

# Table of Contents

File            SPR-1995-088

Date            8/20/99

P r e s e n t	S c a n n e d	<p><b>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, not all entries designated to be scanned, are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been included.</b></p> <p><b>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</b></p> <p><b>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</b></p>		
X	X	<b>*Summary Sheet – Table of Contents</b>		
		Application form		
		Receipts for fees paid for anything		
X	X	<b>*Submittal checklist</b>		
X	X	<b>*General project report</b>		
		Reduced copy of final plans or drawings		
X	X	Reduction of assessor's map		
		Evidence of title, deeds		
		<b>*Mailing list</b>		
		Public notice cards		
		Record of certified mail		
		Legal description		
		Appraisal of raw land		
		Reduction of any maps – final copy		
		<b>*Final reports for drainage and soils (geotechnical reports)</b>		
		Other bound or nonbound reports		
		Traffic studies		
X		Individual review comments from agencies		
X	X	<b>*Consolidated review comments list</b>		
		<b>*Petitioner's response to comments</b>		
X	X	<b>*Staff Reports</b>		
		<b>*Planning Commission staff report and exhibits</b>		
		<b>*City Council staff report and exhibits</b>		
X	X	<b>*Summary sheet of final conditions</b>		
		<b>*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)</b>		
<b><u>DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:</u></b>				
X		Letter from Katherine Portner to William Kane – 7/7/97	X	Plot Plan
X	X	Letter from William Kane to John Shaver – 7/1/97		
X	X	Standard Concrete Details		
X		Planning Clearance - **		
X	X	Site Plan		
X		Bike Rack		
X	X	Letter from Michael Drollinger to Louis Brach – 4/22/96		
X	X	Development Improvements Agreement - **		
X	X	E-mail from Larry Timm to City of Grand Junction – 7/14/95		
X	X	E-mail from Larry Timm to City Council Mark Achen – 7/11/95		
X	X	Memo from Jody Kliska from Michael Drollinger – 7/13/95		
X		Handwritten notes to file		
X		Newspaper article "Businessman, City Clash on Road Project" – 6/28/95		
X		Description of property		
X		Memo from Michael Drollinger to Jody Kliska – 6/14/95		
X		Letter from Michael Drollinger to Robert Turner – 5/4/95		
X		Deed of Trust		
X		Letter from Donald Yeager to Louis Brach – bid – 3/18/96		
X		Landscape Plan Checklist		

# SUBMITTAL CHECKLIST

## SITE PLAN REVIEW

Location: NE Corner 1st & Orchard

Project Name: Retail Center

ITEMS		DISTRIBUTION																		TOTAL REQD.			
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent	● City Parks/Recreation	● City Fire Department	● City Attorney	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	● Drainage District	○ Water District	○ Sewer District	● U.S. West	● Public Service	○ GVRP	○ CDOT		○ Corps of Engineers	○ Walker Field	
● Application Fee \$ 115	VII-1	1																					
● Submittal Checklist*	VII-3	1																					
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																					
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1		1			1																
○ Appraisal of Raw Land	VII-1	1			1	1																	
○ Deeds	VII-1	1			1		1																
● Easements	VII-2	1	1	1	1		1																
○ Avigation Easement	VII-1	1			1		1																
○ ROW	VII-3	1	1	1	1		1																
○ Improvements Agreement/Guarantee	VII-2	1	1	1			1																
○ CDOT Access Permit	VII-3	1	1																				
○ Industrial Pretreatment Sign-off	VII-4	1		1																			
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																				
● Site Plan	IX-29	2	2	1	1																		
● 11"x17" Reduction of Site Plan	IX-29					1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan	IX-16	1	2									1										1	
○ Storm Drainage Plan and Profile	IX-30	1	2									1			1	1	1						
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1						1	1	1	1	1							
○ Roadway Plan and Profile	IX-28	1	2									1											
○ Road Cross-Sections	IX-27	1	2																				
○ Detail Sheet	IX-12	1	2																				
● Landscape Plan	IX-20	2	1	1																			
○ Geotechnical Report	X-8	1	1							1													
○ Final Drainage Report	X-5,6	1	2									1											
○ Stormwater Management Plan	X-14	1	2									1								1			
○ Phase I and II Environmental Report	X-10,11	1	1																				
○ Traffic Impact Study	X-15	1	2																	1			

- NOTES:
- 1) An asterisk in the item description column indicates that a form is supplied by the City.
  - 2) Required submittal items and distribution are indicated by filled in circles, some of which may be filled in during the pre-application conference. Additional items or copies may be subsequently requested in the review process.
  - 3) Each submitted item must be labeled, named, or otherwise identified as described above in the description column.

# DRAWING STANDARDS CHECKLIST

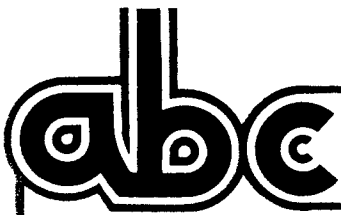
## LANDSCAPE PLAN

	ITEM	GRAPHIC STANDARDS	OK	NA
SECTION VIII	A	Scale: 1" = 10' or 20'		
	B	Sheet size: 24"x36"		
	C	Primary features consist only of landscape features		
	D	Notation: All non-construction text, and also construction notation for all primary features		
	E	Line weights of existing and proposed (secondary and primary) features per City standards		
	H	Vertical control: Benchmarks on U.S.G.S. datum if public facilities other than SW are proposed		
	I	Orientation and north arrow		
	K	Title block with names, titles, preparation and revision dates		
	M	Legend of symbols used		
	N	List of abbreviations used		
	P	Multiple sheets provided with overall graphical key and match lines		
	Q	Contouring interval and extent		
	R	Neatness and legibility		

	ITEM	FEATURES	OK	NA
-	1	Use the Site Plan as a base map		
	2	Identify areas to be covered with specific landscaping materials		
	3	Boulders, mounds, swales, water courses, rock outcroppings		
	4	Planting Material Legend includes common and botanical names, quantities, minimum purchase sizes, mature height, groundcover/perennial spacing, types of soil, and other remarks		
	5	Specification of soil type and preparation		
	6	Landscape irrigation layout, design, materials, and details (if requested by City staff)		
	7	Planting/staking and other details as required		
	8	Required note on Plan: "An underground, pressurized irrigation system will be provided"		
	9	Space for approval signature by Community Development with date and title		

### COMMENTS

1. This drawing may be eliminated if information may be put on the Site Plan. See Note (2) on the Site Plan Checklist.



# Alco Building Company, Inc.

## Mesa County Planning Division Project Narrative

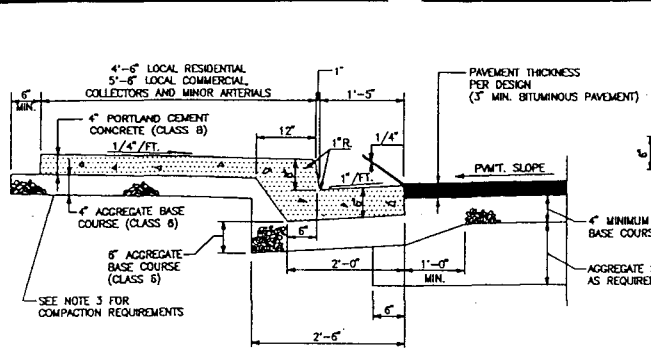
PROJECT NAME: HILLCREST PLAZA  
OWNER: LOUIS BRACH  
DATE: MARCH 20th 1995

1. The buildings will house retail shop space.
2. The new structure will be 8400 total square feet. One building will contain 6000 square feet, the other will contain 2400 square feet.
3. The construction will be a slab on grade with a design built steel and glass structure. Also parking and landscaping as required will be completed as shown on the site plan.
4. The area that would be impacted by the structures would be the corner of First street and Orchard Avenue. The lot now has existing businesses located on it with an existing residential area bordering it on the east side. The new structure will have little impact on other buildings in the immediate area.
5. There are no special conditions to be considered.

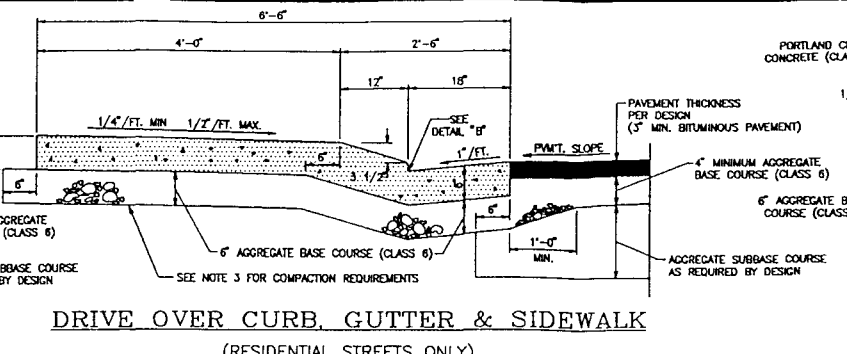
Submitted By.

A handwritten signature in black ink, appearing to read 'Robert V. Turner', written over a horizontal line.

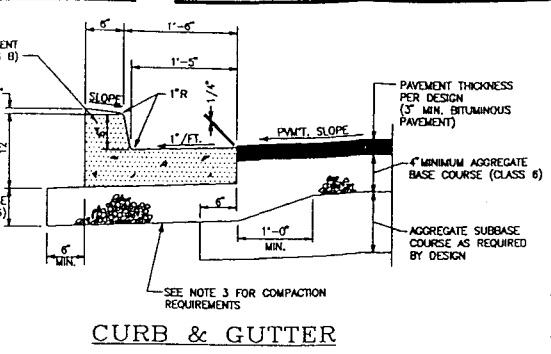
Robert V. Turner  
Alco Building Company Inc.



MONOLITHIC CURB, GUTTER & SIDEWALK  
SECTION F-F



DRIVE OVER CURB, GUTTER & SIDEWALK  
(RESIDENTIAL STREETS ONLY)



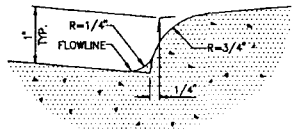
CURB & GUTTER

**GENERAL NOTES**

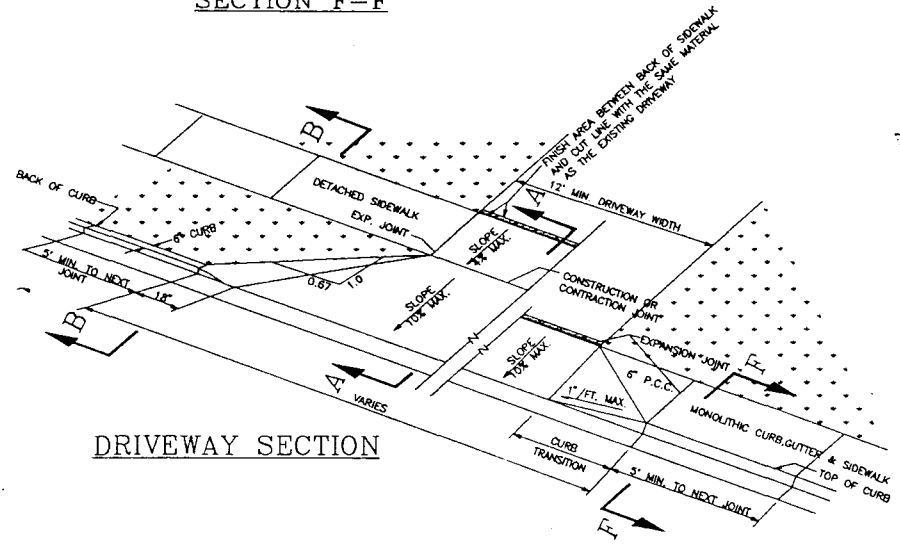
1. ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND FINISHED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STREET CONSTRUCTION SPECIFICATIONS.
2. ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
3. ALL CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, DRAINAGE PANS AND OTHER CONCRETE WORK SHALL BE UNDERLAIN WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF ASHTO T-190 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 6 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF ASHTO T-99 MAXIMUM DENSITY. ALL SATURATED OR UNSATURATED SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
4. ALL EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
5. ALL DRIVEWAY CONCRETE (APRON AND SIDEWALK CROSSING) SHALL BE 6 INCHES THICK (MIN.) FOR RESIDENTIAL USES AND 8" THICK (MIN.) FOR ALL OTHER USES.
6. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED IN ALL CURBS, GUTTERS, SIDEWALKS, V-PANS, ETC., AT ENDS OF HORIZONTAL CURVE: AT EDGES OF DRIVEWAY SECTIONS AND AT MAXIMUM SPACING OF 100' TRANSVERSE CONTRACTION JOINTS SHALL BE PROVIDED AT 10' SPACING.
7. VEHICULAR TRAFFIC SHALL BE KEPT OFF NEW CONCRETE FOR A MINIMUM OF FIVE DAYS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
8. AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE IMMEDIATELY AFTER FINISHING.
9. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
11. HANDICAP RAMPS SHALL BE INSTALLED AT EACH CORNER OF ALL STREET INTERSECTIONS. SEE EXHIBIT "G" FOR DETAILS.

THROUGH STREET	MINIMUM INTERSECTION RADII TO FLOWLINE OF GUTTER INTERSECTING STREET				
	ARTERIAL	COLLECTOR	LOCAL RESIDENTIAL	LOCAL COMMERCIAL	LOCAL INDUSTRIAL
ARTERIAL	30'	30'	30'	30'	*
COLLECTOR	-	30'	25'	30'	-
LOCAL RESIDENTIAL	-	-	20'	-	-
LOCAL COMMERCIAL	-	-	20'	30'	-
LOCAL INDUSTRIAL	-	-	20'	-	-

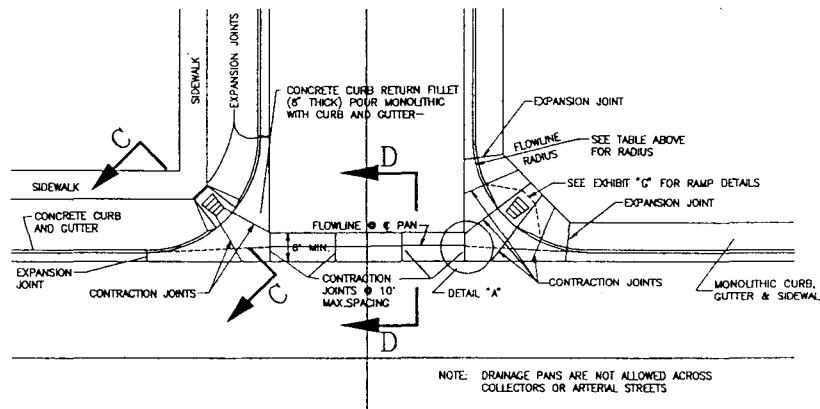
\* RADII AT INTERSECTIONS WITH INDUSTRIAL STREETS SHALL BE INDIVIDUALLY DESIGNED BASED ON TURNING REQUIREMENTS FOR WB-50 TRUCKS.



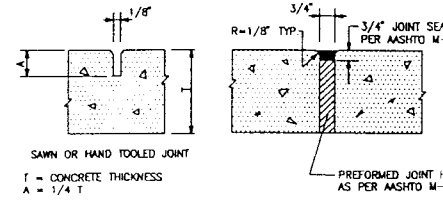
DETAIL "B"



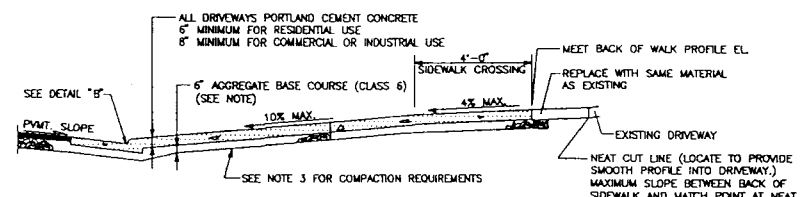
DRIVEWAY SECTION



STREET INTERSECTION AND DRAINAGE PAN DETAILS

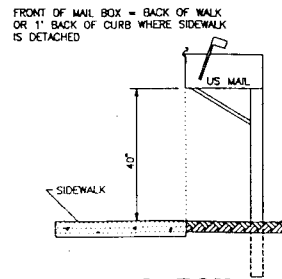


CONCRETE JOINT DETAILS

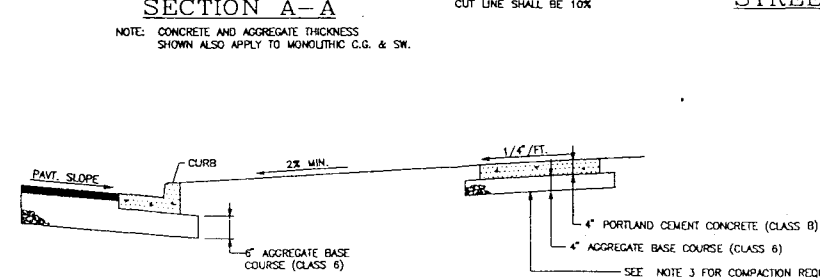


SECTION A-A

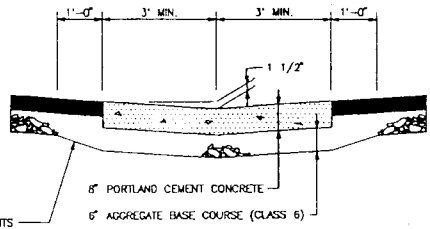
NOTE: CONCRETE AND AGGREGATE THICKNESS SHOWN ALSO APPLY TO MONOLITHIC C.G. & SW.



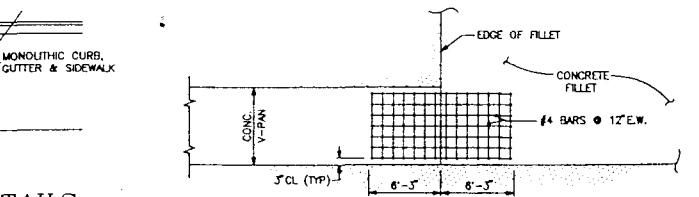
MAIL BOX INSTALLATION



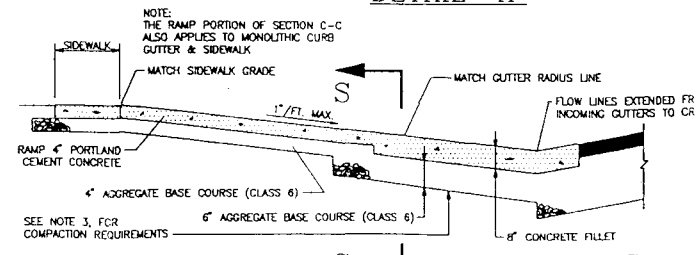
SECTION B-B



SECTION D-D



DETAIL "A"



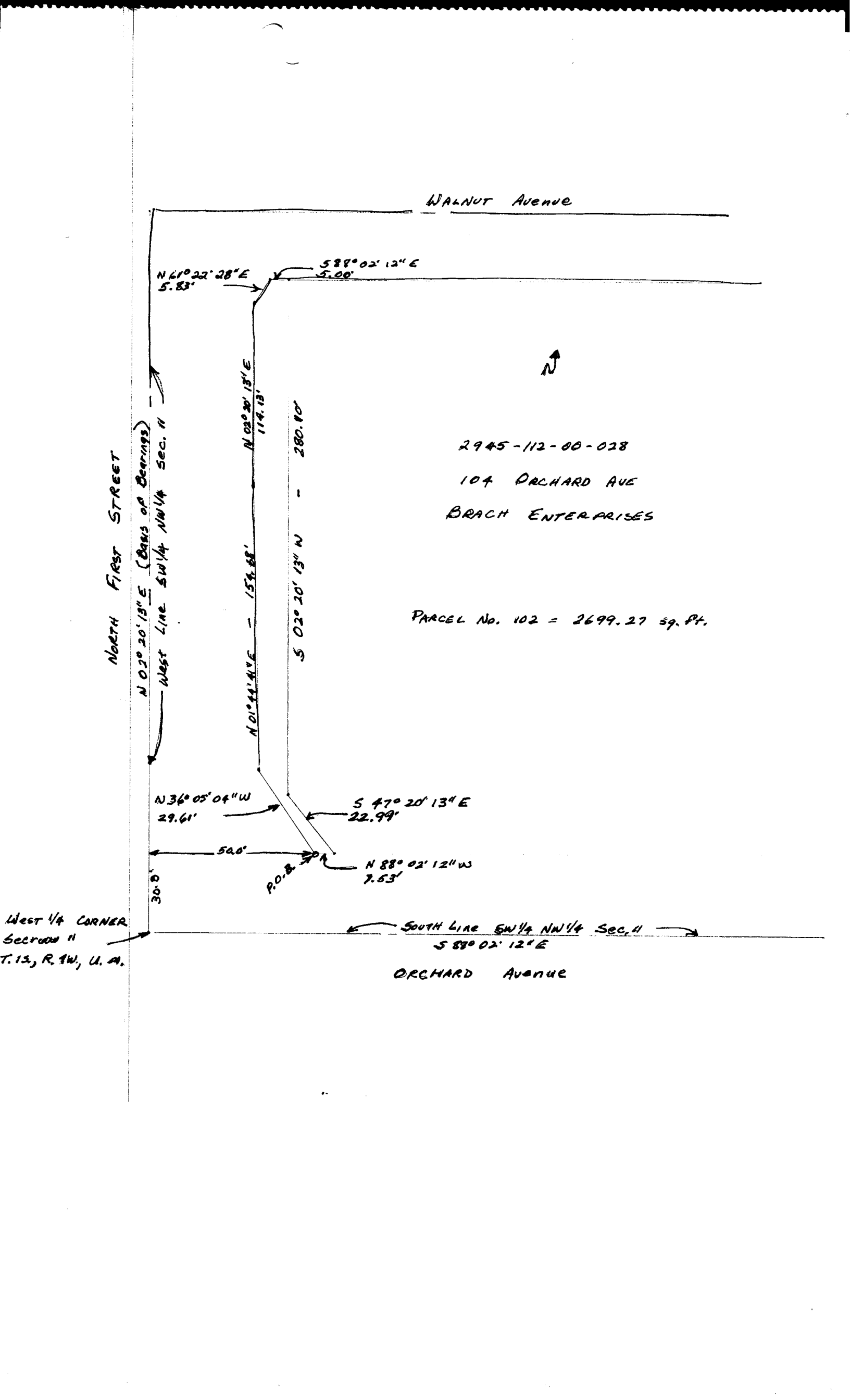
SECTION C-C

SEE EXHIBIT "G" FOR SECTION S-S

DESCRIPTION	DATE	DRAWN BY	N.O.P.	DATE	5/29/92	SCALE	PLAN	PROFILE
ADOPTED BY CITY COUNCIL RESOLUTION	7/1/92	CHECKED BY	T.A.B.	DATE	5/29/92	HORIZ.	N.T.S.	HORIZ.
REVISION BY CITY COUNCIL RESOLUTION	6/15/94	APPROVED BY	J.D.N.	DATE	5/29/92	HORIZ.	N.T.S.	HORIZ.
REVISION		FILED BOOK NO.		PAGE		HORIZ.	N.T.S.	VERT.

DEPARTMENT OF PUBLIC WORKS AND UTILITIES  
ENGINEERING DIVISION 244-1554  
CITY OF GRAND JUNCTION, COLORADO

EXHIBIT "E"  
STANDARD CONCRETE DETAILS  
SHEET NO. \_\_\_\_\_  
OF \_\_\_\_\_  
FILE NO. \_\_\_\_\_  
EX-E-94



WALNUT Avenue

N 61° 22' 28" E  
5.83'

S 88° 02' 12" E  
5.00'



NORTH FIRST STREET

N 02° 20' 15" E (Basis of Bearings)  
West Line SW 1/4 NW 1/4 Sec. 11

N 02° 20' 15" E  
114.13'

S 02° 20' 13" N - 280.10'

2945-112-00-028

104 ORCHARD AVE

BRACH ENTERPRISES

PARCEL No. 102 = 2699.27 sq. ft.

N 36° 05' 04" W  
29.61'

S 47° 20' 13" E  
22.99'

520'

N 88° 02' 12" W  
7.53'

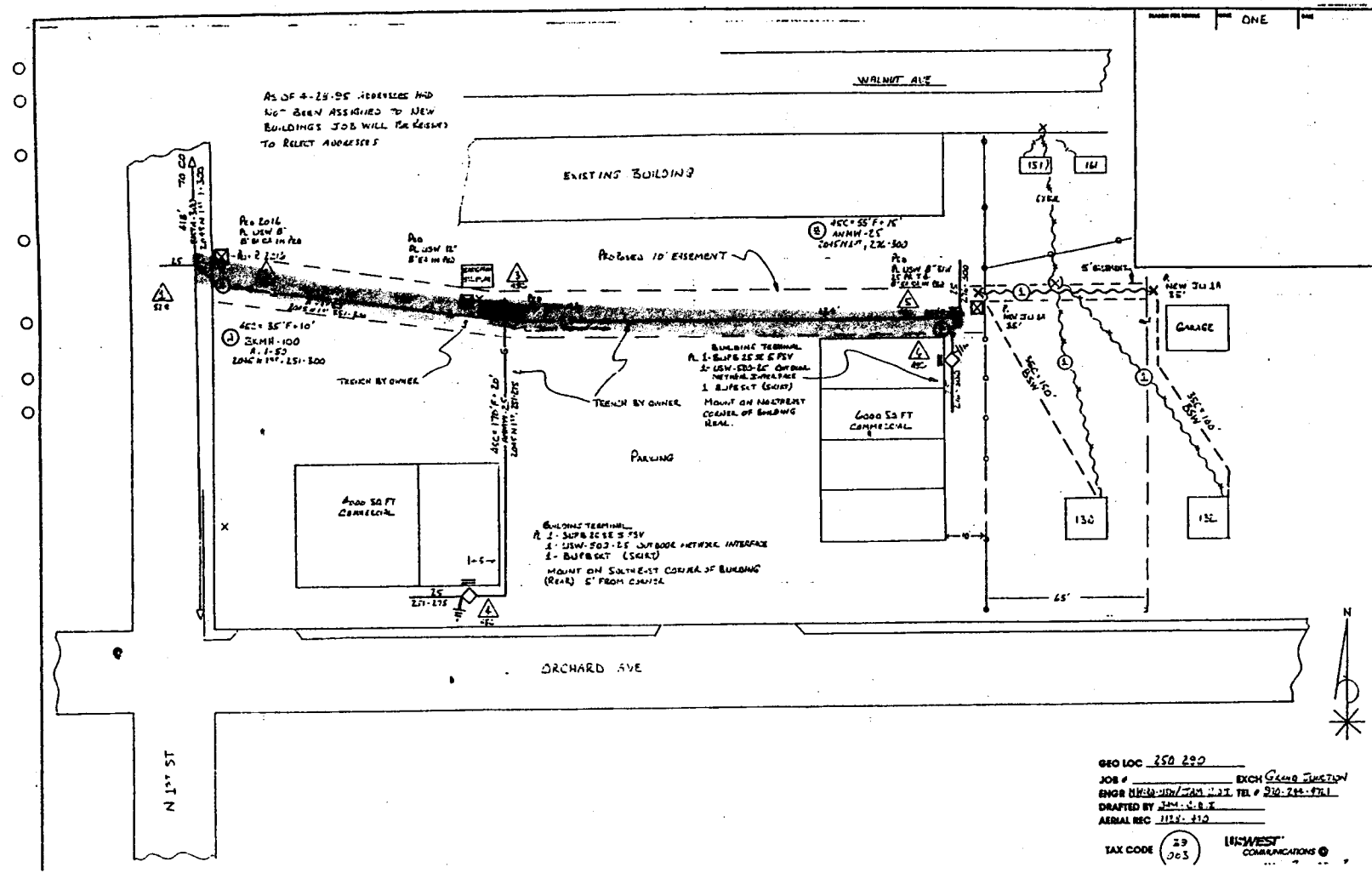
P.O.B. 20'

30.0'

West 1/4 CORNER  
Section 11  
T. 13, R. 1W, U. A.

South Line SW 1/4 NW 1/4 Sec. 11  
S 88° 02' 12" E

ORCHARD Avenue



AS OF 4-28-88 ADDRESSES HAD NOT BEEN ASSIGNED TO NEW BUILDINGS JOB WILL BE REVERSED TO RELECT ADDRESSES

PRO 2016  
A. USE OF  
B. USE OF

PRO 2016  
A. USE OF  
B. USE OF

PROPOSED 10' EASEMENT

4000 SQ FT COMM.  
A. USE OF  
B. USE OF

TRENCH BY OWNER

BUILDING TERMINAL  
A. 1- SURFACE MOUNT  
B. 1- SURFACE MOUNT  
C. 1- SURFACE MOUNT  
D. 1- SURFACE MOUNT  
E. 1- SURFACE MOUNT  
F. 1- SURFACE MOUNT  
G. 1- SURFACE MOUNT  
H. 1- SURFACE MOUNT  
I. 1- SURFACE MOUNT  
J. 1- SURFACE MOUNT  
K. 1- SURFACE MOUNT  
L. 1- SURFACE MOUNT  
M. 1- SURFACE MOUNT  
N. 1- SURFACE MOUNT  
O. 1- SURFACE MOUNT  
P. 1- SURFACE MOUNT  
Q. 1- SURFACE MOUNT  
R. 1- SURFACE MOUNT  
S. 1- SURFACE MOUNT  
T. 1- SURFACE MOUNT  
U. 1- SURFACE MOUNT  
V. 1- SURFACE MOUNT  
W. 1- SURFACE MOUNT  
X. 1- SURFACE MOUNT  
Y. 1- SURFACE MOUNT  
Z. 1- SURFACE MOUNT

PARKING

4000 SQ FT COMM.  
A. USE OF  
B. USE OF

BUILDING TERMINAL  
A. 2- SURFACE MOUNT  
B. 1- SURFACE MOUNT  
C. 1- SURFACE MOUNT  
D. 1- SURFACE MOUNT  
E. 1- SURFACE MOUNT  
F. 1- SURFACE MOUNT  
G. 1- SURFACE MOUNT  
H. 1- SURFACE MOUNT  
I. 1- SURFACE MOUNT  
J. 1- SURFACE MOUNT  
K. 1- SURFACE MOUNT  
L. 1- SURFACE MOUNT  
M. 1- SURFACE MOUNT  
N. 1- SURFACE MOUNT  
O. 1- SURFACE MOUNT  
P. 1- SURFACE MOUNT  
Q. 1- SURFACE MOUNT  
R. 1- SURFACE MOUNT  
S. 1- SURFACE MOUNT  
T. 1- SURFACE MOUNT  
U. 1- SURFACE MOUNT  
V. 1- SURFACE MOUNT  
W. 1- SURFACE MOUNT  
X. 1- SURFACE MOUNT  
Y. 1- SURFACE MOUNT  
Z. 1- SURFACE MOUNT

ORCHARD AVE

N 1ST ST

GEO LOC 250 290  
JOB # \_\_\_\_\_ EXCH \_\_\_\_\_  
ENGR \_\_\_\_\_ TEL # 210-244-7741  
DRAFTED BY \_\_\_\_\_  
AERIAL REC 11/2/81  
TAX CODE 29  
003

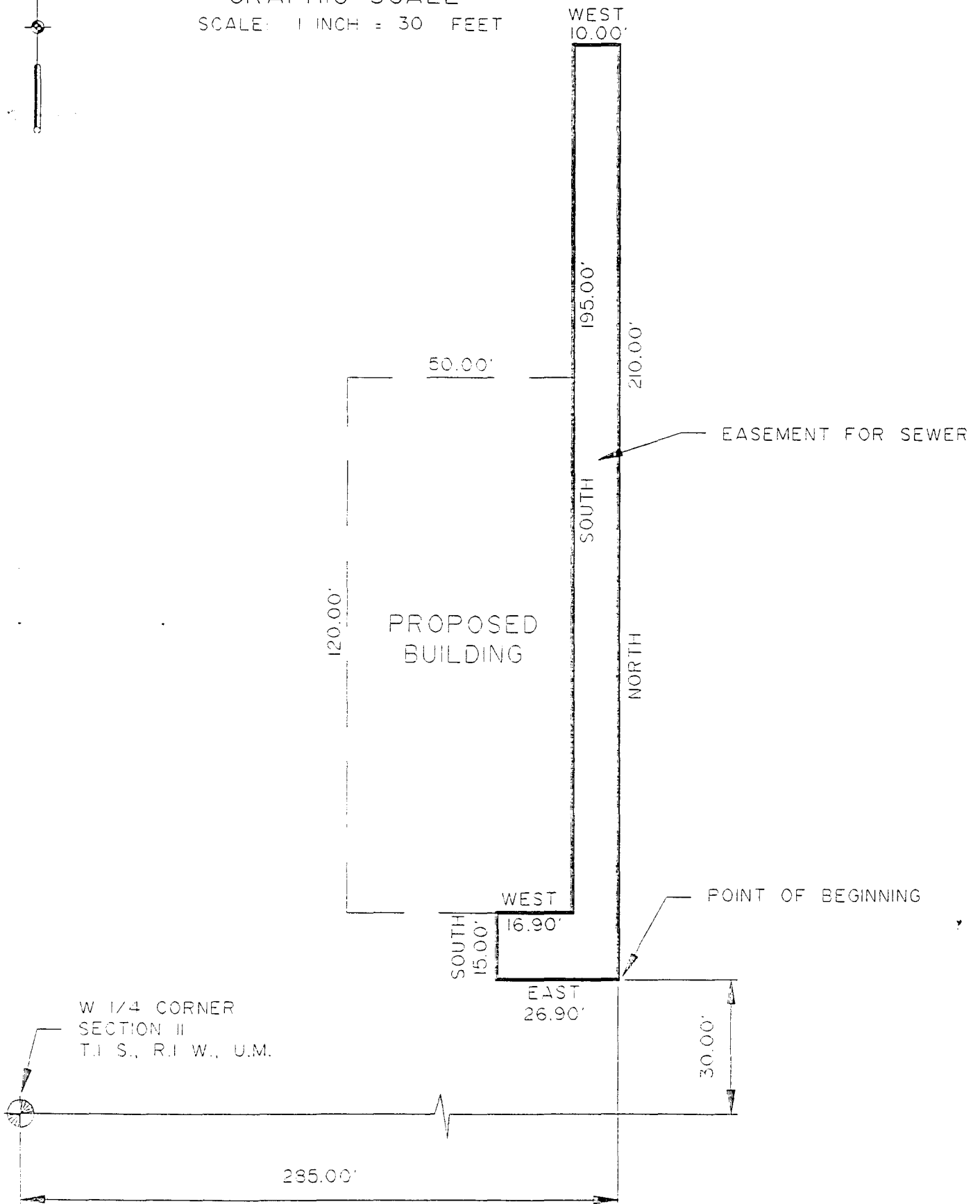


# EXHIBIT "A"

N

FEET 30 0 30 FEET

GRAPHIC SCALE  
SCALE: 1 INCH = 30 FEET





ROW  
Book 1844  
Page 974

04-10-15

MESA COUNTY  
SURVEY MONUMENT  
10+00E

14" A.C.

36" M.E.L.  
BUTHORY DRAIN

NORTH 1ST STREET

REMOVE CONCRETE DRIVEWAY SECTION  
(DOTTED AREA)  
REPLACE WITH 5.5' WIDE MONOLITHIC  
CURB, GUTTER AND SIDEWALK

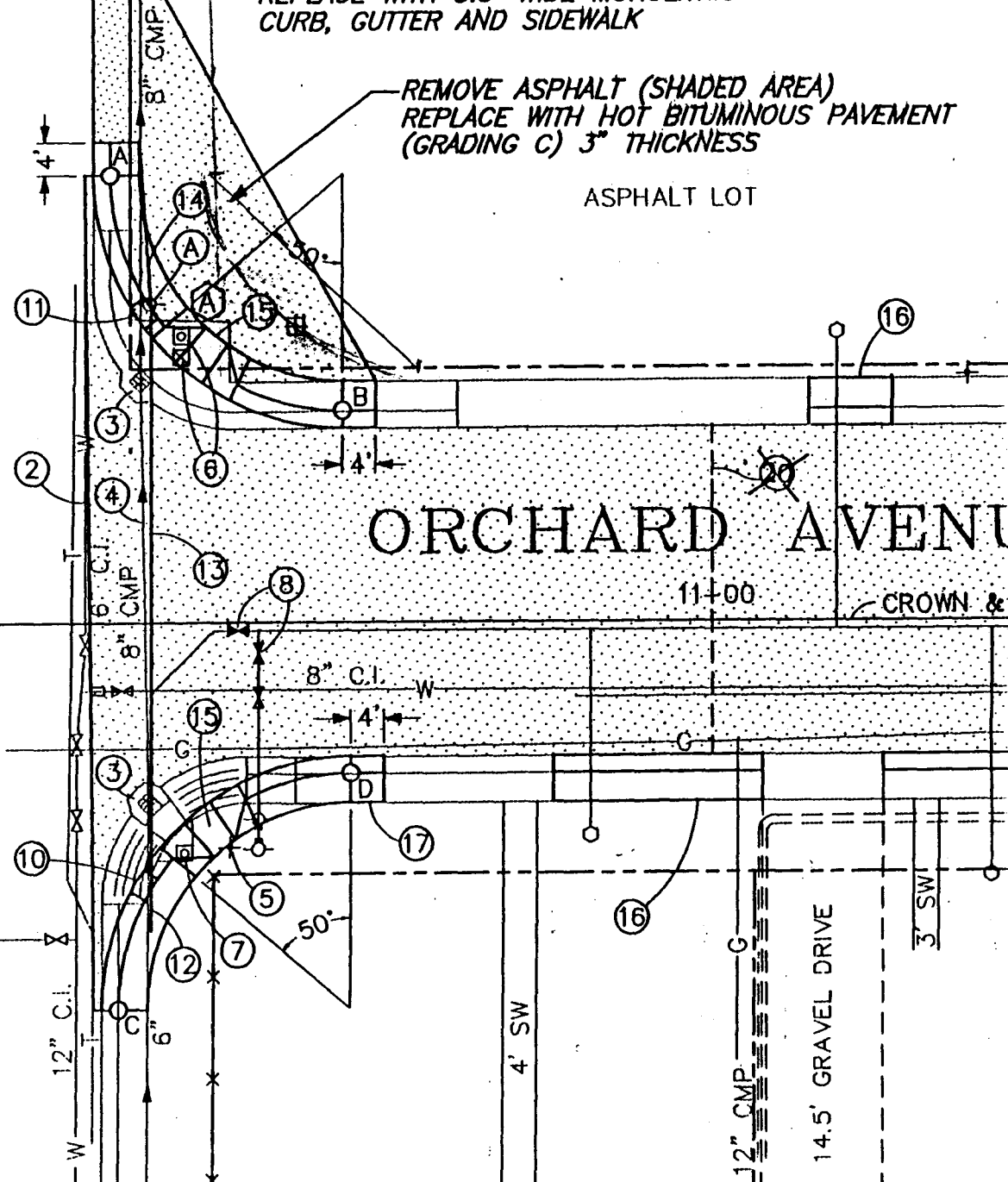
REMOVE ASPHALT (SHADED AREA)  
REPLACE WITH HOT BITUMINOUS PAVEMENT  
(GRADING C) 3" THICKNESS

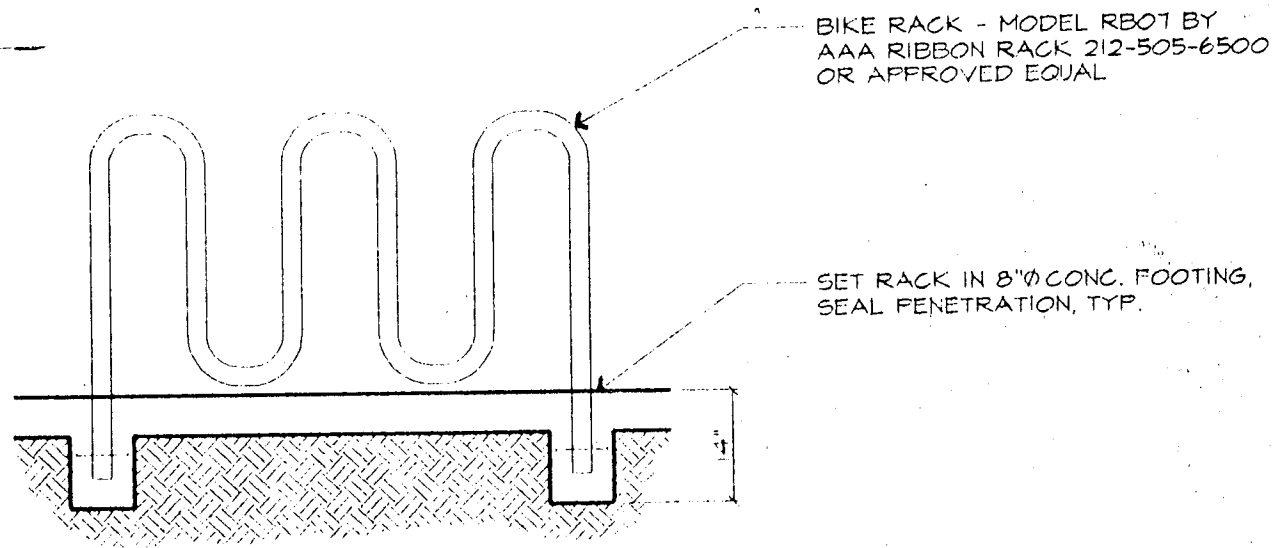
ASPHALT LOT

ORCHARD AVENUE

11+00

CROWN &





○ BIKE RACK  
1/2" = 1'-0"

# REVIEW COMMENTS

Page 1 of 2

FILE #SPR-95-88

TITLE HEADING: Site Plan Review - Retail Center

LOCATION: 104 Orchard Avenue (NE corner 1st & Orchard)

PETITIONER: Louis R. Brach

PETITIONER'S ADDRESS/TELEPHONE: 444 E Scenic Drive  
Grand Junction, CO 81503  
243-0201

PETITIONER'S REPRESENTATIVE: Alco Building Company

STAFF REPRESENTATIVE: Michael Drollinger

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**NOTE: WRITTEN RESPONSE (4 COPIES) BY THE PETITIONER TO THE REVIEW COMMENTS IS REQUIRED. A PLANNING CLEARANCE WILL NOT BE ISSUED UNTIL ALL ISSUES HAVE BEEN RESOLVED.**

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**GRAND JUNCTION FIRE DEPARTMENT** 5/9/95  
**Hank Masterson** 244-1414

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Fire Department access is acceptable. Fire flow requirements for the proposed buildings are 1,000 gallons per minute. The existing hydrant at 1st Avenue and Orchard will be adequate, since it is fed by a 12" water main and is less than 250' from required Fire Department access.

**GRAND JUNCTION DRAINAGE DISTRICT** 5/8/95  
**John Ballagh** 242-4343

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The District's MAJOR Buthorn Drain runs through the site. The shown "irrigation easement" running from the grated inlet on the east side to a new manhole on the west (near 1st Street) is actually easement to the Grand Junction Drainage District. The document was recorded in Book 2124 at Pages 660-662. Please show the correct easement holder (Grand Junction Drainage District) and the recording data on the official plan.

**U.S. WEST** 5/8/95  
**Max Ward** 244-4721

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1. U.S. West will need a utility easement across property - the north side behind the new building to east side of property (see attached sketch).
2. New or additional telephone facilities necessitated by this project may result in a "contract" and up-front monies required from developer, prior to ordering or placing of said facilities. For more information please call Max Ward at 244-4721.

**CITY UTILITY ENGINEER**  
**Trent Prall**

**5/16/95**  
**244-1507**

---

- 1. Please show existing water and sewer lines.
- 2. Plant Investment Fee credit may be available, please contact Utility Billing for more information (244-1580).

**CITY DEVELOPMENT ENGINEER**  
**Jody Kliska**

**5/18/95**  
**244-1591**

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- 1. Please provide information on the previous use of this site including square footage and type of business which existed prior to the fire for the TCP credit.
- 2. Drainage - no fee due to no increase in runoff.
- 3. Please label the new sewer easement on the site plan.
- 4. It appears as though additional right-of-way on 1st Street is needed for intersection widening. The drawing needs to accurately reflect the existing property boundaries and rights-of-way. We will need sufficient right-of-way so that there is forty feet from centerline to the property with a triangular piece at the corner with Orchard with 23' legs. Highlighted drawing is attached.
- 5. The angled parking needs to be 90 degree parking to function properly.
- 6. Two handicap spaces are required. These must be labeled and dimensioned as per the City Standard drawings. They must also be signed and marked appropriately.
- 7. The location of the dumpster needs to be shown.
- 8. The headgate structure in the middle of the parking lot needs to be protected from traffic. Please show on the drawing how this will be handled.
- 9. It appears the parking requirement will be slightly short of the required when the parking is reconfigured to meet the handicap space and adjacent maneuvering area.

**COMMUNITY DEVELOPMENT DEPARTMENT**  
**Michael Drollinger**

**5/19/95**  
**244-1439**

---

See attached comments and attachments.

**LATE COMMENTS**

**PUBLIC SERVICE COMPANY**  
**Dale Clawson**

**5/19/95**  
**244-2695**

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Require additional easements as shown on attached sketch.

**TO DATE, COMMENTS HAVE NOT BEEN RECEIVED FROM THE FOLLOWING AGENCIES:**

- City Property Agent
- City Attorney
- Mesa County Building Department

STAFF REVIEW

FILE: #SPR 95-88  
DATE: May 18, 1995  
STAFF: Michael Drollinger  
REQUEST: Site Plan Review - Retail Center  
LOCATION: NE Corner 1st & Orchard  
ZONING: B-2

*Revised Plans*  
*OK*  
*6-14-95*

STAFF COMMENTS:

1. ✓ Landscaping Plan incomplete - see attached Landscape Plan checklist for missing items. Also see attached Code regarding planting size requirements.

~~2.~~ Parking lot landscaping provided does not meet Code requirements (see attached ordinance). Required landscaping includes planting islands and shrubs and/or berming along street frontage to a height of 2 to 2 1/2 feet which would screen the cars in the lot from the street. Also, where parking is proposed along frontage, planting strips must be at least 10 feet wide. Please consult with the Community Development Department if you have any questions concerning the parking lot landscaping standards. A lighting plan (as per Code) is also required. The existing parking does not have to meet the parking lot landscaping and lighting standards.

3. ✓ Section 5-5-1H of the Code requires that bicycle parking be provided sufficient to hold three bicycles or the number of bicycles equal to ten percent of the required off-street parking spaces for the use, whichever is greater. Please revise Site Plan to indicate location of parking (which should be convenient to entrance to stores) and provide a bicycle rack detail (sample attached).

~~4.~~ Section 5-4-15H pertains to street tree requirements. As per Code, street trees are required to be spaced at forty (40) foot spacing along the frontage and may be located on the subject parcel or in the ROW. Street trees must be irrigated.

5. ✓ Parking ratio for retail uses as per Code is 1 space/200 square feet. Based on the building area proposed, required parking is 42 spaces whereas only 36 spaces are provided.

6. ✓ Plan should be labeled as "Site Plan/Grading and Drainage Plan/Landscaping Plan" as per SSID standards, NOT as "Plot Plan".

7. ✓ The curb cut proposed to be removed must be clearly labeled. Also provide a Detail Sheet (as per SSID manual) which contains the City standard monolithic curb/gutter/sidewalk section. A Development Improvements Agreement (DIA) (attached) must be completed to guarantee all work in the public right-of-way. Directions for

completing the DIA are also attached.

- 8. ✓ The sidewalk along the east side of the southern building must be clearly labeled.
- 9. ✓ Please identify the extent of the new paving and construction.
- 10. ✓ The City sewer easement must be clearly identified on the plan.

REVISED PLANS ARE REQUIRED. PLEASE SUBMIT FOUR (4) COPIES OF REVISED, STAMPED PLANS WITH YOUR RESPONSE TO COMMENTS.

---

**PLEASE TAKE NOTE OF THE FOLLOWING:**

1. ALL SIGNS TO BE ERECTED ON THE SITE WILL REQUIRE A SIGN PERMIT PRIOR TO INSTALLATION OF THE SIGN.
2. SITE IMPROVEMENTS (INCLUDING LANDSCAPING) MUST BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY MODIFICATIONS MUST BE APPROVED, IN WRITING AND/OR WITH REVISED PLANS, BY THE COMMUNITY DEVELOPMENT DEPARTMENT. FAILURE TO INSTALL SITE IMPROVEMENTS AS PER THE APPROVED PLANS MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. SITE IMPROVEMENTS (E.G. LANDSCAPING, SIDEWALK, ETC.) NOT COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE GUARANTEED.

You are urged to contact the Community Development Department if you require clarification or further explanation of any items.

3. All tires not mounted on a vehicle shall be neatly stacked or placed in racks. If stacked, the stacks shall not be stacked over six feet in height. No garbage or other putrescent waste, likely to attract vermin, shall be kept on the premises. Gasoline, oil, or other hazardous materials which are removed from scrapped vehicles or parts of vehicles kept on the premises shall be disposed of in accordance with applicable federal, state and local regulations. All other regulations of the City such as, but not limited to, building codes, fire codes, weed regulations, and health regulations shall apply to the operation of all such uses.
4. The owner or operator of such an existing accessory uses shall comply with all City regulations on or before June 1, 1990.



#### 5-4-15 LANDSCAPING STANDARDS

- A. For all zones except single family, required landscaped areas shall contain one tree for each increment of five hundred (500) square feet or fraction thereof. Forty percent (40%) of the landscaped area shall contain shrubs, and this shrub area(s) shall be covered by a minimum of seventy-five percent (75%) plant material. The Administrator may vary the requirements of this paragraph A as well as the total square footage of landscape area required by the various zones if one or more of the following is provided:
  1. Shade trees are provided in excess of the minimum requirement.
  2. Shade trees are provided which are larger at planting than the minimum required planting size.
  3. Shade trees which minimize heat build-up are effectively used to shade structures, parking areas, and other hard surface areas.
- B. The minimum allowable plant size for new installations shall be as follows:
  1. Deciduous trees: One and one-half inch (1-1/2") caliper (measured one foot above ground level).
  2. Evergreen trees: Six feet (6') tall (measured from ground level).
  3. Shrubs: Five-gallon (5) size.
- C. Plantings should be from the list of approved plants provided by the Department unless otherwise approved by the Administrator.
- D. An underground, pressurized irrigation system will be required for all landscaped areas.

- E. Installed landscaping shall comply with the approved site plan. Landscaping changes subsequent to an approved site plan shall require an amendment submitted for approval by the Administrator. Appeals regarding the review of site plans and amendments shall be forwarded to the Board of Appeals for hearing and determination.
- F. All landscaping shall be maintained in a healthy condition. Plants which die or are unhealthy shall be replaced.
- G. Landscaping in the Right-of-way: A property owner is required to landscape the entire area within the public right-of-way and may, with the written approval of the Administrator, place up to fifteen percent (15%) of the required landscaping for the parcel (except for required parking lot landscaping) in the right-of-way to satisfy this requirement. The Administrator shall deny approval of a request to install required landscaping in the right-of-way if the City anticipates road widening and/or other improvements in the right-of-way. The Administrator shall be guided by the advise of the Director of Public Works and capital improvements plans in making this determination.
- H. Street Trees: One (1) street tree shall be provided for every forty (40) feet of street frontage where none presently exist. Wherever practical, street trees shall be located between the sidewalk and street and shall be irrigated by a pressurized, underground irrigation system.

5-4-16 VARIANCES OF THIS SECTION (5-4) - The City Council may, after study and recommendation by the Planning Commission, authorize variances from the provisions of Section 5-4 where:

- A. There are exceptional topographic, soil, or other subsurface conditions, or other conditions peculiar to the site (e.g. viaducts, bridges and bluffs); and
- B. An undue hardship would be created by the strict application of the provisions of this section; and
- C. Such hardship is not created by an action of the applicant; and
- D. Such variance would not be detrimental to the public welfare or impair the intent and purpose of this section.



3. A written agreement between the owners and lessees is executed for a minimum of twenty years, approved by the Administrator, recorded, and a copy maintained in the project file. Should the lease expire or otherwise terminate, the use for which the leased parking was provided shall be considered nonconforming. Any and all approvals, including Special or Conditional Use permits, shall be subject to revocation and continuation, expansion or addition to or of the use shall be prohibited unless the use is brought into compliance with the parking regulations of this Code.

E. Location - The parking area shall be provided on the same parcel as the principal structure wherever practicable. In business, commercial and industrial districts, the parking may be up to two hundred feet (200') from the property, but must be located within a zone district allowing business, commercial or industrial parking. Parking spaces for residential uses in residential zones shall not be in a front yard setback except in the case of parking for single family structures (see Section 5-1-2).



F. Parking Lot Landscaping and Lighting - The minimum landscaping requirements of this section are intended to alleviate adverse visual and environmental effects associated with parking facilities including climate modification. The application of these standards will serve to improve compatibility and the attractiveness of such facilities, provide relief from unshaded paved areas, and minimize glare and lights associated with parking areas. In addition, these requirements will improve pedestrian safety, and optimize traffic circulation patterns with better defined space. The use of native planting materials and xeriscape landscaping is encouraged.

1. When a parking facility provides parking spaces for more than fifteen (15) cars but less than fifty (50) cars, at least five percent (5%) of the total area of the parking lot shall be used for landscaping. Part of this area may be required to include shade trees.

2. The requirements of this section apply to all developments and uses which are required to provide surface parking facilities for more than fifty (50) cars and parking lots of fifty spaces or greater as allowed by Code. In case of redevelopment or partial expansion of a use, the provisions of Section 4-9 apply. The requirements of this section are in addition to other landscaping requirements in a particular zoning district, including Section 5-4-15G(1)&(2).

a. Street Frontage Landscaping: Landscaping shall include one (1) tree for each fifty (50) linear feet of frontage or fraction thereof. Required trees shall be placed between the abutting street right-of-way and the parking lot area and shall be planted in a planting area of at least twenty-five (25) square feet with a minimum depth of at least ten (10) feet. A landscape barrier to shield the parking lot from the street not to exceed three and one-half (3 1/2) feet at maturity but at least two and one-half (2

1/2) feet at the time of planting shall be placed along but not in the right-of-way. The height of the landscape barrier can be achieved either with plantings and/or berming.

b. Parking Area Perimeter Landscaping: The perimeter of parking areas abutting residential or commercial properties shall provide, at a minimum, a five foot landscaped strip, but no less than the required setback. All required landscape areas on the perimeter of a parking lot shall contain a least one (1) tree for each forty (40) linear feet or fraction thereof. At least forty (40%) of the landscaped area shall contain shrubs at full maturity as recognized by horticultural and landscape standards.

c. Parking Area Interior Landscaping:

(1) Parking areas shall provide a minimum of five (5) percent of net interior area as landscaping. The interior area of a parking facility is defined as the perimeter of the curbs or the edge of paving. One (1) tree shall be provided for each 100 square feet or fraction thereof of required landscaped area. Such landscaped areas shall be located and designed in such a manner as to break up the expanse of paving and better define parking lot circulation. Where possible, existing large trees shall be maintained. Such required interior landscaping shall be in addition to required perimeter and street frontage landscaping as set forth in a. and b. above.

(2) All landscaped areas shall be protected from vehicular encroachment by curbing as per City standards. Planting islands shall be wide enough to protect against trees and vegetation against bumper overhang and swinging doors. A two and one-half (2 1/2) foot paved overhang shall be provided on planting islands where vehicle or door overhang is anticipated. Paving materials to be used for overhang areas are limited to concrete or paver blocks; asphalt paving is not permitted.

(3) Planting islands which parallel parking spaces shall be a minimum of 9 feet wide.

(4) Planting islands between parking rows shall be a minimum of 10 feet wide.

(5) Planting islands shall be provided at the end of all parking rows.

(6) One (1) landscaped divider island designed to prevent high-speed diagonal movement and located parallel with parking islands shall be provided for no greater than every three parking aisles. The landscape divider shall have a minimum width of ten feet.

(7) One (1) landscaped island encompassing the area of one (1) parking space shall be provided for every 20 parking spaces in rows which contain greater than 20

spaces. The landscaped island shall be located within the row of spaces to break up the expanse of paved area.

(8) In instances where the strict interpretation of this section will seriously limit the function of the parking area or the use, the Administrator may permit a portion of the required landscaping to be located near the perimeter of the lot, or allow such other variation of the parking requirements or landscaping requirements as he deems reasonable.

- d. Percentage in Living Materials: Unless otherwise specified, any required landscape area shall consist of a minimum of seventy-five percent (75%) in ground covering by living grass or other plant material (e.g. shrubs) at full maturity as recognized by horticultural and landscape standards. The foliage crown of trees shall not be used in the 75% or other required percentage calculation. The remaining twenty-five percent (25%) of the required landscape area may be covered with bark, wood chips, rock, stone or similar materials.
  - e. Use of Landscape Paving Materials: Pedestrian crossing areas in parking lots (especially near building areas) shall be constructed of surface pavers, such as brick, stone blocks, interlocking brick pavers, stamped concrete or other materials as may be approved by the Administrator which form a smooth surface but contrast with asphalt.
  - f. Irrigation of Parking Area Landscaping: All street frontage, perimeter and interior parking area landscaping shall be provided with a pressurized, underground irrigation system.
  - g. Responsibility of Maintenance: The maintenance of all required landscaping, whether located on the property in question or on adjoining right-of-way shall be the responsibility of the property owner. The property owner is responsible for obtaining required permits for the location of landscaping in a public right of way.
  - h. Submittal Requirements: A Landscape Plan shall be submitted in conformance to the standards in the Submittal Standards for Improvements and Development (SSID) Manual. All plantings must meet the minimum size requirements in Section 15-4-15B.
  - i. Parking Lot Lighting Requirements: Adequate lighting shall be provided for surface parking facilities used at night. Lighting shall be installed and maintained in a manner not to cause glare or reflection into abutting or facing properties, nor to interfere with the safe operation of vehicles moving on or near the site.
- (1) Illumination Requirements: The minimum required lighting intensity to be provided in all parking areas is 0.6 footcandle. High activity areas such as near

building entrances and pedestrian corridors shall be provided with a greater lighting intensity as may be required by the Administrator.

- (2) **Lighting Height - Maximum:** The maximum height of required lighting is twenty-five (25) feet. Lighting located near buildings and adjacent to sidewalks shall be provided with lower, pedestrian scale lighting not to exceed twelve (12) feet in height.
- (3) **Lighting Location:** Parking area lighting shall, where possible, be located in landscaped areas.
- (4) **Submittal Requirements:** A Lighting Plan shall be submitted which details the location and specifications of all lighting provided. An isofootcandle diagram shall also be provided to indicate the level and extent of proposed lighting.

- G. **Screening** - Screening is required along each side of a parking lot that is used for non-residential purposes which abuts a residential zone or use. The screening shall consist of fencing and/or plantings six feet (6') in height which effectively visually block the parking area year-round, except as limited by Sections 5-2-5 and 5-3-2.
- H. The following are the minimum requirements for parking spaces in connection with the structures and uses indicated. Parking shall be in the ownership or control of the owner of the use for which it is required, except as otherwise provided in this section.



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

April 20, 1995

Robert Turner  
Alco Building Co.  
599 25 Road  
Grand Junction, CO 81502

Dear Mr. Turner,

Based on our review of the submittal items for the retail center at 1st. & Orchard, we find that the application is:

- Complete at this time
- Incomplete at this time

The following additional items will be required in order to process your application for review:

1. A grading and drainage plan which must be sealed by a licensed engineer (as per the submittal checklist SSID Manual page IX-16).
2. Please provide survey information tied to the Section line. The location of the property line relative to the improvements on First Street may be in error.
3. The "Evidence of Title" information supplied is insufficient. Please provide more complete information.
4. Submittal Checklist must be signed on reverse side as indicated.
5. Planning Clearance must be completed in pen (new Planning Clearance attached)

I am returning to you all submittal items including the application fee. The grading and drainage plan will require an additional \$35 processing fee. Please provide us with the identified items and return the materials to us for processing.



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Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

April 22, 1996

Louis Brach  
444 E. Scenic Drive  
Grand Junction CO 81503

RE: Retail Center - 1st Street and Orchard Ave. (Our File #SPR-95-88)

Dear Mr. Brach:

Pursuant to our conversation last week this letter is to confirm the modification to your site plan review approval eliminating the requirement for a planting island in the north-central area of the parking lot as shown on the approved plans. You are, however, still responsible for construction all other required landscape area in accordance with the approved landscaping plan unless changes are authorized by our office.

Please do not hesitate to contact me should you have any questions.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Michael T. Drollinger".

Michael T. Drollinger  
Senior Planner

cc: File #SPR-95-88

h:\cityfil\1995\95-886.wpd



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

May 4, 1995

Robert Turner  
Alco Building Co.  
599 25 Road  
Grand Junction, CO 81502

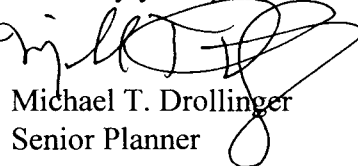
Dear Mr. Turner,

Based on our review of the submittal items for the retail center at 1st. & Orchard, we find that the application is:

- Complete at this time
- Incomplete at this time

The review comments will be available for pick up on April 19th. Also, the receipt for the application fees is enclosed.

Please feel free to call me should you have any questions.

Sincerely yours,  
  
Michael T. Drollinger  
Senior Planner

Encl.

cc: File

h:\cityfil\1995\95-882.wpd



Printed on recycled paper

## MEMO

---

To: Jody Kliska  
From: Michael T. Drollinger  
Date: June 14, 1995  
Subject: 104 Orchard Ave - (Our File #SPR 95-88)

---

Please review the attached improvements list and advise me if the cost estimates are acceptable to you.

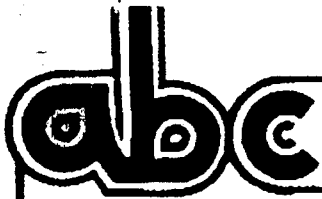
Also, if there any inspection fees associated with this, please advise me so that I can forward that information to the petitioner.

Thank you.

My estimate to close two curb cuts and install curb, gutter & sidewalk is in the \$1200 - \$1500 range, not \$500. Our unit price on a recent contract was \$3.40/square foot for mono~~lithic~~ lithic curb, gutter and sidewalk, excluding saw cuts, excavation and possible asphalt patching.

A permit from the City Engineer's office is required - \$50 - must be obtained by a licensed concrete contractor.





# Alco Building Company, Inc.

## FAX TRANSMISSION COVER SHEET

DATE: 6. 14. 95

TO: MICHAEL DROLLINGER

FAX NO: 244-1599

FROM: BOB TURNER

NUMBER OF PAGES INCLUDING COVER SHEET: 4

ALCO BUILDING COMPANY, INC.'S FAX NUMBER: 1-303-242-6918

If you do not receive all the copies of the transmission or if any are not legible, please call us at 303-242-1423.

EXHIBIT "B"

IMPROVEMENTS LIST/DETAIL  
(Page 1 of 3)

DATE: 6/14/95  
 NAME OF DEVELOPMENT: 1ST & OREGON RE CONSTRUCTION  
 LOCATION: 1938 N. 1ST STREET, GRANT, CO 97031  
 PRINTED NAME OF PERSON PREPARING: B. TURNER / D. BRACH

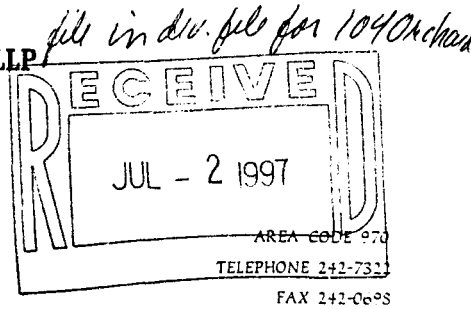
	UNITS	TOTAL QTY.	UNIT PRICE	TOTAL AMOUNT
<b>I. SANITARY SEWER</b>				
1. Clearing and grubbing				0
2. Cut and remove asphalt				
3. PVC sanitary sewer main (incl. trenching, bedding & backfill)				
4. Sewer Services (incl. trenching, bedding, & backfill)				
5. Sanitary sewer manhole(s)				
6. Connection to existing manhole(s)				
7. Aggregate Base Course				
8. Pavement replacement				
9. Driveway restoration				
10. Utility adjustments				
<b>II. DOMESTIC WATER</b>				
1. Clearing and grubbing				
2. Cut and remove asphalt				
3. Water Main (incl. excavation, bedding, backfill, valves and appurtenances)				
4. Water services (incl. excavation, bedding, backfill, valves, and appurtenances)				
5. Connect to existing water line				
6. Aggregate Base Course				
7. Pavement Replacement				
8. Utility adjustments				
<b>III. STREETS</b>				
1. Clearing and grubbing				
2. Earthwork, including excavation and embankment construction				
3. Utility relocations				0

(Page 2 of 2)

	UNITS	TOTAL QUANTITY	UNIT PRICE	TOTAL AMOUNT
4. Aggregate sub-base course (square yard)				0
5. Aggregate base course (square yard)				0
6. Sub-grade stabilization				
7. Asphalt or concrete pavement (square yard)				
8. Curb, gutter & sidewalk (linear feet) <del>CLOSED CURBS</del>				\$ 500.00
9. Driveway sections (square yard)				
10. Crosspans & fillets				
11. Retaining walls/structures				
12. Storm drainage system				
13. Signs and other traffic control devices				
14. Construction staking				
15. Dust control				
16. Street lights (each)				0
<b>IV. LANDSCAPING</b>				
1. Design/Architecture				0
2. Earthwork (includes top soil, fine grading, & berming)				500
3. Hardscape features (includes walls, fencing, and paving)				250
4. Plant material and planting				1500
5. Irrigation system				250
6. Other features (incl. statues, water displays, park equipment, and outdoor furniture)				0
7. Curbing				0
8. Retaining walls and structures				0
9. One year maintenance agreement				0
<b>V. MISCELLANEOUS</b>				
1. Design/Engineering				0
2. Surveying				
3. Developer's inspection costs				
4. Quality control testing				
5. Construction traffic control				
6. Rights-of-way/Easements				0

GOLDEN, MUMBY, SUMMERS, LIVINGSTON & KANE, LLP

ATTORNEYS AT LAW  
NORWEST BANK BUILDING, SUITE 400  
2808 NORTH AVENUE  
P.O. BOX 398  
GRAND JUNCTION, COLORADO 81502



JAMES GOLDEN  
KEITH G. MUMBY  
K.K. SUMMERS  
J. RICHARD LIVINGSTON  
WILLIAM M. KANE

July 1, 1997

PC: KATHY P.

John P. Shaver  
Assistant City Attorney  
City of Grand Junction  
250 North Fifth Street  
Grand Junction, CO 81501

Any THOUGHTS ?  
Response - could only  
be done with a \$  
reason + staff could  
not support a rezon.  
KP

Re: Brach Enterprises, LLC, 104 Orchard Avenue  
North First Street Development Project

Dear John:

A signed Agreement, Quit Claim Deed, and Grant of Easement has been delivered to Tim Woodmansee concerning the above project. As we discussed on the phone, the Brachs remain interested in purchasing the residential property adjoining their commercial property at First and Orchard. You were going to give some thought to whether any administrative proceeding short of a rezoning would allow the Brachs to use that property for employee parking for a limited number of vehicles.

Please give me a call at your early convenience to discuss this.

Sincerely,

GOLDEN, MUMBY, SUMMERS, LIVINGSTON & KANE, LLP

By: William M. Kane  
William M. Kane

WMK:jms  
pc: Louis R. Brach

*file in 104 Orchard Ave.  
Brach Enterprises*



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(303) 244-1430 FAX (303) 244-1599

July 7, 1997

William M. Kane  
Golden, Mumby, Summers, Livingston & Kane, LLP  
P.O. Box 398  
Grand Junction, CO 81502

Re: Brach Enterprises, LLC, 104 Orchard Avenue

Dear Mr. Kane:

This is in response to your letter to John Shaver, dated July 1, 1997, regarding the possibility of using the property to the east of Brach's shopping center at 104 Orchard Avenue for parking. The property to the east is zoned RSF-5 (Residential Single Family, 5 units per acre). Parking, even for a limited number of employee vehicles, would require a rezone. A rezone of that property would not be supported by staff, based on the recently adopted Growth Plan and the rezone criteria. If your client would still like to pursue the rezone he can call our main number, 244-1430, to set up a pre-application conference with one of the planners. The rezoning process includes a public hearing before both the Planning Commission and City Council.

If you have other questions please call me at 244-1446.

Sincerely,

A handwritten signature in cursive script that reads "Katherine M. Portner".

Katherine M. Portner  
Acting Community Development Director

To: \*City Council, mark achen  
Cc: Jim Shanks, Mark Relph, Kathy Portner, Michael Drollinger  
From: Larry Timm  
Subject: Louis Brach's Development  
Date: 7/11/95 Time: 2:27p

I have talked to Louie Brach on this matter and he asked me to talk to his son, Dave, for details. I am meeting with Dave Brach on this matter on Thursday, July 13. Any information that staff that was involved in this project can provide me prior to that meeting will be appreciated. LarryT

\*\*\*\*\* ORIGINAL MESSAGE FOLLOWS \*\*\*\*\*

Mark, After reading the article regarding Mr. Brach's dissatisfaction with the city's process in developing his project at 1st and Orchard, I was wondering if I might be able to obtain more information on the problem. I am aware of the timing problem with the 1st street construction project, but Mr. Brach's concerns seemed to have originated as much with the planning process.

Any information I might be able to receive would be most appreciated.  
thanks, jt

To: Michael Drollinger  
From: Jody Kliska  
Subject: Louie Brach 1st & Orchard  
Date: 7/13/95 Time: 11:16a

Originated by: JODYK  
Forwarded by: JODYK

7/13/95 9:26a  
7/13/95 11:16a (UNCHANGED)

\*\*\*\*\* ORIGINAL MESSAGE FOLLOWS \*\*\*\*\*

Mark,

Here is the recap of the time line for the site plan review of Louie Brach's 1st & Orchard site. I will also give you a copy of my written comments.

12-2-94 PRE-APP Bob Turner & Michael  
4-20-95 Application rejected by Community Development - not complete submittal - plans completed by engineer did not meet SSID Manual

5-4-95 Complete application accepted. Review comments due 5-18-95.

5-7-95 I called Bob Turner (Alco Building, representative for the project) to see if he wanted to come in and discuss his site plan with me. I had some suggestions for him.

\* 5-9-95 Bob Turner met with me and Michael Drollinger. We discussed some alternatives for redesigning the site, but he was not willing to make changes. I gave him a preview of what my written comments would be *and Row*

5-18-95 Written comments given to Community Development.

5-30-95, 6-2-95, 6-5-95 Phone conversations with Bob Turner regarding the additional right of way requirement, revised plans.

6-9-95, 6-15-95 Phone conversations with Bob Turner about the improvements agreement dollar amounts.

6-14-95 Revised plans approved by Community Development. Improvements Agreement submitted, dollar amounts too low for concrete work.

6-22-95 Planning clearance issued.

Jody

Larry,  
① ROW requirement came from Public Works  
② Multiple revisions to plans ~~required~~ required because they were not modified as per ~~my~~ review comments  
Michael

Dave Brach  
244-1249

To: \*City Council, Dave Varley, Jim Shanks, Mark Achen  
Cc: Jody Kliska, Mark Relph, Michael Drollinger, Kathy Portner  
From: Larry Ties  
Subject: Louis Brach's Development  
Date: 7/14/95 Time: 11:11a

Originated by: JANETT 7/11/95 2:23p  
Forwarded by: LARRYF 7/11/95 2:27p (CHANGED)

I met with Dave Brach on this matter on July 13. He was concerned with both of his projects--the one at the corner of 1st/Orchard and the storage unit project on Monument Road near Dos Hombres. His general concerns were the length of time to get a permit and the added costs due to drainage, landscaping, and delays. On the 1st/Orchard project, we went through the project schedule and the staff comments on the submittals. The outcome was that the City staff responded to the complete submittals in a timely manner. The problem was that the contractor(s) did not submit complete information (the submittal requirements are all spelled out) on a timely basis. There was a preapplication meeting with staff on December 12, 1994, but the contractor did not submit a complete application until May 4, 1995. Staff reviewed the complete submittal in the normal turnaround time and sent out written comments on May 18. The contractor was called by Jody Kliska on May 9 and told about the right of way requirements along 1st Street. There were numerous phone calls to the contractor after that date to assist in getting the plan acceptable. There were multiple revisions to the plans because the contractor did not address the problem areas in his re-revised plans. Revised plans were approved on June 14. The dollar amounts in the improvement agreement for concrete work were too low, so this delayed the planning clearance until June 22.

On the project on Monument Drive, Dave wondered why he couldn't have submitted a drainage fee instead of having to spend so much money for on-site detention. The City Public Works Dept. determined that the downstream drainage system does not have adequate capacity, so the only option was on-site detention. The project took so long to get City approval because the contractor did not prepare an adequate drainage plan--it had to be re-done 4 times. The City's drainage requirements and design standards were given to the contractor, as well as a copy of a drainage plan for a different project to show the contractor what needed to be done. Staff tried to get the contractor to come in several times to talk to him about this, but he did not come in.

I think that Dave Brach is generally satisfied with our explanation of what happened and is upset with his contractor. From our perspective, that is where the problem was on these projects. There were several other points that we talked about as well, but I think these were handled to Dave's satisfaction. We plan to have a work shop in the very near future for local



engineers to give them an opportunity to better understand our engineering  
submittal requirements and standards--although they are pretty straight  
forward and spelled out in the City's manual.

\*\*\*\*\* ORIGINAL MESSAGE FOLLOWS \*\*\*\*\*

I have talked to Louie Brach on this matter and he asked me to talk to his  
son, Dave, for details. I am meeting with Dave Brach on this matter on  
Thursday, July 13. Any information that staff that was involved in this

project can provide me prior to that meeting will be appreciated. LarryT

\*\*\*\*\* ORIGINAL MESSAGE FOLLOWS \*\*\*\*\*

Mark, After reading the article regarding Mr. Brach's dissatisfaction with  
the city's process in developing his project at 1st and Orchard, I was  
wondering if I might be able to obtain more information on the problem. I  
am aware of the timing problem with the 1st street construction project, but  
Mr. Brach's concerns seemed to have originated as much with the planning  
process.

Any information I might be able to receive would be most appreciated.  
thanks, it