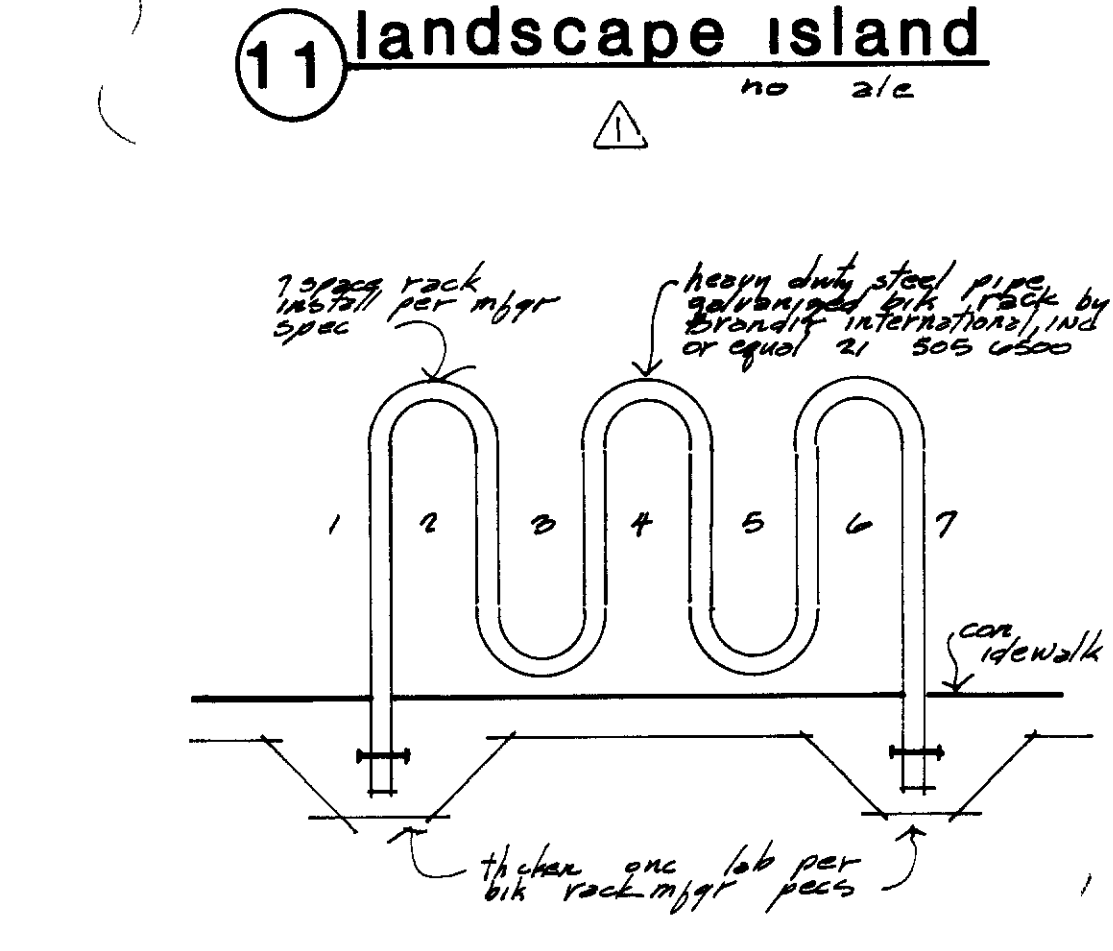
**golden corral bldg. type 9C-11M**



**11 landscape island**

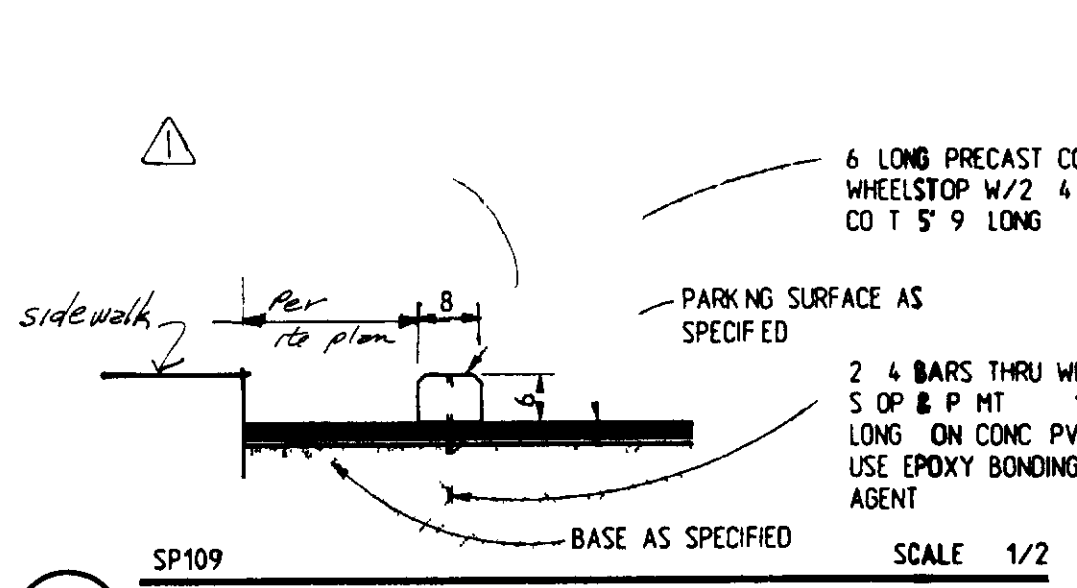


**10 bike rack detail**

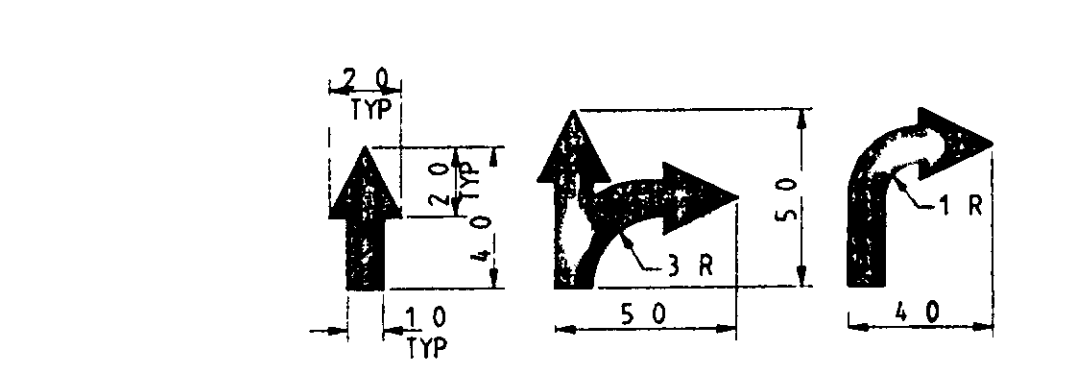


**9 fence detail**

CALL UTILITY NOTIFICATION CENTER OF COLORADO  
**1-800-922-1C87**  
OR **534-6700** IN METRO DENVER  
CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES



**7 CONCRETE WHEELSTOP**



**6 PAINTED TRAFFIC ARROWS**

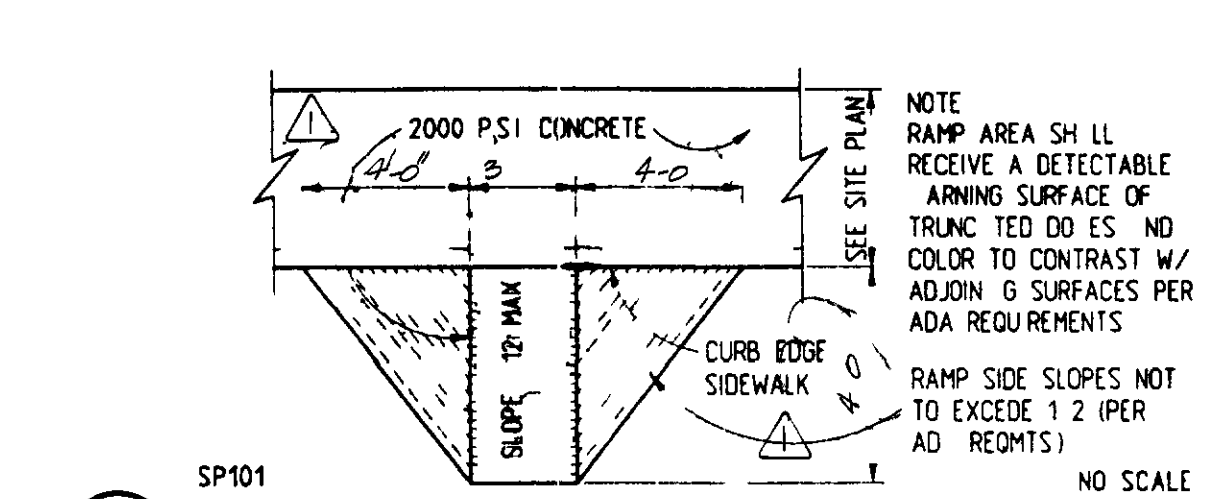
**1 architectural site plan**

This site plan drawn from survey prepared by Western engineers in 2000 highway 94 & 51st & 1st street drawing n 23 23 and dated 4/95.

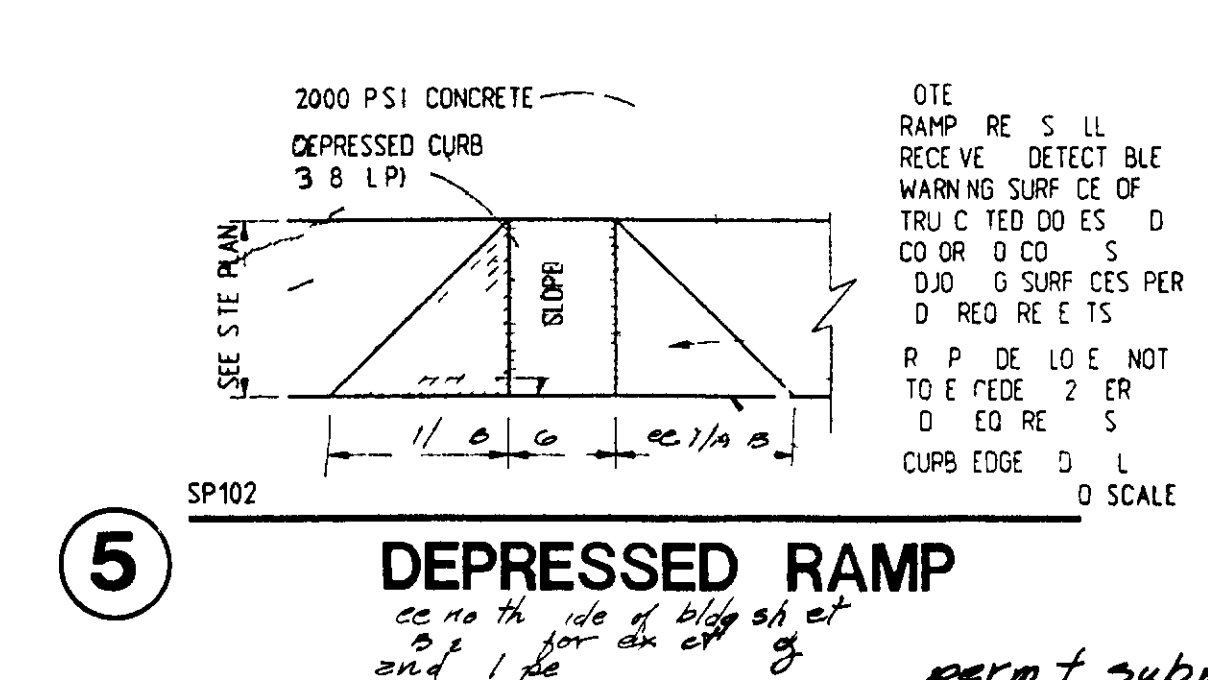
NOTE: Ramp side slopes shall be 1:2 (PER ADA REQUIREMENTS)

NOTE: Ramp side slopes shall be 1:2 (PER ADA REQUIREMENTS)

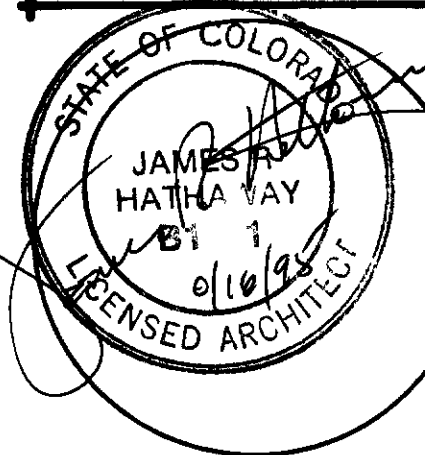
**4 EXT HANDICAPPED RAMP**



**5 DEPRESSED RAMP**



**james r hathaway - architect p.c.**  
commercial/residential architecture  
6876 south prince way  
littleton colorado 80120  
phone no. 303 780 0696 fax no. 303 784 4930

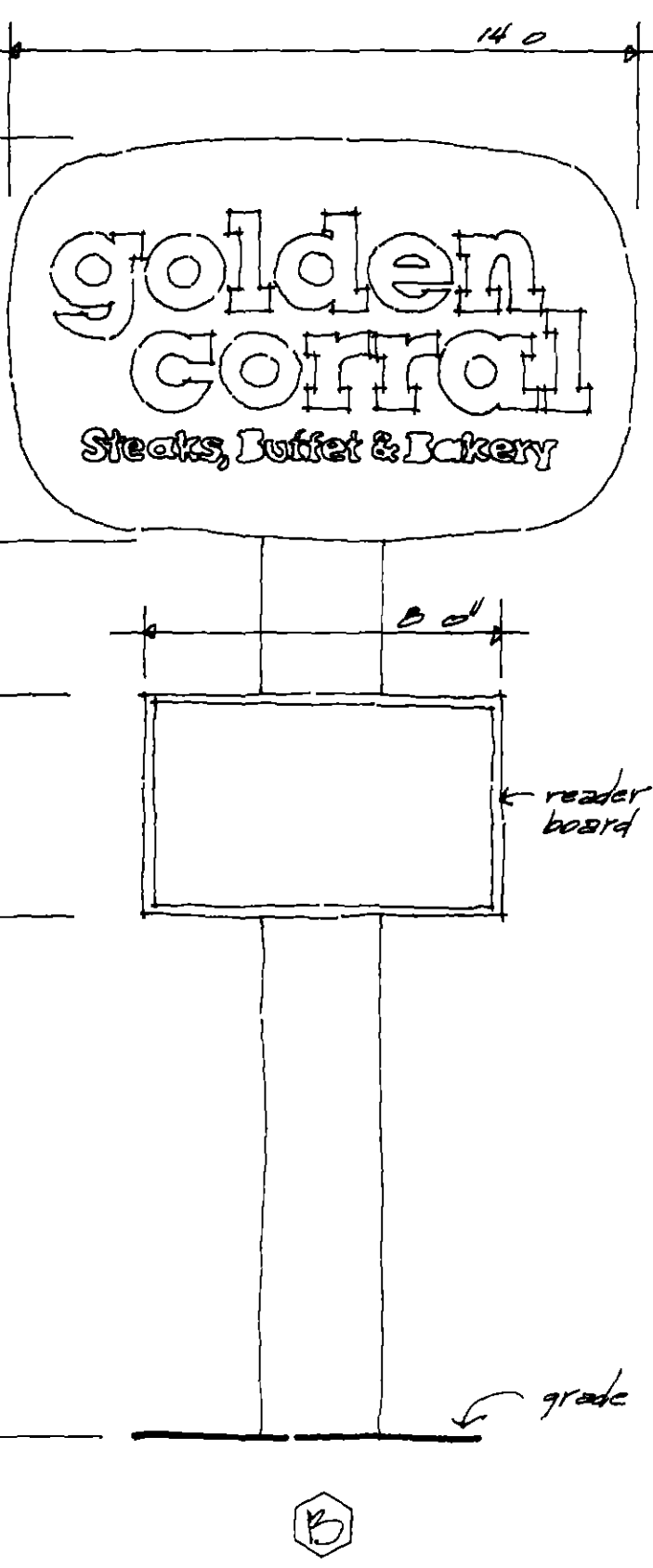
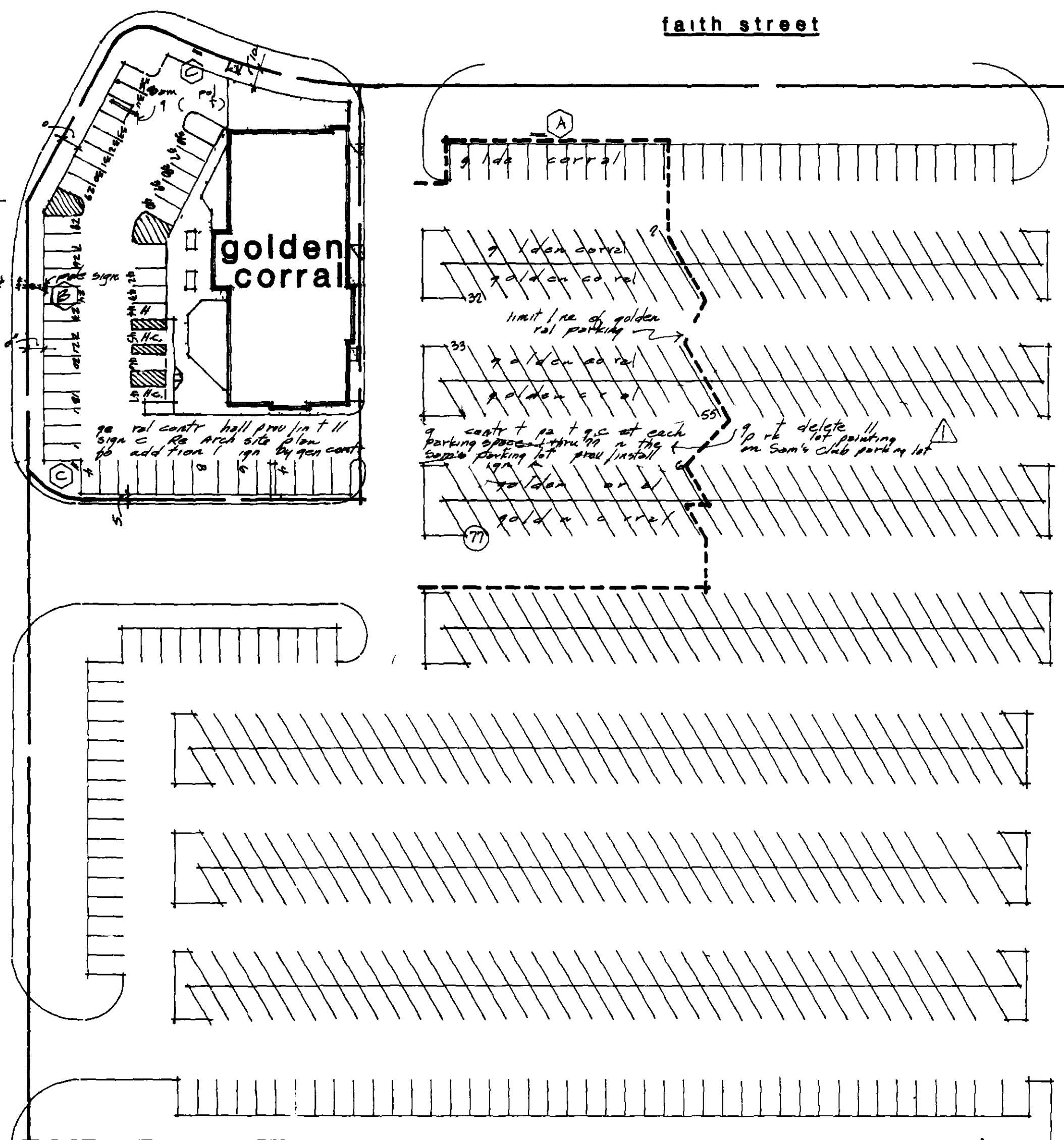


**LKB CORP**  
owner  
110 alpine dr  
frisco, colorado  
80443

**golden corral**  
Steak, Buffet & Bakery

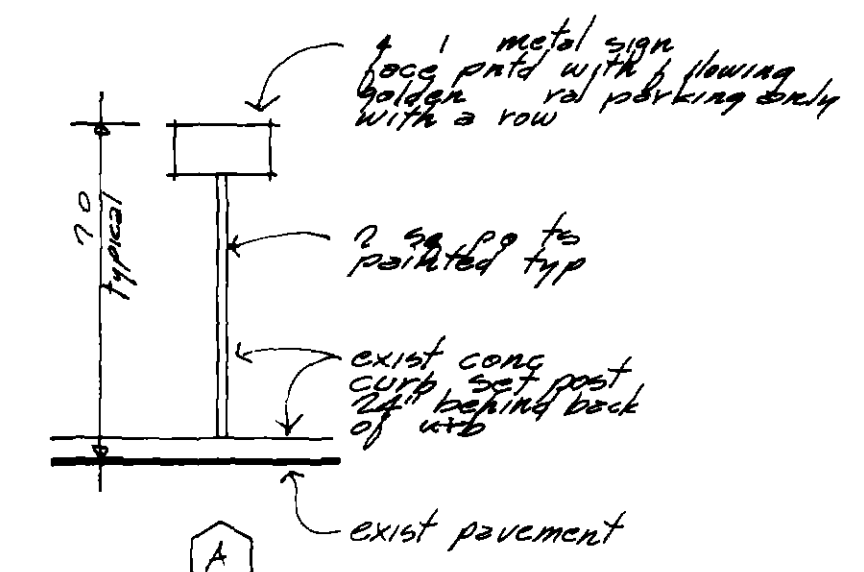
POJ 0941B  
dawn JRH  
checked JRH  
issued  
5/10/95 perm t subm  
revisions  
10 4 95 city comment  
10 12 95 city comment  
sheet  
**A1B**  
of

**note**  
 this to plan to gary  
 only to get for  
 see sheet A10 to construction

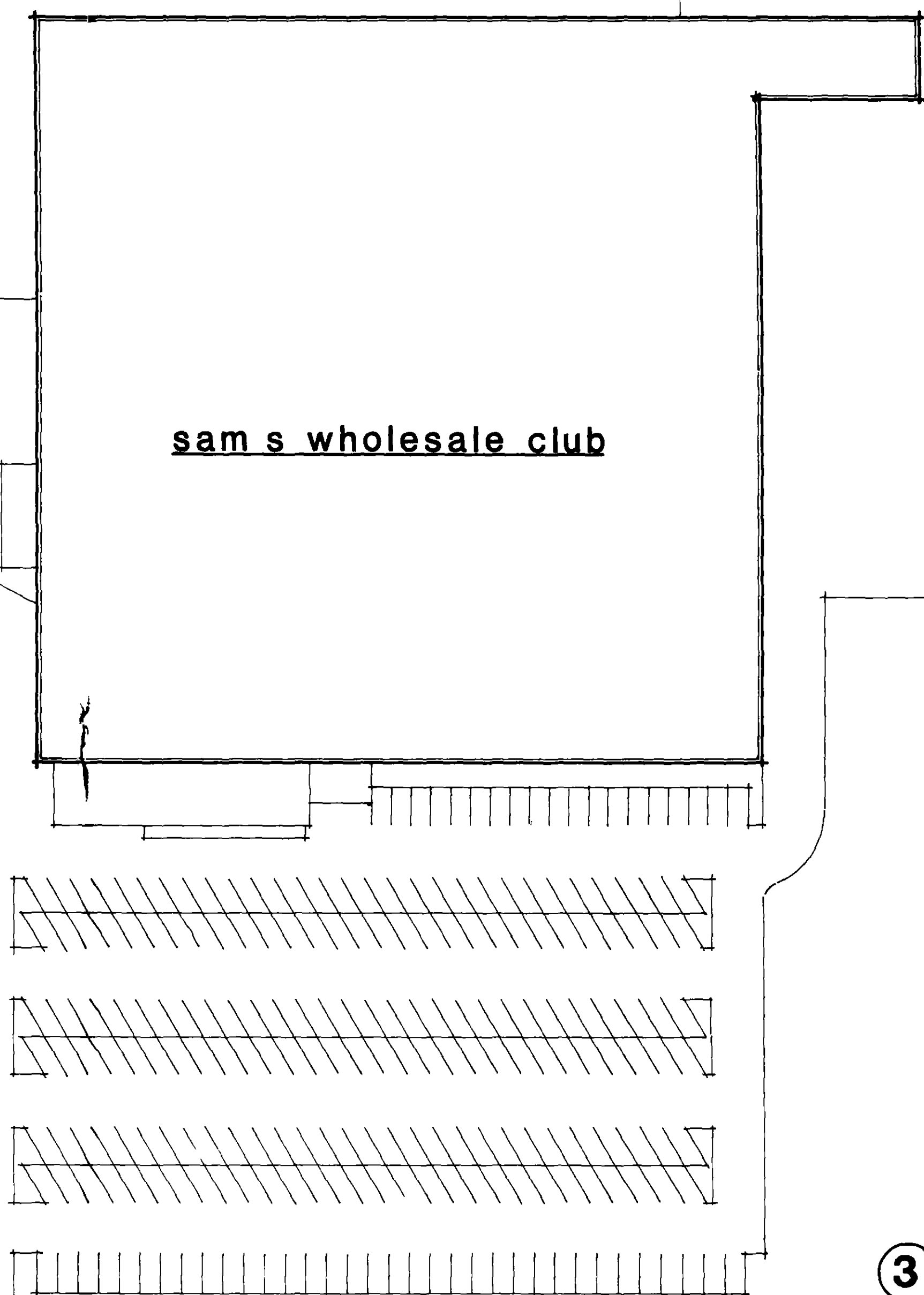


**2 sign types**

1/9 hook per by sign staller



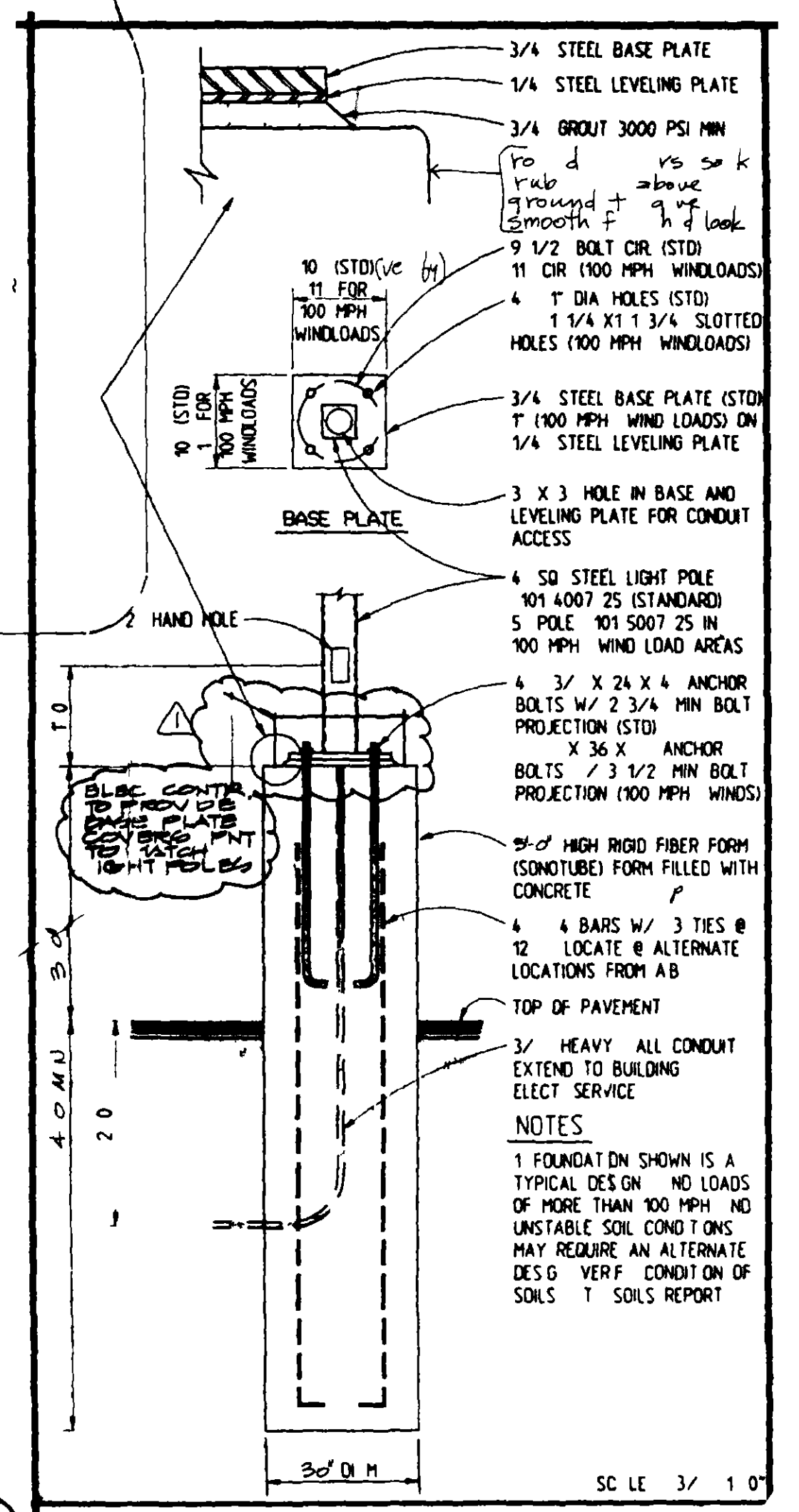
**NOTE**  
 in type c some typ  
 not painted as follows  
 additional parking north of b riding



**1 sam's wholesale club and golden corral restaurant overall development plan**

**parking data**

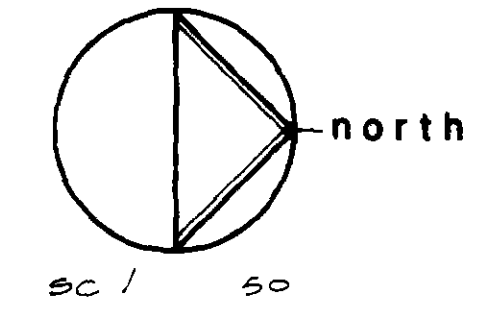
building size	55.5 F
number of seats	87
parking req'd (per code)	9 spaces
parking on golden corral site	2 spaces
additional off-site parking provided	7 spaces
total parking spaces provided	9 spaces
golden corral restaurant development	29 spaces



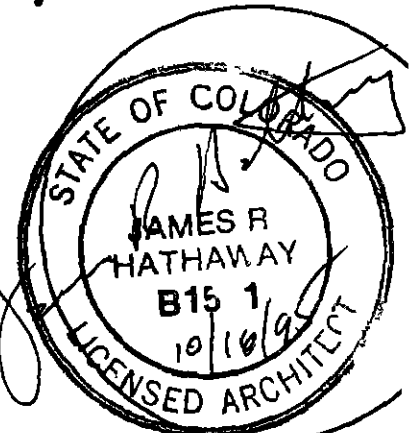
**3 LIGHT STANDARD DETAIL**

see specs for site lighting information  
 see specs for contact on site lighting info, 1/6 pole sig, hgt, bolt pattern lay out to 4' dia detail  
 for general info only

CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
**1-800-922-1987**  
**534-6700** IN METRO DENVER  
 CALL 2 BUSINESS DAYS IN ADVANCE  
 BEFORE YOU DIG GRADE OR EXCAVATE  
 FOR THE MARKING OF UNDERGROUND  
 MEMBER UTILITIES



James R Hathaway - architect p.c.  
 c mme clia/re ide fia/ chitectu e  
 6879 th p w y  
 1111 do 80120  
 303 784 4890



owner  
**LKB CORP**  
 110 alpine dr  
 frisco colorado

**golden corral**

point 94 13  
 draw JRH  
 checked JRH  
 ss ed golden on  
 4/24/95 KAL Mnet  
 5/17/95 permit sub

esign  
 4/29/95 KAL Mnet  
 10 4 95 ty omm  
 10 2 95 ty com

sheet  
**A1C**

permit submittal 17 May 1995

25 1/2 road