

# Table of Contents

File SPR-1995-113

Date 9/8/99

P	S	<b>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, not all entries designated to be scanned, are present in the file. There are also documents specific to certain files, not found on the standard list. For this reason, a checklist has been included.</b>
r	e	<b>Remaining items, (not selected for scanning), will be marked present on the checklist. This index can serve as a quick guide for the contents of each file.</b>
e	a	<b>Files denoted with (**) are to be located using the ISYS Query System. Planning Clearance will need to be typed in full, as well as other entries such as Ordinances, Resolutions, Board of Appeals, and etc.</b>
n	n	
e	d	
t		
X	X	<b>*Summary Sheet – Table of Contents</b>
		Application form
X	X	Receipts for fees paid for anything
X	X	<b>*Submittal checklist</b>
		<b>*General project report</b>
		Reduced copy of final plans or drawings
X	X	Reduction of assessor's map
		Evidence of title, deeds
		<b>*Mailing list</b>
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
X	X	<b>*Final reports for drainage and soils (geotechnical reports)</b>
		Other bound or nonbound reports
		Traffic studies
X		Individual review comments from agencies
X	X	<b>*Consolidated review comments list</b>
X	X	<b>*Petitioner's response to comments</b>
X	X	<b>*Staff Reports</b>
		<b>*Planning Commission staff report and exhibits</b>
		<b>*City Council staff report and exhibits</b>
X		<b>*Summary sheet of final conditions</b>
		<b>*Letters and correspondence dated after the date of final approval (pertaining to change in conditions or expiration date)</b>

## DOCUMENTS SPECIFIC TO THIS DEVELOPMENT FILE:

X	X	Letter from Michael Drollinger to Harley Jackson – 3/4/96	X	X	City Council Minutes – 2/21/96
X		Posting of Public Notice Signs	X	X	Planning Commission Minutes – 2/6/96
X	X	Letter from Michael Drollinger to Harley Jackson – 1/16/96	X	X	Letter from George Domet to harley Jackson – 2/14/96
X	X	Letter from Michael Drollinger to Harley Jackson – 11/27/95	X	X	Letter from Ray Kieft to Mark Achen re: Student Housing– 1/30/96
X	X	E-mail from Jody Kliska to Michael Drollinger – 11/28/95	X	X	Letter from Harley Jackson to Commun. Dev.-1/25/96
X		Handwritten Notes	X	X	Letter to Harley Jackson from Michael Drollinger-1/24/96
X	X	Letter to Larry Timm from Donald Anderson – 2/23/96	X	X	Drainage Plan
X	X	Letter from RT Manto requesting forwarding of item to Council – 2/8/96	X	X	Letter form Richard Huffaker to Michael Drollinger – 8/4/95
X	X	Letter of appeal from Harley Jackson to Commun. Dev. – 1/25/96	X		Residential Contract to Buy and Sell Real Estate
X	X	Materials supplied by the petitioner	X	X	Front Elevation
X	X	Letter from Donald Anderson to Michael Drollinger – 7/21/95	X	X	Landscaping Plan
X	X	Letter form Richard Huffaker to Michael Drollinger – 8/4/95	X	X	Parking / Lighting Plan
X	X	12 <sup>th</sup> Street Corridor Guidelines			
X	X	Information received from Mesa State regarding student housing preferences			
X	X	Aerial Photo			
X	X	Site Plan/Utility Composite			

**PAGE 60 IS CORRUPTED**

# SUBMITTAL CHECKLIST

## SITE PLAN REVIEW

*RMF/04*

Location: SE Corner 12<sup>th</sup> & Boulder Cliff

Project Name: Concord Station

ITEMS		DISTRIBUTION																				TOTAL REQ'D.						
DESCRIPTION	SSID REFERENCE	<input checked="" type="checkbox"/> City Community Development	<input checked="" type="checkbox"/> City Dev. Eng.	<input checked="" type="checkbox"/> City Utility Eng.	<input type="checkbox"/> City Property Agent	<input type="checkbox"/> City Parks/Recreation	<input checked="" type="checkbox"/> City Fire Department	<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Downtown Dev. Auth.	<input type="checkbox"/> County Planning	<input type="checkbox"/> County Bldg. Dept.	<input checked="" type="checkbox"/> Irrigation District - <u>GVID</u>	<input checked="" type="checkbox"/> Drainage District - <u>GDD</u>	<input type="checkbox"/> Water District	<input type="checkbox"/> Sewer District	<input checked="" type="checkbox"/> U.S. West	<input checked="" type="checkbox"/> Public Service	<input type="checkbox"/> GVRP	<input type="checkbox"/> CDOT	<input type="checkbox"/> Corps of Engineers	<input type="checkbox"/> Walker Field		<input type="checkbox"/> Persigo WWT	<input type="checkbox"/> Mesa County Health	<input type="checkbox"/> State Environ. Health	<input checked="" type="checkbox"/> City Sanitation	<input type="checkbox"/> School Dist #51	
● Application Fee <u>\$160 see back</u>	VII-1	1																										
● Submittal Checklist *	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																										
● <del>Reduction of Assessor's Map</del>	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1			1			1																				
○ Deeds	VII-1	1			1			1																				
○ Easements	VII-2	1	1	1	1			1																				
○ Avigation Easement	VII-1	1			1			1																				
○ ROW	VII-2	1	1	1	1			1																				
○ Improvements Agreement/Guarantee*	VII-2	1	1	1				1																				
○ CDOT Access Permit	VII-3	1	1																									
○ Industrial Pretreatment Sign-off	VII-4	1		1																								
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Elevation Drawing	IX-13	1	1																									
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan	IX-16	1	2										1								1							
○ Storm Drainage Plan and Profile	IX-30	1	2										1			1	1	1										
○ Water and Sewer Plan and Profile	IX-34	1	2	1			1						1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2										1															
○ Road Cross-Sections	IX-27	1	2																									
○ Detail Sheet	IX-12	1	2																									
● Landscape Plan	IX-20	2	1	1																								
○ Geotechnical Report	X-8	1	1								1																	
● Final Drainage Report	X-5,6	1	2										1															
○ Stormwater Management Plan	X-14	1	2										1								1							
○ Phase I and II Environmental Rerpot	X-10,11	1	1																									
○ Traffic Impact Study	X-15	1	2																		1							

NOTES: \* An asterisk in the item description column indicates that a form is supplied by the City.

# DRAWING STANDARDS CHECKLIST

## LANDSCAPE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA	
SECTION VIII	A	Scale: 1" = 10' or 20'		
	B	Sheet size: 24"x36"		
	C	Primary features consist only of landscape features		
	D	Notation: All non-construction text, and also construction notation for all primary features		
	E	Line weights of existing and proposed (secondary and primary) features per City standards		
	H	Vertical control: Benchmarks on U.S.G.S. datum if public facilities other than SW are proposed		
	I	Orientation and north arrow		
	K	Title block with names, titles, preparation and revision dates		
	M	Legend of symbols used		
	N	List of abbreviations used		
	P	Multiple sheets provided with overall graphical key and match lines		
	Q	Contouring interval and extent		
	R	Neatness and legibility		

ITEM	FEATURES	OK	NA
1	Use the Site Plan as a base map		
2	Identify areas to be covered with specific landscaping materials		
3	Boulders, mounds, swales, water courses, rock outcroppings		
4	Planting Material Legend includes common and botanical names, quantities, minimum purchase sizes, mature height, groundcover/perennial spacing, types of soil, and other remarks		
5	Specification of soil type and preparation		
6	Landscape irrigation layout, design, materials, and details (if requested by City staff)		
7	Planting/staking and other details as required		
8	Required note on Plan: "An underground, pressurized irrigation system will be provided"		
9	Space for approval signature by Community Development with date and title		

### COMMENTS

1. This drawing may be eliminated if information may be put on the Site Plan. See Note (2) on the Site Plan Checklist.

SPR-95-113  
Concord Station

# DRAWING STANDARDS CHECKLIST

## SITE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA	
SECTION VIII	A	Scale: 1" = 20', 30', 40', or 50'	✓	
	B	Sheet size: 24" x 36"	✓	
	C	Primary features consist only of proposed facilities except those related to drainage		
	D	Notation: All non-construction text, and also construction notation for all primary features		
	E	Line weights of existing and proposed (secondary and primary) features per City standards		
	F	Location: All primary facilities are fully located horizontally (See Comment 1)		
	G	Orientation and north arrow	✓	
	J	Stamped and sealed drawings by registered professional competent in the work		
	K	Title block with names, titles, preparation and revision dates	✓	
	L	Reference to City Standard Drawings and Specifications		
	M	Legend of symbols used	✓	
	N	List of abbreviations used		
	P	Multiple sheets provided with overall graphical key and match lines		
	R	Neatness and legibility	✓	

ITEM	FEATURES	OK	NA
1	Site boundary, and adjacent property lines, land use, and zoning		
2	Total site acreage and proposed land use breakdown		
3	All existing and proposed easements, streets, and ROWs		
4	Identify utility vendors to the site	✓	
5	Identify existing and proposed utilities, including fire hydrants, meters, and service taps		
6	Show existing and proposed drainage inlets, pipes, channels, and manholes		
7	Top and toe of slopes for retention/detention basins or other embankments		
8	Traffic ingress, egress, traffic flow patterns, and traffic control features - SIGNING?	✓	
9	All paving and concrete walks, pads, ramps, wheel chocks		
10	Building footprint, roof line, exterior doorways, and roof drain location		
11	Parking areas, striping, stalls, lighting		
12	Areas to receive gravel		✓
13	Signage, trash collection areas, bike racks and paths, crosswalks, fire lanes		
14	Miscellaneous structures, fences, walls		
15	Other non-landscaping surface facilities		
16	Do not show existing or proposed contours		
17	For perimeter streets, show roadway width from curb to curb or edge of pavement to edge of pavement, ROW width, and the monument or section line.		
18	When applicable, identify the maximum delivery or service truck size and turning radius, hours of anticipated deliveries, and show truck turning radii on the plan to show adequacy of entry/exit and on-site design.		
19	Identify trash dumpster type, anticipated pick-up time, and accessibility		
20	Space for signature approval by City Engineering with date and title		
21	Space for signature of County Clerk and Recorder (when required)		

### COMMENTS

- All angle, curvature, tangency, grade break and change, and other primary features must be fully located horizontally. However, these may be identified on the Grading and Drainage Plan, or may be put on a separate "Staking Plan"
- If the scale is 1" = 10' or 20', instead of preparing a separate Landscaping Plan, that information may be provided hereon if it will not be too cluttered and confusing. Also, add space for signature approval by Community Development with date and title.

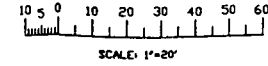
NW CORNER  
S1/4 N1/4  
SEC. 12  
T15, R1, U.M.

VALLEY PARK

BOOKCLIFF AVENUE  
N90°00'00"E 329.93 (BASIS OF BEARINGS ASSUMED)  
existing sewer line

existing curb cut  
to be closed,  
removed and  
replaced with  
curb, gutter  
and sidewalk

area of new sidewalk, curb & gutter  
construct standard curb cut  
over driveway section



ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARDS. THE CONTRACTOR SHALL HAVE A WORKING COPY OF THE PLANS AND A COPY OF THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARDS ON THE JOB-SITE.

**LEGEND**

- ETC — ELECTRIC, TELEPHONE, CABLE, T.V., GAS
- G — GAS
- ● — WATER
- STREET LIGHT
- MANHOLE
- FIRE HYDRANT
- S — SEWER
- WATER VALVE

**LEGEND & NOTES**

- FOUND SURVEY MONUMENTS SET BY OTHERS NO. 3 RE-BAR
- SET NO. 5 RE-BAR W/CAP L.S. 16913
- CITY MONUMENT
- ◆ MESA COUNTY SURVEY MARKER

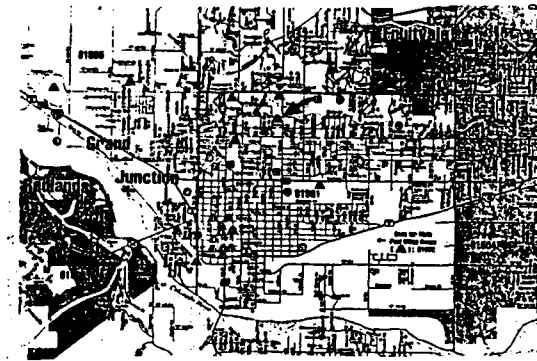
1.72 ACRES  
ZONE RHC-64

ANTICIPATED STUDENT CAPACITY - 184  
96 UNITS

**UTILITY COMPOSITE**

- |           |                        |
|-----------|------------------------|
| WATER     | CITY OF GRAND JUNCTION |
| SEWER     | CITY OF GRAND JUNCTION |
| ELECTRIC  | PUBLIC SERVICE         |
| TELEPHONE | US WEST COMMUNICATIONS |
| GAS       | PUBLIC SERVICE         |

**VICINITY MAP**



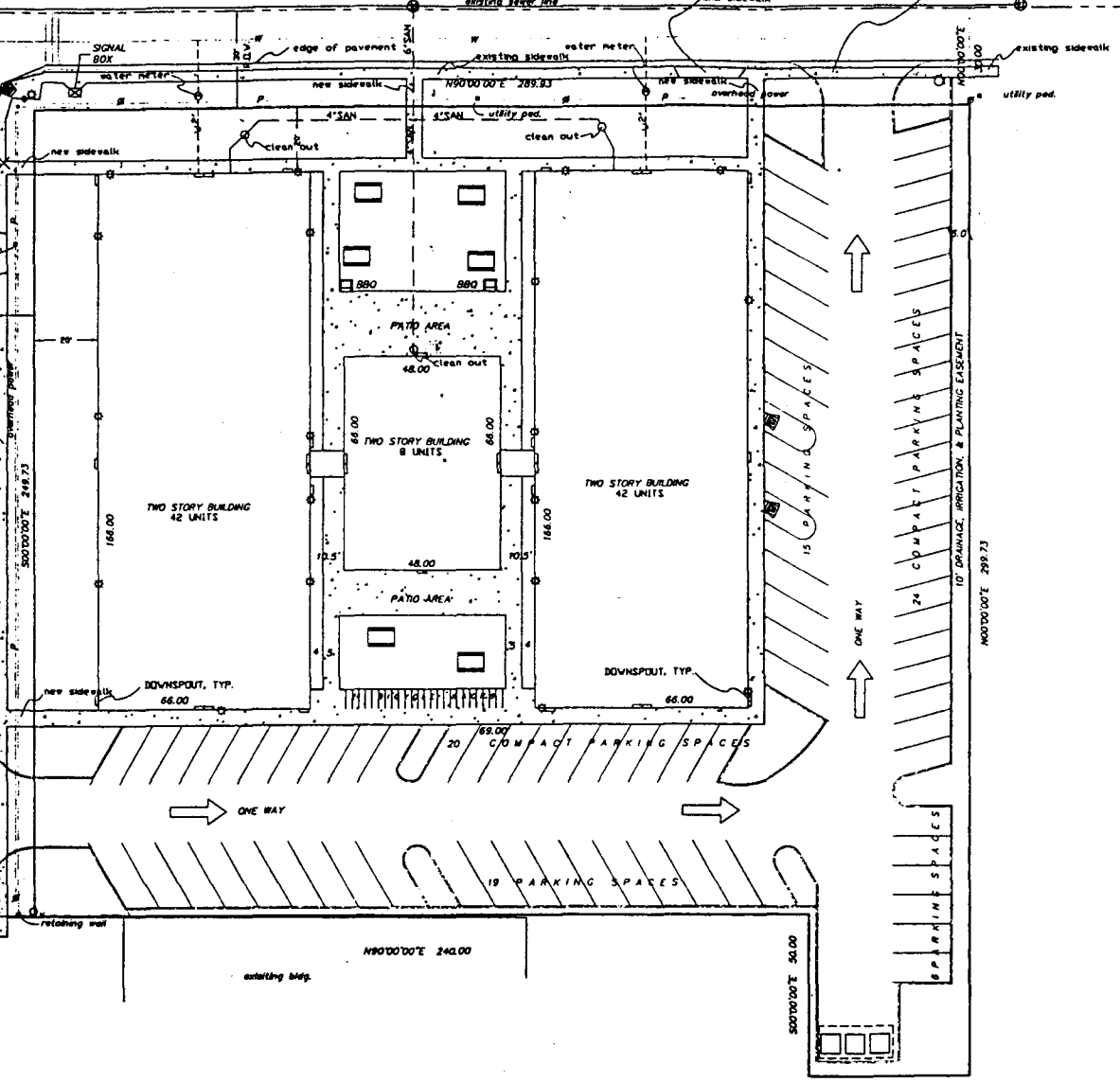
7" IN CONCRETE  
T.B.M. 100.00

12TH STREET  
S00°00'00"E 329.73

NOTE: Fire hydrant to be located adjacent to the southwest entrance to site on the east side of 12th Street

area of new sidewalk, curb & gutter construct standard curb cut over driveway section

existing sidewalk  
rotating wall  
edge of pavement



SE CORNER  
LOT 14  
BLOCK 5  
FAIRMOUNT SUB.

REVISIONS	DATE	BY	REMARKS

**CONCORD STATION**  
SITE PLAN/UTILITY COMPOSITE  
12th Street and Bookcliff Ave.  
Grand Junction, CO 81501

HTJ COMPANY  
455 Wildwood Drive  
Grand Junction, CO 81503  
970-250-0682

ENGINEERING DESIGN BY  
**C** CONCRETE CONSTRUCTION INCORPORATED  
1129 - 24 - ROAD  
GRAND JUNCTION, CO 81506  
970-244-8877

PROJECT  
Concord station  
site plan/utility

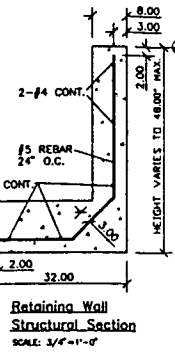
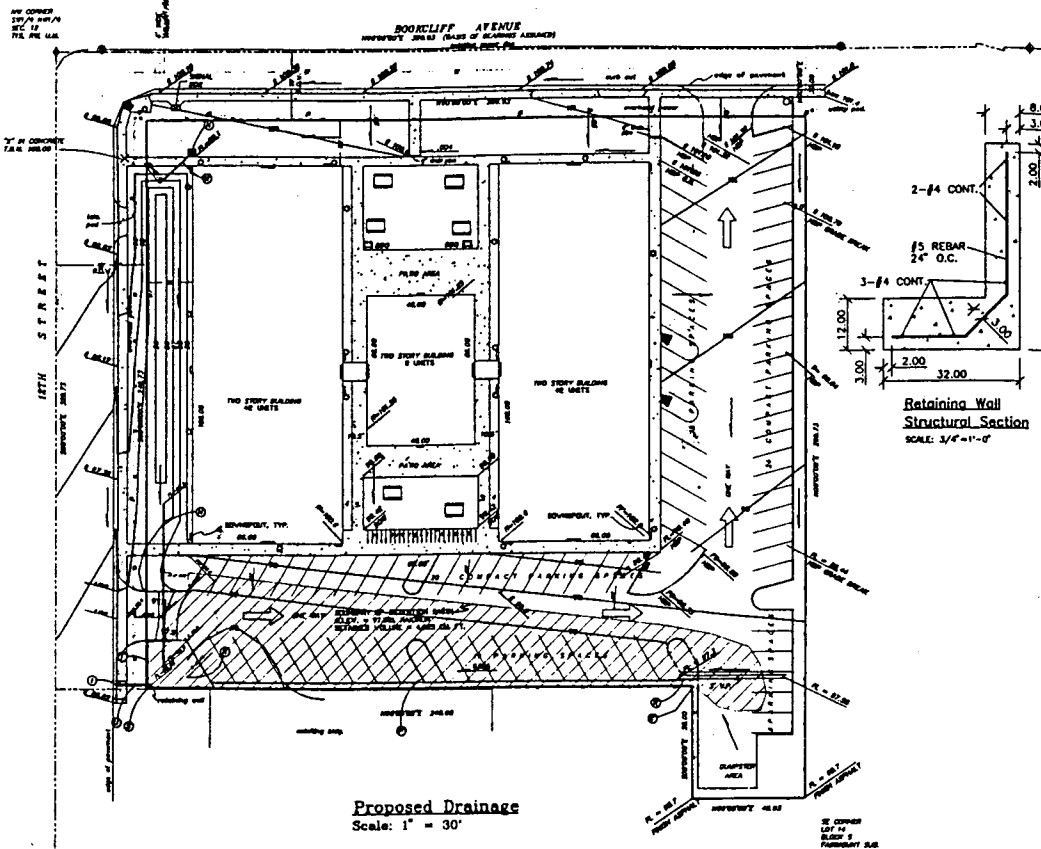
SCALE  
as shown

DATE DRAWN  
10/23/95

LATEST REVISION  
12/27/95

SHEET 1 OF 4

utility engineer  
DATE



ALL CONTRACTORS AND MATERIALS SHALL COMPLY WITH THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARD DETAILS. THE CONTRACTOR SHALL HAVE A SIGNED COPY OF THE PLANS AND A COPY OF THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARD DETAILS ON THE JOB-SITE.

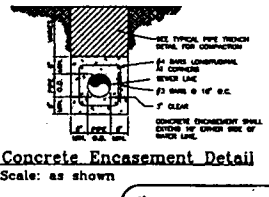
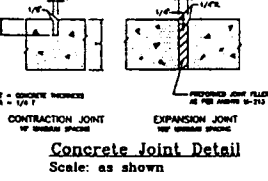
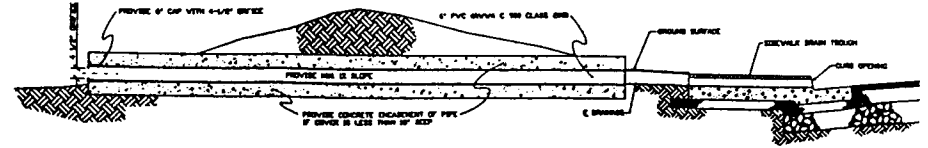
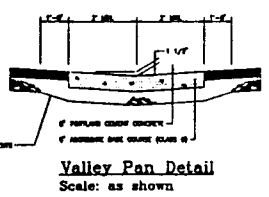
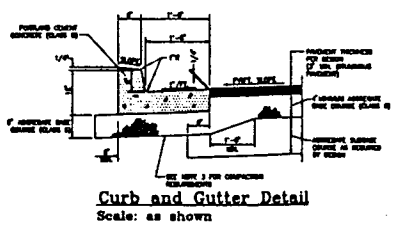
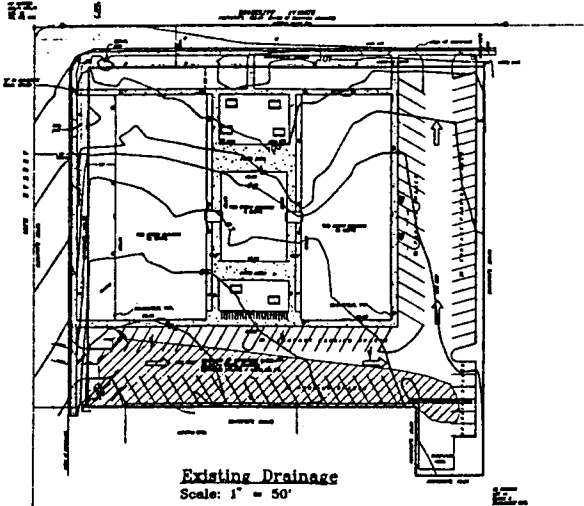
**LEGEND**

- LEGEND & NOTES**
- FOUND SURVEY MONUMENTS SET BY OTHERS NO. 5 RE-BAR
  - SET NO. 5 RE-BAR W/CAP L.S. 16413
  - ◆ CITY MONUMENT
  - ◆ MESA COUNTY SURVEY MARKER
- DIRECTION OF PROPOSED DRAINAGE**  
CONTOUR INTERVAL = 1.0 FT.
- EXISTING CONTOURS  
- - - - - PROPOSED CONTOURS

- NOTES:**
1. Do not change elevations of pavements, curbs, viad structures, outlet structures or basin construction without approval of the engineer.
  2. Do not change pipe materials, inlets or grates without approval of the engineer.
  3. Storm runoff from roofs must be discharged to the drainage area the roof is a part of.

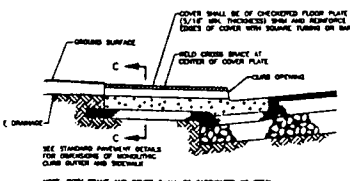
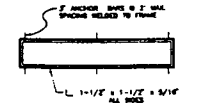
**FLAG DESCRIPTIONS:**

- H. Install 70 L.F. of 6" P.V.C. Blue Brute: s = 0.029  
Inflow in. elev. 95.50  
Outflow in. elev. 94.50
- I. Construct a concrete spillway 5.0' wide x 6" x 6" thru sidewalk drain with grate
- M. 4" drain pipe.
- N. Catch Basin
- P. Curb and gutter, slope as shown
- R. Curb cut to F.G. of pavement 1 ft. wide both sides for through drainage.
- S. Extend retaining wall to elev. 98.0
- S'. End retaining wall
- T. Construct new retaining wall to elev. 98.0
- U. Install 10 L.F. of 8" P.V.C. Blue Brute: s = 0.005  
Inflow in. elev. 95.65

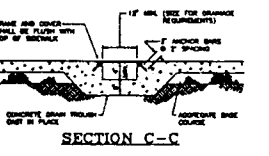


**GENERAL NOTES**

1. ALL REINFORCED CONCRETE SHALL BE CONFORM TO SECTION 1000 OF THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARD DETAILS. ALL REINFORCED CONCRETE SHALL BE CONFORM TO SECTION 1000 OF THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARD DETAILS.
2. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR. A POINT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS PLACED.
3. ALL CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, DRIVEWAYS AND OTHER CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR.
4. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR.
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9. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR.
10. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR. ALL CONCRETE SHALL BE PLACED AND FINISHED BY THE CONTRACTOR.



**SECTION C-C**



REVISIONS	DATE	BY	REMARKS

**CONCORD STATION**  
Drainage Plan  
12th Street and Bookcliff Ave.  
Grand Junction, CO 81501

**HTJ COMPANY**  
455 Wildwood Drive  
Grand Junction, CO 81503  
970-250-0682

**ENGINEERING DESIGN BY**  
CHUCK CONSTRUCTION INCORPORATED  
1115 - 54 - ROAD  
GRAND JUNCTION, CO 81506  
970-241-4877

**PROJECT**  
concord station  
drainage plan

**SCALE**  
as shown

**DATE DRAWN**  
10/25/95

**LATEST REVISION**  
12/27/95

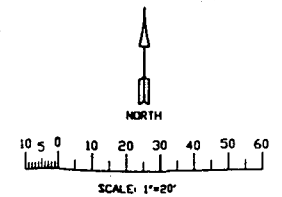
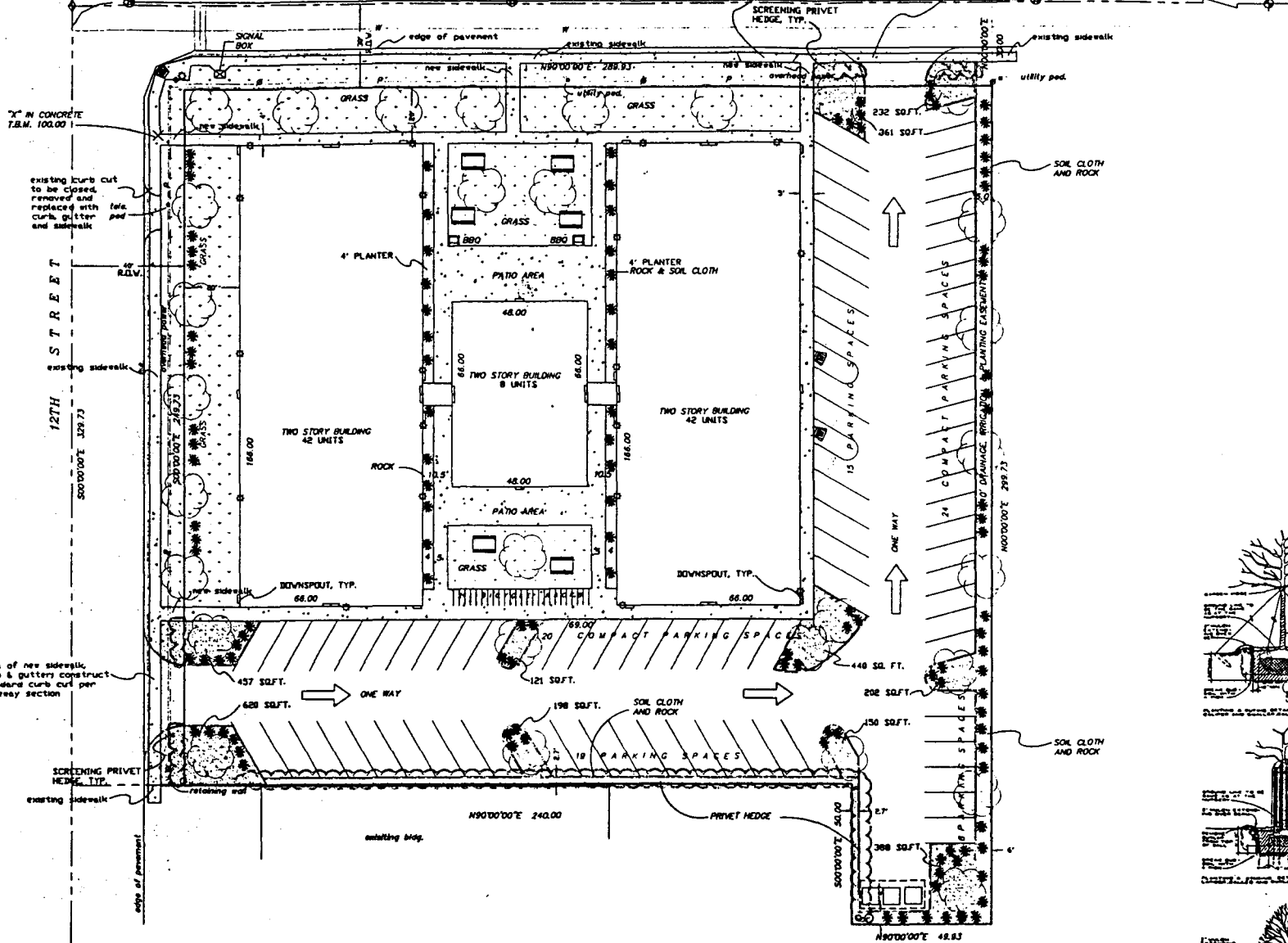
**SHEET 4 OF 4**



NW CORNER  
SW 1/4 NW 1/4  
SEC. 12  
T15, RW, U.M.

BOOKCLIFF AVENUE  
N90°00'00"E 329.83 (BASIS OF BEARINGS ASSUMED)  
existing curb cut

area of new sidewalk curb & gutter  
construct standard curb cut  
per driveway section

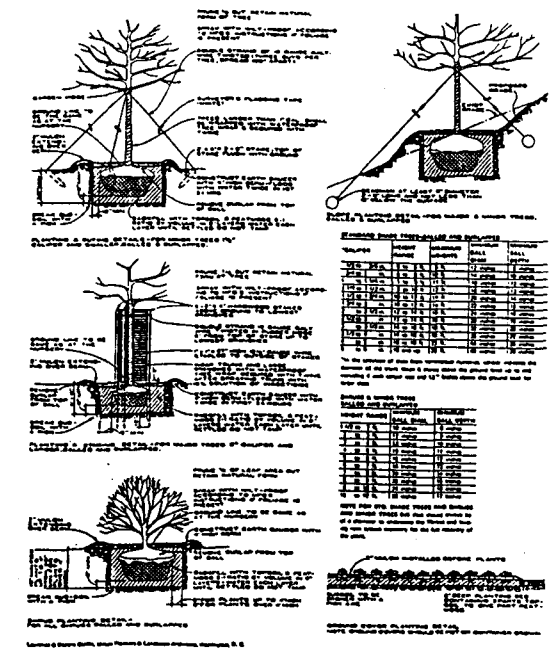


ALL CONSTRUCTION AND MATERIALS SHALL CONFORM WITH THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARDS AS APPLICABLE.  
THE CONTRACTOR SHALL HAVE A BINDER COPY OF THE PLANS AND A COPY OF THE CITY OF GRAND JUNCTION SPECIFICATIONS AND STANDARDS ON THE JOB-SITE.

LEGEND

- SHRUB  
QUANTITY: 182  
COMBINATION OF BLUE CHIP JASMINE  
(1" AT MATURITY) AND SPARTAN  
JASMINE (1 1/2" AT MATURITY)  
3 GAL. MINIMUM PURCHASE SIZE
- TREE  
QUANTITY: 30  
COMBINATION OF MOUNTAIN ASH AND  
MONEY LOCUST SET AT 25' CENTERS  
1 1/2" CALIPER MIN. PURCHASE SIZE  
SIZE AT MATURITY: 30'-40'
- ▭ PRIVET HEDGE  
COVERAGE: 348'  
3 GAL. MINIMUM PURCHASE SIZE  
HEIGHT AT MATURITY: 4'
- ▭ 1'-2" WASHED ROCK
- ▭ CONCRETE
- ▭ GRASS

PLANTING DETAIL



REQUIRED	PROPOSED
SHRUB - 182 (182 BLUE CHIP JASMINE & 182 SPARTAN JASMINE)	182 SQ. FT.
TREE - 30 (30 MOUNTAIN ASH & 30 MONEY LOCUST)	900 SQ. FT.
PRIVET HEDGE (348' COVERAGE)	348 SQ. FT.
1'-2" WASHED ROCK	174 SQ. FT.
CONCRETE	174 SQ. FT.
GRASS	174 SQ. FT.
TOTAL REQUIRED	20,167 SQ. FT.
TOTAL PROPOSED	21,097 SQ. FT.
ADDITIONAL (WILDLIFE LANDSCAPING)	4,340 SQ. FT.

LANDSCAPE NOTE  
ALL LANDSCAPING REQUIREMENTS AND INSTALLATION SHALL CONFORM WITH CITY OF GRAND JUNCTION ZONING AND DEVELOPMENT CODE (A.D. 1989 AS AMENDED).  
AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM SHALL BE INSTALLED TO SERVE ALL LANDSCAPED AREAS.

SE CORNER  
LOT 14  
BLOCK 5  
FAIRPOINT SUB.

REVISIONS	DATE	BY	REMARKS

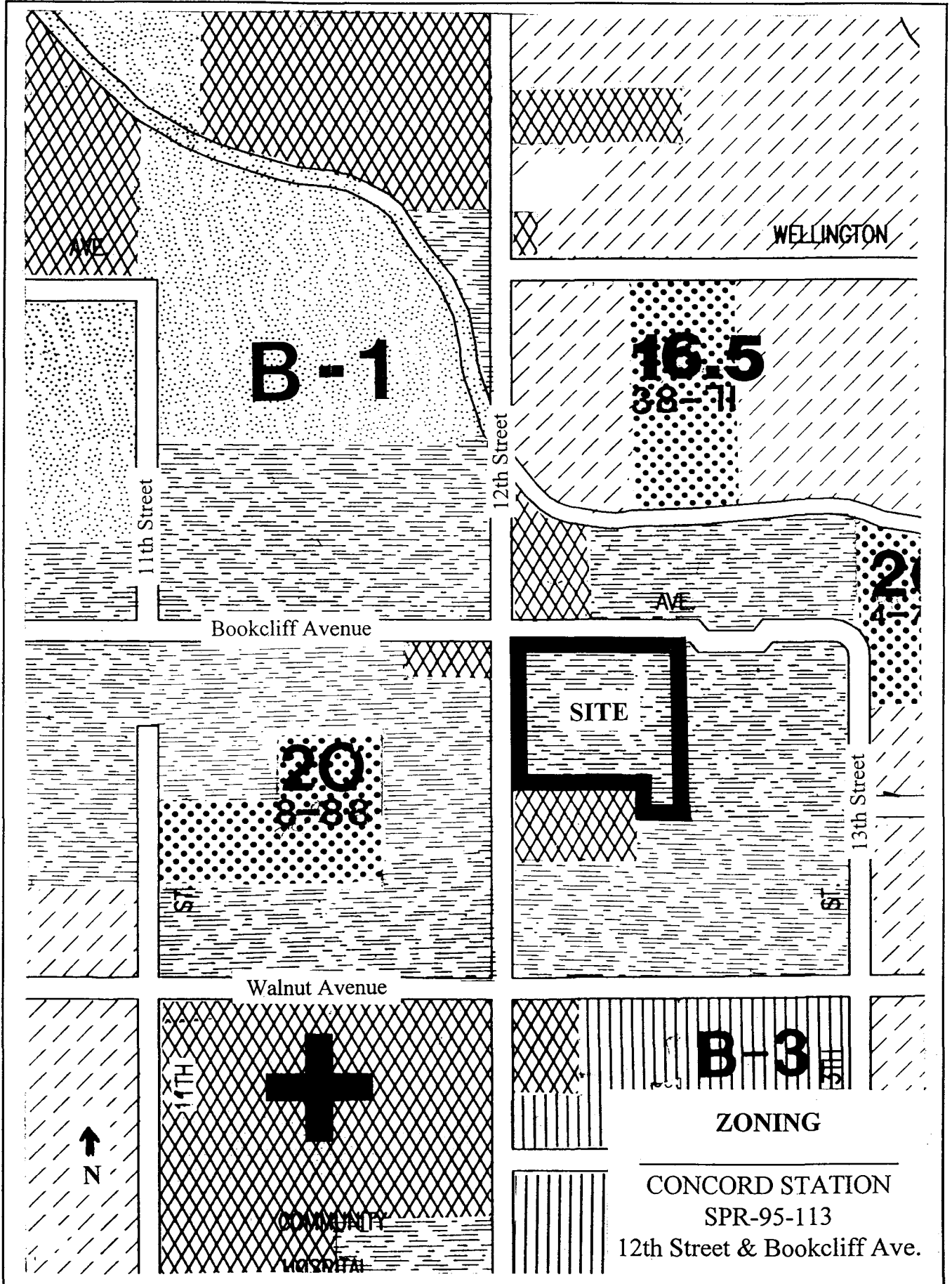
**CONCORD STATION**  
Landscaping Plan  
12th Street and Bookcliff Ave.  
Grand Junction, CO 81501

HTJ COMPANY  
455 Wildwood Drive  
Grand Junction, CO 81503  
970-250-0682

ENGINEERING DESIGN BY  
**G** CHASE CONSTRUCTION INCORPORATED  
1128 - 24th - ROAD  
GRAND JUNCTION, CO 81506  
970-246-1877

PROJECT  
concord station  
landscape plan  
SCALE  
as shown  
DATE DRAWN  
10/23/95  
LATEST REVISION  
12/27/95  
SHEET 2 OF 4





**B-1**

WELLINGTON

**16.5**  
38-71

**21**  
4-7

**20**  
8-88

**SITE**

**B-3**

ZONING

CONCORD STATION

SPR-95-113

12th Street & Bookcliff Ave.



COMMUNITY  
HOSPITAL

12/29

13/27

10/27

13/39

3/17

Random Sampling of ~~5~~ lots at Mesa

2/1/95 @ 3:30 PM

Jody K. &  
Michael P.

$$12/29 = 41\%$$

$$13/27 = 48\%$$

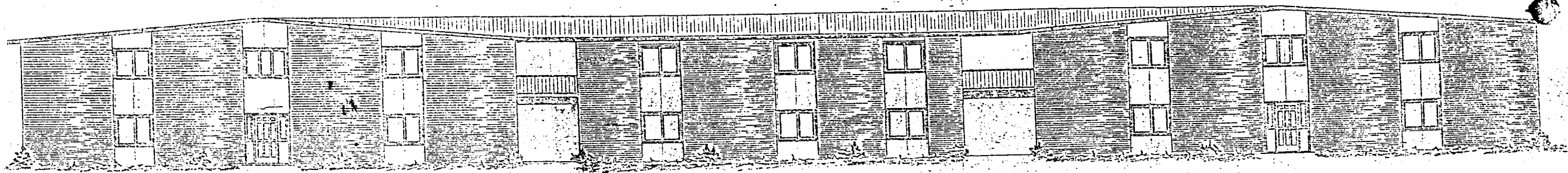
$$10/27 = 37\%$$

$$13/39 = 33\%$$

$$3/17 = 18\%$$

---

$$\text{TOTAL } 51/139 = 37\%$$



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"

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Appendix E - <i>Modified Rational Method</i> Detention Basin Sizing Worksheet	

## **I. General Location and Description**

The Concord Station Development is located within the City of Grand Junction at the southeast corner of the intersection of Bookcliff Avenue and 12<sup>th</sup> Street (2230 North 12<sup>th</sup> Street, Lot 14, Block 5 of the Fairmont Subdivision except for the south 50 ft of the West 240 ft) Mesa County, Colorado. The western boundary of the development fronts along approximately 250 ft of 12<sup>th</sup> Street. The northern boundary of the property lies along approximately 290 ft of Bookcliff Avenue. Curb and gutter are in place along both frontages. Neighboring properties are mostly developed. The property is bordered by a businesses to the south, and a multi-family residence to the east. Single-family and multi-family dwellings are common to the east. The building immediately to the south is built on or near the property line

The development will be on 1.7 acres of uncultivated native soils. The land has been irrigated in the past, but has not been farmed for several years. The site is currently covered by sparse grass and weeds with an area of grape vines and grass. The single family residence on the northwest corner of the lot also has a lawn and unpaved driveway. The soil at the site is classified as SCS type "B" soil, being primarily silty clay loam of the Sagers Loam (Soil Survey of Mesa County). At the time of the site inspection, there was no ponded water on the site. Depth to groundwater is unknown, but is probably within 10 ft of ground surface.

## **II. Existing Drainage Conditions**

The site topography and observations from the site inspection indicate that, at present, precipitation drains to the southwest corner of the property and exits via a 6 in. pipe to a lot across 12<sup>th</sup> Street. No major drainage ditches pass through or near the subject property and the property is not within any 100 year floodplain. The Grand Valley Canal passes a few hundred feet north of the property.

Off-site storm runoff from the area encompassed by the Grand Valley Canal to the north, 12<sup>th</sup> Street to the west, and east along Bookcliff Avenue collects along Bookcliff Avenue. This runoff proceeds west and spills onto 12<sup>th</sup> Street converging with runoff moving south along 12<sup>th</sup> Street. No subsurface storm drainage system is present on 12<sup>th</sup> Street near the subject property.

Assuming all storm runoff described above is contained within the streets, no runoff originating off-site will pass across the subject property from the north or west. On the east, drainage from the multi-level apartment complex drains onto the property. The majority of this runoff flows parallel to the property line and proceeds southward off of the subject property. Along the southern property line, roof drainage from the adjacent business spills onto the property. Because the general slope of the land is to the southwest, no additional runoff enters the subject property from the south.

The low point of the subject property is at the southwest corner. The foundation of the building along the south property line and a retaining wall continuing out to the 12<sup>th</sup> Street sidewalk act as a dike to divert runoff to the southwest corner. At this corner, the runoff enters a 6 in. pipe directed to the west under 12<sup>th</sup> Street. The pipe discharges to a nearby vacant lot.

### **III. Drainage Design Criteria**

Drainage design criteria are taken from the *Stormwater Management Manual* (Public Works Department, City of Grand Junction, CO; June, 1994). Reference is also made to the Appendices in the *Stormwater Management Manual* for development of several constitutive design parameters. The Rational Method is used to develop Peak runoff estimate (cfs) for both pre- and post-development conditions (Appendix B). The SCS Type II-A hydrograph is used to develop the *time of critical storm duration*,  $T_d$ , for basin storage sizing. The proposed plan for drainage from the development of Concord Station is for runoff to be directed to a detention basin at the southwest corner of the property. The drainage will then discharge through the side walk into the gutter along the east side of 12<sup>th</sup> Street. The drain will be sized to carry runoff at historic rates. Discharge from the detention basin is sized at the 100 yr. historic rate.

### **IV. Drainage Design (developed conditions)**

The proposed development will change the existing drainage surface from mostly pervious to mostly impervious and increase stormwater runoff. The proposed drainage plan consists of channeling surface flows to a detention basin located in the parking area at the southwest corner of the property. Historic peak runoff developed for the 2 year and 100 year precipitation events were 0.42 and 1.63 cfs respectively. The developed runoff was calculated at 1.93 and 5.94 cfs for the 2 year and 100

year events. In accordance with the use of single stage outlet control, the detention basin is sized to handle stormwater generated from the 100 year storm event under fully developed conditions (Appendix E).

The time of concentration,  $T_c$ , worksheet for each of the four scenarios investigated is included for reference as Appendix A. The *Rational Method* worksheet used to calculate peak flow runoff is included for reference as Appendix B. Detention basin outflow design considerations are addressed in Appendix C. The SCS Type II-A hydrograph for the area is used to develop the time of critical storm duration,  $T_d$ , as shown in Appendix D. The retention basin sizing worksheet is included for reference as Appendix E.

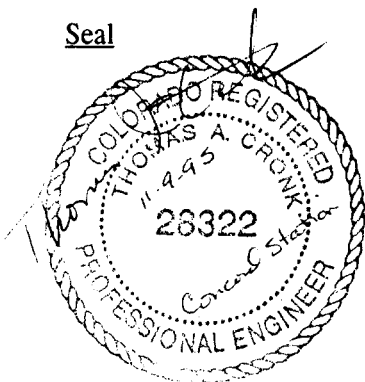
## V. Results and Conclusions

The historic peak flow runoff is estimated at 0.42 cfs (2 year event) and 1.63 cfs (100 year event). As shown in Appendix C, the single stage outlet control will limit developed peak flow discharge to the historic 100 yr event rate of 1.63 cfs. Under fully developed conditions, the 100 yr precipitation event will result in a maximum storage volume of approximately 3178 cubic feet (Appendix E).

## VI. Certification

I, Thomas A. Cronk, hereby certify this report was completed by myself or under my direct supervision and has been prepared in accordance with good engineering practices.

Seal



Thomas A. Cronk

Date

November 9, 1995

**APPENDIX A**  
**Time of Concentration,  $T_c$ , Worksheet**



## Time of Concentration, $T_c$ , Worksheet

**Project:** Concord Station  
**Site Condition:** Pre-development  
**Prepared by:** Tom A. Cronk  
**Date:** November 9, 1995

(The table below is an adaption of a worksheet provided in the SCS TR-55)  
 This table may be used in subbasin  $T_c$  calculations, or for travel time of subbasin runoff through a lower subbasin reach ( $T_r$ ).  
 Use only channel flow for  $T_c$  calculations

STORM FREQUENCY		2 YEAR	100 YEAR
REACH	AREA IDENTIFIER	none	none
	SEGMENT IDENTIFICATION		
	$T_r$ OR $T_c$ THROUGH BASIN REACH		
OVERLAND FLOW	SURFACE DESCRIPTION (TABLE E-1)	sparse vegetation	sparse vegetation
	"N" VALUE (TABLE E-1)	0.10	0.10
	FLOW LENGTH, L (TOTAL < 300 FT.) (ft.)	200	200
	LAND SLOPE, S (ft./ft.)	0.017	0.017
	$T_o$ (min.) (TABLE E-2, OR FIGURE E-1)	18	11
SHALLOW CONCENTRATED FLOW	SURFACE DESCRIPTION (FIGURE E-3)	nearly bare and untilled	nearly bare and untilled
	FLOW LENGTH, L (ft.)	200	200
	FLOW SLOPE, S (ft./ft.)	0.017	0.017
	FLOW VELOCITY, V (FIGURE E-3) (fps)	1.4	1.4
	TRAVEL TIME $T_s = L/(60V)$ (min.)	2.4	2.4
CHANNEL FLOW	CROSS-SECTIONAL FLOW AREA, a (ft <sup>2</sup> )	none	none
	WETTED PERIMETER, Pw (ft.)		
	HYDRAULIC RADIUS, r = a/Pw (ft.)		
	CHANNEL SLOPE, S (ft./ft.)		
	MANNINGS COEFFICIENT, n (APPENDIX F)		
	$V = 1.49r^{2/3}S^{1/2}/n$ (fps)		
	ASSUMED VELOCITY (fps)		
	FLOW LENGTH, L (ft.)		
	TRAVEL TIME $T_d = L/(60V)$ (min.)		
$T_c$	$T_c = T_o + T_s + T_d$ (min.)	20	13

**NOTE - Table and all referenced tables, figures, and appendices from Stormwater Management Manual, Public Works Department, City of Grand Junction, June, 1994**

Assume runoff from NE corner to SW corner of property (a distance of 400 ft), with 200 ft of the distance as overland flow and 200 ft of the distance as shallow concentrated flow.

### Time of Concentration, $T_c$ , Worksheet

**Project:** Concord Station  
**Site Condition:** Post-development  
**Prepared by:** Tom A. Cronk  
**Date:** November 9, 1995

(The table below is an adaption of a worksheet provided in the SCS TR-55)  
 This table may be used in subbasin  $T_c$  calculations, or for travel time of subbasin runoff through a lower subbasin reach ( $T_r$ ).  
 Use only channel flow for  $T_c$  calculations

STORM FREQUENCY		2 YEAR	100 YEAR
REACH	AREA IDENTIFIER	none	none
	SEGMENT IDENTIFICATION		
	$T_r$ OR $T_c$ THROUGH BASIN REACH		
OVERLAND FLOW	SURFACE DESCRIPTION (TABLE E-1)	asphalt /concrete	asphalt/concrete
	"N" VALUE (TABLE E-1)	0.05	0.05
	FLOW LENGTH, L (TOTAL < 300 FT.) (ft.)	255	255
	LAND SLOPE, S (ft./ft.)	0.016	0.016
	$T_o$ (min.) (TABLE E-2, OR FIGURE E-1)	13	8
SHALLOW CONCENTRATED FLOW	SURFACE DESCRIPTION (FIGURE E-3)	none	none
	FLOW LENGTH, L (ft.)		
	FLOW SLOPE, S (ft./ft.)		
	FLOW VELOCITY, V (FIGURE E-3) (fps)		
	TRAVEL TIME $T_s = L/(60V)$ (min.)		
CHANNEL FLOW	CROSS-SECTIONAL FLOW AREA, a (ft <sup>2</sup> )	0.375	0.375
	WETTED PERIMETER, Pw (ft.)	3.04	3.04
	HYDRAULIC RADIUS, r = a/Pw (ft.)	0.123	0.123
	CHANNEL SLOPE, S (ft./ft.)	0.013	0.013
	MANNINGS COEFFICIENT, n (APPENDIX F)	0.016	0.016
	$V = 1.49r^{2/3}S^{1/2}/n$ (fps)	2.62	2.62
	ASSUMED VELOCITY (fps)	2.6	2.6
	FLOW LENGTH, L (ft.)	260	260
	TRAVEL TIME $T_a = L/(60V)$ (min.)	1.7	1.7
$T_c$	$T_c = T_r + T_s + T_a$ (min.)	15	10

**NOTE - Table and all referenced tables, figures, and appendices from Stormwater Management Manual, Public Works Department, City of Grand Junction, June, 1994**

Channel segments: Pavement from NE parking area south 255 ft, thence channel flow west for 260 ft to the discharge point.

**APPENDIX B**  
***RATIONAL METHOD PEAK FLOW RUNOFF WORKSHEET***

**Rational Method Peak Flow Runoff Worksheet**

**Project:** Concord Station  
**Prepared by:** Tom A. Cronk  
**Date:** November 9, 1995

SITE CONDITION: PRE-DEVELOPMENT											
BASIN	AREA			RUNOFF COEFFICIENT <sup>1</sup> , C							
	SURFACE TYPE	SCS GROUP	ACREAGE, A	C <sub>01</sub>	C <sub>02</sub>						
All	bare ground	B	1.7	0.22	0.28						
			TOTAL ACREAGE, A <sub>T</sub>	WEIGHTED RUNOFF COEFFICIENT, C <sub>w</sub>		CONCENTRATION TIME <sup>2</sup> , T <sub>c</sub> (min.)		INTENSITY <sup>3</sup> , i (in./hr.)		PEAK RUNOFF Q = C <sub>w</sub> A <sub>T</sub> (cfs)	
				C <sub>01</sub>	C <sub>02</sub>	T <sub>c01</sub>	T <sub>c02</sub>	i <sub>01</sub>	i <sub>02</sub>	Q <sub>01</sub>	Q <sub>02</sub>
			1.7	0.22	0.28	20	15	1.11	3.43	0.42	1.63

- 1 - Rational Method runoff coefficients taken from Table B-1, Stormwater Management Manual, Public Works Department, City of Grand Junction, June, 1994
- 2 - Time of Concentration as derived in attached Appendix A worksheet
- 3 - Intensity taken from Table A-1, Stormwater Management Manual, Public Works Department, City of Grand Junction, June, 1994

**Rational Method Peak Flow Runoff Worksheet**

Project: Concord Station  
 Prepared by: Tom A. Cronk  
 Date: November 9, 1995

SITE CONDITION: POST-DEVELOPMENT											
BASIN	AREA			RUNOFF COEFFICIENT*, C							
	SURFACE TYPE	SCS GROUP	ACREAGE, A	C <sub>01</sub>	C <sub>02</sub>						
All	Pavement/roof	B	1.615	0.95	0.95						
All	landscape	B	0.085	0.20	0.25						
			TOTAL ACREAGE, A <sub>T</sub>	WEIGHTED RUNOFF COEFFICIENT, C <sub>w</sub>		CONCENTRATION TIME*, T <sub>c</sub> (min.)		INTENSITY*, I (in./hr.)		PEAK RUNOFF Q = C <sub>w</sub> A <sub>T</sub> (cfs)	
				C <sub>01</sub>	C <sub>02</sub>	T <sub>01</sub>	T <sub>02</sub>	i <sub>01</sub>	i <sub>02</sub>	Q <sub>01</sub>	Q <sub>02</sub>
			1.70	0.89	0.92	15	10	1.28	3.80	1.93	5.94

- <sup>1</sup> - Rational Method runoff coefficients taken from Table B-1, Stormwater Management Manual, Public Works Department, City of Grand Junction, June, 1994
- <sup>2</sup> - Time of Concentration as derived in attached Appendix A worksheet
- <sup>3</sup> - Intensity taken from Table A-1, Stormwater Management Manual, Public Works Department, City of Grand Junction, June, 1994.

**APPENDIX C**  
**DETENTION BASIN OUTFLOW DESIGN WORKSHEET**

**DETENTION BASIN OUTFLOW DESIGN WORKSHEET  
DISCHARGE PIPING HYDRAULIC CONTROL**

**Project:** Concord Station  
**Prepared by:** Tom A. Cronk  
**Date:** November 8, 1995

2 year event					100 year event				
head difference, $h^1$ , (ft.)	design discharge, $Q^2$ , (cfs)	design pipe diameter <sup>3</sup> (in.)	actual pipe diameter <sup>4</sup> (in.)	actual discharge, $Q_a^5$ , (cfs)	head difference, $h^1$ , (ft.)	design discharge, $Q^2$ , (cfs)	design pipe diameter <sup>3</sup> (in.)	actual pipe diameter <sup>4</sup> (in.)	actual discharge, $Q_a^5$ , (cfs)
N/A	N/A	N/A	N/A	N/A	1.0	1.63	7.75	7.68	9.05

<sup>1</sup> Difference in inlet and outlet water level elevation at maximum retention capacity (ft.)

<sup>2</sup> Design discharge = maximum historic discharge,  $Q_h$  (cfs) less other discharge sources (i.e., lower stage discharge and/or sheetflows)

<sup>3</sup> Design diameter (assuming submerged inlet and outlet, full pipe flow, negligible head loss through pipe) calculated from:

$$Q = C_d A \sqrt{2gh}, \text{ where,}$$

$$Q = \text{design discharge, (cfs)}$$

$$C_d = \text{coefficient of discharge} = 0.62 \text{ for sharp edge transition}$$

$$A = \text{cross-sectional area of pipe (ft}^2\text{)}$$

$$g = \text{gravitational acceleration} = 32 \text{ ft/sec}^2$$

$$h = \text{head difference, (ft)}$$

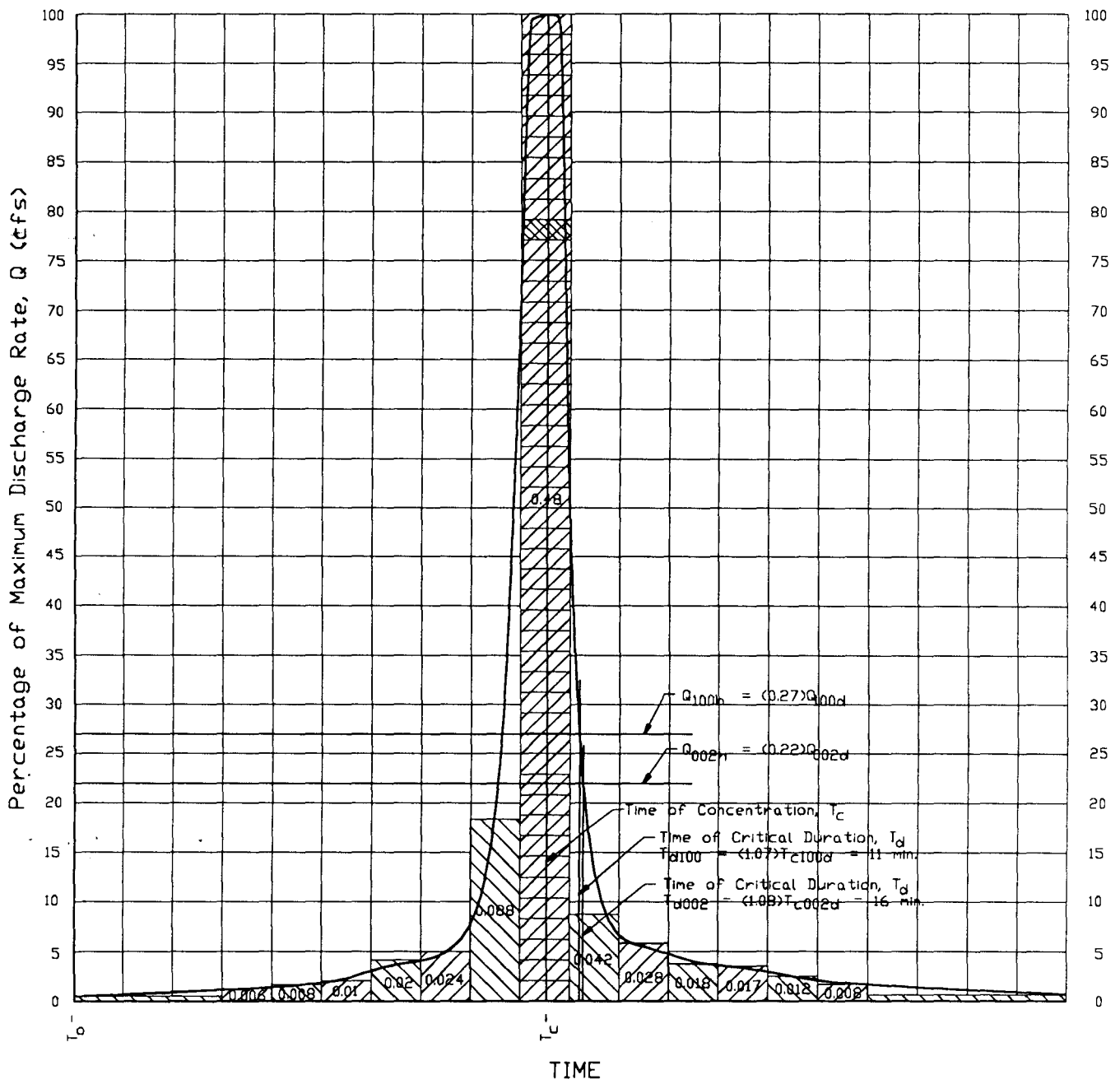
<sup>4</sup> Actual pipe diameter based on available pipe sizes to not exceed design diameter

<sup>5</sup> Actual discharge as based on actual pipe diameter, to be used in determining average discharge rate  $Q_r$  for retention basin sizing

**APPENDIX D**  
**TIME OF CRITICAL DURATION,  $T_c$ , WORKSHEET**



RUNOFF HISTOGRAPH FOR SCS TYPE IIA 24 HR. EVENT  
AND  
APPROXIMATE HYDROGRAPH OF RUNOFF DISCHARGE RATE, Q, (cfs)



$T_0$  - time at initiation of runoff  
 $T_c$  - time of concentration  
 $T_d$  - time of critical duration

**APPENDIX E**  
***MODIFIED RATIONAL METHOD* DETENTION BASIN SIZING WORKSHEET**

**MODIFIED RATIONAL METHOD DETENTION BASIN SIZING WORKSHEET**

**Project:** Concord Station  
**Prepared by:** Tom A. Cronk  
**Date:** November 9, 1995

Basin	Site Hydrology						Retention Basin Sizing						
	Site Condition	2 year event			100 year event			2 year event			100 year event		
		C <sub>2d</sub>	T <sub>2d</sub> (min.)	Q <sub>2d</sub> (cfs)	C <sub>100d</sub>	T <sub>c100d</sub> (min.)	Q <sub>100d</sub> (cfs)	<sup>1</sup> T <sub>d2</sub> (min.)	<sup>2</sup> Q <sub>d2</sub> (cfs)	Storage Volume, <sup>3</sup> V <sub>2</sub> , (ft <sup>3</sup> )	T <sub>d100</sub> <sup>1</sup> (min.)	<sup>2</sup> Q <sub>d100</sub> (cfs)	Storage Volume, V <sub>100</sub> <sup>3</sup> , (ft <sup>3</sup> )
All	Pre-development	0.22	20	0.42	0.28	13	1.63	n/a	n/a	n/a	n/a	n/a	n/a
	Post-development	0.89	15	1.93	0.92	10	5.94				11	.90	3178
	Development Impact	quantity			+1.51			+4.31					
percent				+360%			+264%						

<sup>1</sup> Time of critical duration, T<sub>d</sub>, from Appendix D worksheet

<sup>2</sup> Average rate of discharge, Q<sub>r</sub> = 55% of actual discharge, Q<sub>a</sub>, taken from Appendix C plus other discharge sources (i.e., lower stage discharge and/or sheetflows)

<sup>3</sup> Storage volume required, V (ft<sup>3</sup>), calculated from:

$$V = 60 \left[ Q_d T_d - Q_r T_d - Q_r T_{cd} + \frac{K Q_r T_{cd}}{2} + \frac{Q_r^2 T_{cd}}{2 Q_d} \right], \text{ where,}$$

K = Ratio of pre- and post-development T<sub>cd</sub>



**CITY DEVELOPMENT ENGINEER**  
**Jody Kliska**

**6/28/95**  
**244-1591**

---

1. Site Plan comments: A checklist from SSID is attached. Circled items need to be addressed on the site plan.
2. The parking dimensions as shown do not work and do not meet the code requirements. Angled parking will work and will emphasize the one-way circulation. At the driveway on 12th, it must be designed to emphasize the one-way entrance only - the 30' radius is not acceptable.
3. The existing curb cut on 12th Street (not shown on the site plan) must be closed. A permit is required for all work in the right-of-way and must be accompanied by a detailed plan of the work. All concrete work - sidewalk, driveway, etc. - must be designed so that it meets City and ADA standards for accessibility.
4. The parking shown behind the sidewalk on Bookcliff is not allowed. The code requires all parking be accommodated on site. As shown, this parking will interfere with the operation of the intersection and signal. On-street parking in this area is allowed and is already heavily used.
5. Drainage - I do not agree with the calculated runoff as computed for the historic flows. Using the rational method, I roughly calculated the 2 year runoff at .23 cfs and the 100 year at .34 cfs. I have a number of questions and comments shown on the redlined drainage plans (attached). Please have the engineer set up an appointment with me to discuss the plan and revisions.

**CITY DEVELOPMENT ENGINEER**  
**Trent Prall**

**6/28/95**  
**244-1590**

---

SEWER - CITY

1. Contact Utility Billing (244-1580) to verify potential change in sewer fees. A building permit will not be issued until the planning clearance is complete which includes Utility Billing signoff. Please provide information on number of units and the capacity of students.
2. Please show location and diameter of proposed sewer connections.

WATER - CITY

1. Please show diameter of water service line.

**COMMUNITY DEVELOPMENT DEPARTMENT**  
**Michael Drollinger**

**6/28/95**  
**244-1439**

---

See attached.

**U.S. WEST**  
**Max Ward**

**6/28/95**  
**244-4721**

---

New or additional telephone facilities necessitated by this project may result in a "contract" and up-front monies required from developer, prior to ordering or placing of said facilities. For more information, please call 244-4721.

## LATE COMMENTS

**PUBLIC SERVICE COMPANY**  
**Dale Clawson**

**07/05/95**  
**244-2695**

---

Require 15' multi-purpose easement along the east property line and 10' easements along the north, west and south property lines.

**TO DATE, COMMENTS NOT RECEIVED FROM:**

City Attorney  
Grand Valley Irrigation  
City Solid Waste Management



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

November 27, 1995

Harley Jackson  
455 Wildwood Drive  
Grand Junction CO 81503

RE: Concord Station - Our File #SPR-95-113

Dear Mr. Jackson,

The City has completed the review of your most recent submittal regarding the above project. For your convenience, I have summarized the outstanding requirements by review agency.

*Community Development*

1. Type of rock proposed on landscape plan must be identified; suggest bark as alternative.
2. Interior parking lot landscaping proposed does not meet minimum Code requirements; suggested additions to meet Code, including the addition of a landscape island (required) and the expansion of other landscape areas, are shown on the attached red-lined drawings.
3. Code requires that areas between street and parking lot be bermed to screen parking from road; this may be achieved with landscaping and/or berming of soil. Please detail your proposal on the plans - any berming of soil proposed must be shown on grading plan.
4. Lighting coverage at southeast corner of lot is inadequate; please modify the Lighting Plan to meet minimum Code requirements.
5. Comment #1 of original comments was not addressed in resubmittal. Please provide written response.

*Development Engineer*

1. Parking is the single largest issue with this project, as it has been since its inception. The plan shows 50 of the 91 proposed parking spaces as compact spaces. Several problems with this are this number exceeds the 20% allowed in the TEDS Manual, the TEDS Manual does not allow compact parking for this type of use, and the spaces shown on the south side of the buildings will not function. The aisle width required for 90 degree

To: Harley Jackson  
Re: Concord Station (#SPR-95-113)

2

parking is 24'. When you lay a turning template on the drawing, vehicles are encroaching on the spaces across the aisle in order to get out of the space. The spaces will function by angling the parking as is shown on the east side of the property, however, some spaces will be lost.

We have previously indicated to the applicant some compact parking spaces will be allowed. The 20% rule will be the maximum allowed and the site must be redesigned accordingly.

2. The parking space nearest the dumpster area will not work with a dumpster in the way and must be eliminated.
3. City standard curb cuts must be constructed for entry and exit to the site. Exhibit E is attached which shows the standard curb cut. The plan must be redrawn to show the standard curb cuts.
4. The plan calls for one of the existing curb cuts to be abandoned. Both existing curb cuts (one on 12th St., one on Bookcliff) must be removed and replaced with City standard curb, gutter and sidewalk. All work in the right of way will require a permit from the City Engineer's office prior to construction.
5. The site plan needs to clearly indicate which is existing sidewalk and which is new sidewalk to be constructed. A detail for the new sidewalk is required.
6. What is the purpose of the lines shown adjacent to the curb in the parking stalls?
7. Please provide a detail of the retaining wall and show the extent of the wall construction on the drawing.
8. What is the purpose of the 6' Drainage, Irrigation & Planting Easement? Since this is all one ownership, is it necessary?
9. The drainage plan and report is acceptable and appears to be a better design than previously submitted. However, the drainage plan appears to be a reduced version, not a 20 scale as indicated. This needs to be changed on the drawing - either remove the scale or provide a scaled drawing.
10. On the Outfall Piping Detail, please relabel the curb grating as a sidewalk drain trough for clarity and continuity with the other details.
11. Why is the sewer line shown beneath the building?



To: Harley Jackson  
Re: Concord Station (#SPR-95-113)

3

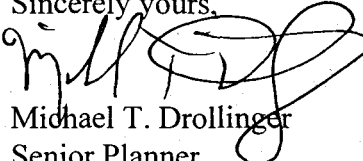
*Utility Engineer*

1. Manhole required for 6" service line connection to main line sewer.
2. Each building should have separate 4" service lines. The service line for the 8 unit building should outfall directly to the north rather than through the building to the west.

A written response to comments is required along with revised plans which reflect all staff comments. PLEASE RETURN the enclosed red-lined drawings with your resubmittal.

Based on the comments from the Development Engineer, it appears that a number of additional parking spaces will be lost with the required redesign resulting in the parking provided falling well below the minimum number of spaces required by Code; this is unacceptable to our office.

If you have any questions or require further explanation of any items please do not hesitate to contact me.

Sincerely yours,  
  
Michael T. Drollinger  
Senior Planner

Encls.

cc: Tom Cronk, Cronk Construction  
Jody Kliska, Development Engineer  
Trenton Prall, Utility Engineer  
File #SPR-95-113

To: Michael Drollinger  
From: Jody Kliska  
Subject: Concord Station SPR-95-113  
Date: 11/28/95 Time: 11:32a

Review comments for submittal dated 10-25-95:

1. Parking is the single largest issue with this project, as it has been since its inception. The plan shows 50 of the 91 proposed parking spaces as compact spaces. Several problems with this are this number exceeds the 20% allowed in the TEDS Manual, the TEDS Manual does not allow compact parking for this type of use, and the spaces shown on the south side of the buildings will not function. The aisle width required for 90 degree parking is 24'. When you lay a turning template on the drawing, vehicles are encroaching on the spaces across the aisle in order to get out of the space. The spaces will function by angling the parking as is shown on the east side of the property, however, some spaces will be lost.

We have previously indicated to the applicant some compact parking spaces will be allowed. The 20% rule will be the maximum allowed and the site must be redesigned accordingly.

2. The parking space nearest the dumpster area will not work with a dumpster in the way and must be eliminated.

3. City standard curb cuts must be constructed for entry and exit to the site. Exhibit E is attached which shows the standard curb cut. The plan must be redrawn to show the standard curb cuts.

4. The plan calls for one of the existing curb cuts to be abandoned. Both existing curb cuts (one on 12th St., one on Bookcliff) must be removed and replaced with City standard curb, gutter and sidewalk. All work in the right of way will require a permit from the City Engineer's office prior to construction.

5. The site plan needs to clearly indicate which is existing sidewalk and which is new sidewalk to be constructed. A detail for the new sidewalk is required.

6. What is the purpose of the lines shown adjacent to the curb in the parking stalls?

7. Please provide a detail of the retaining wall and show the extents of the wall construction on the drawing.

8. What is the purpose of the 6' Drainage, Irrigation & Planting Easement? Since this is all one ownership, is it necessary?

9. The drainage plan and report is acceptable and appears to be a better design than previously submitted. However, the drainage plan appears to be a reduced version, not a 20 scale as indicated. This needs to be changed on the drawing - either remove the scale or provide a scaled drawing.

10. On the Outfall Piping Detail, please relabel the curb grating as a sidewalk drain trough for clarity and continuity with the other details.

11. Why is the sewer line shown beneath the building?

## PETITIONER'S RESPONSE TO REVIEW COMMENTS

Petitioner: Harley Jackson  
Concord Station

Location: SE corner 12th & Bookcliff

File No. SPR-95-113

### Mesa County Building Department

Petitioner has provided the Mesa County Building Department with the necessary plans.

### Grand Junction Fire Department

Petitioner agrees to provide the Fire Department with a complete set of building plans. An automatic sprinkler system is proposed.

### Grand Junction Drainage District

No response necessary.

### City Development Engineer - Jody Kliska

The site plan has been revised to include all of the items required on the SSID checklist.

Parking dimensions have been revised to meet City code as shown on the revised site plan and the entrance radius has been reduced to emphasize the one-way traffic flow.

The revised plan shows the location of the existing curb cut on 12th Street and notes that it will be abandoned. The appropriate concrete and ADA construction notes have been included on the revised plans.

The revised plan accommodates all parking on site.

A revised drainage plan will be submitted.

### City Development Engineer - Trent Prall

Petitioner proposes a total of 92 units with a student capacity of 184 students. The revised plan shows the location and diameter of proposed sewer and water lines.

### Community Development Department

Petitioner has worked closely with Mesa State College on this proposal to coordinate with the College's master plan. Petitioner feels that project ownership is a matter to be determined by Petitioner.

A revised landscape plan has been submitted that includes the items required on the SSID checklist. Interior parking lot landscaping has been revised to include planting islands. A lighting plan has also been submitted.

The revised plan indicates the location of bicycle parking for 24 bicycles as well as a bike rack detail.

Street trees have been provided at 35' intervals.

The proposal calls for 92 units with two beds each for a total of 184 beds. Parking requirements call for one space/two beds for a total of 92 required parking spaces. The revised plan provides 91 spaces using a combination of angle parking and compact parking.

The revised plan contains the City standards sections regarding curb cuts. A Development Improvements Agreement will be completed.

### US West

No response necessary.

### Public Service Company

Petitioner has worked closely with Public Service regarding their requirements to provide service. Petitioner does not feel that the project has sufficient room to grant the requested easements.



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

November 29, 1995

Harley Jackson  
455 Wildwood Drive  
Grand Junction CO 81503

RE: Concord Station - Our File #SPR-95-113

Dear Mr. Jackson,

I inadvertently omitted comments from the Fire Department in my letter to you dated November 27, 1995. The Fire Department's comments regarding your most recent submittal are as follows:

*Fire Department*

The estimated fire flow requirement for this project is 3,000 gallons per minute. Based on this flow, three fire hydrants will be needed. Locate one hydrant along 12th Street at the southwest entrance to the site (this hydrant must be located along the east side of the 12th Street right-of-way). The second hydrant must be located along Bookcliff Avenue at the northeast entrance to the site. The existing hydrant located at 12th Street and Bookcliff Avenue will be acceptable as the required third hydrant.

Please incorporate these requirements into your revised plans. If you have any questions or require further explanation of any items please do not hesitate to contact me.

Sincerely yours,

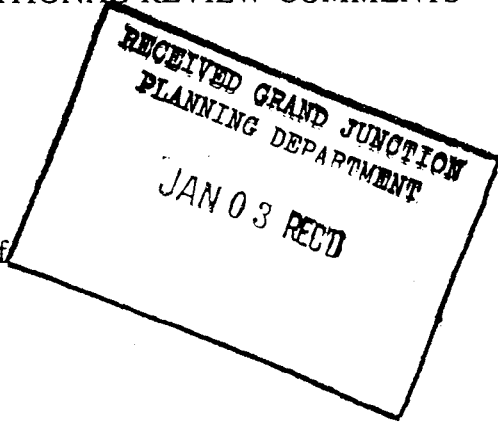
  
Michael T. Drollinger  
Senior Planner

cc: Hank Masterson, Fire Department  
Tom Cronk, Cronk Construction  
File #SPR-95-113

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PETITIONER'S RESPONSE TO ADDITIONAL REVIEW COMMENTS

Date: 12/27/95  
Petitioner: Harley Jackson  
Concord Station  
Location: SE Corner 12th & Bookcliff  
File No.: SPR-95-113



Community Development

1. Per discussions with Bookcliff Garden, the preferred groundcover for landscaped parking islands is 1"-2" washed rock.
2. The landscape plan has been revised to expand the landscaped parking islands as suggested by staff and an additional island has been placed in the south parking row.
3. The landscape plan has been revised to provide hedge screening of the parking lot from the street.
4. The lighting plan has been revised to show adequate coverage at the southeast corner of the lot.
5. The facility will be privately owned and operated.

Development Engineer

1. The parking on the south side has been revised from 90 degree to 60 degree parking, allowing sufficient aisle width. This resulted in a loss of parking spaces. 84 spaces are now proposed.
2. The parking space nearest the dumpster area has been eliminated, providing 6 spaces in that area rather than 7.
3. The plan has been revised to show city standard curb cuts at entry and exit to the site.
4. The plan has been revised to note that both existing curb cuts must be removed and replaced with city standards curb, gutter and sidewalk.
5. The plan has been revised to show existing and proposed sidewalks, and a sidewalk detail

has been provided. The existing sidewalk around the perimeter of the lot will be retained as much as possible, with new construction for all internal sidewalks.

6. Construction lines from the original survey were inadvertently left on the site plan.
7. The drainage plan has been revised to show a retaining wall detail. Flag notes S, S' and T indicate the extent of wall construction.
8. The 6' Drainage, Irrigation and Planting Easement has been eliminated.
9. The drainage plan has been revised to show the appropriate scale.
10. The outfall piping detail on the drainage plan has been revised to relabel the curb grating as a sidewalk drain trough.
11. The utilities plan has been revised to show the new placement of the sewer line.

Utility Engineer

1. The utilities plan has been revised to show a manhole at the 6" service line connection to the main line sewer.
2. The utilities plan has been revised to show each building with a separate 4" service line.





Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

January 16, 1996

Harley Jackson  
455 Wildwood Drive  
Grand Junction CO 81503

RE: Concord Station - Our File #SPR-95-113

Dear Mr. Jackson:

This letter contains comments regarding the latest review of the Concord Station project and an administrative decision on your application.

The applicable review agencies including our office have reviewed the latest plans which you submitted for the above project. All comments have been satisfactorily addressed with the exception of the following:

1. The percent of compact spaces provided (over 50%) is still above the maximum of 20% which we will allow for this project. The Code does not permit any compact spaces but we have been flexible in working with you on this issue.
2. On Note "I" of the Drainage Plan, replace "with grate" with "trough".

Your latest plans also show a reduced number of parking spaces from the previous 92 to 84 spaces. Given that the number of units has remained constant at 92, the project has eight less parking spaces than are required using the dormitory parking standard in the Zoning and Development Code, while with the previous designs you were only two to three parking spaces short of the requirement. The gap between the number of spaces required and those provided has widened significantly and given the present layout of the project it appears that additional parking spaces can not be provided. The City has already permitted modifications of the parking lot landscaping requirements to permit the existing parking lot configuration.

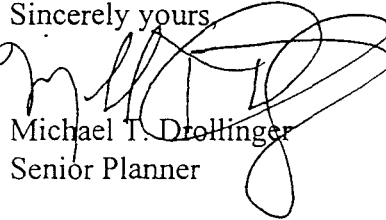
Based on the parking deficiency, this site plan is hereby denied at the administrative level as per Section 4-14 of the Zoning and Development Code. You have the option to appeal the administrative decision to the Planning Commission or to redesign the project to by adjusting the

To: Harley Jackson  
Re: Concord Station - Our File #SPR-95-113

2

number of units and/or parking spaces to meet the Code requirements. Please notify this office in writing of the appeal and we will notify you of the hearing schedule.

If you have any questions or require further explanation of any items please do not hesitate to contact me.

Sincerely yours,  
  
Michael T. Drollinger  
Senior Planner

cc: Mark Achen, City Manager  
Tom Cronk, Cronk Construction  
File #SPR-95-113

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## STAFF REVIEW

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FILE: #SPR 95-113  
DATE: June 22, 1995  
STAFF: Michael Drollinger  
REQUEST: Site Plan Review - Concord Station  
LOCATION: SE Corner of 12th & Bookcliff  
ZONING: RMF-64

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### STAFF COMMENTS:

1. What will be ownership/operational arrangements with this proposal? Will the facility be leased/owned/operated by the college? It would be very difficult to ensure that rooms are rented to college students only if facility were privately owned/operated. We recommend that facility be redesigned and parking provided to permit these units to be private rentals not restricted to students.
2. Landscaping Plan incomplete - see attached Landscape Plan checklist for missing items. Also see attached Code regarding planting size requirements.
3. Parking lot landscaping provided does not meet Code requirements (see attached ordinance). Required landscaping includes planting islands and shrubs and/or berming along street frontage to a height of 2 to 2 1/2 feet which would screen the cars in the lot from the street. Also, where parking is proposed along frontage, planting strips must be at least 10 feet wide. Please consult with the Community Development Department if you have any questions concerning the parking lot landscaping standards. A lighting plan (as per Code) is also required. The existing parking does not have to meet the parking lot landscaping and lighting standards.
4. Section 5-5-1H of the Code requires that bicycle parking be provided sufficient to hold three bicycles or the number of bicycles equal to ten percent of the required off-street parking spaces for the use, whichever is greater. Please revise Site Plan to indicate location of parking and provide a bicycle rack detail.
5. Section 5-4-15H pertains to street tree requirements. As per Code, street trees are required to be spaced at forty (40) foot spacing along the frontage and may be located on the subject parcel or in the ROW. Street trees must be irrigated.
6. Parking ratio for a "dormitory" use is one space per two beds. Based on the information provided, it is not possible to determine the number of beds provided, but based on the assumption that each room will have two beds, about 100-110 parking spaces will need to be provided, whereas only 91 are provided, 22 of which are on Bookcliff Avenue and may not be permitted by Public Works.

7. Curb cut proposed to be removed/installed must be clearly labeled. Also provide a Detail Sheet (as per SSID manual) which contains the City standard monolithic curb/gutter/sidewalk section. A Development Improvements Agreement (DIA) (attached) must be completed to guarantee all work in the public right-of-way. Directions for completing the DIA are also attached.

A MORE COMPLETE REVIEW OF THE PROPOSAL WILL OCCUR ONCE ADDITIONAL INFORMATION AND MORE COMPLETE PLANS HAVE BEEN SUBMITTED.

REVISED PLANS ARE REQUIRED. PLEASE SUBMIT FOUR (4) COPIES OF REVISED, STAMPED PLANS WITH YOUR RESPONSE TO COMMENTS.

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**PLEASE TAKE NOTE OF THE FOLLOWING:**

1. ALL SIGNS TO BE ERECTED ON THE SITE WILL REQUIRE A SIGN PERMIT PRIOR TO INSTALLATION OF THE SIGN.

2. SITE IMPROVEMENTS (INCLUDING LANDSCAPING) MUST BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY MODIFICATIONS MUST BE APPROVED, IN WRITING AND/OR WITH REVISED PLANS, BY THE COMMUNITY DEVELOPMENT DEPARTMENT. FAILURE TO INSTALL SITE IMPROVEMENTS AS PER THE APPROVED PLANS MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

3. SITE IMPROVEMENTS (E.G. LANDSCAPING, SIDEWALK, ETC.) NOT COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE GUARANTEED.

You are urged to contact the Community Development Department if you require clarification or further explanation of any items.

**STAFF REVIEW (City Council)**

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FILE: #SPR-95-113

DATE: January 31, 1996

REQUEST: Site Plan Review - Concord Station

LOCATION: SE Corner 12th Street and Bookcliff Avenue

STAFF: Michael T. Drollinger

APPLICANT: Harley Jackson/HTJ Company  
455 Wildwood Drive  
Grand Junction CO 81501

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**EXECUTIVE SUMMARY:**

**As permitted in Section 2-2-2.C.4 of the Zoning and Development Code this item has been forwarded by a City Council member to the Council for consideration.** Planning Commission, at their February 6, 1996 meeting, denied the petitioner's appeal of an administrative denial of the project. The petitioner is requesting approval for a 92 unit "dorm-style" multifamily development located on 1.72 acres at the southeast corner of 12th Street and Bookcliff Avenue. Based on staff's review of the site design and supporting reports and based on the analysis of the site plan review criteria contained in the Zoning and Development Code, staff recommends denial of the project due to a deficiency in the site design which does not permit parking to be provided in conformance with Code requirements.

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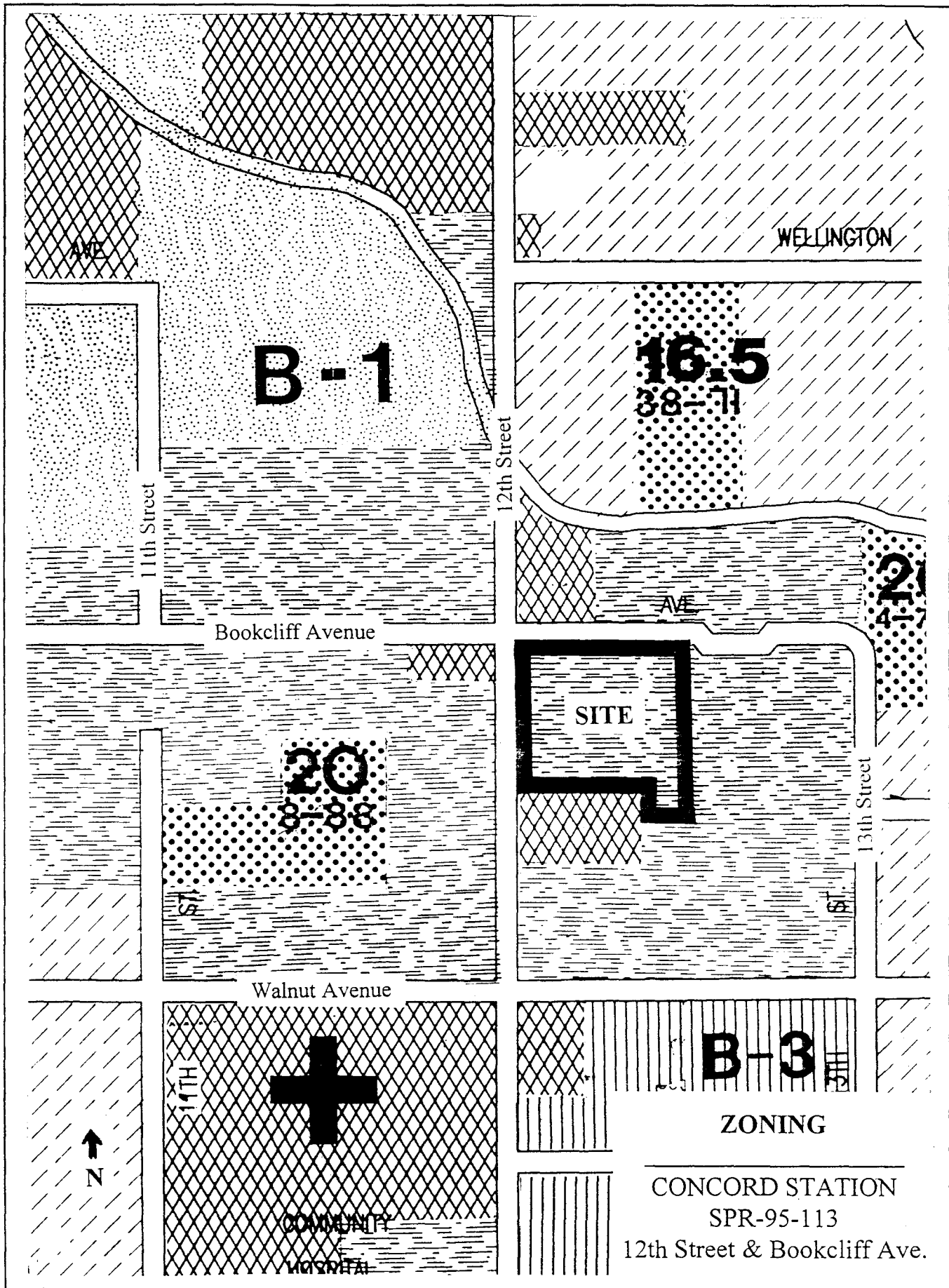
EXISTING LAND USE: Residential (single family)

PROPOSED LAND USE: Residential Multifamily

**SURROUNDING LAND USE:**

NORTH: Medical Office - Veterinary Clinic  
SOUTH: Office  
EAST: Multifamily Residential  
WEST: Medical Office

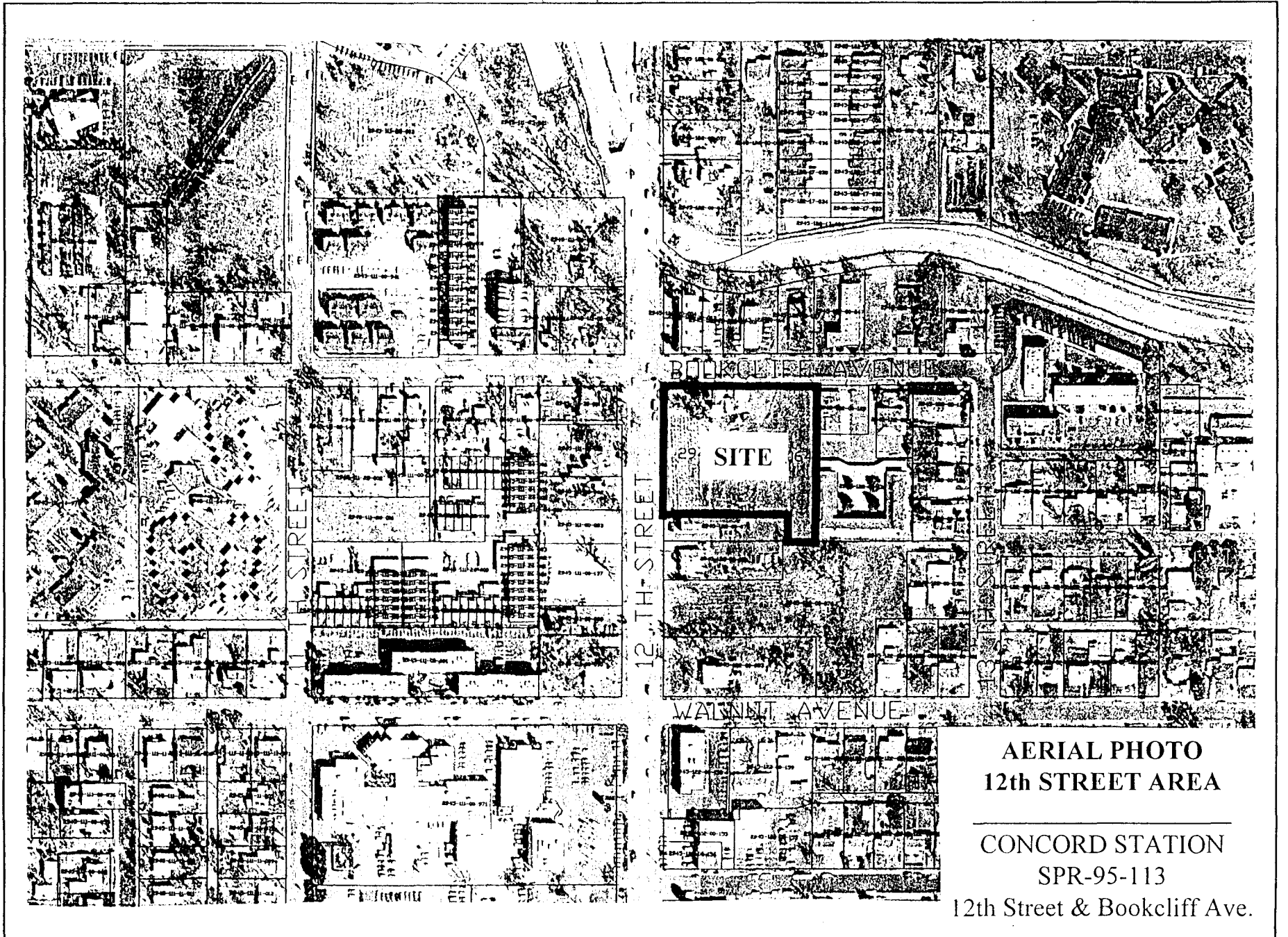
EXISTING ZONING: RMF-64 (Residential Multifamily - not to exceed 64 units per acre)



**ZONING**

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CONCORD STATION  
 SPR-95-113  
 12th Street & Bookcliff Ave.



**AERIAL PHOTO**  
**12th STREET AREA**

---

**CONCORD STATION**  
**SPR-95-113**

12th Street & Bookcliff Ave.

BOOKCLIFF AVE

12TH STREET

2945-122-00-064

2945-122-00-128

2945-122

2945-122-00-072

2945-122-00-115

2945-122-00-076

2945-122-00-083

**AERIAL PHOTO**

CONCORD STATION

SPR-95-113

12th Street & Bookcliff Ave.



PROPOSED ZONING: No Change

SURROUNDING ZONING:

NORTH: PB (Planned Business) & RMF-64  
SOUTH: PB (Planned Business)  
EAST: RMF-64  
WEST: PB (Planned Business) & RMF-64

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RELATIONSHIP TO COMPREHENSIVE PLAN:

No current comprehensive plan exists for the area. The preferred alternative of the draft Grand Junction Growth Plan classifies the subject parcel in the following land use category:

Residential - High Density (12+ units per acre)

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STAFF ANALYSIS:

The staff analysis is divided into three sections: (1) an overview of the proposal; (2) planning analysis of the site plan review criteria and (3) staff findings and recommendations:

The Development Proposal

The petitioner is requesting site plan review approval of a 92 unit multifamily project designed for college students located at the southeast corner of 12th Street and Bookcliff Avenue (see accompanying aerial photographs). The development consists of three two-story structures with a capacity of approximately 184 students (2 students per room). The facility would be privately owned and operated. A patio and open space area is provided between the building for use by the residents. A stormwater facility is provided on the western part of the site adjacent to 12th Street and is designed to City standards. Adequate utilities are available to serve the subject parcel. The latest plans for Concord Station accompany this staff report.

Parking for the project is located on the eastern and southern portions of the site and consists of a total of 84 parking spaces of which 44, or 52 percent, are compact parking spaces. The parking requirement as per Section 5-5-1H of the Zoning and Development Code (ZDC) for a "dormitory/fraternities/sororities" use is one space per two beds, or 92 spaces.

The use is permitted in the RMF-64 zoning and the proposed density is within what is permitted by Code.

## Planning Analysis

The planning-related documents applicable to this project include the Zoning and Development Code (ZDC), specifically Section 4-14-4, pertaining to the Site Plan Review criteria and the 12th Street Corridor guidelines, adopted by the Planning Commission in October, 1988.

The principal issue regarding the design of the project is that given the present site configuration, adequate parking to serve the density proposed can not be provided. A lack of adequate parking may adversely impact the surrounding neighborhood by resulting in vehicles from the site using on-street parking causing congestion and potentially using the private parking of adjacent residential or business uses. Due to the limited area available for parking on-site, the petitioner is proposing that over 50% of the required parking spaces be "compact" spaces. Staff has indicated to the petitioner that a maximum of 20% of the required parking may be compact parking.

The petitioner has not supplied staff with information to justify the proposed deficiency in the required number of parking spaces. Based on staff inquiries, Mesa State does not have any data on the percentage of students with cars to use a yardstick in evaluating the proposal nor does the college have data indicating the percent of students driving compact cars. The college presently does not restrict students living on campus from having a car.

### *Analysis of Site Plan Review Criteria*

Section 4-14-4 of the Zoning and Development Code specifies the criteria used to evaluate all uses requiring site plan review. The following section summarizes the staff analysis of the site plan review criteria.

1. *The site plan layout shall satisfy all development standards of the underlying zone unless a variance is concurrently considered and approved with the review.*

The project does not meet the parking requirement in Section 5-5-1H of the ZDC. No parking variance has been requested or approved concurrently with this review.

2. *The proposed development or change of use will meet required City standards for development improvements such as drainage, water, sewer, traffic and other public services.*

The applicant has not adequately addressed staff's concerns regarding the provision of adequate parking facilities or regarding the potential impacts of overflow parking from the site to adjoining street or adjacent uses. Based on field observations, limited on-street parking facilities are located adjacent to the site. No parking is permitted on 12th Street; parking is permitted on Bookcliff Avenue although limited space is available due to the frequent curb cuts along the road. In addition, staff has observed that a significant number of vehicles presently park on Bookcliff Avenue near 12th Street during daytime hours. Two adjacent medical office uses have expressed their concerns regarding the potential for

overflow parking utilizing their private parking lots (letters are attached to staff report).

Other improvements such as drainage, utilities and landscaping have been satisfactorily addressed.

3. *The proposal is consistent with any adopted corridor guidelines.*

The 12th Street Corridor Guidelines (attached to staff report) contain no recommendations specific to the subject parcel. The project vicinity is identified as an area of transition from residential to medical, educational and commercial uses. South of Patterson Road, uses such as professional, medical and educational offices are considered appropriate. The proposal is in general conformance with the intent of the guidelines.

4. *The proposal is in conformance with any adopted elements of the City's Comprehensive Plan and or/with any adopted neighborhood plans.*

No adopted comprehensive or neighborhood plan exists for the subject site and vicinity. As previously mentioned, the draft Growth Plan identifies the subject site as residential high density (12+ units per acre), generally consistent with the development proposal. Staff agrees that there is a clear community need for housing for students of Mesa State, however, development of student-oriented housing must be accomplished in a way that does not adversely impact established uses.

5. *The proposal sufficiently addresses and satisfies any issues discussed at the pre-application conference and/or in the review comments and it adheres to basic land use, design, and city planning principles.*

Staff recommended to the petitioner in the early stages of design of the project that an alternative layout should be considered (such as a three story building) in order to accommodate the parking for the project at the proposed density. The staff review comments have repeatedly identified the parking deficiency (among other issues) as significant design issues. While the petitioner has adequately addressed most staff comments, the site design issue relative to parking (both number of stalls and size of stalls) still remains.

#### Staff Recommendation

Based on staff's review of the design and supporting reports and based on the analysis of the site plan review criteria and the requirements of the Zoning and Development Code, staff recommends denial of the site plan review for the project based on the deficiencies in the number and type of parking stalls provided.

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**STAFF RECOMMENDATION:**

Staff recommends denial of the site plan review for the reasons detailed in the staff report.

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**PLANNING COMMISSION DECISION**

At their February 6, 1996 meeting, Planning Commission denied the petitioner's appeal by a vote of 5-0.

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MATERIALS  
SUPPLIED BY  
PETITIONER

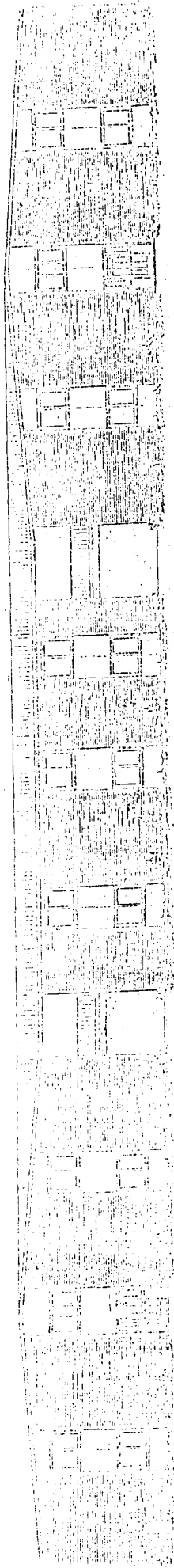
CONCORD STATION (A student dorm)

Harley T Jackson DBA HTJ Co has acquired control of a parcel of land on the SE corner of 12th and Bookcliff in Grand Junction, Colorado, for the sole purpose of building and operating dorm style student housing for 200 plus students.

The proposed building will be two stories high in an H style configuration. There will be a small managers apartment, up to 4 small kitchens and dining rooms for small groups of students use. One or more laundry rooms, vending machine areas, equipment and boiler rooms. The suites are designed with a bath room for each suite.

The building will be frame construction with a brick and stucco exterior. The heating and cooling will be through the wall heat pumps for individual control in each suite.

Reliable Sources at Mesa State College have indicated that only about 25% of the dorm students have cars, thereby eliminating the need for excessive parking. Also they have indicated that they are full for the Fall semester and could start booking residents in this building immediately.



FRONT ELEVATION

SCALE 1/8" = 1'-0"

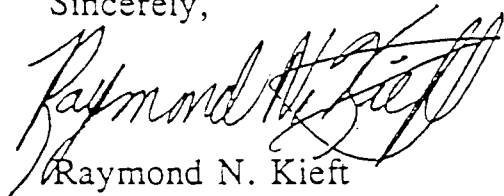
June 6, 1995

To Whom It May Concern:

Mesa State College has a critical shortage of student housing both on and off campus. The College estimates that it will be unable to house over 300 students this Fall. That number is expected to grow to over 450 by Fall, 1997.

The solution to this problem requires the cooperation of the College and private developers such as Harley Jackson. The College enthusiastically supports Mr. Jackson's plans to build off-campus, multi-family housing for students. We plan to continue to work closely with Mr. Jackson on this project.

Sincerely,



Raymond N. Kieft  
President





# Colorado International



Education and Training Institute, Inc.

P.O. Box 9087 • Grand Junction, Colorado 81501 USA

Tel. (970) 245-7102/7023 • Fax (970) 245-6553

June 1, 1995

Harley Jackson  
Heritage Senior Homes  
2835.5 Patterson  
Grand Junction, Co 81506

Dear Mr. Jackson:

Thank you for making me aware of your plans to build a student residence near Mesa State College and our institute.

Being responsible for bringing all of the international students into Grand Junction we are in constant need of housing. We have an average of 60 students from 15 countries throughout the year studying English. A high percentage of those students enter Mesa State College upon successful completion of our program. This means that many of them remain in Grand Junction for up to five years.

We are always looking for alternative living styles for our students. Many of our students live with families. Others are in apartment complexes which are becoming more and more difficult to secure. Your facility would help fill a need that is not currently being met. Our students do not have ready access to Mesa State residence halls because they are not regular Mesa students, although they do have access to all of the facilities and programs at Mesa.

I look forward to your facility becoming available and will promote it to the international community.

Sincerely,

Ronald W. Bradley  
President

# HELP!



Mesa State College students need your help. Hundreds of Mesa State students will be seeking a place to live when classes begin in August. Our residence halls and campus apartments are full. We are out of rooms.

These students want to attend Mesa State. We want them to attend Mesa State. They won't be able to unless they find a place to live.

Some of these students want only a room. They will eat either on-campus or in restaurants. Other students are interested in a room and an occasional meal. Some will help with domestic responsibilities. You can tailor the type of living arrangement you desire and you can choose the students. You decide rental or lease agreements. It is entirely your choice.

Many people have told me how much they enjoy having students live with them. Extra income, friendship, added security and just plain fun are some of the benefits that they cite. Many said they plan to have students live with them again this year. We are grateful for their help. We need more people like them.

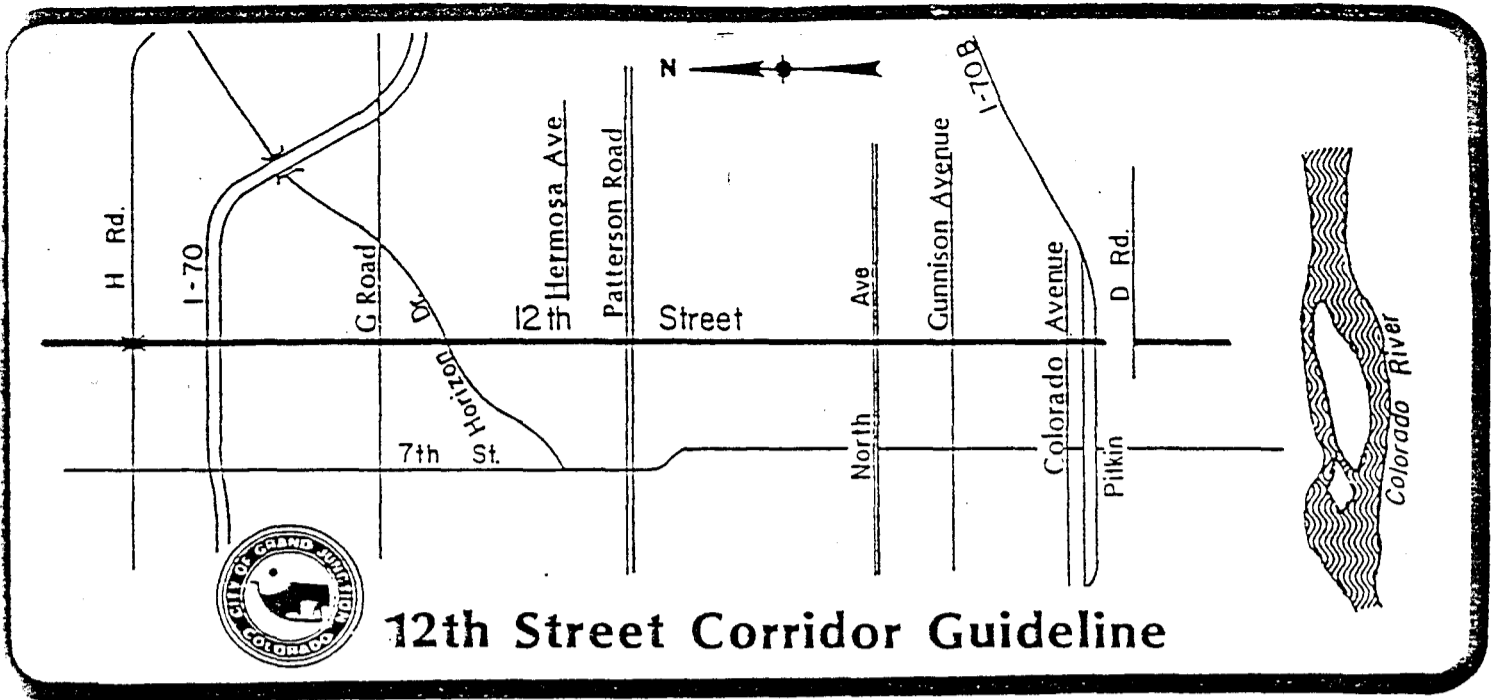
Tell us the living arrangement you have (room, room and board, domestic help, etc.) and the type of student you desire (male, female, non-smoking, etc.) and we will provide this information to inquiring students. We won't assign students. You can say "yes" or "no" to any student. You are in control. We will only refer students to you.

Please call our housing office at 248-1536 and tell them you wish to help us and our students.

Thank you.



12TH STREET  
CORRIDOR  
GUIDELINES



## 12th Street Corridor Guideline

### 12th Street Status

According to the Functional Urban Classification System, 12th Street has two classifications:

This means:

- As a minor arterial it requires 77 feet of right-of-way from G Road to Horizon Drive.
- As a major arterial it requires 100 feet of right-of-way from Horizon Drive to Pitkin Avenue.
- It will have limited driveway access.
- It serves as a major north-south traffic route.

For this corridor guideline 12th Street is split into four sections:

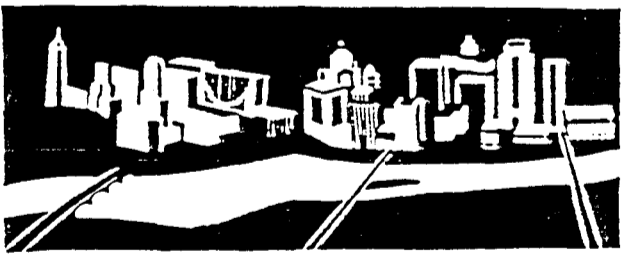
- 1) G Road south to Hermosa Avenue — primarily residential
- 2) Hermosa Avenue south to Gunnison Avenue — area of transition of residential and business uses
- 3) Gunnison Avenue south to Colorado Avenue — single family residential area

### 12th STREET CORRIDOR GUIDELINES

**Intent:** The intent of this corridor guideline is to address the existing and future land uses along 12th Street which serves as a major entrance into the City from the north. Also, to encourage those areas in transition (from residential to non-residential) to retain the existing scale of development.

**Goal:** The goal is to effectively carry traffic while maintaining the 'major entry' positive image.

**Policy:** The policy is to provide for consistent and informed decision making in considering development or redevelopment requests, provide protection to existing neighborhoods, and provide direction and focus for those areas in transition.



- 4) Colorado Avenue south to the Colorado River -- heavy commercial and industrial area

General Guidelines



Along 12th Street, regardless of the type or scale of development, all projects should accommodate the following criteria:

- 1) Every proposal requesting a change of use which requires a zone change should be done in a planned development (PD) context.
- 2) Non-residential development should not adversely affect existing adjacent neighborhoods through increases in traffic, on-street parking, lighting and noise.
- 3) Curb cuts and access points should be limited and consolidated by encouraging the concept of shared access for proposed and future development.
- 4) Alleyway usage for access to private parking lots is generally discouraged except when extenuating circumstances are shown to make this type of access more appropriate than other alternatives.
- 5) Consideration for on-site retention and detention of storm water runoff should be addressed for all new developments.
- 6) Neighborhood discussion is encouraged with the petitioner throughout the development process.
- 7) Other corridor guidelines may also be applicable and should be considered in the review of new development.

## G Road South to Hermosa Avenue

BOOK 1718 PAGE 310

This section serves as a primary access into the city with the majority of the existing uses being residential with several existing church sites.

- The east side of 12th Street in the Horizon Drive area may be appropriate for non-residential uses. Properties with Planned Business zoning are presently available at the northeast corner of the 12th and Horizon intersection.
- The west side of 12th Street in this area is zoned and appropriate for residential development.
- Proposed uses at the intersection of 12th Street and Horizon Drive will be considered on a site-specific basis.
- Horizon Drive south to Hermosa Avenue should retain the residential scale and character. Any new development should participate in the upgrading of 12th Street to full major arterial status.

## Hermosa Avenue to Gunnison Avenue

Much of this section is in a transitional phase from residential to medical, educational and commercial uses.

- The existing non-residential and commercial uses at the intersection of 12th and Patterson are appropriate and adequate. Further expansion of non-residential uses into the existing residential neighborhoods to the north of this intersection should be discouraged to prevent the increase in traffic, noise, on-street parking and other impacts associated with non-residential development.
- South from the intersection at 12th and Patterson to Orchard Avenue, non-residential uses such as professional, medical and educational offices may be appropriate.

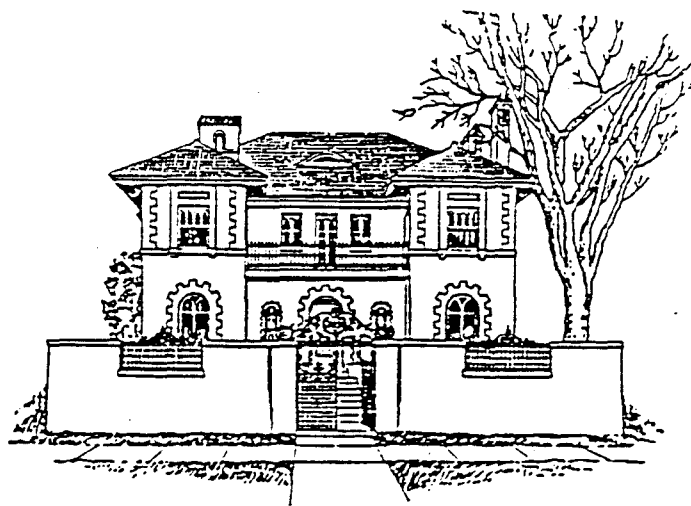
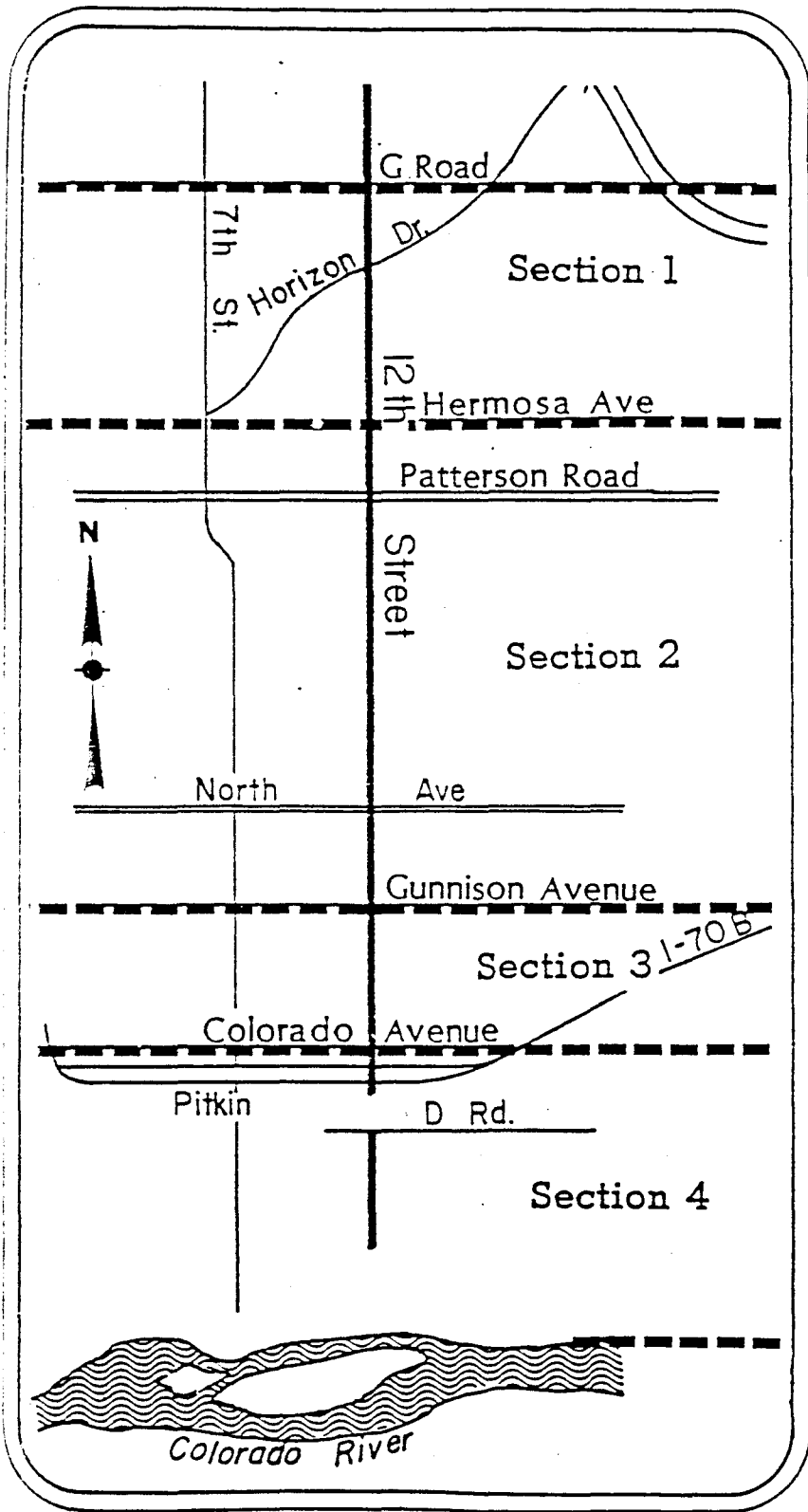
- Between Patterson Road and Gunnison Avenue, new non-residential development should not encroach into the existing residential neighborhoods. Existing north/south alleyways (or the approximate line where alleyways would exist) should serve as a

buffer between the residential areas and any non-residential development fronting on 12th Street.

**BOOK 1718 PAGE 31**

This will help to prevent additional activity, noise and traffic in the residential areas. Access for new development should be onto the east/west streets then out to 12th Street rather than onto 11th or 13th Streets.

- Proposed uses at the intersections of 12th and Patterson and 12th and Orchard will be considered on a site-specific basis.
- Due to heavy pedestrian and vehicle use along this section of 12th Street, careful consideration should be made for pedestrian safety in reviewing development proposals.



This section of the corridor is primarily residential in character and zoning. Encroachment into this area by business uses will be discouraged.

- Existing uses and zoning are appropriate and adequate.
- The residential character of the neighborhoods should be retained.
- Support for the Downtown Development Authority's Strategy Plan adopted by the City for this area of 12th Street is encouraged.



**NOTE:**

It is important to note that goals, objectives, policies and guidelines are informational in nature and represent only one of the many factors which must be considered in the decision making process. The Planning Commission and City Council shall determine the applicability of any goal, objective, policy or guideline to any specific development situation.

13-4

Colorado Avenue to the Colorado River

This area is zoned business, commercial and industrial from Colorado Avenue south to the river. There is no direct access to 12th Street south of the railroad due to the lack of a railroad overpass.

- Existing use and zoning is appropriate and adequate.
- The area south from Kimball Avenue to the Colorado River is zoned for industrial uses, thus the transition of the area as a higher quality rail oriented industrial park is encouraged.
- Acquisition of the properties to the south of Kimball Avenue is encouraged for the following reasons:
  - 1) for the purpose of developing a greenbelt beautification area along the river floodplain which is presently used for private junk and refuse storage
  - 2) to provide a desirable river-front location for future planned industrial development along the fringes of the designated floodplain
  - 3) to discourage any uses which may limit or restrict access and development of those areas adjacent to the Colorado River, i.e. tailings piles and extraction processing

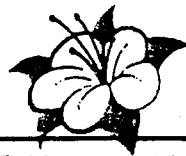
INFO RECEIVED FROM  
MESA STATE REGARDING  
STUDENT HOUSING PREFERENCES



**MESA STATE COLLEGE**  
**Preferences in Student Housing**

*Rec'd 2/1/96  
from NSC President  
Ray Kieff*

1. Kitchen or kitchenette in each unit. At a minimum, an oven, two burner stove, refrigerator/freezer, sink with disposal, and cabinets/drawers for utensils and food stuffs.
2. Unit soundproofed at least to a level that a stereo can be played in one unit at a reasonable volume without disturbing the neighbors.
3. Each unit has control over heat and air conditioning rather than one setting for the entire facility.
4. Adequate lighting. One central light is not sufficient. A light by each student's study area, over the kitchen area, and over the sinks in the bathroom. In addition to artificial lighting, natural light from at least one window that opens is preferred.
5. Two phone jacks in each room PER RESIDENT (one for telephone, one for computer). Plenty of electrical outlets, especially in kitchen and bathroom. (Two women sharing one outlet in the bathroom is insufficient).
6. One closet per resident.
7. Carpeting for the living and bedroom areas. Tile or linoleum for the kitchen and bathroom.
8. If the units are to be furnished. Eight foot beds rather than six foot. A dresser, closet, desk, chair, and waste basket for each resident.
9. Hot tub or jacuzzi on each end of each floor.
10. Outdoor recreation area for sand volleyball with several picnic tables and grills.

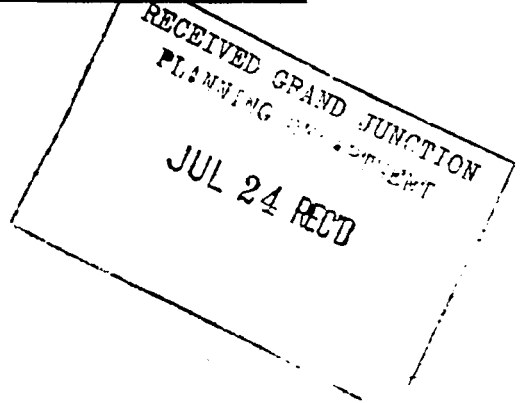


# C O L U M B I N E

## A N I M A L H O S P I T A L

July 21, 1995

Mr. Michael T. Drollinger  
Senior Planner  
Community Development Department  
City of Grand Junction  
250 North 5th Street  
Grand Junction, Colorado 81501



Dear Michael:

Thank you for your courtesy today in furnishing us information about the dormitory project at Bookcliff and 12th Avenue. We are writing today to express our serious concerns about the suitability of this project at this location.

Over the course of several years Columbine Animal Hospital relayed to City traffic the high number of accidents witnessed at the corner of Bookcliff and 12th. Our staff also witnessed several elderly and infirm individuals literally "running for their lives" in wheelchairs and canes to get to their physicians' offices in the medical complex area north of 12th Street off of Bookcliff Avenue. The City responded when enough money was available. We thank them for this stop light.

We've conveyed the issue regarding the stop light, because it is relevant to discussion about the dormitory project.

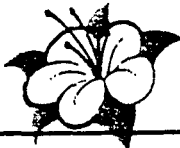
It is our belief that a dormitory for 180 students, and parking spaces for 90 automobiles will have significant negative traffic effects on this corner. During the morning hours 7:30-8:00 AM Bookcliff traffic accommodates many medical personnel driving to work, and parents driving children to St. Mary's Parrish. There are many times in the morning, that our staff and clients have difficulty entering our parking lot off of Bookcliff, because of amount of traffic. This dilemma is also faced in the evening.

The medical offices on the northeast corner of Bookcliff and 12th will also face some of these problems, if another 100 cars feeding onto 12th at this corner is added by this project.

Moreover, 12th Street is a major thoroughfare, not only carrying

Donald W. Anderson, D.V.M.

1165 Bookcliff Ave. • Grand Junction, Colorado 81501 • (303) 241-6777



# C O L U M B I N E

## A N I M A L H O S P I T A L

Michael Drollinger  
July 23, 1995  
Page Two

medical personnel, but also serving as the primary artery of emergency vehicles to Community Hospital.

We have noted increased traffic from the Monterey Park development. However, in spite of some additional traffic in peak hours, we felt this project for our older citizens was a very compatible fit in the neighborhood. Undoubtedly, there will be development of additional in-fill projects on Bookcliff, and in the general neighborhood, because of vacant land. We are hopeful that these future development projects will be compatible with medical needs and the older population, which this area demographically represents.

The preceding sentence brings us to our last point: In spite of the property being zoned as allowing dormitory construction, we ask that consideration is given to existing businesses who will be effected negatively by logjams of traffic. It is also quite possible that placing the dormitory this far from the College will add unduly to the parking problem of Mesa State. Bookcliff and 12th is approximately .7 miles to the beginning of the Mesa State classroom buildings off 12th Street. Consider that there is no dedicated bike path on 12th Street and that Grand Junction has no public transportation.

Please let us know as soon as your administrative decision takes place.

Sincerely,

*Donald W. Anderson*      *Jil Anderson*

Donald W. Anderson, DVM    and    Jil Anderson

Donald W. Anderson, D.V.M.

1165 Bookcliff Ave. • Grand Junction, Colorado 81501 • (303) 241-6777

*Mesa Otolaryngology, P. C.*

1212 BOOKCLIFF  
GRAND JUNCTION, COLORADO 81501-8161

(303) 245-3333

RICHARD C. HUFFAKER, D.O.  
F.A.O.C.O.O.  
F.A.C.O.H.N.S.  
CERTIFIED

PETER SUCCO, M.C.D.  
AUDIOLOGY

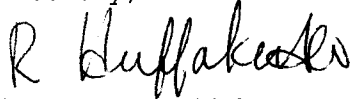
August 4, 1995

Michael Drollinger  
City Planning  
250 N. 5th Street  
Grand Junction, Colorado 81501

Dear Mr. Drollinger,

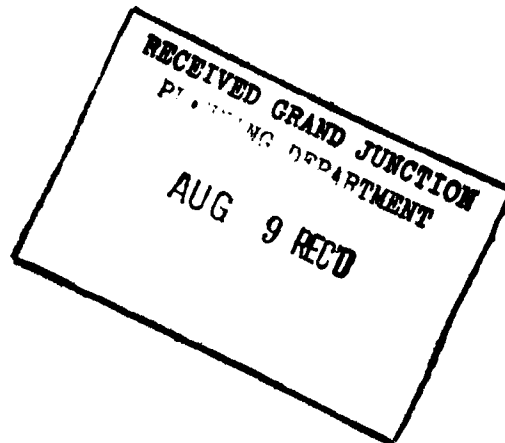
I am writing to you regarding the planned development at the corner of 12th Street and Bookcliff, in the South East corner. It is proposed that 180 dormitories would go in this area. Unfortunately, there will only be parking spaces for roughly half of those, or 90. I am very concerned about the impact that it would have on our medical complex at 1212 Bookcliff. I think that the parking space allotted is very underestimated and do not think that is appropriate, or reasonable, in light of the number of dormitories that will be in place. The students may attempt to park in our medical complex, which is limited at best. As you know, we have no municipal transit system and 12th Street is a major corridor. There are also emergency vehicles which could be traveling to Community Hospital. I, therefore, wanted to write to you and express my concerns.

Sincerely,



Richard C. Huffaker, D.O.  
Mesa Otolaryngology

RCH/kdm



1-25-96

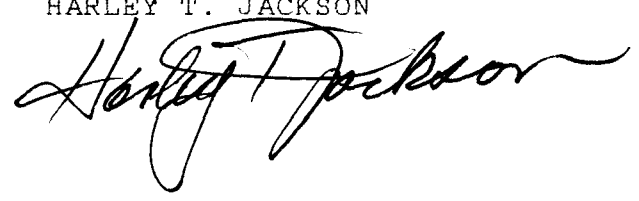
FROM;  
HTJ CO.  
455 WILDWOOD DR.  
GRD JCT, CO. 81503

TO;  
GRAND JUNCTION COMMUNITY DEVELOPMENT DEPT.  
CITY OF GRAND JUNCTION  
250 N. 5TH STREET  
GRAND JUNCTION, CO., 81501

PLEASE BE ADVISED THAT WE WOULD LIKE TO BE ON THE NEXT  
PLANNING COMMISSION AGENDA FEB 6 1996 FOR THE PURPOSE OF  
APPROVING THE SITE PLAN AND PARKING FOR THE PROPOSED  
CONCORD STATION STUDENT DORM LOCATED AT 12TH AND BOOKCLIFF  
AVE.

SINCERELY.

HARLEY T. JACKSON

A handwritten signature in black ink, appearing to read "Harley T. Jackson". The signature is written in a cursive, flowing style with a large initial "H" and "J".



TO: Mark Achen  
FROM: Ray Kieft   
DATE: January 30, 1996  
SUBJECT: Student Housing

Per your request, please see the attached.

cc: Sherri Pe'a w/attachment  
Janeen Kammerer w/attachment

**MESA STATE COLLEGE**  
**Preferences in Student Housing**

*Rec'd 2/1/96  
from NSC President  
Ray Kieft*

1. Kitchen or kitchenette in each unit. At a minimum, an oven, two burner stove, refrigerator/freezer, sink with disposal, and cabinets/drawers for utensils and food stuffs.
2. Unit soundproofed at least to a level that a stereo can be played in one unit at a reasonable volume without disturbing the neighbors.
3. Each unit has control over heat and air conditioning rather than one setting for the entire facility.
4. Adequate lighting. One central light is not sufficient. A light by each student's study area, over the kitchen area, and over the sinks in the bathroom. In addition to artificial lighting, natural light from at least one window that opens is preferred.
5. Two phone jacks in each room PER RESIDENT (one for telephone, one for computer). Plenty of electrical outlets, especially in kitchen and bathroom. (Two women sharing one outlet in the bathroom is insufficient).
6. One closet per resident.
7. Carpeting for the living and bedroom areas. Tile or linoleum for the kitchen and bathroom.
8. If the units are to be furnished. Eight foot beds rather than six foot. A dresser, closet, desk, chair, and waste basket for each resident.
9. Hot tub or jacuzzi on each end of each floor.
10. Outdoor recreation area for sand volleyball with several picnic tables and grills.

February 8, 1996



City of Grand Junction, Colorado  
81501-2668  
250 North Fifth Street

Mr. Larry Timm, Director  
Community Development Department  
250 North 5th Street  
Grand Junction, CO 81501

Dear Mr. Timm,

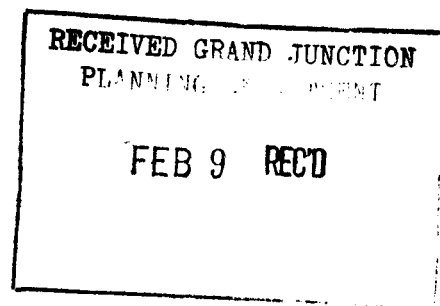
As a City Council member, and per section 2-2-2.C.4 of the Grand Junction Zoning and Development Code, I am requesting that item SPR-95-113, Site Plan Review for Concord Station, be forwarded to City Council for its review. I understand that this request was denied by the Planning Commission at its February 6, 1996 hearing and would like for City Council to be given the opportunity to review the proposal.

Sincerely,

A handwritten signature in cursive script that reads "R T Mantlo".

R.T. Mantlo  
Councilman at Large

RTM/mgr





Report submitted at  
2/21 CC Hearing



129 South San Fernando Boulevard, Burbank, CA 91502 • TELE: (818) 842-2020 Fax: (818) 842-1419

February 14, 1996

FEB 22 1996

Mr. Harley T. Jackson  
Heritage Senior Homes  
2835 South Patterson  
Grand Junction, Colorado 81506

**SUBJECT: PROPOSED STUDENT DORM  
PARKING VARIANCE**

Dear Mr. Jackson:

I have completed my investigation of the parking at Mesa State College as we discussed on Monday, February 12, 1996. Hopefully the following information will be of assistance when you request a change in the parking for the above referenced project. If I can be of future assistance please call me at (970) 257-0158.

Very truly yours,

A handwritten signature in cursive script that reads "George J. Domet".

George J. Domet  
President

GJD/va

## REPORT



### GENERAL:

The Community Planning Department has no definition of automobile size standards that would separate "compact" cars from "standard" cars. Current parking regulations require one (1) handicap space for every twenty-five (25) parking spaces in a multi-residential development, and no compact car parking spaces are allowed. I have been advised a revised parking code is currently under review that will allow 20% of the parking spaces to be smaller and dedicated to compact/sub-compact cars. It is the general feeling that this revision will be approved.

The best way to receive approval to increase the number of compact car parking spaces is to show evidence that the existing code imposes a hardship to the project. The next best way is to show justification that an increase in compact car parking spaces will not have a negative impact to the public. I believe the following report does this.

### THE SURVEY:

Our objective is to present information to the Community Planning Department that will clearly show justification for increasing the number of compact car parking spaces to 50%. To do this I performed a visual survey of the cars parked on the Mesa State College Campus. Since the school does not keep records of the types of cars parked on campus this survey was necessary to compile the information needed to present an accurate profile of the types of vehicles most driven by the general student body.

Four (4) separate surveys were performed at various times over a two (2) day period. Parking lots "A" through "F" were walked, vehicles were counted and categorized by two types; compact and standard. The criteria for detrainning the classification is as follows:

- Compact Cars: Overall length less than 15';  
Overall width less than 5'-8"
- Standard Cars: Overall length 15' or greater;  
Overall width 5'-8" or greater



**THE SURVEY:** (CONTINUED)

The dimensions stated above conform to the latest issue of the Architectural Graphic Standards as compiled by the American Institute of Architects, and is generally adapted as a standard of acceptance for the industry. A copy of the specific sheet is attached for your convenience.

**FINDINGS:**

Using the guidelines stated above my investigation revealed that of the more than 427 vehicles counted during each investigation compact cars represent an average of 59.7% of the vehicles while standard size vehicles, which include pick-up trucks, Jeeps and vans, represent only 39.3%.

**CONCLUSION:**

The proposed project site is some three blocks North of the campus. Given this close proximity to the campus it is reasonable to assume some students will walk to campus, ride a bike, or even share a ride with other students. It is also reasonable to assume a vacancy factor to the residence of between 5% and 10%. Considering this plus the actual vehicle count performed it is reasonable to request an amendment to the parking allocations as follows:

- 4 Spaces dedicated to handicap
- 44 Spaces dedicated to standard cars
- 48 Spaces dedicated to compact cars

If this proposal is accepted by the Planning Commission it may be possible to increase the overall number of residences.

**END OF REPORT**

**NOTE**

Each design vehicle in Groups I, II, III, IV, and V represents a composite of the critical dimensions of the real vehicles within each group below. Parking lot dimensions on the parking lot development page are based on these groups and dimensions. For parking purposes, both compact and midsize vehicles are in Group II. Turning dimensions R, R1, and C are shown on the private roads page.

**DESIGN VEHICLE**

GROUP I	SUBCOMPACTS	
L	Length	11'-7" to 14'-8"
W	Width	5'-1" to 5'-8"
H	Height	4'-2" to 4'-7"
WB	Wheelbase	7'-1" to 8'-7"
OF	Overhang front	2'-6"
OR	Overhang rear	3'-9"
OS	Overhang sides	0'-7"

GW Gross Weight 1620# to 3180#

GROUP II	COMPACTS	
L	Length	13'-10" to 15'-4"
W	Width	5'-6" to 5'-8"
H	Height	4'-4" to 4'-8"
WB	Wheelbase	8'-1" to 8'-9"
OF	Overhang front	2'-8"
OR	Overhang rear	4'-3"
OS	Overhang sides	0'-8"

GW Gross Weight 2300# to 3100#

GROUP III	MIDSIZE	
L	Length	15'-0" to 18'-8"
W	Width	5'-7" to 6'-0"
H	Height	4'-2" to 4'-9"
WB	Wheelbase	8'-4" to 9'-5"
OF	Overhang front	2'-10"
OR	Overhang rear	4'-4"
OS	Overhang sides	0'-9"

GW Gross Weight 2740# to 4000#

GROUP IV	LARGE CARS	
L	Length	15'-2" to 18'-5"
W	Width	5'-8" to 6'-8"
H	Height	4'-7" to 5'-0"
WB	Wheelbase	8'-9" to 10'-1"
OF	Overhang front	2'-11"
OR	Overhang rear	4'-5"
OS	Overhang sides	0'-9"

GW Gross Weight 3200# to 5300#

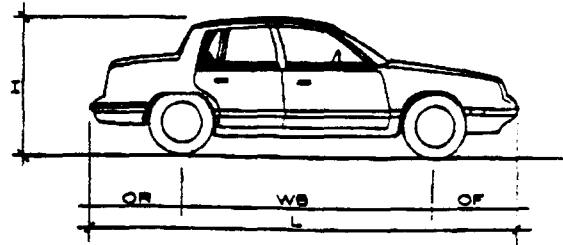
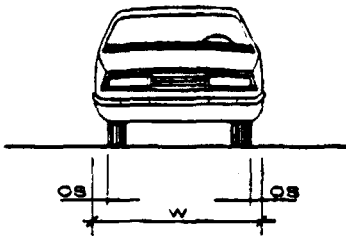
GROUP V	LARGE PICK-UP	
L	Length	15'-10" to 20'-2"
W	Width	6'-5" to 6'-9"
H	Height	5'-9" to 6'-4"
WB	Wheelbase	9'-7" to 14'-0"
OF	Overhang front	2'-10"
OR	Overhang rear	4'-4"
OS	Overhang sides	0'-9"

GW Gross Weight 3600# to 3700#

**LARGE VEHICLE DIMENSIONS\***

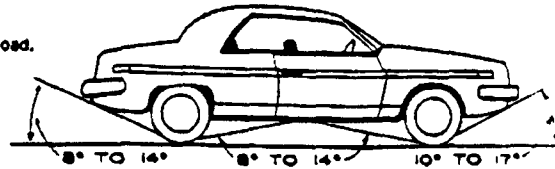
VEHICLE	(L) LENGTH	(W) WIDTH	(H) HEIGHT	(OR) OVERHANG REAR
Intercity bus	45'-0"	9'-0"	9'-0"	10'-1"
City bus	40'-0"	8'-8"	8'-8"	8'-0"
School bus	39'-6"	8'-0"	8'-6"	12'-8"
Ambulance	20'-10"	6'-11"	10'-0"	5'-4"
Paramedic van	21'-6"	8'-0"	6'-6"	4'-0"
Hearse	19'-8"	6'-8"	9'-3"	5'-4"
Airport limousine	22'-5 1/2"	6'-4"	5'-0"	3'-11"
Trash truck	28'-2"	8'-0"	11'-0"	6'-0"
U.P.S. truck	26'-3"	7'-11"	10'-8"	8'-5"
Fire truck	32'-0"	8'-0"	9'-8"	10'-0"

\*Many sizes of large vehicles may vary.



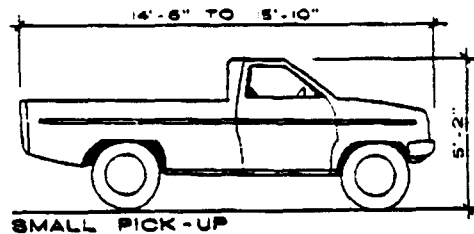
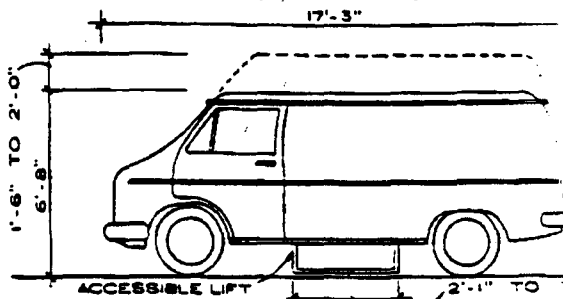
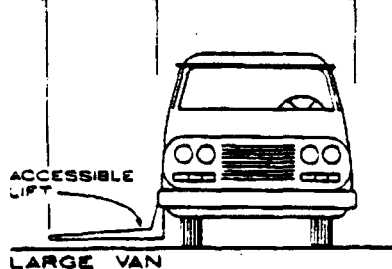
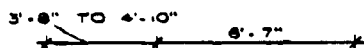
**NOTE**

Angles shown below may vary depending on speed, load, tire pressure, and condition of shock absorbers.

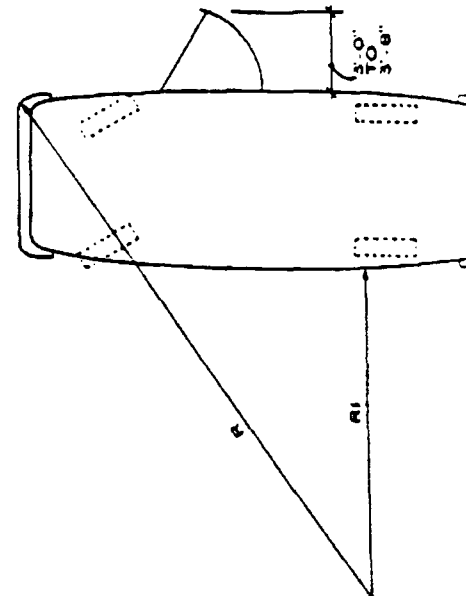


**NOTE**

Composite vehicle is shown with maximum wheel front overhang, and rear overhang.



SMALL PICK-UP

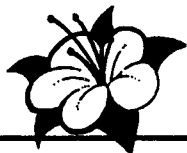


**NOTE**

For dimensions R and R1 see page on private roads. Accessible parking areas typically require 20 ft x 11 ft.

For further parking information, see pages on parking development and parking garages.

See local codes and standards for parking requirements, size, and quantity of parking spaces and number of spaces.

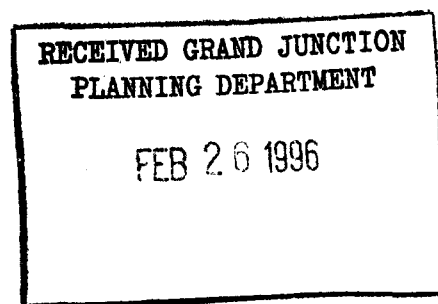


# C O L U M B I N E

## A N I M A L H O S P I T A L

February 23, 1996

Mr. Larry Timm  
Director  
Community Planning and Development  
250 N. 5th Street  
Grand Junction, Colorado 81501



Dear Larry:

As I mentioned on the phone to you the other day, although we were disappointed that the Council chose to relax parking and landscaping standards and approved the dormitory project at 12th and Bookcliff, this letter is only intended to make the following comments a clear statement for the record.

1) Having witnessed a number of accidents at the corner of Bookcliff and 12th, it is our view that a traffic study should have been conducted, prior to allowing this project to move forward. We believe the absence of public transportation and a bike path will necessitate students either ride a bike, drive or find a ride to the school during inclement weather. Mr. Cooper suggested it will be necessary for students to walk to class, whether they want to walk or not. Perhaps. However, in visiting college campuses, we have seen that distances create the desire for bikes or roller blades. As Mesa State expands to the west, even greater distances will be created to commute.

Will our City be at risk of liability, should a student be injured at this corner, since there exist no public transportation or bike paths? This is a rhetorical question, which we do pretend to be able to answer, but it's one which we hope the City has considered.

2) The long discussions pertaining to parking are a matter of public record. It is our belief that the study produced by Mr. Cooper is simply an indication of potential parking need. As such, time will show its accuracy. If inaccurate, a permanent parking dilemma has been created, to the detriment of the property owners in the neighborhood. This "best guess" as to parking constitutes an excessive risk to the adjacent property owners. Retrofitting parking lots with signs and threats seems to be a "we'll leave it to the property owners to fix, if there's a problem later" solution.

3) A comparison was made between multi housing apartments and this dormitory. This comparison as to parking needs and traffic flow is specious. Apartment dwellers do not all leave for work towards the same locale. (Traffic patterns are different) And in order to market the apartments, developers are realistic that sufficient parking must be created. If parking spaces, say with an advance stipulation of two per unit, cannot be created, the project is not done. (Marketability of apartments and dormitories is different. The developer of a dormitory is looking toward a captive market, who must make do with whatever parking is created.) Secondly, college students, especially if they are from out of town, are notoriously social. Since this dormitory is off campus, will visitation of other students create an even greater parking need? We would not have proffered up argument against apartments.

Donald W. Anderson, D.V.M.

1165 Bookcliff Ave. • Grand Junction, Colorado 81501 • (303) 241-6777

Mr. Larry Timm  
Director Community Planning and Director  
February 22, 1996

4) Since it appears this dormitory will be privately owned and operated, there is no governmental protection for its inhabitants. Such governmental protection extends to having the capacity to control behavior, by expelling substance abusive students. Unless Mr. Jackson works out some contract with the College, will he have the same leverage over student behavior as does the College? Our front range colleges are having to really focus on binge drinking in the dormitories. Mr. Dan Wilson indicated the City has no jurisdiction in this area. We understand that. Will the parents of a student understand the lack of governmental control and protection? Again, we do not have the answer, but let's hope a private dormitory developer does. A tragic (tragic for the parents and tragic for Mesa State) example of this situation is the current wrongful death suit against Mesa State College.

The social nature of young college students, for many the first time away from home, means there will be parties. This is a fact, not a speculation. It's our intention to take the high road and believe that such parties will not mean destruction to any adjacent properties.

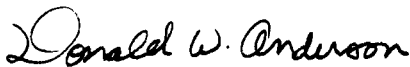
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Finally, while realizing that the property was zoned properly for multi family 23 years ago, and that a property owner has the law on his side as far as developing this property, we'd suggest that Council take the following to their retreat: "Does the current protection of property owners for development totally override the desire of existing development to safeguard their investments, made over the years?" This question stretches the paradigm.

Larry, as you stated, this project will be an interesting one to watch. We're reminded of the Chinese curse, "May you live in interesting times!" For all of us now, including Mr. Harley Jackson, who with 182 - 18/19 year olds\*, may have just bitten off the biggest, "most interesting" project of his life, let us look positively to the idea that the appropriate decisions pertaining to this property development have been made.

Our compliments again to Michael Drollinger for his steering of this project. Our compliments to his courtesy and professionalism.

Sincerely,



Donald W. Anderson



Jil I. Anderson

CC: Mr. Mark Achen, City Manager  
Mr. Ron Maupin Mayor  
Ms. Janet Terry  
Mr. David Graham

\*Only parents of teenagers will understand our comment and know that, although teenagers are precious, loveable, etc, they are in a testing period.

DRAFT

March 4, 1996

Harley Jackson  
455 Wildwood Drive  
Grand Junction CO 81503

RE: Concord Station - Our File #SPR-95-113

Dear Mr. Jackson:

This letter is issued in conjunction with the approved plans for the above project. The latest plans for Concord Station dated February 28, 1996 contain the following modifications:

1. Ninety off-street parking spaces have been provided,
2. The number of compact spaces has been increased to 46, or 51% of the total spaces,
3. Landscaping islands in the interior of the parking lot have been removed to provide for additional parking.

The above modifications are in compliance with the City Council approval for this project.

If you have any questions or require further explanation of any items please do not hesitate to contact me.

Sincerely yours,

Michael T. Drollinger  
Senior Planner

cc: Mark Achen, City Manager  
Tom Cronk, Cronk Construction  
File #SPR-95-113

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