

Table of Contents

File FP-1996-160

Name: Wilson Ranch Townhomes – Final Plan – I-70 / 25 ¾ Rd.

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
---------------------------------	---------------------------------	--

X	X	Table of Contents
		*Review Sheet Summary
X	X	*Application form
X		Review Sheets
		Receipts for fees paid for anything
X	X	*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
X		Reduction of assessor's map.
		Evidence of title, deeds, easements
X	X	*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
		Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
X	X	*Petitioner's response to comments
X	X	*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

		Withdrawn	X	Historical Agreement – 7/30/92 – copy - not recorded
X	X	File Close-out Summary	X	Treasurer's Certificate of Taxes Due – 6/26/96
X	X	Geotechnical Report – 2/28/81	X	By-Laws – draft
X	X	Final Drainage Report – 5/15/96	X	Exhibit B – not signed
X	X	Planning Commission – Notice of Public Hearing - **		
X	X	Posting of Public Notice Signs – 7/26/96		
X		Specific Performance Contract 3/7/80 and addendum		
X		Planning Commission Minutes – Historical - 2/10/93, 6/1/93, Current – 9/3/96, 9/18/96, 10/16/96- **		
X		Correspondence		
		Appeal of Planning Commission Approval – 11/5/96		
X	X	8.5 X 11 Maps scanned – no final maps – Project Withdrawn		
X		Commitment for Title Ins. – Chicago Title Ins. Co. – no date		

Richard E. Butterbaugh - President
Judy Bridge - Secretary-Treasurer
Phillip B. Bertrand - Superintendent

Telephone 242-2762
FAX 242-2770

Owms and Operates
THE GRAND VALLEY CANAL

THE GRAND VALLEY IRRIGATION COMPANY

688 - 26 Road
GRAND JUNCTION, COLORADO
81506

June 13, 1995

RE: Wilson Ranch Subdivision

To Whom It May Concern:

I have been in discussion with Dan Garrison about the future completion of the Wilson Ranch development.

Mr. Garrison and I have discussed canal rights-of-way, sewer crossings, headgate installations and surface water discharge away from the canal to Leach Creek and even surface discharge back into the canal.

I feel all these concerns can be handled correctly for the mutual benefit of all, either through engineered site design and changes or through special signed headgate agreements or discharge agreements. I believe it is all workable.

If you have any further questions or concerns please call me.

Sincerely,



Phil Bertrand
Superintendent



DEVELOPMENT APPLICATION

Community Development Department
 250 North 5th Street, Grand Junction, CO 81501
 (303) 244-1430

Receipt _____

Date _____

Rec'd By _____

File No. _____

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input checked="" type="checkbox"/> Subdivision Plat/Plan	<input type="checkbox"/> Minor <input checked="" type="checkbox"/> Major <input type="checkbox"/> Resub	7A	G.S. & WILSON DRIVE	PR 4.4 ODP	RESIDENTIAL vacant
<input type="checkbox"/> Rezone				From: To:	
<input checked="" type="checkbox"/> Planned Development	<input checked="" type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final				
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Variance					
<input type="checkbox"/> Special Use					
<input checked="" type="checkbox"/> Vacation			G 1/2 Road with proposed site		<input checked="" type="checkbox"/> Right-of Way <input type="checkbox"/> Easement
<input type="checkbox"/> Revocable Permit					

PROPERTY OWNER

DEVELOPER

REPRESENTATIVE

GNT DEVELOPMENT CORP SAME DAN GARRISON

Name Name Name

Box 308 SAME SAME

Address Address Address

GRAND JCT, CO SAME SAME

City/State/Zip City/State/Zip City/State/Zip

970-243-5902 SAME SAME

Business Phone No. Business Phone No. Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Signature of Person Completing Application Date

Dan Garrison 6-26-96

Signature of Property Owner(s) - attach additional sheets if necessary Date

2701-341-00-009 C W GARNER C E 761 25 3/4 RD GRAND JUNCTION, CO 81505-9507	2701-341-00-016 THOMAS E MILLER L A PO BOX 177 EVANSTON, WY 82931-0177	2701-341-00-018 MARION B LAMM 2587 G 1/2 RD GRAND JUNCTION, CO 81505-9544
2701-341-00-087 GLADYS EARNEST TRUSTEE 2855 APPLEWOOD ST GRAND JUNCTION, CO 81506	2701-341-00-119 EDWARD H SETTLE BETTY C C/O W R & A SETTLE 755 26 RD GRAND JUNCTION, CO 81506-1432	2701-341-00-120 EDWARD H SETTLE BETTY C 755 26 RD GRAND JUNCTION, CO 81506-1432
2701-341-00-142 MARION B LAMM 2587 G 1/2 RD GRAND JUNCTION, CO 81505-9544	2701-341-00-148 JOSEPH J KERNS BARBARA J 771 25 3/4 RD GRAND JUNCTION, CO 81505-9507	2701-341-00-151 DENNIS L KIEFER KAREN L 2552 I-70 FRONTAGE RD GRAND JUNCTION, CO 81505-9509
2701-342-00-152 ROBERT D PEACH MARJORIE J 2538 I RD # 70 GRAND JUNCTION, CO 81505-9531	2701-342-00-152 ROBERT D PEACH MARJORIE J 2538 I RD # 70 GRAND JUNCTION, CO 81505-9531	2701-344-00-020 MARION B LAMM 2587 G 1/2 RD GRAND JUNCTION, CO 81505-9544
2701-344-00-034 JAMES R ROLAND JO ANNE 2551 G 1/2 RD GRAND JUNCTION, CO 81505-9544	2701-344-03-006 BETH ANN BUESCHER 747 WILSON CT GRAND JUNCTION, CO 81505-9516	2701-344-03-007 RAYMOND H LEECH KATHERINE A 746 WILSON CT GRAND JUNCTION, CO 81505-9516
2701-344-03-008 JOHN D KELLEY BRENDA S KELLEY 744 WILSON CT GRAND JUNCTION, CO 81505-9516	2701-344-03-013 GEORGE D GROMKE JOANNE VIRGILIO 2558 G 3/8 RD GRAND JUNCTION, CO 81505-9518	2701-344-03-016 STEPHEN J WHITEHURST ANNA M 749 WILSON DR GRAND JUNCTION, CO 81505-9554
2701-344-03-017 MICHAEL A HENDERSON 747 WILSON DR GRAND JUNCTION, CO 81505-9554	2701-344-05-001 ELSA M L DAUGHERTY 750 WILSON DR GRAND JUNCTION, CO 81505-9549	2701-344-18-001 TIMOTHY B WORTH SHERRY K WORTH 2563 RANCH RD GRAND JUNCTION, CO 81505
2701-344-18-002 BRIAN T KEHOE LILLIAN KEHOE 2565 RANCH CT GRAND JUNCTION, CO 81505-9573	2701-344-18-003 TOUCHSTONE CONSTRUCTION INC PO BOX 3957 GRAND JUNCTION, CO 81502-3957	2701-344-19-001 STEVEN K BERG SUSAN M BERG 865 ASTER CT NEW CASTLE, CO 81647
2701-344-19-002 ELMER SCHNEIDER GINGER A SCHNEIDER 2564 RANCH RD GRAND JUNCTION, CO 81505	2701-344-19-003 JAMES STANLEY SEYBOLD LISA MARIE SEYBOLD 516 CHULUOTA AVE GRAND JUNCTION, CO 81505-1663	2701-344-20-001 DONNA L GARWOOD LARRY GARWOOD 2577 RANCH RD GRAND JUNCTION, CO 81505-9564
2701-344-20-002 RAYMOND M SEGURA PEGGY J SEGURA 2575 RANCH CT GRAND JUNCTION, CO 81505	2701-344-20-003 THOMAS E BENSON 2573 RANCH CT GRAND JUNCTION, CO 81505	2701-344-20-004 JUST COMPANIES INC P 1716 N 18TH ST GRAND JUNCTION, CO 81501

2701-344-07-001
DENNIS L SCHAEFERS
AMY L SCHAEFERS
2558 RANCH RD
GRAND JUNCTION, CO 81505-9564

2701-344-19-004
GNT DEVELOPMENT CORP
PO BOX 308
GRAND JUNCTION, CO 81502-0308

2701-344-19-005
TRACY MUNDY
2522 G 3/8 RD
GRAND JUNCTION, CO 81505

~~2701-344-19-006
GNT DEVELOPMENT CORP
PO BOX 308
GRAND JUNCTION, CO 81502-0308~~

2701-344-19-007
ROE CONSTRUCTION INC
405 RIDGEWAY DR
GRAND JUNCTION, CO 81503

Nichols Associates, Inc.
751 Horizon Ct.
Grand Junction, CO 81506

City of Grand Junction
Community Development Dept.
250 N 5th Street
Grand Junction, CO 81501

Ronald & Betty Martino
742 Wilson Ct.
Grand Junction, CO 81505

Wendy McBride
739 Wilson Ct.
Grand Junction, CO 81505

Kelli Wilder
2553 G 3/8 Road
Grand Junction, CO 81505

Brigitte Cunningham
735 Corral Ct.
Grand Junction, CO 81505

Andrea Dow
734 Corral Ct.
Grand Junction, CO 81505

Donna & Larry Garwood
2577 Ranch Ct.
Grand Junction, CO 81505

Paul Peterson
2554 S Corral Dr.
Grand Junction, CO 81505

Lori Mead
733 Ranch Rd.
Grand Junction, CO 81505

Denise Hocter
727 Corral Dr.
Grand Junction, CO 81505

Ronald & Patricia Hall
2558 S Corral Dr.
Grand Junction, CO 81505

Greta Daugherty
750 Wilson Dr.
Grand Junction, CO 81505

Joseph Subialka
2551 G 3/8 Road
Grand Junction, CO 81505

Frank Lamm
2587 G 1/2 Road
Grand Junction, CO 81505

Karl Guderian
2562 S Corral Dr.
Grand Junction, CO 81505

Tim & Sherry Worth
2563 Ranch Road
Grand Junction, CO 81505

Pattie & Kevin Wilson
2562 Corral Dr.
Grand Junction, CO 81505

Jack & Valerie Robison
2555 G 3/8 Road
Grand Junction, CO 81505

Greg Cranston
308 Willowbrook
Grand Junction, CO 81506

Kelly Gaud
2527 G 1/2 Road
Grand Junction, CO 81505

Zane MacMahon
2533 G 1/2 Road
Grand Junction, CO 81505

Tony Cooper
2511 G 1/2 Road
Grand Junction, CO 81505

Jo Holcum
2554 Corral Dr.
Grand Junction, CO 81505

Lyle Stout
738 Corral Dr.
Grand Junction, CO 81505

VALUING LIST (2 Pgs) of
• PERSONS WHO WERE AT MEETING
• PERSONS WHO SENT LETTERS
• SIGNERS OF PETITION

Thomas & Claudia Lanum
2563 South Corral Dr.
Grand Junction, CO 81505

Jeannette & Jim Finlayson
736 Corral Dr.
Grand Junction, CO 81505

Ned & Cathy Pollert
741 Wilson Ct.
Grand Junction, CO 81505

Mike & Tracy Hettinger
2553 S Corral Dr.
Grand Junction, CO 81505

Sarah Shepherd
2561 S Corral Dr.
Grand Junction, CO 81505

James & Lisa Seybold
2566 Ranch Rd.
Grand Junction, CO 81505

Tim & Sherry Wortz
2563 Ranch Rd.
Grand Junction, CO 81505

Stephen & Anna Whitehurst
749 Wilson Dr.
Grand Junction, CO 81505

Jack & Sandra Edwards
737 Ranch Rd.
Grand Junction, CO 81505

Sue & Rick Schneider
729 Corral Dr.
Grand Junction, CO 81505

Julie Hartshorn
2565 S Corral Dr.
Grand Junction, CO 81505

Linda & John Harrison
737 Corral Dr.
Grand Junction, CO 81505

Joel Barbee
742 Wilson Ct.
Grand Junction, CO 81505

Dora & Kurt Holmes
2559 S Corral Dr.
Grand Junction, CO 81505

Karl & Holly Guderian
2562 S Corral Dr.
Grand Junction, CO 81505

Susan & Steven Berg
2562 Ranch Rd.
Grand Junction, CO 81505

Eileen & Patrick Duncan
2569 S Corral Dr.
Grand Junction, CO 81505

Ginger & Elmer Schneider
2564 Ranch Rd.
Grand Junction, CO 81505

Dan & Bonnie Kirkpatrick
2564 Corral Dr.
Grand Junction, CO 81505

A.H. & Eleanor Knapp
2551 S Corral Dr.
Grand Junction, CO 81505

Debra & Ken McKenzie
725 Corral Dr.
Grand Junction, CO 81505

Leslie Arroyo
741 Corral Dr.
Grand Junction, CO 81505

Chris & Leslie Oberbroeckling
2557 S Corral Dr.
Grand Junction, CO 81505

Scott & Bart Smith
2560 S Corral Dr.
Grand Junction, CO 81505

Leslie & Joe Skerl
2574 Ranch Ct.
Grand Junction, CO 81505

Jeffrey Totzke
2562 Ranch Rd.
Grand Junction, CO 81505

Brian Kehoe
2565 Ranch Rd.
Grand Junction, CO 81505

Dennis & Amy Schaefer
2558 Ranch Rd.
Grand Junction, CO 81505

Kevin & Pattie Wilson
2562 Corral Dr.
Grand Junction, CO 81505

Raymond & Peggy Segura
2575 Ranch Ct.
Grand Junction, CO 81505

SUBMITTAL CHECKLIST

MAJOR SUBDIVISION: FINAL & Vacation of 6 1/2 Rd

Location: I-70 & 25 3/4 Rd

Project Name: Wilson Ranch, Phase 5

ITEMS		DISTRIBUTION																													
Date Received	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City G.J.P.C. (8 sets)	City Downtown Dev. Auth.	City Police	County Planning	County Building Department	County Surveyor	Walker Field	School Dist. #51	Irrigation District <i>G.V. White</i>	Drainage District <i>Thrus</i>	Water District <i>W.P.</i>	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Colorado Geologic Survey	U.S. Postal Service	Persege WWTF	TCI Cable	City Council (1)	TOTAL REQ'D.
DESCRIPTION																															
● Application Fee <i>\$720 + \$15/acre</i>	VII-1	1																													
● Submittal Checklist*	VII-3	1																													
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Application Form*	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
● Evidence of Title	VII-2	1		1			1																								
○ Appraisal of Raw Land	VII-1	1		1	1																										
● Names and Addresses*	VII-2	1																													
● Legal Description*	VII-2	1		1																											
○ Deeds	VII-1	1		1			1														1	1	1						1		
○ Easements	VII-2	1	1	1	1		1														1	1	1						1		
○ Avigation Easement	VII-1	1		1			1								1																
○ ROW	VII-2	1	1	1	1		1														1	1	1						1		
● Covenants, Conditions & Restrictions	VII-1	1	1				1																								
○ Common Space Agreements	VII-1	1	1				1																								
● County Treasurer's Tax Cert.	VII-1	1																													
● Improvements Agreement/Guarantee*	VII-2	1	1	1			1																								
○ CDOT Access Permit	VII-3	1	1																												
○ 404 Permit	VII-3	1	1																												
○ Floodplain Permit*	VII-4	1	1																												
● General Project Report	X-7	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	2	1	1	1	1	1		
● Composite Plan	IX-10	1	2	1	1																										
● 11"x17" Reduction Composite Plan	IX-10	1				1	1	1	8	1	1	1	1				1	1	1	1	1	1	1	1	1	1	1	1	1		
● Final Plat	IX-15	1	2	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
○ 11"X17" Reduction of Final Plat	IX-15	1							8	1	1	1				1	1	1	1	1	1	1	1					1			
● Cover Sheet	IX-11	1	2																												
● Grading & Stormwater Mgmt Plan	IX-17	1	2															1							1	1			1		
○ Storm Drainage Plan and Profile	IX-30	1	2																1		1	1	1						1		
● Water and Sewer Plan and Profile	IX-34	1	2	1			1													1	1	1	1						1		
● Roadway Plan and Profile	IX-28	1	2															1													
● Road Cross-sections	IX-27	1	2																												
● Detail Sheet	IX-12	1	2																												
● Landscape Plan - <i>Rd Plan's common on map</i>	IX-20	2	1	1					8																						
● Geotechnical Report	X-8	1	1																								1				
○ Phase I & II Environmental Report	X-10.1	1	1																												
● Final Drainage Report	X-5,6	1	2																	1											
○ Stormwater Management Plan	X-14	1	2																	1					1						
○ Sewer System Design Report	X-13	1	2	1																	1										
○ Water System Design Report	X-16	1	2	1																1											
○ Traffic Impact Study	X-15	1	2																						1						
● Site Plan	IX-29	1	2	1	1		1		8																						

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.



Town Homes

Wilson Ranch was zoned as PR 4.4 by Mesa County Commissioners in January 1980. Subsequent approval was given to preliminary plans for 181 total units that would be divided into 105 single family units and 76 multi-family units. The original land parcel zoned was 41.27 acres.

Final plats have been approved for 94 single family homes. All single family detached homes are located south and west of the canal. The approximate 7 acres north the canal was designed for the intended 76 town-homes and condominiums. This area is currently in two tax parcels divided by G1/2 Road.

As the current plan is a deviation from the originally approved 76 units I provided a revised preliminary plan for administrative review. I have incorporated the responses received into this final submittal.

The earlier preliminary plan did not provide an area for canal maintenance. Twenty-five feet from waters edge is required for this purpose. This reduction in area plus design changes from "stacked flats"--condos--has resulted in a density reduction from the planned 76 units to 61. These units are one and two story townhomes varying in size from approximately 1000 square feet to 1400 square feet. Parking is provided by 81 parking places and 38 garages.

All utilities are available to the project. Sewer was brought under the canal with an approved sewer design during March of 1996, Ute water is available in G1/2 Road at the intersection with Wilson Drive. Telephone, electrical and cable TV are available from the existing Wilson Ranch improvements. Irrigation water is available from the Grand Valley Irrigation Company. A new headgate has been

WILSON RANCH ¹ • 25¹/₂ & G¹/₂ Roads

G N T DEVELOPMENT CORP. • Developers of Wilson Ranch and other fine properties
P.O. Box 308 • Grand Junction, CO 81502 • Office: (970) 243-5902

discussed and agreed to by both the developer and canal company. Irrigation will be pressurized.

To accomplish this development it is necessary to realign G1/2 Road to the area immediately south of I-70. A design for G1/2 Road has been reviewed by City Engineering and is included in this submittal. Curb only is provided on the I-70 side and curb, gutter with detached five foot sidewalk are provide on the south.

Curb and sidewalk are separated by a ten foot landscape strip to buffer the development from traffic and highway noise. This new alignment will eliminate the sharp and dangerous curve currently in G1/2 Road.

The present G1/2 right-of-way will be vacated and a new one dedicated to the city. I am requesting that the construction of this 1000 plus feet of new road be in lieu of traffic capacity fees for the project.

The interior road is proposed as "private." This designation was approved in the original preliminary plan and is requested to eliminate problems concerning street set-backs and maintenance difficulties occasioned by on street 90 degree parking. While the design is more narrow than city standards, it will in all other ways be constructed to city standards. It provides curb, gutter and sidewalks throughout. Storm water management and drainage are provided through the street and a conduit emptying into Leach Creek. A pavement maintenance fund is planned designating a portion of purchase price be set aside for this purpose. This will also assist the city by providing this function from non-city revenues and ensuring that in the future it will not be made a city responsibility.

Landscape planned for the development is extensive. We wish a well-designed, green and attractive development. A contract for landscape maintenance is planned.

The development is planned to complement the existing Wilson Ranch development. It is planned for neither the top nor the bottom of the townhouse market. We intend to offer home owning opportunities to those who either have no desire for yard maintenance responsibilities or who have difficulty affording the amenities of large lots, attached garages and larger homes. It is intended to create reasonable price housing at below the cost of single family detached homes in this area. A tight development of attractive units with smaller square footage will make this possible. To maintain the quality of the area we will be using attractive elevations, a variety of materials for exteriors and strong design and color control through a home owner's association and architectural review board.

As a part of the 7 acre site is a small parcel north and east of the re-aligned G1/2 Road. The parcel borders Leach Creek immediately west of Bookcliff Gardens Nursery. The Nursery has expressed interest in acquiring the area for nursery use. I would like this parcel described and platted as a separate lot which I can convey to Bookcliff Gardens. They have offered to exchange landscape materials for this area. The arrangement would be mutually beneficial to all. It will assist the nursery, the developer and will preserve green, open space. Without such an arrangement it will likely remain open but will be a nuisance area, unattractive and serve no useful purpose.

REVIEW COMMENTS

Page 1 of 5

FILE #FP-96-160

TITLE HEADING: Wilson Ranch Townhomes

LOCATION: I-70 & 25 3/4 Road

PETITIONER: GNT Development Corp.

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 308
Grand Junction, CO 81502
243-5902

PETITIONER'S REPRESENTATIVE: Dan Garrison

STAFF REPRESENTATIVE: Bill Nebeker

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS ON OR BEFORE 5:00 P.M., JULY 26, 1996.

CITY COMMUNITY DEVELOPMENT

7/15/96

Bill Nebeker

244-1447

STREET VACATION & REDEDICATION:

1. Street vacation and rededication is the only item that will go to Planning Commission hearing in August. Please submit a full-sized assessors map of this area for the Planning Commission hearing. No other comments.

FINAL PLAT:

2. Private drives shall be designated as Tract D and dedicated to owners of lots and tracts in the subdivision. A note shall be placed on the plat stating that the private drives shall be maintained by the Wilson Ranch Townhomes Homeowner's Association. Change figures in area summary accordingly.
3. What is the purpose/use of Tract A?
4. Is the Grand Valley Irrigation Canal Easement existing or is it being dedicated on this plat? If being dedicated on this plat, place appropriate wording in dedication; if existing, reference recording information and label as existing.
5. Add Filing #1 to name of plat.

CONSTRUCTION PHASING

6. Phase II should include a temporary cul-de-sac within the boundaries of Phase II.

SITE PLAN:

7. Site Plan does not meet SSID specifications. Without more detail this plan cannot be approved. Comments and conditions on other plans may change after submittal of a site plan with sufficient detail to review.

LANDSCAPE PLAN:

8. Plan states that, "size and plantings will comply with City of Grand Junction Zoning and Development Code 5-4-15." Does that mean that even the small trees will be at least 1.5 inches in caliper and shrubs will be at least 5 gallon size?
9. Generally the landscape plan appears to be acceptable. The final plan shall be subject to review and approval before installation.

NOTE: It would be really helpful if your maps were folded consistently - the way QED folds the plat maps is preferable.

CITY DEVELOPMENT ENGINEER

7/17/96

Jody Kliska

244-1591

1. Please use appropriate tapers at the beginning and ending of G ½ Road construction to tie into the existing pavement. See page 31 of TEDS for chart of tapers based on speed limit. If speed limit is not posted on G ½ Road, use 35 mph.
2. Please provide a geotechnical report for the pavement design. The section shown on the plans is the minimum requirement for city streets. Because of the proximity to the canal, an analysis may show the need for additional structural support.
3. City policy on drainage requires payment of a fee for undetained discharge into Leach Creek. Discharge into the canal above the historic rate requires a discharge agreement with the canal company.
4. A striping plan for the new G ½ Road is required, as well as including an item in the improvements agreement for striping.

CITY UTILITY ENGINEER

7/16/96

Trent Prall

244-1590

1. Sewer stub out to east not required as noted on PP-96-130 comments. These comments are standard comments that are modified for each project. I apologize for the confusion.
2. IMPROVEMENTS AGREEMENT:
Unless contractor's bids are submitted, please use \$18.00 for item I.3 and \$12.00 for I.4. Similarly II.3 should be increased to \$20.00. II.5. should be \$10.00 rather than \$8.00 for the common water service lines.
3. WATER/SEWER PLANS:
 - a. Please change numerous erroneous arrowheads to proper layers.
 - B. Please reconfigure MHs 7 and 8 so that they are not in parking areas. Should be enough room to place within street section and still maintain 10' separation from water line.
4. LANDSCAPE PLANS:
Ensure that no shrubs encroach with 10' of the sewer MH-4.
5. SEWER STANDARDS:
Shallow manhole detail should be for MHs < 3'-0" rather than 5'-0" as there are 24" high cone sections available.

CITY PROPERTY AGENT

7/17/96

Steve Pace

256-4003

1. The entire property needs to be platted, see attached maps.
2. Portions of the original G ½ Road need to be vacated by City ordinance.
3. Private drive and Grand Valley Irrigation Company easement need to be addressed in the dedication.

4. Lien Hold Certificate (if needed).

CITY FIRE DEPARTMENT

7/9/96

Hank Masterson

244-1414

1. The water line sizes and fire hydrant locations are acceptable as shown.
2. As stated in our comments on the preliminary plan, 13D sprinkler systems are required for all townhomes because of the inadequate water supply. It will be acceptable to the Fire Department to note this requirement on the final plat. A Building Permit Clearance from the Fire Department will be required before a building permit is issued.

CITY POLICE DEPARTMENT

7/15/96

Dave Stassen

244-3587

The response to comments addressed all of my concerns.

MESA COUNTY SCHOOL DISTRICT #51

7/16/96

Lou Grasso

242-8500

SCHOOL - CURRENT ENROLLMENT / CAPACITY - IMPACT

Appleton Elementary - 277 / 250 - 40

West Middle School - 531 / 500 - 20

Grand Junction High School - 1674 / 1630 - 26

U S WEST

7/12/96

Max Ward

244-4721

For timely telephone service, as soon as you have a plat and power drawing for your housing development, please.....

MAIL COPY TO:

U S West Communications

Developer Contact Group

P.O. Box 1720

Denver, CO 80201

AND

CALL THE TOLL-FREE NUMBER FOR:

Developer Contact Group

1-800-526-3557

We need to hear from you at least 60 days prior to trenching.

PUBLIC SERVICE COMPANY

7/10/96

Jon Price

244-2693

No additional requirements.

GRAND VALLEY RURAL POWER

7/8/96

Perry Rupp

242-0040

No comments at this time.

TCI CABLEVISION

7/3/96

Glen Vancil

245-8777

1. We require the developers to provide, at no charge to TCI Cablevision, an open trench for cable service where underground service is needed and when a roadbore is required, that too must be

provided by the developer. The trench and/or roadbore may be the same one used by other utilities so long as there is enough room to accommodate all necessary lines.

2. We require developers to provide, at no charge to TCI Cablevision, fill-in of the trench once cable has been installed in the trench.
3. We require developer to provide, at no charge to TCI Cablevision, a 4" PVC conduit at all utility road crossings where cable TV will be installed. This 4" conduit will be for the sole use of cable TV.
4. Should your subdivision contain cul-de-sacs the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. If this is not done, any need to relocate pedestals or lines will be billed directly back to your company.
5. TCI Cablevision will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to TCI Cablevision in order to extend the cable TV service to that subdivision.
6. TCI will normally not activate cable service in a new subdivision until it is approximately 30% developed. Should you wish cable TV service to be available for the first home in your subdivision it will, in most cases, be necessary to have you provide a construction assist payment to cover the necessary electronics for that subdivision.

LATE COMMENTS

GRAND VALLEY IRRIGATION

7/18/96

Phil Bertrand

242-2762

Please review previous review sheet. Would like better understanding of correct location of the 15" storm drain line to Leach Creek.

UTE WATER

7/18/96

Gary Mathews

242-7491

1. No objections to the water line design as proposed.
2. Water mains shall be c-900, class 150. Installation of pipe fittings, valves and services including testing and disinfection shall be in accordance with Ute Water standard specifications and drawings.
3. Developer is responsible for installing meter pits and yokes. Ute Water will furnish the meter pits and yokes.
4. Construction plans required 48 hours before development begins.
5. Policies and fees in effect at the time of application will apply.

COLORADO GEOLOGICAL SURVEY

8/9/96

James M. Soule

303-866-2611

At your request, we have reviewed the materials submitted for and made a site inspection of the site of the proposed townhome complex indicated above. The following comments summarize our findings.

1. The geology of the site consists of sandy and clayey alluvial soils and fill (probably excavation spoil for the Grand Valley Canal which bounds the south side of the parcel) of unknown thickness. At some depth these materials overlie the Mancos Shale bedrock.

2. From the blow-count data presented in the 1981 Geo-Testing Laboratories, Inc. report, these materials are very poorly compacted and will settle if subjected to relatively heavy or concentrated loads. The bearing capacity of these materials is, in fact, so low that, except for very light structures, excessive settlements of them can be expected if the in place materials are used for structural support. For this reason, we recommend that shallow spread footings, as indicated by the soils and foundation engineer be used, but that the existing surficial materials be replaced by properly compacted structural fills. We concur with his recommendation that structures with basements not be built on this parcel. This is because of its proximity to the Canal which is and will be, the cause of shallow ground-water table in the area.
3. We have no problem with the proposed grading plan and utility and road relocations. Obviously, however, these should be done in conformance with your City engineering department specifications.

If the recommendations made above are followed and made conditions of approval of this proposal, then we have no geology-related objection to it.

TO DATE, NO COMMENTS RECEIVED FROM:

City Parks & Recreation Department
City Attorney
Mesa County Planning
U.S. Post Office

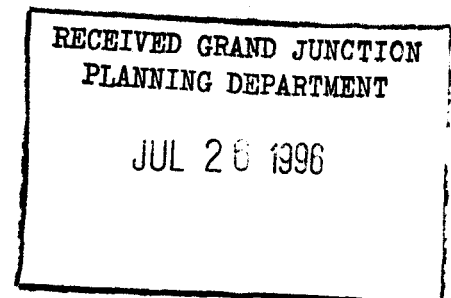


**Wilson Ranch Townhomes
Response to Staff Review Comments
FP-96-160**

Submitted by Nichols Associates, Inc.
for
GNT Development

July 26, 1996

P.O. BOX 60010
751 HORIZON CT
SUITE 102
GRAND JUNCTION
COLORADO 81506
TELEPHONE
970-245-7101
FACSIMILE
970-245-3251



REVIEW & NOTES COPY

**CITY COMMUNITY DEVELOPMENT
Bill Nebeker**

STREET VACATION AND REDEDICATION:

- 1. Street vacation and rededication is the only item that will go to Planning Commission hearing in August. Please submit a full-sized assessors map of this area for the Planning Commission hearing. No other comments.

Acknowledged. A full size assessors map is included with these comments.

FINAL PLAT:

- 2. Private drives shall be designated as Tract D and dedicated to owners of lots and tracts in the subdivision. A note shall be placed on the plat stating that the private drives shall be maintained by the Wilson Ranch Townhomes Homeowner's Association. Change figures in area summary accordingly.

Private drive has been designated as Tract "D" and a has been dedicated to the homeowners on the Final Plat. A note has been added that maintenance will be by the Wilson Ranch Homeowner's Association.

- 3. What is the purpose/use of Tract A?

Tract "A" will contain a headgate, pump station and a power pole.

- 4. Is the Grand Valley Irrigation Canal Easement existing or is it being dedicated on this plat? If being dedicated on this plat, place appropriate wording in dedication; if existing, reference recording information and label as existing.

The canal easement is now described and dedicated on the Final Plat.

- 5. Add Filing #1 to name of plat.

Filing I has been added to the name on the Final Plat.

CONSTRUCTION PHASING:

- 6. Phase II should include a temporary cul-de-sac within the boundaries of Phase II.

Phase II construction includes completion of Stirrup Drive.

SITE PLAN:

- 7. Site Plan does not meet SSID specifications. Without more detail this plan cannot be approved. Comments and conditions on other plans may change after submittal of a site plan with sufficient detail to review.

Site plan has been revised to meet SSID specifications.

LANDSCAPE PLAN:

- 8. Plan states that, "size and plantings will comply with City of Grand Junction Zoning and Development Code 5-4-15." Does that mean that even the small trees will be at least 1.5 inches in caliper and shrubs will be at least 5 gallon size?

All trees and shrubs will comply with 5-4-15. Large and small refer to ultimate height and spread.

ROLL PLANS
COMPLETE SET
CONCRETE STREET

TAPER
SIZES

TREES IN R/W ALONG 6.5

/ DOES PUBLIC WORKS
OBJECT

9. Generally the landscape plan appears to be acceptable. The final plan shall be subject to review and approval before installation.

Agreed.

- CONDITION OF APPROVAL

- BEFORE CONSTRUCTION BEGINS

CITY DEVELOPMENT ENGINEER
Jody Kliska

1. Please use appropriate tapers at the beginning and ending of G 1/2 Road construction to tie into the existing pavement. See page 31 of TEDS for chart of tapers based on speed limit. If speed limit is not posted on G 1/2 Road, use 35 mph.

Road width tapers have been added to the plans. They are designed to meet the posted speed limit of 20 mph.

2. Please provide a geotechnical report for the pavement design. The section shown on the plans is the minimum requirement for city streets. Because of the proximity to the canal, an analysis may show the need for additional structural support.

Per discussions with city personnel this report will be submitted under separate cover.

3. City policy on drainage requires payment of a fee for undetained discharge into Leach Creek. Discharge into the canal above the historic rate requires a discharge agreement with the canal company.

Acknowledged.

4. A striping plan for the new G 1/2 Road is required, as well as including an item in the improvements agreement for striping.

A striping plan has been added to the Roadway Plan. The cost for striping is included in the Improvements Agreement.

CITY UTILITY ENGINEER
Trent Prall

1. Sewer stub out to east not required as noted on PP-96-130 comments. These comments are standard comments that are modified for each project. I apologize for the confusion.

Thank you for clarification on this item.

2. IMPROVEMENTS AGREEMENT:
Unless contractor's bid are submitted, please use \$18.00 for item I.3 and \$12.00 for I.4. Similarly II.3 should be increased to \$20.00. II.5 should be \$10.00 rather than \$8.00 for the common water service lines.

The Improvements Agreement has been revised to reflect these unit costs.

3. WATER/SEWER PLAN:

- ✓ A. Please change numerous erroneous arrowheads to proper layers.

Arrowheads have been changed.

- B. Please reconfigure MHs 7 and 8 so that they are not in parking areas. Should be enough room to place within street section and still maintain 10' separation from water line.

Manhole No. 8 has been moved into the street. Manhole No. 7 is located at the end of a parking space stripe.

4. **LANDSCAPE PLANS:**
Ensure that no shrubs encroach within 10' of the sewer MH-4.

Agreed.

5. **SEWER STANDARDS;**
Shallow manhole detail should be for MHs < 3'-0" rather than 5'-0" as there are 24" high cone sections available.

Manhole details have been revised accordingly.

CITY PROPERTY AGENT
Steve Pace

1. The entire property needs to be platted, see attached maps.
Acknowledged: the entire property is now platted.
2. Portions of the original G 1/2 Road need to be vacated by City ordinance.
Acknowledged.
3. Private drive and Grand Valley Irrigation Company easement need to be addressed in the dedication.
Acknowledged.
4. Lien Hold Certificate (if needed).

Acknowledged, not needed.

CITY FIRE DEPARTMENT
Hank Masterson

1. The water line sizes and fire hydrant locations are acceptable as shown.
Acknowledged.
2. As stated in our comments on the preliminary plan, 13D sprinkler systems are required for all townhomes because of the inadequate water supply. It will be acceptable to the Fire Department to note this requirement on the final plat. A Building Permit Clearance from the Fire Department will be required before a building permit is issued.

Acknowledged.

CITY POLICE DEPARTMENT
Dave Stassen

The response to comments addressed all of my concerns.

MESA COUNTY SCHOOL DISTRICT #51
Lou Grasso

SCHOOL - CURRENT ENROLLMENT/CAPACITY - IMPACT
Appleton Elementary - 277/250 - 40
West Middle School - 531/500 - 20
Grand Junction High School - 1674/1630 - 26

U.S. WEST
Max Ward

For timely telephone service, as soon as you have a plat and power drawing for your housing development, please.....

MAIL COPY TO:
U.S. West Communications
Developer Contact Group
P.O. Box 1720
Denver, CO 80201

AND CALL THE TOLL FREE NUMBER FOR:
Developer Contact Group
1-800-526-3557

We need to hear from you at least 60 days prior to trenching.

Acknowledged.

PUBLIC SERVICE COMPANY
Jon Price

No additional requirements.

UTE WATER
Gary Mathews

1. No objections to the water line design as proposed.
2. Water mains shall be C-900, class 150. Installation of pipe fittings, valves and services including testing and disinfection shall be in accordance with Ute Water standard specifications and drawings.

3. Developer is responsible for installing meter pits and yokes. Ute will furnish pits and yokes.
4. Construction plans required 48 hours before development begins.
5. Policies and fees in effect at the time of application will apply.

All comments acknowledged and /or agreed to.

GRAND VALLEY RURAL POWER
Perry Rupp

No comments at this time.

TCI CABLEVISION
Glen Vancil

1. We require the developers to provide, at no charge to TCI Cablevision, an open trench for cable service where underground service is needed and when a roadbore is required, that too must be provided by the developer. The trench and/or roadbore may be the same one used by other utilities so long as there is room to accommodate all necessary lines.
2. We require developers to provide, at no charge to TCI Cablevision, fill-in of the trench once cable had been installed in the trench.
3. We require developers to provide, at no charge to TCI Cablevision, a 4" PVC conduit at all utility road crossings where cable TV will be installed. This 4" conduit will be for the sole use of cable TV.
4. Should your subdivision contain cul-de-sacs the driveways and property lines (pins) must be clearly marked prior to the installation of underground cable. If this is not done, and need to relocate pedestals or lines will be billed directly back to your company.
5. TCI Cablevision will provide service to your subdivision so long as it is within the normal cable TV service area. Any subdivision that is out of the existing cable TV area may require a construction assist charge, paid by the developer, to TCI Cablevision in order to extend the cable TV service to that subdivision.
6. TCI will normally not activate cable service in a new subdivision until it is approximately 30% developed. Should you wish cable TV service to be available for the first home in your subdivision it will, in most cases, be necessary to have you provide a construction assist payment to cover the necessary electronics for that subdivision.

All comments acknowledged and /or agreed to.

Memorandum

DATE: August 5, 1996
TO: Jody Kliska
FROM: Bill Nebeker
RE: TCP Credit for Wilson Ranch Townhomes

Dan Garrison requested a TCP credit for improvements to G 1/2 Road in his project narrative for Wilson Ranch Townhomes. Although I don't think he should get credit for the entire street since there's one there now, he's adding enough additional improvements, i.e. curb, gutter, sidewalk and street lights, to receive a 100% credit.

Please review the figures below and let me know if this suffices for a 100% credit.

Curb & Gutter (line III-8 Improvements Agreement)		\$11,000
Sidewalk (line III-9)		\$11,000
Street Lights (2) (line III-18)		\$ 2,400
	TOTAL	\$24,400
TCP Requirement	4 - 4 plexes @ \$400/Unit	\$ 6,400
	45 mf units @ \$300/Unit	\$13,500
	TOTAL	\$19,900

To: BILLN (Bill Nebeker)
From: Jody Kliska
Subject: Re: TCP Credit Wilson Ranch Townhomes
Date: 8/5/96 Time: 3:56PM

Originated by: BILLN @ CITYHALL on 8/5/96 2:53PM
Replied by: JODYK @ CITYHALL on 8/5/96 3:56PM

Bil,

Looks like this will work. He obviously exceeds the TCP with just the improvements you listed.

Jody

POSTING OF PUBLIC NOTICE SIGNS

The posting of the Public Notice Sign is to make the public aware of development proposals. The requirement and procedure for public notice sign posting are required by the City of Grand Junction Zoning and Development Code.

To expedite the posting of public notice signs the following procedure list has been prepared to help the petitioner in posting the required signs on their properties.

1. All petitioners/representatives will receive a copy of the Development Review Schedule for the month advising them of the date by which the sign needs to be posted. **IF THE SIGN HAS NOT BEEN PICKED UP AND POSTED BY THE REQUIRED DATE, THE PROJECT WILL NOT BE SCHEDULED FOR THE PUBLIC HEARING.**
2. A deposit of \$50.00 per sign is required at the time the sign is picked up.
3. You must call for utility locates before posting the sign. Mark the location where you wish to place the sign and call 1-800-922-1987. You must allow two (2) full working days after the call is placed for the locates to be performed.
4. Sign(s) shall be posted in a location, position and direction so that:
 - a. It is accessible and readable, and
 - b. It may be easily seen by passing motorists and pedestrians.
5. Sign(s) MUST be posted at least **10 days** before the Planning Commission hearing date and, if applicable, shall stay posted until after the City Council Hearing(s).
6. **After the Public Hearing(s) the sign(s) must be taken down and returned to the Community Development Department within FIVE (5) working days to receive a full refund of the sign deposit.** For each working day thereafter the petitioner will be charged a \$5.00 late fee. After eight working days Community Development Department staff will retrieve the sign and the sign deposit will be forfeited in its' entirety.

The Community Development Department staff will field check the property to ensure proper posting of the sign. If the sign is not posted, or is not in an appropriate place, the item will be pulled from the public hearing agenda.

I have read the above information and agree to its terms and conditions.

W.D. Garrison
SIGNATURE _____ DATE _____

FILE #/NAME FP-96-160 Wilson Ranch TH'S RECEIPT # 4343

PETITIONER/REPRESENTATIVE: W.D. Garrison PHONE # _____

DATE OF HEARING: 8-6-96 POST SIGN(S) BY: 7-26-96

DATE SIGN(S) PICKED-UP 7-25-96 RETURN SIGN(S) BY: ~~8-26-96~~

DATE SIGN(S) RETURNED 10/31/96 RECEIVED BY: SLC

✓ # 40008538



FINAL DRAINAGE REPORT

WILSON RANCH TOWNHOMES
Grand Junction, CO

Prepared for:

GNT Development
Grand Junction, CO

Prepared by: Mike Foutz

May 15, 1996

P.O. BOX 60010
751 HORIZON CT
SUITE 102
GRAND JUNCTION
COLORADO 81506
TELEPHONE
970-245-7101
FACSIMILE
970-245-3251

Certification Sheet

May 15, 1996

Development Staff
City of Grand Junction, Colorado

Ladies and Gentlemen:

I certify that this Final Drainage Report for the Wilson Ranch Townhomes was prepared under my direct supervision.



Terry Nichols
State of Colorado - Number 12093
Registered Professional Engineer

Final Drainage Report

WILSON RANCH TOWNHOMES
Grand Junction, CO

Contents

I. GENERAL LOCATION AND DESCRIPTION	1
A. SITE AND MAJOR BASIN LOCATION	1
B. SITE AND MAJOR BASIN DESCRIPTION	1
II. EXISTING DRAINAGE CONDITIONS	2
A. MAJOR BASIN	2
B. SITE	2
III. PROPOSED DRAINAGE CONDITIONS	3
A. CHANGES IN DRAINAGE PATTERNS	3
B. MAINTENANCE ISSUES	3
IV. DESIGN CRITERIA & APPROACH	4
A. GENERAL CONSIDERATIONS	4
B. HYDROLOGY	4
C. HYDRAULICS	4
V. RESULTS AND CONCLUSIONS	5
A. EXISTING AND PROPOSED RUNOFF RATES	5
B. OVERALL COMPLIANCE	5
VI. REFERENCES	6
VII. APPENDICES	7

I. GENERAL LOCATION AND DESCRIPTION

A. Site and Major Basin Location

Wilson Ranch Townhomes is a proposed development in the East Half of section 43, Township 1 North, Range 1 West, Ute Meridian. The development received preliminary approval by Mesa County in 1982 under the jurisdiction of the county land development process and was later annexed by the City of Grand Junction. The subdivision is approximately three miles north of downtown Grand Junction. The property is west of 26 Road, between Interstate 70 and the Grand Valley Canal and is crossed by G 1/2 Road. Other developments in the vicinity included the Wilson Ranch Subdivision on the south.

Because the Site is bounded by Interstate 70 and the Grand Valley Canal, it is separated from a larger "major basin" and does not have offsite inflow. For the purposes of this report the general area surrounding the site will be considered the major basin.

B. Site and Major Basin Description

The property has a total area of 7.67 acres. Existing vegetation consists of approximately 70% cover of native grasses and forbes. Soils on the property consist of a very deep, well drained group classified as Fruita Clay Loam, hydrologic soil classification B. Well drained soils are prevalent in the general area. Much of the area has been or is under cultivation. Runoff is generally routed to Leach Creek, which passes just east of the property. Leach Creek is approximately 15 feet deep with widths varying from 30 to 50 feet. The banks vary from steep to vertical.

II. EXISTING DRAINAGE CONDITIONS

A. Major Basin

The topography of the general area is a series of rolling hills sloping to the south and southwest. Within the developed portions of the general area, stormwater is diverted to drainage ditches and then typically routed to Leach Creek. Irrigated land north of I-70 drains to collection ditches and returns to the Grand Valley Canal (GVC). Leach Creek's 100 year floodplain is considered to be contained within its banks by the National Flood Insurance Program.

B. Site

Topography of the site is defined by a knoll in the center with the surrounding land sloping away from the knoll. The site is bounded on the north by I-70 and on the south by the GVC. Because of these features the only offsite flow onto the site is an irrigation tailwater collection ditch. This collection ditch crosses the site at its narrowest point approximately 250 feet west of Leach Creek and discharges into the GVC. The site lacks well defined collection and discharge features. The lack of defined drainage pathways allow depression storage and infiltration. There are two areas on the site where runoff ponds until there is enough runoff to overtop the depressions and discharge to the GVC. The majority of the site (approximately 7.2 acres) discharges runoff not captured by depression storage into the Grand Valley Canal (GVC). Approximately .5 acres of the site discharges directly into Leach Creek.

The site lies within areas zoned B and C by the National Flood Insurance Program. Though the Flood Insurance Rate Maps (FIRMS) do not necessarily identify all areas subject to flooding, no local features have been identified to suggest that the FIRM is incorrect.

III. PROPOSED DRAINAGE CONDITIONS

A. Changes in Drainage Patterns

Site development will not effect drainage patterns in the surrounding area. The existing irrigation tailwater discharge will be maintained with an open ditch and a culvert. The flow will continue to discharge to the GVC.

Currently approximately 94% of the site drains into the GVC. After development approximately 35% of the site will continue to drain into the GVC. Drainage from the remainder of the site will be routed to Leach Creek.

B. Maintenance Issues

The drainage system will be located within dedicated easements to insure access to all parts of the system. The system will be comprised of curb and gutter, grass channel, and storm drain pipe. Required maintenance will be minimal. A homeowners association will be formed to accept responsibility for maintenance of the drainage system.

IV. DESIGN CRITERIA AND APPROACH

A. General Considerations

Previous drainage studies in the vicinity include a study of Wilson Ranch Subdivision, Filings One, Two, and Three for the City of Grand Junction. The Wilson Ranch Subdivision discharges all runoff to Leach Creek without detention. Because the Wilson Ranch Townhomes site is isolated by the GVC and I-70, development will have minimal affect on adjacent properties. Discharge to the GVC will be maintained at near historic levels by routing runoff from much of the area into Leach Creek.

B. Hydrology

Design storm durations conform with Table VI-2 of the City of Grand Junction Storm Water Management Manual (SWMM). Rainfall intensity information was obtained from the SWMM without adjustment for basin area. Runoff calculations were performed using the Rational Method:

$$Q = CiA$$

Where:

Q = Runoff Rate, cfs

C = Runoff coefficient

i = Intensity, inches/hour

A = Area in acres

C. Hydraulics

Hydraulics calculations and methods followed those recommended in the SWMM. Mannings Equation was used for pipes and the Modified Mannings Equation was used to determine flows in gutters. Mannings roughness coefficients were selected from the book *Modern Sewer Design* or provided by manufacturers. Headloss coefficient were selected from the book *Hydraulic Engineering*.

V. RESULTS AND CONCLUSIONS

A. Existing and Proposed Runoff Rates (2 and 100 year storm events.)

Runoff Rates				
	2 Year		100 Year	
Discharge Point	Historic	Developed	Historic	Developed
Grand Valley Canal	1.9	2.9	6.1	8.0
Leach Creek	0.1	3.1	0.5	8.6
Total Site	2.0	6.0	6.6	16.6

B. Overall Compliance

The design of the proposed drainage system conforms to the requirements of the Grand Junction Stormwater Management Manual. The methods used to analyze stormwater quantities, rates, and volumes have been used in accordance with the policies in Sections I through V of the SWMM. Criteria for design methods were followed as outlined in Tables I-1, and I-2 of the SWMM.

VI. REFERENCES

United States Department of Agriculture, Soil Conservation Service. Unpublished Soil Survey for Mesa County Colorado.

Colorado Water Conservation Board, Floodplain Information Index.

United States Federal Emergency Management Agency, National Flood Insurance Program, 1992 (July). Flood Insurance Rate Map.

County of Mesa, Colorado, 1992 (April). Mesa County Storm Drainage Criteria Manual

City of Grand Junction, Colorado. 1994 (June). Stormwater Management Manual.

Bras, Rafael L., 1990. Hydrology. Addison-Wesley Publishing Company, Inc., U.S.A.

American Public Works Association, 1981. Special Report No. 49, *Urban Stormwater Management*.

VII. APPENDICES



751 Horizon Court - Suite 102
Grand Junction, Colorado 81506

7-Mar-96

Wilson Ranch Townhomes

CALCULATION OF DISCHARGE DUE TO PROPOSED DEVELOPMENT

After Construction (Area - Intensity - Discharge)

BASIN	AREA		RUNOFF COEF. C2	RUNOFF COEF. C100	REACH	LENGTH ft	SLOPE (S) %	V fps	2Yr	100-Yr	INTENSITY Inches/Hour		DISCHARGE CFS (Q=CiA)	
	SURFACE TYPE	Ac.							TIME	TIME	2Yr	100-Yr	2Yr	100-Yr
									MIN.	MIN.				
A	Landscaped	0.31	0.28	0.33	sheet flow	60	3.0	0.13	7.9	7.4				
	Paved & Roofs	0.10	0.93	0.95	shal/conc.	170	1.0	0.60	4.7	4.7				
	Total/Average	0.41	0.44	0.48					12.6	12.2	1.36	3.54	0.2	0.7
B	Landscaped	1.52	0.28	0.33	sheet flow	90	2.0	0.12	11.1	10.4				
	Paved & Roofs	0.71	0.93	0.95		0	2.0	1.00	0.0	0.0				
	Total/Average	2.23	0.49	0.53					11.1	10.4	1.46	3.8	1.6	4.5
C	Landscaped	0.36	0.28	0.33	sheet flow	60	2.0	0.15	9.1	8.5				
	Paved & Roofs	0.72	0.93	0.95	gutter bar ditch	210 120	1.0 0.8	2.00 1.30	1.8 1.5	1.8 1.5				
	Total/Average	1.08	0.71	0.74					12.4	11.8	1.41	3.54	1.1	2.8
D	Landscaped	1.29	0.28	0.33	sheet flow	200	2.0	0.08	16.6	15.6				
	Paved & Roofs	1.56	0.93	0.95	gutter storm sewer	210 450	0.7 0.5	1.70 4.82	2.1 1.6	2.1 1.6				
	Total/Average	2.85	0.64	0.67					20.2	19.2	1.11	2.91	2.0	5.6
E	Landscaped	0.67	0.28	0.33	paved sheet	40	2.0	2.80	0.2	0.2				
	Paved & Roofs	0.41	0.93	0.95	bar ditch	400	0.8	1.30	5.1	5.1				
	Total/Average	1.08	0.53	0.57					5.4	5.4	1.95	4.95	1.1	3.0
Sub-Total (without offsite):											6.0	16.6		
Off site drainage:											0.0	0.0		
Total Ac./weighted C:		7.65	0.58	0.61				MAX. Tc	20.2	19.2	TOTAL Q:		6.0	16.6

Historic (Area - Intensity - Discharge)															
BASIN	AREA		RUNOFF COEF. C2	RUNOFF COEF. C100	REACH	LENGTH ft	SLOPE (S) %	V fps	2Yr	100-Yr	INTENSITY Inches/Hour		DISCHARGE CFS (Q=CiA)		
	SURFACE TYPE	Ac.							TIME MIN.	TIME MIN.	2-Yr	100-Yr	2Yr	100-Yr	
A	Native grass & scattered trees	1.13	0.25	0.28	Lo Ls	180 250	5.0 1.6	0.07 1.90	12.0	11.6					
									2.2	2.2					
	Total/Average	1.13	0.25	0.28					14.2	13.8	1.32	3.33	0.4	1.1	
B	Native grass & scattered trees	2.8	0.15	0.21	Lo Ls	300 146	2.2 2.2	0.08 1.00	22.8	21.3					
									2.4	2.4					
	Total/Average	2.8	0.15	0.21					25.2	23.8	0.98	2.57	0.4	1.5	
C	Native grass & scattered trees	1.4	0.27	0.33	Lo Ls	100 155	10.0 0.5	0.07 0.70	6.9	6.4					
									3.7	3.7					
	Total/Average	1.4	0.27	0.33					10.6	10.1	1.46	3.8	0.6	1.8	
D	Native grass & scattered trees	1.88	0.26	0.32	Lo Ls	300 30	2.6 6.6	0.06 2.50	19.0	17.7					
									0.2	0.2					
	Total/Average	1.88	0.26	0.32					19.2	17.9	1.14	2.99	0.6	1.8	
E	Native grass & scattered trees	0.44	0.26	0.32	Lo Ls	170 30	2.3 5.0	0.09 1.50	14.9	13.9					
									0.3	0.3					
	Total/Average	0.44	0.26	0.32					15.3	14.2	1.28	3.33	0.1	0.5	
Total									MAX. Tc	25.2	23.8	TOTAL Qh:		2.0	6.6
Ls velocities from SCS nomograph											INCREASE:		4.0	10.0	
Total Ac. / weighted C		7.65	0.22	0.28								295.9%	251.7%		

Wilson Ranch Townhomes

Street and storm sewer flow

Flow Through Street, Curb & Gutter

Discharge quantity is calculated by the following formula:

$$Q = 0.56 \cdot (Z/n) \cdot S^{.5} \cdot d^{2.67}$$

Where:

- Q = Discharge in CFS (Cubic Feet per Second)
- Z = Inverse pavement cross slope
- n = Manning roughness coefficient
- S = Longitudinal slope of the street or gutter
- d = Depth of gutter flow in feet

Solving for maximum depth at gutter

Manning Roughness Coefficient= 0.016

Capacity For Storm Drain Inlets

curb opening length = grate length

$$\text{Ponding } Q = .6 A (2gH)^{.5}$$

Clogging factors: grate=0.5, box=0.0

H2 = 0.5 Ft. H100 = 1.0 Ft.

Subbasin Drainage	Street Locn. ID	Inverse Pav. x slope 1/ft/ft	Min. Long. Slope S (ft/ft)	Required 2 Year Capacity Q (cfs)	2 year Water Depth d (ft.)	100 Yr Capacity Q (cfs)	100 Yr Water Depth d (Ft.)	Grate Type NEENAH	Open Area Sq. Ft.	Actual Capacity 2 Yr CFS	Require 2 Yr CFS	Actual Capacity 100 Yr CFS	Required 100 Yr CFS
C street flow	C1	50.00	0.005	1.10	0.17	2.80	0.24	na					
D street flow	D1	50.00	0.005	0.35	0.11	0.90	0.16	na					
D street flow	D2	50.00	0.007	1.66	0.19	4.65	0.27	na					
D storm drain inlet	SDI1			1.01		2.78		CI-19X27	1.27	4.31	1.01	6.09	2.78
D storm drain inlet	SDI2			1.01		2.78		CI-19X27	1.27	4.31	1.01	6.09	2.78
E storm drain inlet	SDI3			0.55		1.51		CI-19X27	1.27	4.31	0.55	6.09	1.51
E storm drain inlet	SDI4			0.55		1.51		CI-19X27	1.27	4.31	0.55	6.09	1.51

Solving for flow velocity at gutter

Subbasin Drainage	Street Locn. ID	Inverse Pav. x slope 1/ft/ft	Min. Long. Slope S ft/ft	Required 2 Year Capacity Q (cfs)	2 year Water Velocity (fps)	100 Yr Capacity Q (cfs)	100 Yr Water Velocity (fps)
C street flow	C1	50.00	0.005	1.10	1.51	2.80	1.91
D street flow	D1	50.00	0.005	0.35	1.14	0.90	1.44
D street flow	D2	50.00	0.007	1.66	1.90	4.65	2.46

Storm Drainage Pipe Capacities

Storm Drain Location	Pipe Diameter (inches)	Slope (ft/ft)	Rough. Coeff. n	Capacity Q (cfs)	Required Q (cfs)	Flow Velocity (fps)	Flow Depth (inches)
Basin D Outfall	15	0.005	0.01	5.94	5.55	4.82	14.6
Basins E + D Outfalls	15	0.015	0.01	10.29	8.70	8.35	14.1

ADS pipe Note: Required storm sewer capacities are based on the 100 yr event

Wilson Ranch Townhomes				
Developed Condition Impervious Area Tabulation				
Trial #5				
Area	Total Area (acres)	area description	Impervious Area	
			(sf)	(acres)
A		G1/2 rd	4300	0.10
Subtotal	0.41		4300	0.10
B		BG1	4320	0.10
		BG2	3600	0.08
		BG3	3600	0.08
		BG4	4000	0.09
		BG5	4000	0.09
		BG6	4000	0.09
		BG7	3600	0.08
		BG8	3600	0.08
Subtotal	2.23		30720	0.71
C		BG12	4320	0.10
		drive/park	13506	0.31
		G 1/2 rd	13549	0.31
Subtotal	1.08		31375	0.72
D		BG9	4000	0.09
		BG10	4320	0.10
		BG11	5040	0.12
		drive/park	29872	0.69
		G 1/2 road	11520	0.26
		parking	13336	0.31
Subtotal	2.85		68088	1.56
E		G 1/2 rd	17760	0.41
Subtotal	1.08		17760	0.41
TOTAL	7.65			3.50

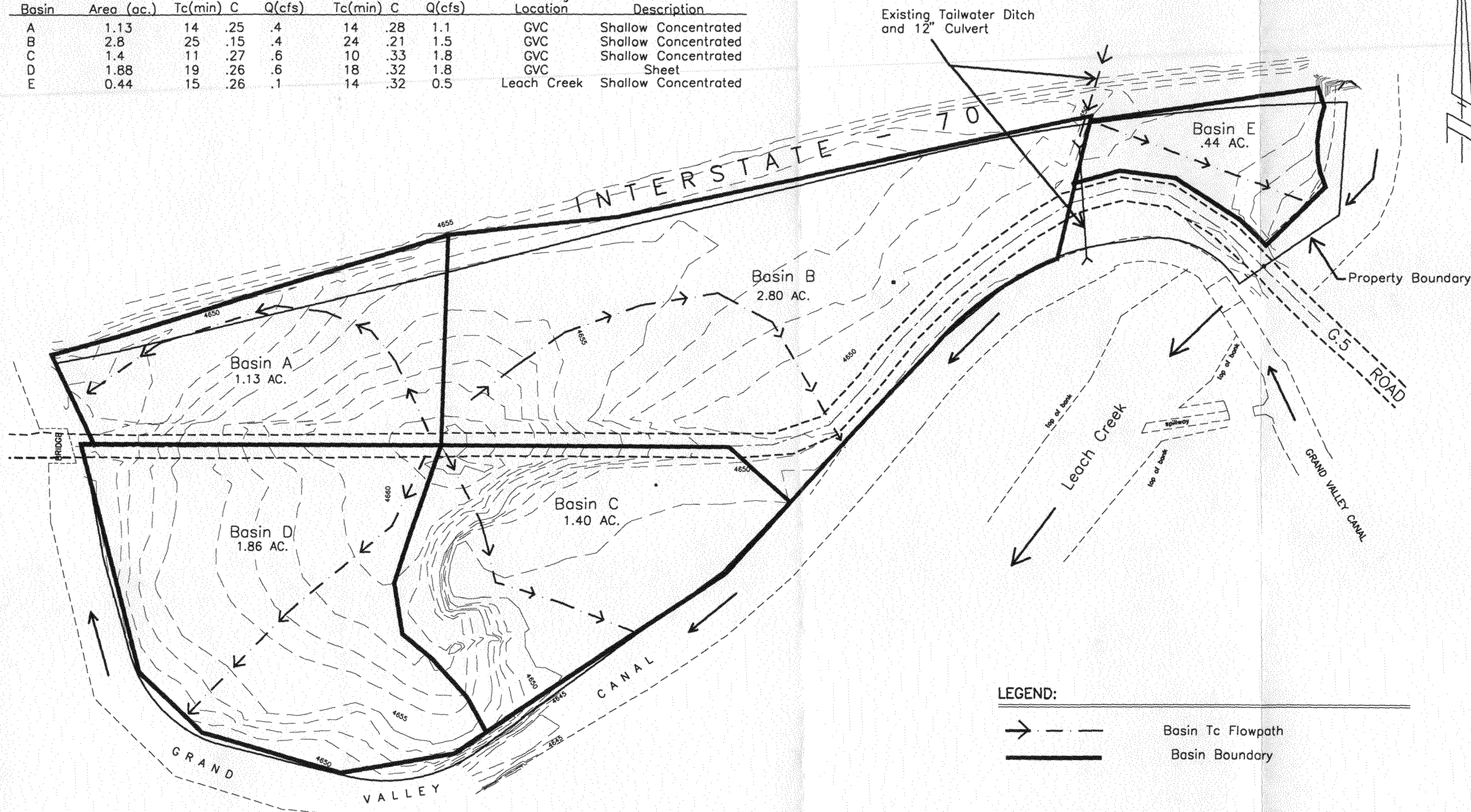
MAPS

- Preliminary Major Basin Drainage Map
- Final Major Basin Drainage Map

These maps are not included because the site is isolated by Interstate 70 and the Grand Valley Canal and is not a part of a larger "major basin".

Hydrologic Runoff Data

Basin	Area (ac.)	2 Year		100 Year		Discharge Location	Flow Description		
		Tc(min)	C	Q(cfs)	Tc(min)			C	Q(cfs)
A	1.13	14	.25	.4	14	.28	1.1	GVC	Shallow Concentrated
B	2.8	25	.15	.4	24	.21	1.5	GVC	Shallow Concentrated
C	1.4	11	.27	.6	10	.33	1.8	GVC	Shallow Concentrated
D	1.88	19	.26	.6	18	.32	1.8	GVC	Sheet
E	0.44	15	.26	.1	14	.32	0.5	Leach Creek	Shallow Concentrated



LEGEND:

- Basin Tc Flowpath
- Basin Boundary

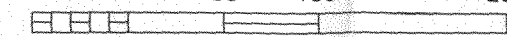
NOTES:

1. No inflow from offsite.
2. Existing tailwater flow will be maintained.
3. Total site area is 7.7 acres.
4. Leach Creek's 100 yr floodplain is within its banks in this area.
5. Tailwater ditch collects irrigation water north of I-70 and discharges into the Grand Valley Canal.

SCALE:

1 inch = 100 feet (1:1200)

50 0 50 100 200 Feet



20 0 20 40 60 Meters



DESIGNED BY	DRAWN BY	SURVEY DATE
	MF	

REVISIONS	NO.	DATE	REMARKS

PREDEVELOPMENT STORMWATER MGMT MAP
WILSON RANCH TOWNHOMES
 CIVIL ENGINEERING • PHOTOGRAMMETRY • SURVEYING
 751 Horizon Court • Grand Junction, Colorado 81506 • Phone: 870-245-7101
NICHOLS ASSOCIATES, INC.

DATE DRAWN	March 19, 1996
------------	----------------

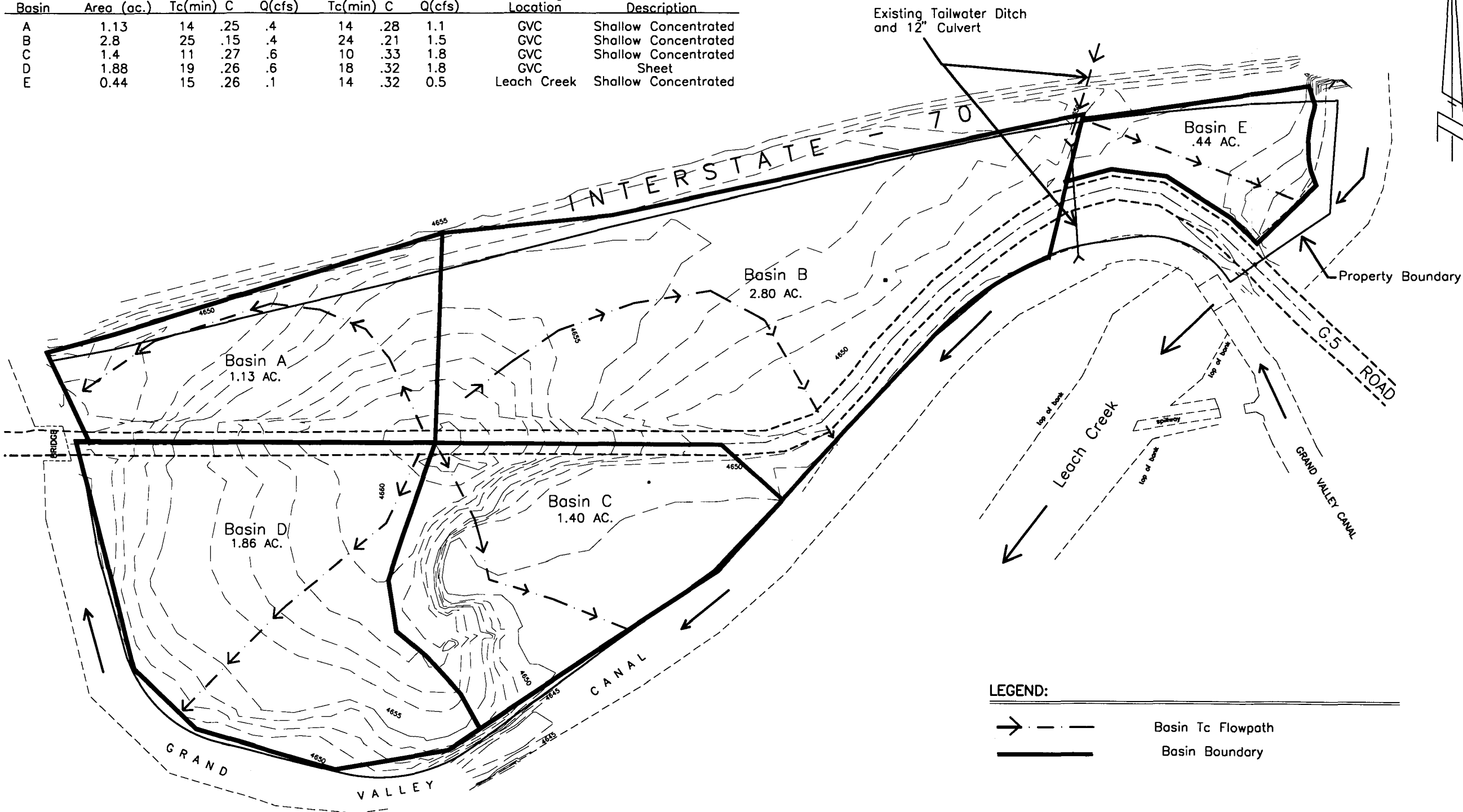
SCALE	1 inch = 100 feet
-------	-------------------

PROJECT NUMBER	3269
----------------	------

SHEET NUMBER	1 of 1
--------------	--------

Hydrologic Runoff Data

Basin	Area (ac.)	2 Year		100 Year		Discharge Location	Flow Description		
		Tc(min)	C	Tc(min)	C				
A	1.13	14	.25	.4	14	.28	1.1	GVC	Shallow Concentrated
B	2.8	25	.15	.4	24	.21	1.5	GVC	Shallow Concentrated
C	1.4	11	.27	.6	10	.33	1.8	GVC	Shallow Concentrated
D	1.88	19	.26	.6	18	.32	1.8	GVC	Sheet
E	0.44	15	.26	.1	14	.32	0.5	Leach Creek	Shallow Concentrated



LEGEND:

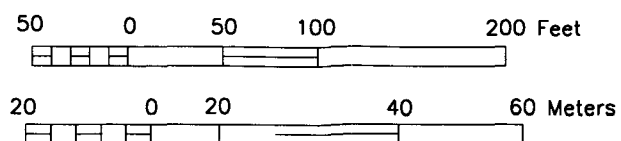
- Basin Tc Flowpath
- Basin Boundary

NOTES:

1. No inflow from offsite.
2. Existing tailwater flow will be maintained.
3. Total site area is 7.7 acres.
4. Leach Creek's 100 yr floodplain is within its banks in this area.
5. Tailwater ditch collects irrigation water north of I-70 and discharges into the Grand Valley Canal.

SCALE:

1 inch = 100 feet (1:1200)



DESIGNED BY	DRAWN BY MF	SURVEY DATE															
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			NO.	DATE	REVISIONS												
NO.	DATE	REVISIONS															
<p>PREDEVELOPMENT STORMWATER MGMT MAP WILSON RANCH TOWNHOMES</p>																	
<p>NICHOLS ASSOCIATES, INC.</p> <p>CIVIL ENGINEERING • PHOTOGRAMMETRY • SURVEYING 751 Horizon Court • Grand Junction, Colorado 81506 • Phone: 970-245-7101</p>																	
DATE DRAWN																	
March 19, 1996																	
SCALE																	
1 inch = 100 feet																	
PROJECT NUMBER																	
3269																	
SHEET NUMBER																	
1 OF 1																	

Hydrologic Runoff Data

Basin	Area (ac.)	2 Year			100 Year		
		Tc(min)	C	Q(cfs)	Tc(min)	C	Q(cfs)
A	.41	13	.44	.2	12	.48	.7
B	2.23	11	.49	1.6	10	.53	4.5
C	1.08	12	.71	1.1	12	.74	2.8
D	2.85	20	.64	2.0	19	.67	5.6
E	1.08	5	.53	1.1	5	.57	3.0

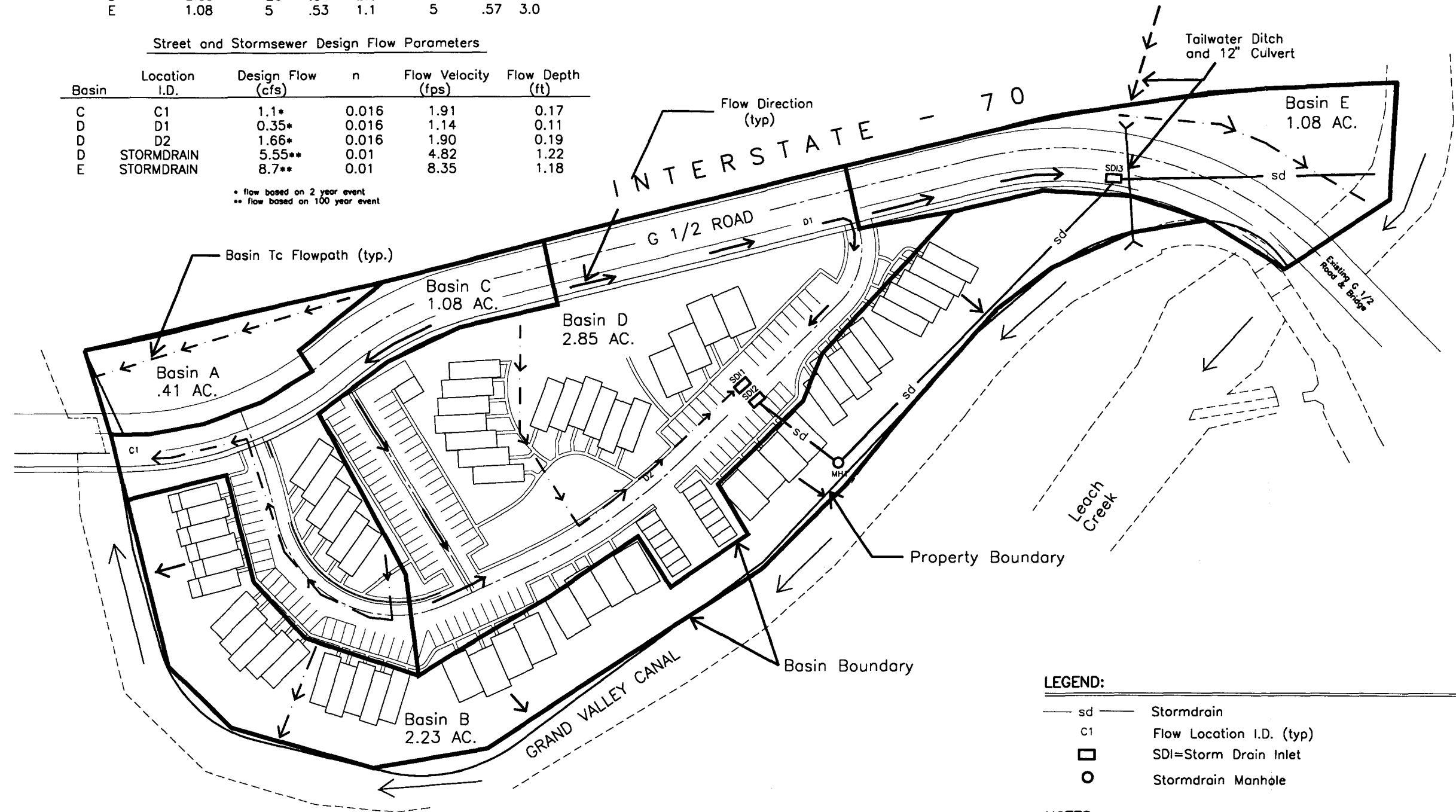
Drain Inlet Design Flow Parameters

Basin	Drain Inlet I.D.	Required 2 Year Capacity	Max. 2 year water Depth (ft)	2 Year Capacity (cfs)
D	SDI1	1.01	.5	4.31
D	SDI2	1.01	.5	4.31
E	SDI3	0.55	.5	4.31
E	SDI4	0.55	.5	4.31

Street and Stormsewer Design Flow Parameters

Basin	Location I.D.	Design Flow (cfs)	n	Flow Velocity (fps)	Flow Depth (ft)
C	C1	1.1*	0.016	1.91	0.17
D	D1	0.35*	0.016	1.14	0.11
D	D2	1.66*	0.016	1.90	0.19
D	STORMDRAIN	5.55**	0.01	4.82	1.22
E	STORMDRAIN	8.7**	0.01	8.35	1.18

* flow based on 2 year event
 ** flow based on 100 year event



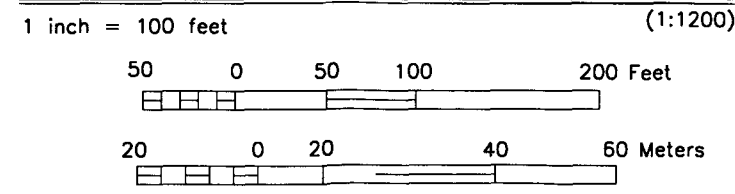
LEGEND:

- sd Stormdrain
- C1 Flow Location I.D. (typ)
- SDI=Storm Drain Inlet
- Stormdrain Manhole

NOTES:

1. No inflow from offsite.
2. Existing tailwater flow will be maintained.
3. Total site area is 7.7 acres.
4. Leach Creek's 100 yr floodplain is within its banks in this area.
5. Tailwater ditch collects irrigation water north of I-70 and discharges into the Grand Valley Canal.

SCALE:



DESIGNED BY	BY
DRAWN BY	DATE
SURVEY DATE	REVISIONS

NO.	DATE	REVISIONS

POST DEVELOPMENT STORMWATER MGMT MAP
 WILSON RANCH TOWNHOMES

CIVIL ENGINEERING • PHOTOGRAMMETRY • SURVEYING
 751 Horizon Court • Grand Junction, Colorado 81506 • Phone: 970-245-7101

NICHOLS ASSOCIATES, INC.

DATE DRAWN
March 19, 1996

SCALE
1 inch = 100 feet

PROJECT NUMBER
3269

SHEET NUMBER
1 OF 1

GT GEO TESTING Geotechnical Engineering and Materials Testing **LABORATORIES, INC.**

Destination Properties

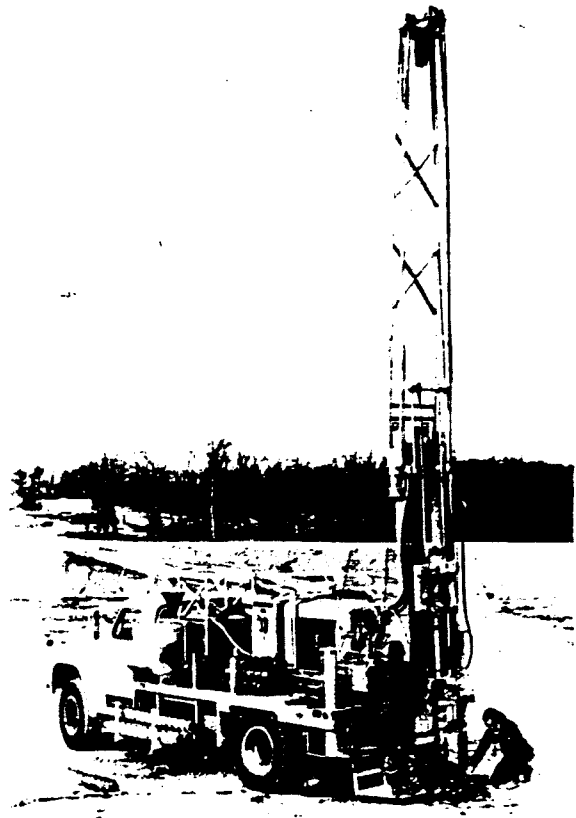
825 Rood Avenue

Grand Junction, Colorado 81501

Geotechnical report of Wilson Ranch
Residential and Multi-family housing

Job 3-12

28 February 1981



GILGEO TESTING
Geotechnical Engineering and Materials Testing
LABORATORIES, INC.

28 February 1981

Destination Properties
825 Rood Avenue
Grand Junction, Colorado 81501

Attention: Skip Berhorst, Jim Lindell

Re: Geotechnical Report of Wilson Ranch - Residential
and Multi-family housing. Job 3-12

Gentlemen:

We have completed our geotechnical studies of the proposed Wilson Ranch. Data from our field and laboratory studies, along with our analyses and recommended design criteria have been summarized and are presented in the attached report. If you have any questions, please call.

Yours truly,

GEO TESTING LABORATORIES, INC.

Stephen G. Rice

Stephen G. Rice
Secretary/Treasurer

SGR/dld1

Copy to: Paragon Engineering

TABLE OF CONTENTS

INTRODUCTION	1
PROPOSED CONSTRUCTION	1
SITE CONDITIONS	1
SUB SOILS	1
FOUNDATIONS	2
FLOOR SLABS	3
PAVED AREAS	3
WETTING OF FOUNDATION SOILS	3
GENERAL INFORMATION	4

INTRODUCTION

We made this study to assist in determining the best types and depths of foundations for the structure and design criteria for them. Data from our field and laboratory work are summarized on Figures #1 through 11, attached.

PROPOSED CONSTRUCTION

We understand the proposed subdivision will have multi-family development north of the Grand Valley Canal and single family homes on the remaining site. We understand these structures will be wood frame construction similar to the Grand Valley Area.

For the purpose of our analyses, we assumed maximum column loads on the order of 10 Kips and wall loads of $2\frac{1}{2}$ Kips/Ft. for multi-family structures and column loads on the order of 8 Kips and wall loads of 2 Kips/Ft. for single family structures.

If final designs vary from these assumptions, we should be advised to permit re-evaluation of our recommendations and conclusions.

SITE CONDITIONS

The northern part of the property shows good drainage to the south, although the majority of the south property, south of the Grand Valley Canal, is relatively flat. Drainage is very slight to south and west. The east property is bordered by Leach Creek which at the time of our observation was carrying water. We did not observe any bodies of water or bedrock outcroppings.

SUB SOILS

Our test holes showed from 0 to 55.0 feet of loose to medium dense silts, silty clays interbedded with fine sands, slope wash and colluvial gravels. We did not encounter bedrock or dense

gravels during our investigation.

Groundwater was encountered in test holes #1, 7, 9, 12, and 8A ranging in depth from 10 to 28.0 feet, although in all test holes drilled we encountered caving and "high" moisture content with increasing depth. Due to the soils encountered and increasing moisture encountered with depth, we do not recommend full basements. Groundwater conditions could conceivably fluctuate during seasonal irrigation and during "high" periods of runoff due to the vicinity of the Grand Valley Canal to the north and Leach Creek to the east. We feel that garden level construction would be suitable for the proposed site. We recommend that all excavations be observed prior to foundation placement.

FOUNDATIONS

We have considered several types of foundations for the proposed buildings, including spread footings, and structural fill in conjunction with spread footings. Founding the buildings with spread footings on the natural upper silts and silty clays involves a "normal" risk of foundation movement. Founding the buildings with structural fill and spread footings would reduce the risk of foundation movement. We believe considering safety, economy, and the ever present risk of movement involved in any type of foundation, spread footings on the natural upper silts and silty clays and silty sands would be the most practical. The foundation criteria included herein is for spread footings only. However, should you decide upon a lower risk alternative, such as structural fill in conjunction with spread footings, we would be happy to discuss the criteria for them with you.

Spread footings placed below frost depth of about 3.0 feet should be designed for a maximum soil bearing pressure of 2000 PSF, as well as garden level foundation systems. Although if very moist conditions are found in foundation excavations we recommend you should design for a maximum soil bearing pressure of 1500 PSF.

FLOOR SLABS

We believe the most practical type of floor used in conjunction with spread footing foundation would be a floating slab-on-grade. For slab-on-grade construction, we suggest the following:

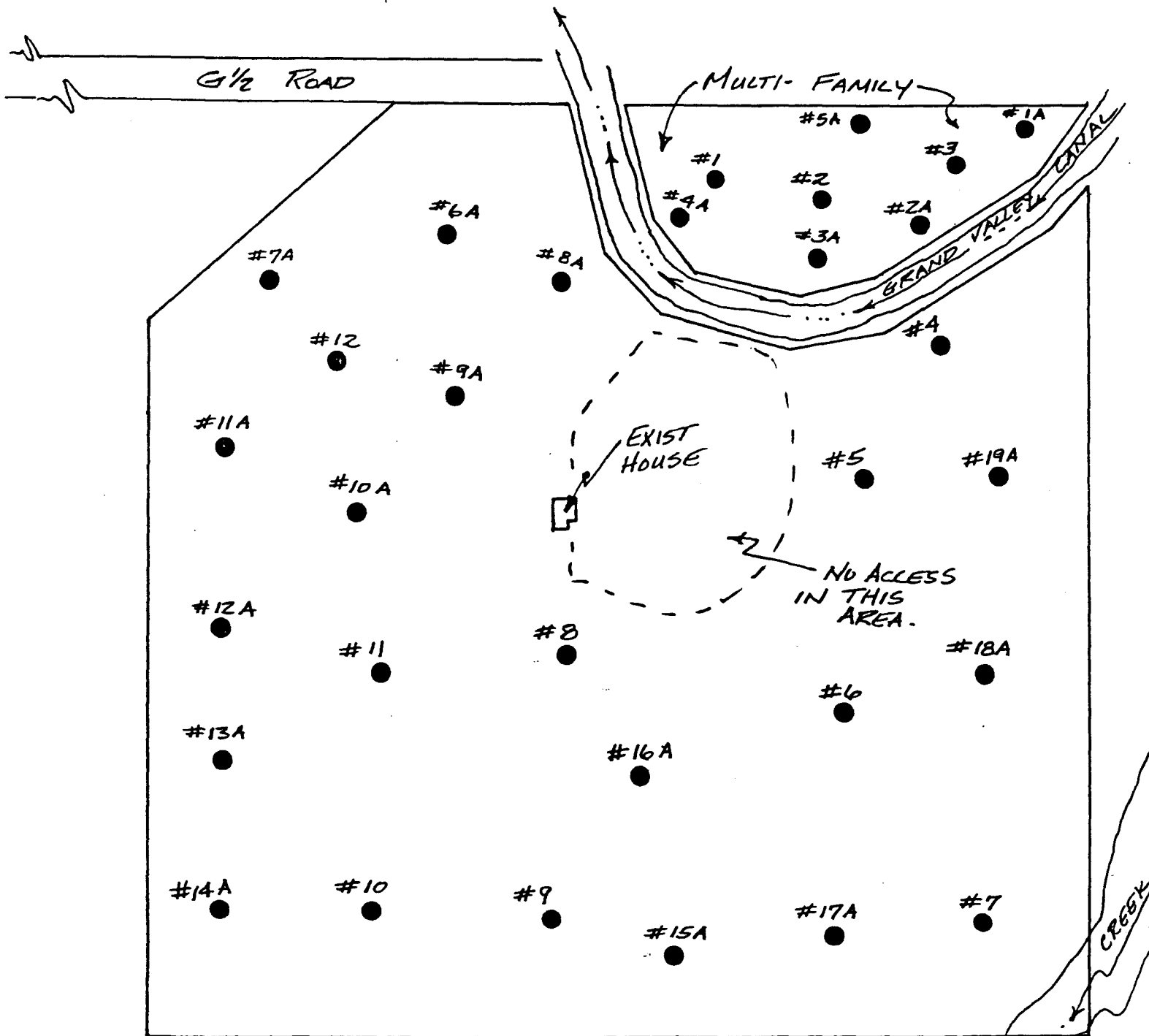
- 1) Place a minimum of 4" of gravel beneath the slab compacted to a minimum of 70% relative density (ASTM D-2049) or 95% Proctor density (ASTM D-698) whichever applies to the chosen material.
- 2) Provide moderate slab reinforcement and carry the reinforcement through the interior slab joints, but not to foundation walls or load bearing walls.
- 3) Omit under slab plumbing. Where such plumbing is unavoidable, pressure test it during construction to minimize the possibility of leaks that result in foundation wetting. Utility trenches should be compacted to a minimum of 95% maximum dry density as determined by ASTM D-698.

PAVED AREAS

Based on the results of our field and laboratory studies, we recommend you design for a dynamic bearing ratio of 2 or a Group Index of 2. The results of our bearing ratio and Proctor tests are presented in Figures 10 and 11.

WETTING OF FOUNDATION SOILS

Wetting of foundation soils always causes some degree of volume change in the soils and should be prevented during and after construction. Methods of doing this include compaction of "impervious" backfill around the structure, provision of an adequate grade for rapid runoff of surface water away from the structure, and discharge of roof downspouts and other water collection systems well beyond the limits of the backfill.



NOTES

- 1) THESE TEST HOLES WERE DRILLED ON FEB 5-6+L 1980, USING 4" CONTINUOUS FLIGHT AUGER, POWERED BY A CME 55 DRILL RIG. (NO SCALE)
- 2) THE LOCATION OF THESE TEST HOLES IS APPROXIMATE.



GT GEO TESTING
Geotechnical Engineering and Materials Testing
LABORATORIES, INC.

LOCATION OF TEST HOLES

Fig. 1

TH-1

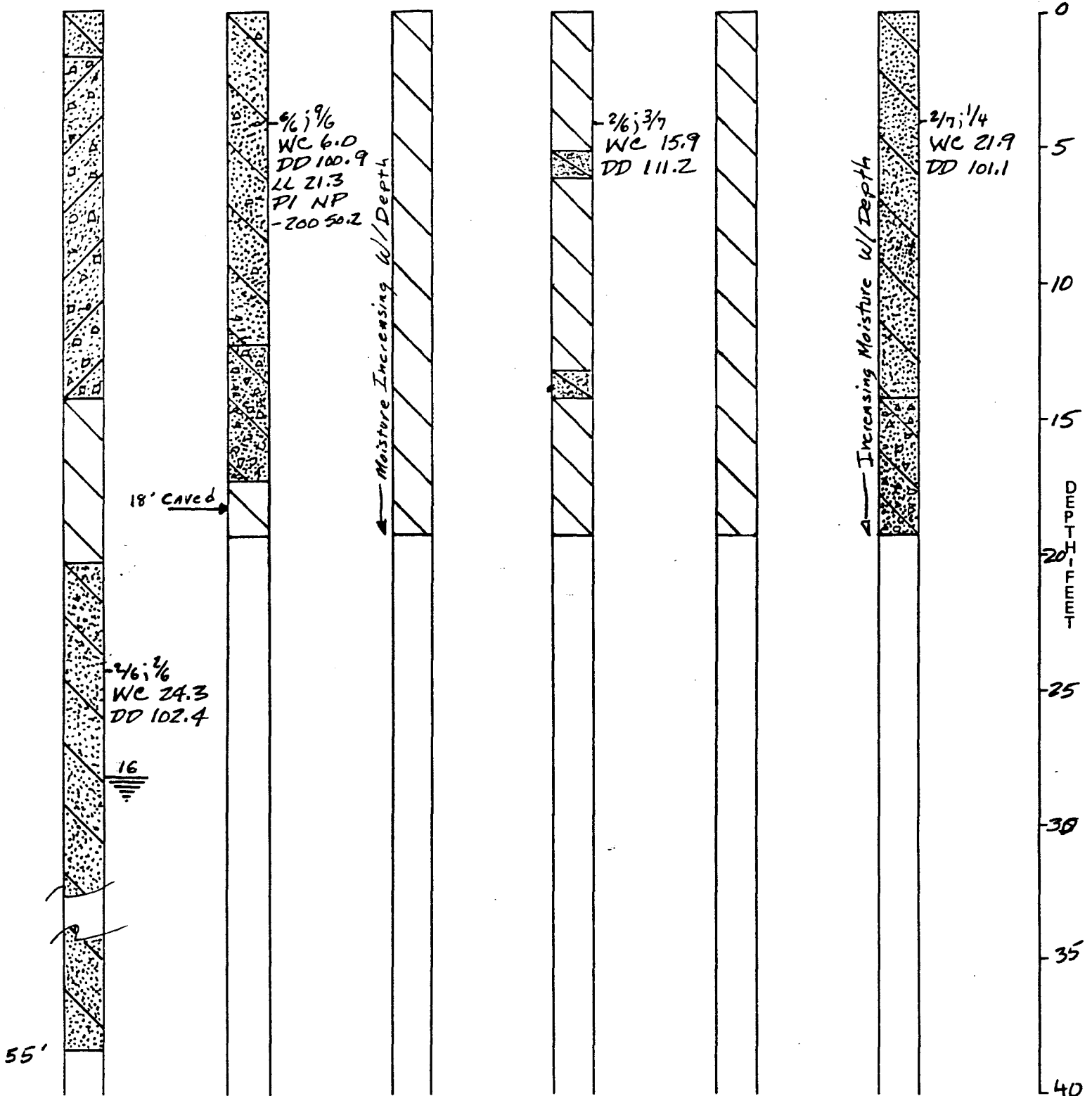
TH-2

TH-3

TH-4

TH-5

TH-6



GI GEO TESTING
 Geotechnical Engineering and Materials Testing
LABORATORIES, INC.
 WILSON RANCH Job 3-12
 SUMMARY LOGS OF TESTS AND TEST HOLES

Fig. 2

TH-7

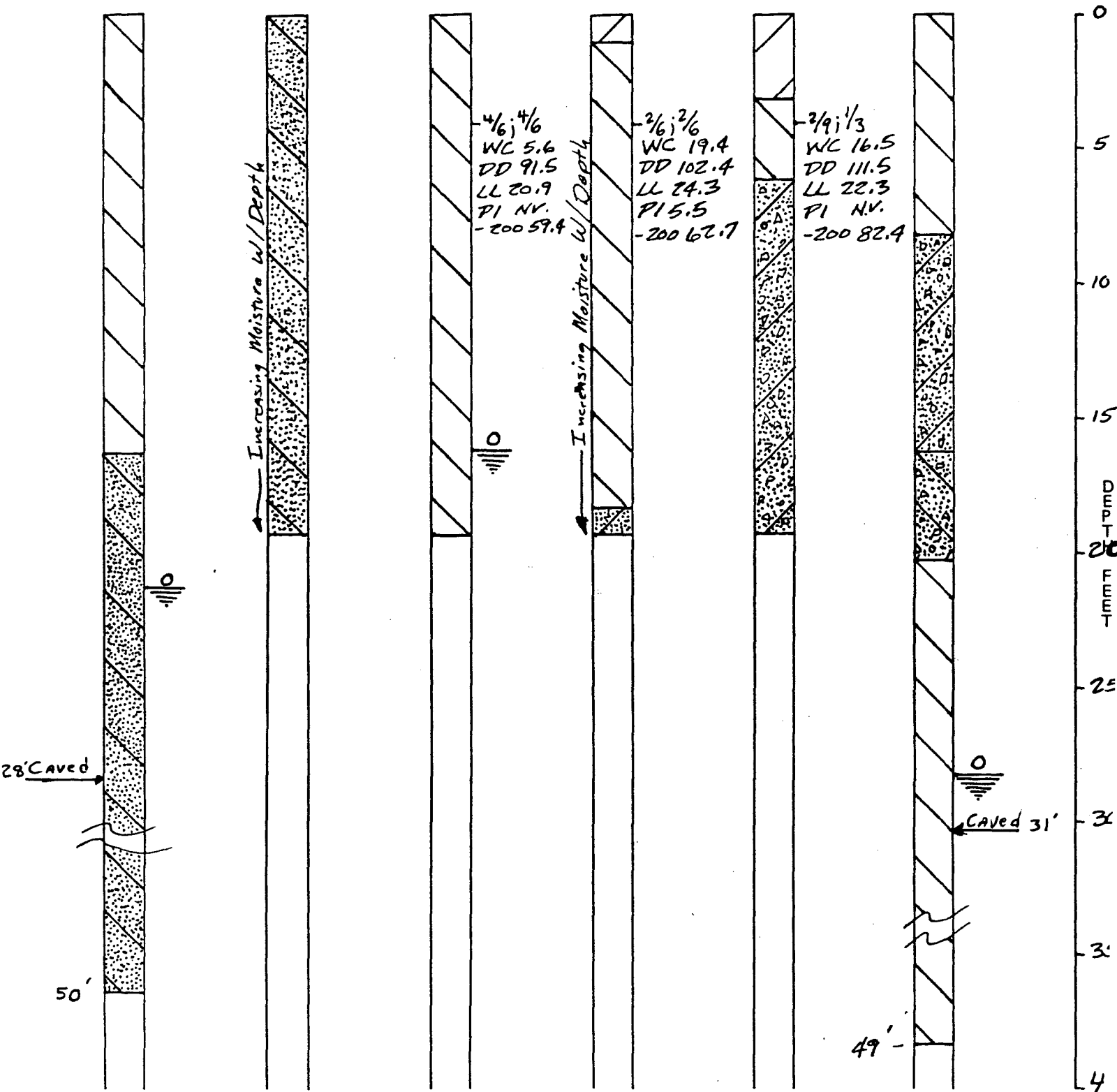
TH-8

TH-9

TH-10

TH-11

TH-12



GLGEO TESTING
 Geotechnical Engineering and Materials Testing
LABORATORIES, INC.
 WILSON RANCH Job 3-12
 SUMMARY LOGS OF TESTS AND TEST HOLES

Fig. 2A

TH- 1A

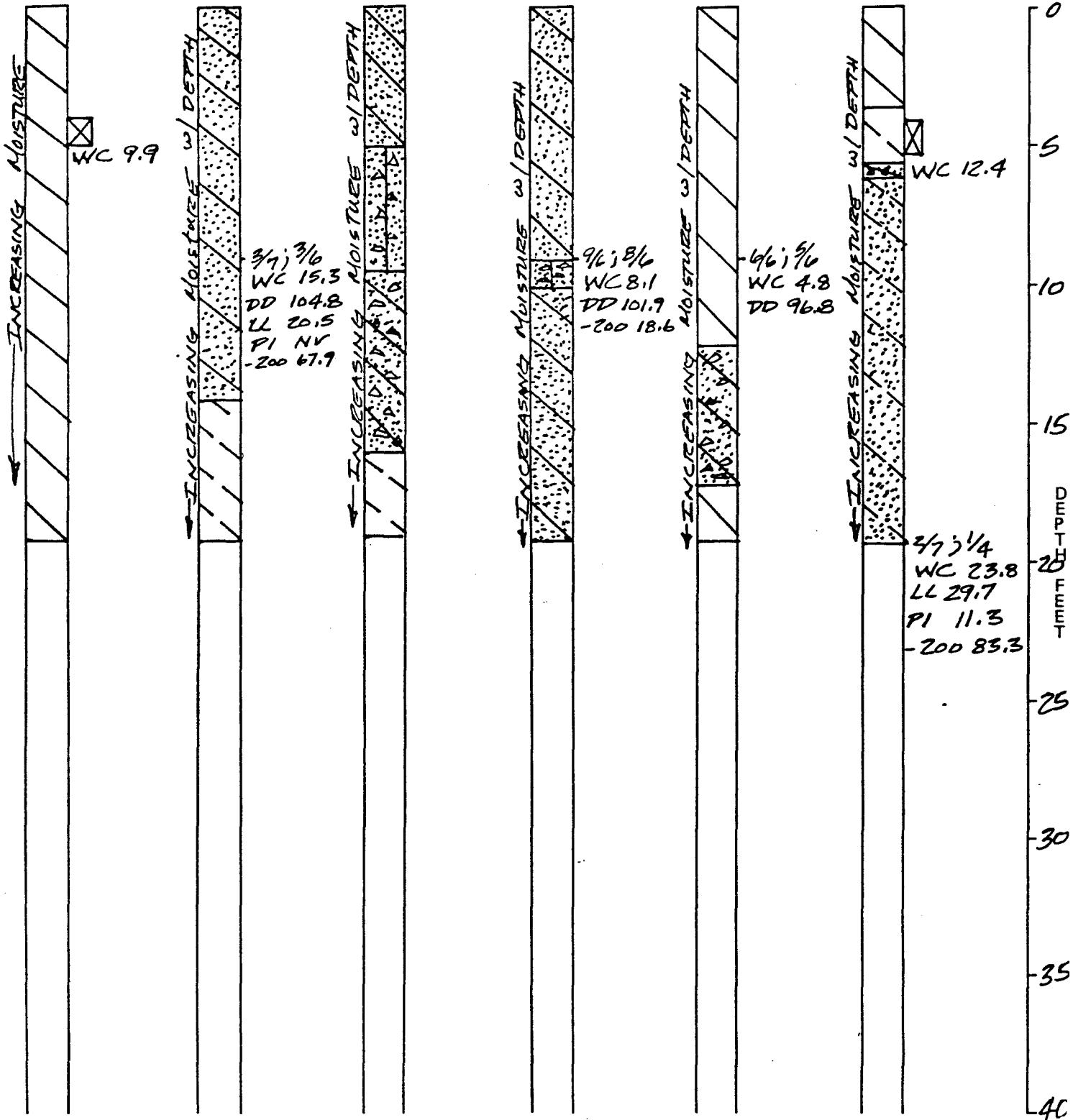
TH- 2A

TH- 3A

TH- 4A

TH- 5A

TH- 6A



GI GEO TESTING
 Geotechnical Engineering and Materials Testing
LABORATORIES, INC.
 WILSON RANCH Job 3-12
 SUMMARY LOGS OF TESTS AND TEST HOLES

Fig. 2B

TH-7A

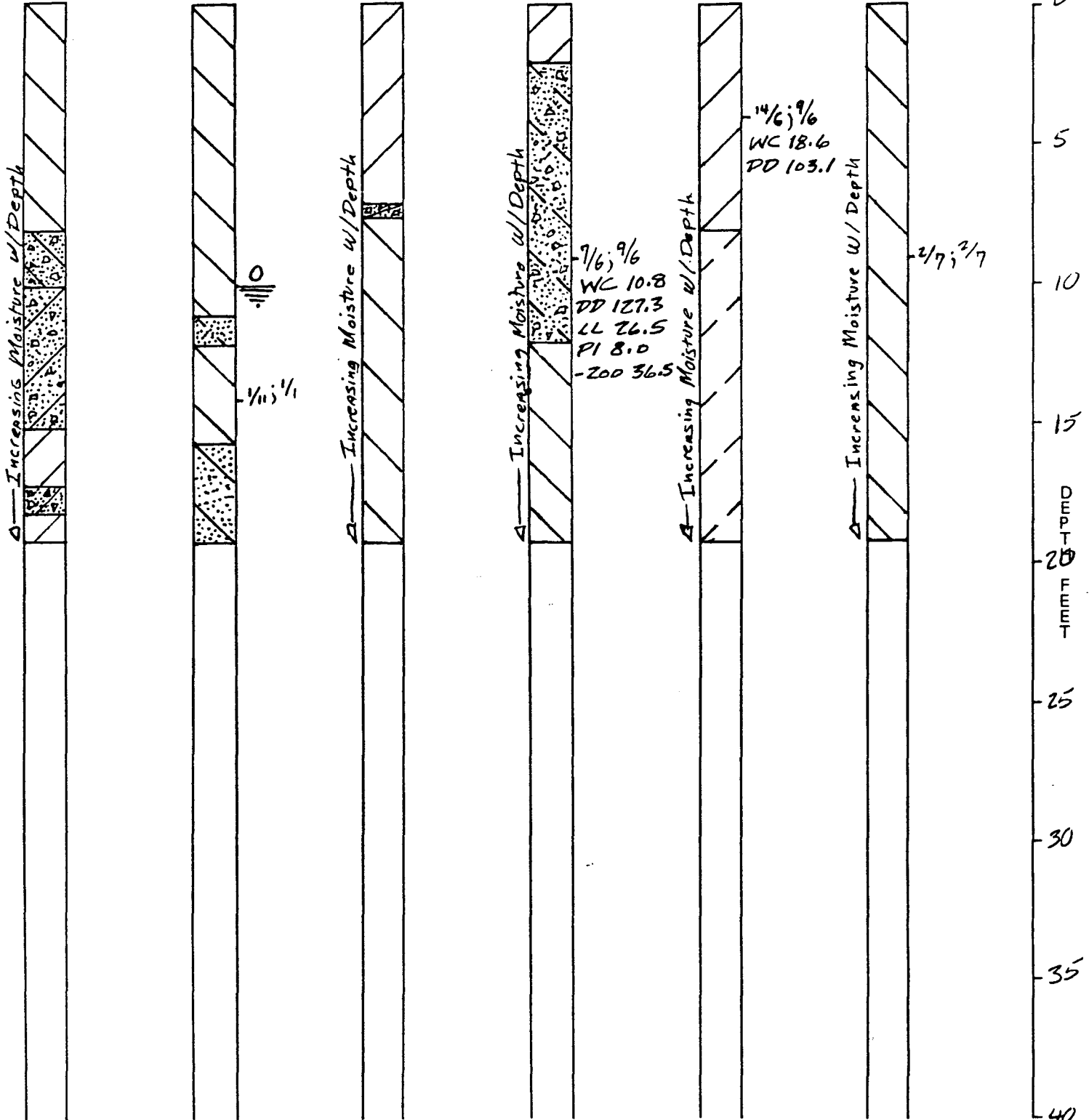
TH-8A

TH-9A

TH-10A

TH-11A

TH-12A



GEO TESTING
Geotechnical Engineering and Materials Testing
LABORATORIES, INC.
WILSON RANCH Job 3-12
SUMMARY LOGS OF TESTS AND TEST HOLES

Fig. 2C

TH-13A

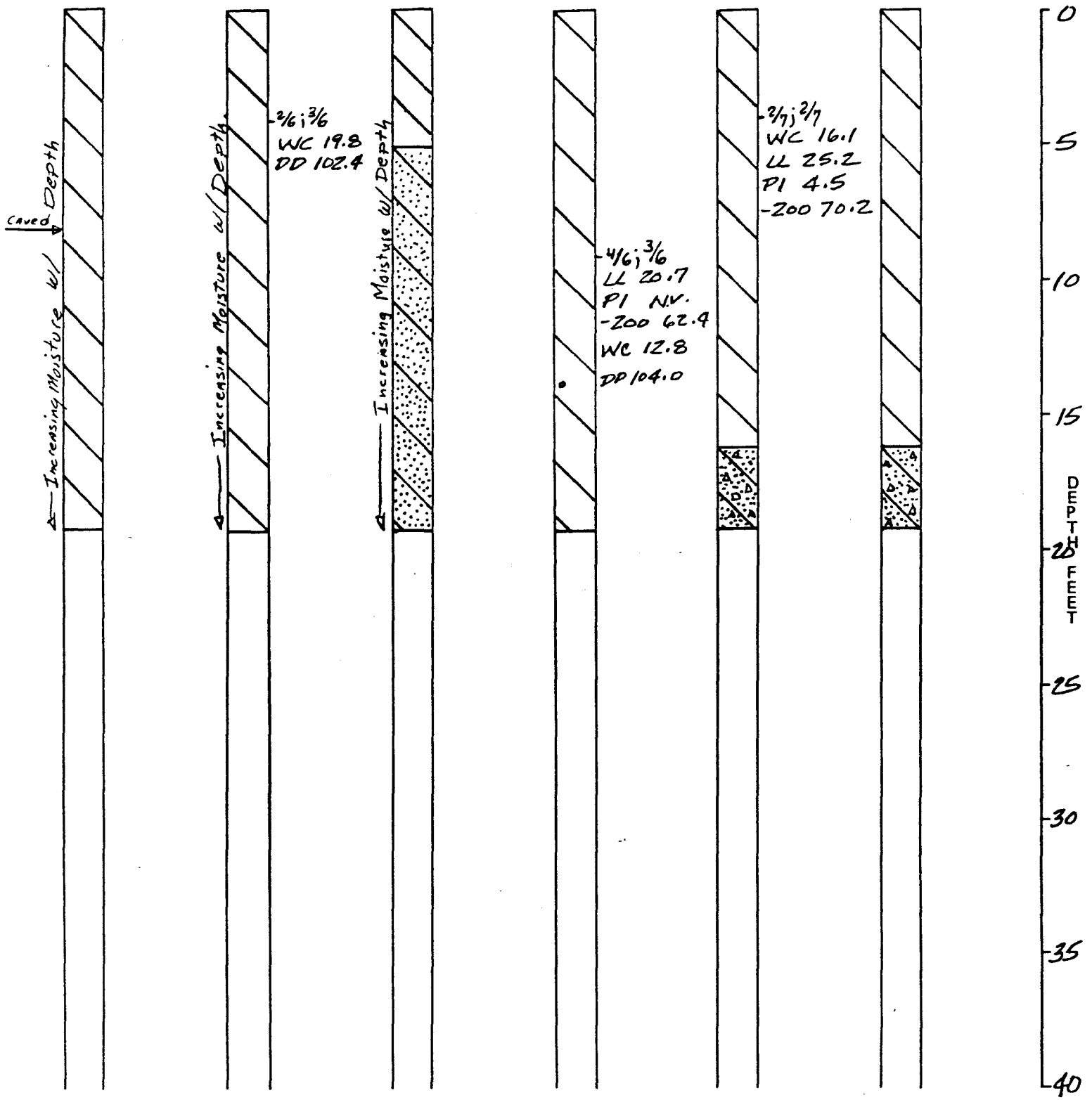
TH-14A

TH-15A

TH-16A

TH-17A

TH-18A



GILGEO TESTING
 Geotechnical Engineering and Materials Testing
LABORATORIES, INC.
 WILSON RANCH Job 3-12
 SUMMARY LOGS OF TESTS AND TEST HOLES

Fig. 2D

TH- 19A

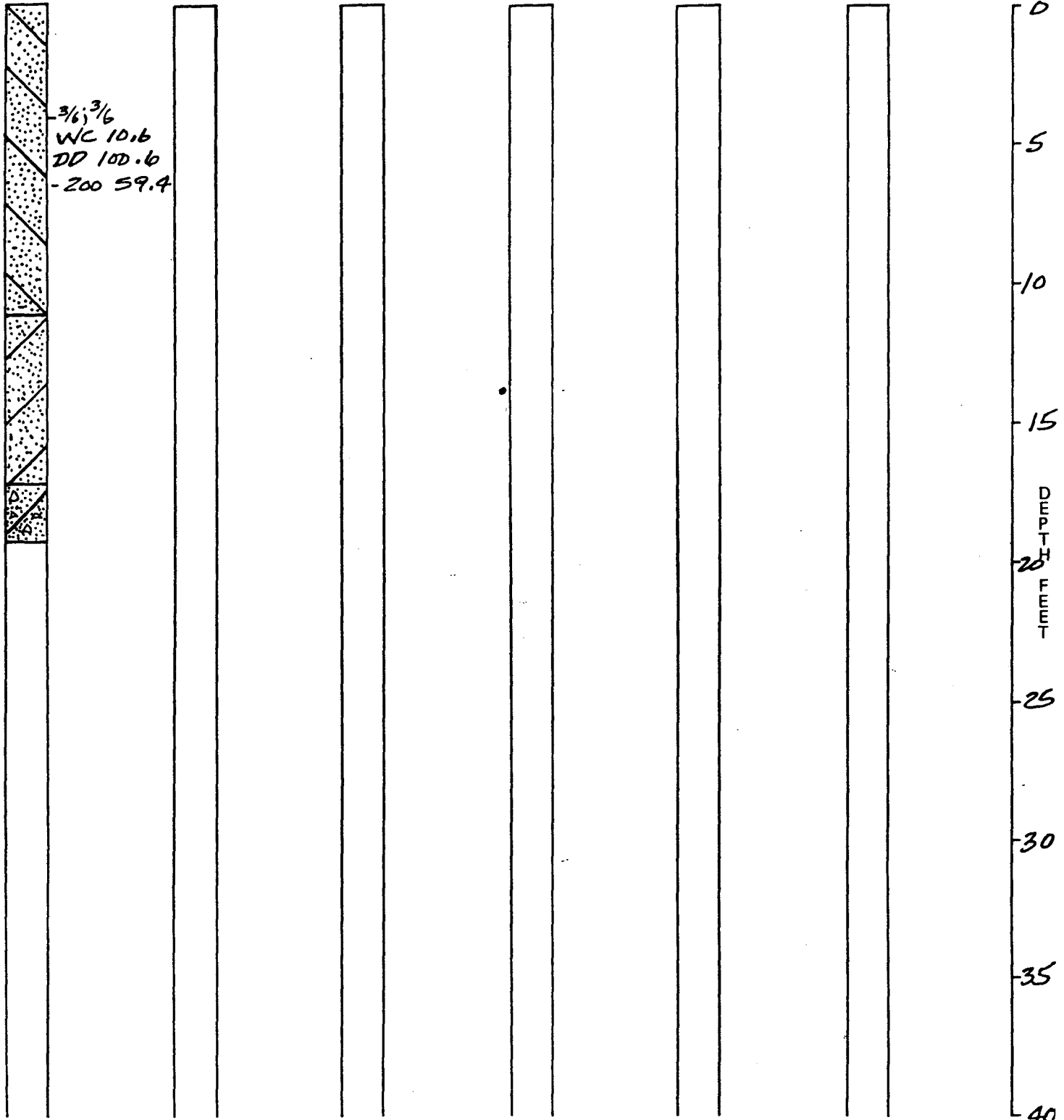
TH-

TH-

TH-





















TH-












TH-




GT GEO TESTING
Geotechnical Engineering and Materials Testing
LABORATORIES, INC.
WILSON RANCH Job 3-12
SUMMARY LOGS OF TESTS AND TEST HOLES

Fig. 2E

-  CL, CL-CH, CH
CLAY, medium stiff to very stiff
-  CL, CL-CH, CH
CLAY, soft to very soft
-  SP, SW, SP-SW, SP-SC, SP-SM, SW-SC, SW-SM
SAND, medium to very dense, clean to slightly dirty
-  SP, SW, SP-SW, SP-SC, SP-SM, SW-SC, SW-SM
SAND, loose to medium dense, clean to slightly dirty
-  SC, SC-SM
SAND, clayey, loose to medium dense
-  SC, SC-SM
SAND, clayey loose to medium dense
-  ML, ML-CL
SILT, dense to very dense
-  ML, ML-CL
SILT, loose to medium dense
-  SM, SM-SC
SAND, silty, dense to very dense
-  SM, SM-SC
SAND, silty, loose to medium dense
-  GW-SW, GP-SP, GW, GP, SW-GW, SP-GP, GW-GC, GW-GM
GRAVEL and SAND, clean to slightly dirty, dense to very dense
-  GRAVEL and SAND, clean, loose to medium dense
-  GC-CL, GC
GRAVEL and SAND, very clayey, dense to very dense
-  GC-CL, GC
GRAVEL and SAND, very clayey, loose to medium dense
-  GM-ML
GRAVEL and SAND, very silty, dense to very dense
-  GM-ML
GRAVEL and SAND, very silty, loose to medium dense
-  CL-CH, CH, CL
CLAY (highly weathered claystone) or SHALE
-  SP, SM, SC, SW
SAND (highly weathered sandstone)
-  CLAYSTONE or SHALE firm to medium hard
-  SANDSTONE, firm to medium hard

-  SANDSTONE, CLAYSTONE, SHALE, or SILTSTONE, hard to very hard
-  CLAYSTONE, SHALE, or SILTSTONE, layered, firm to medium hard
-  SILTSTONE, firm to medium hard
-  CONCRETE or ASPHALT PAVING and BASECOURSE, etc.
-  TOPSOIL
-  FILL, man made, loose or unknown
-  FILL, man made, dense, controlled
-  GRANITE or similar hard competent rock
-  Gradual change in materials. Exact strata change not located.
-  Undisturbed sample taken by Shelby, Denison, Pitcher, etc.
-  Indicates practical Rig Refusal. More than one such symbol indicated depth in adjacent hole attempted at same location

 Free water level and number of days after drilling that measurement was taken.

9/12 Indicated that 9 blows of a 140 pound hammer falling 30 inches were required to drive a 2-inch diameter sample 12 inches.

WC = Water content percent

DD = Dry density, PCF

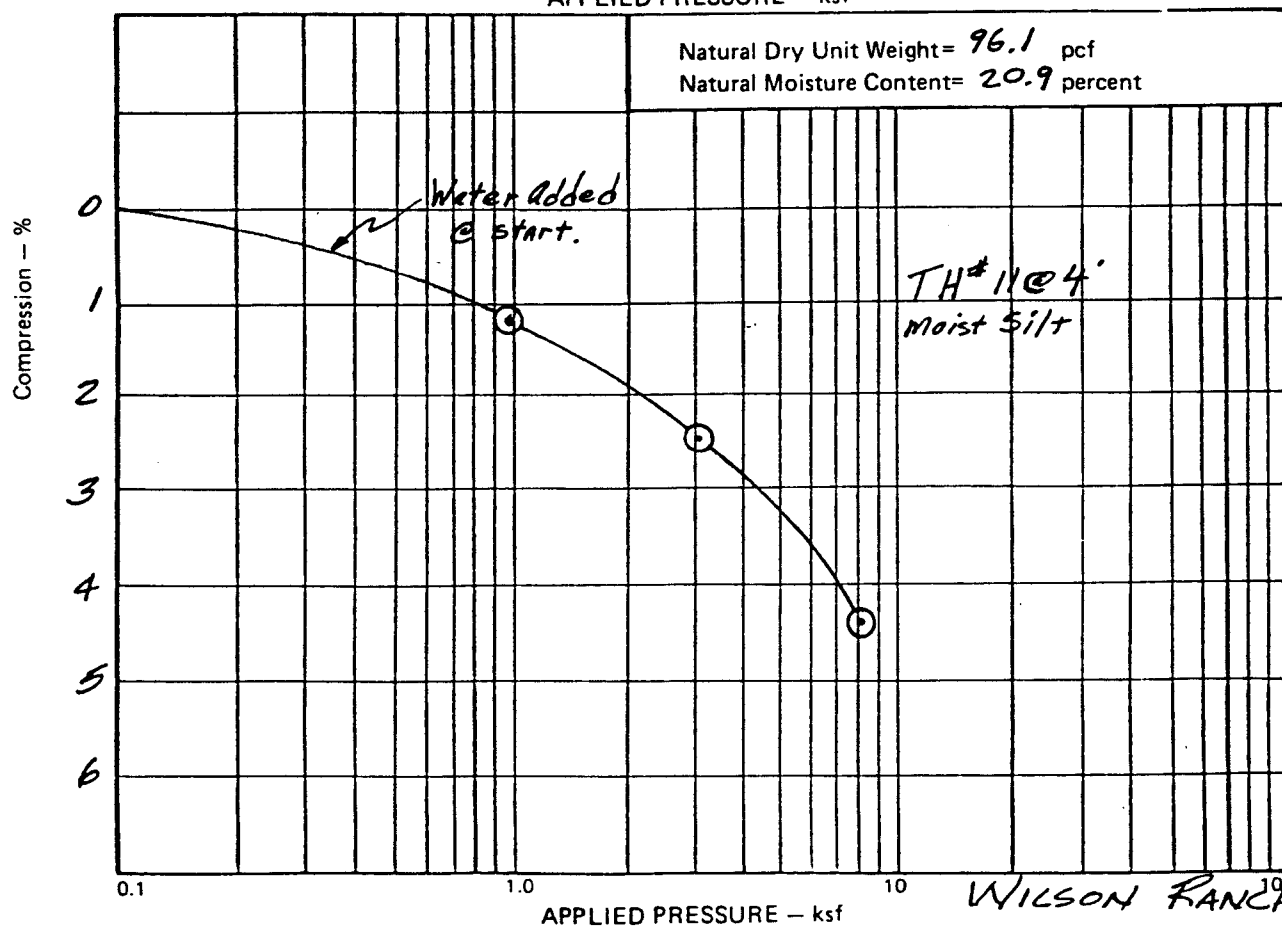
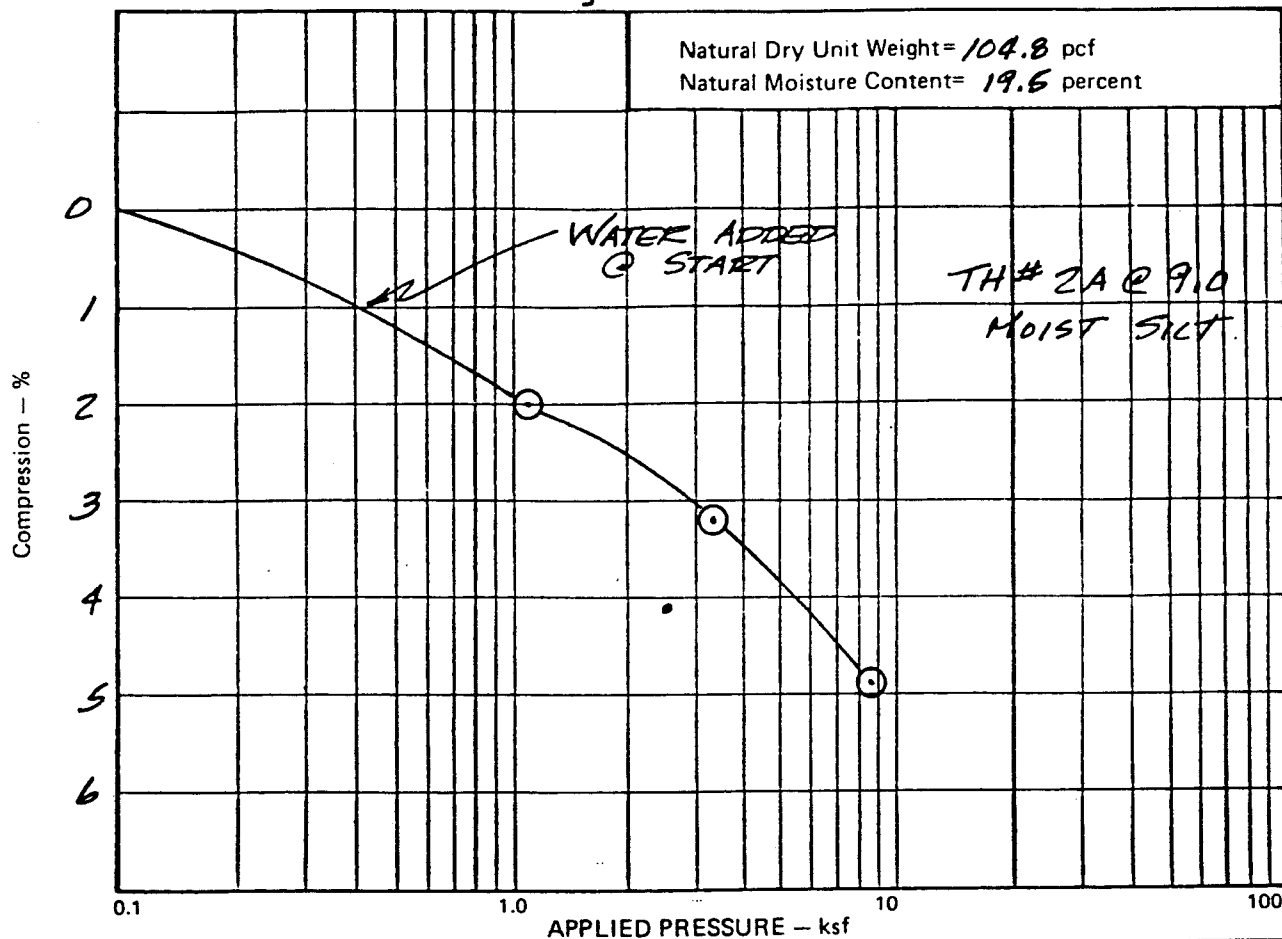
UC = Unconfined compression strength, PSF

LL = Liquid limit, percent

PI = Plasticity index, percent

SS = Shear Stress, direct shear, torvane, etc. PSF

-200 = Percent passing number 200 sieve

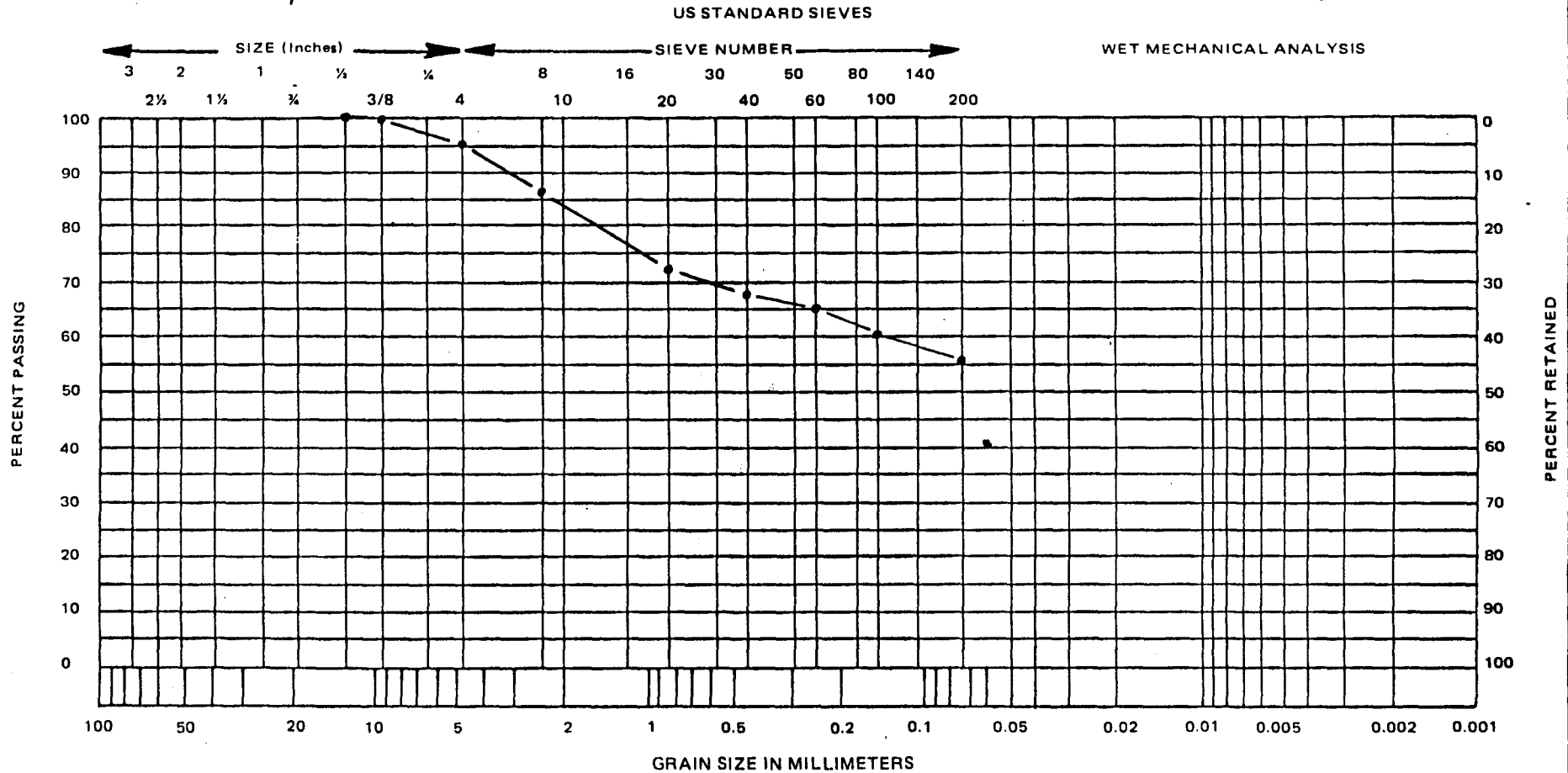


WILSON RANCH¹⁰⁰ Job 3

PROJECT

Destination Properties - Wilson Ranch

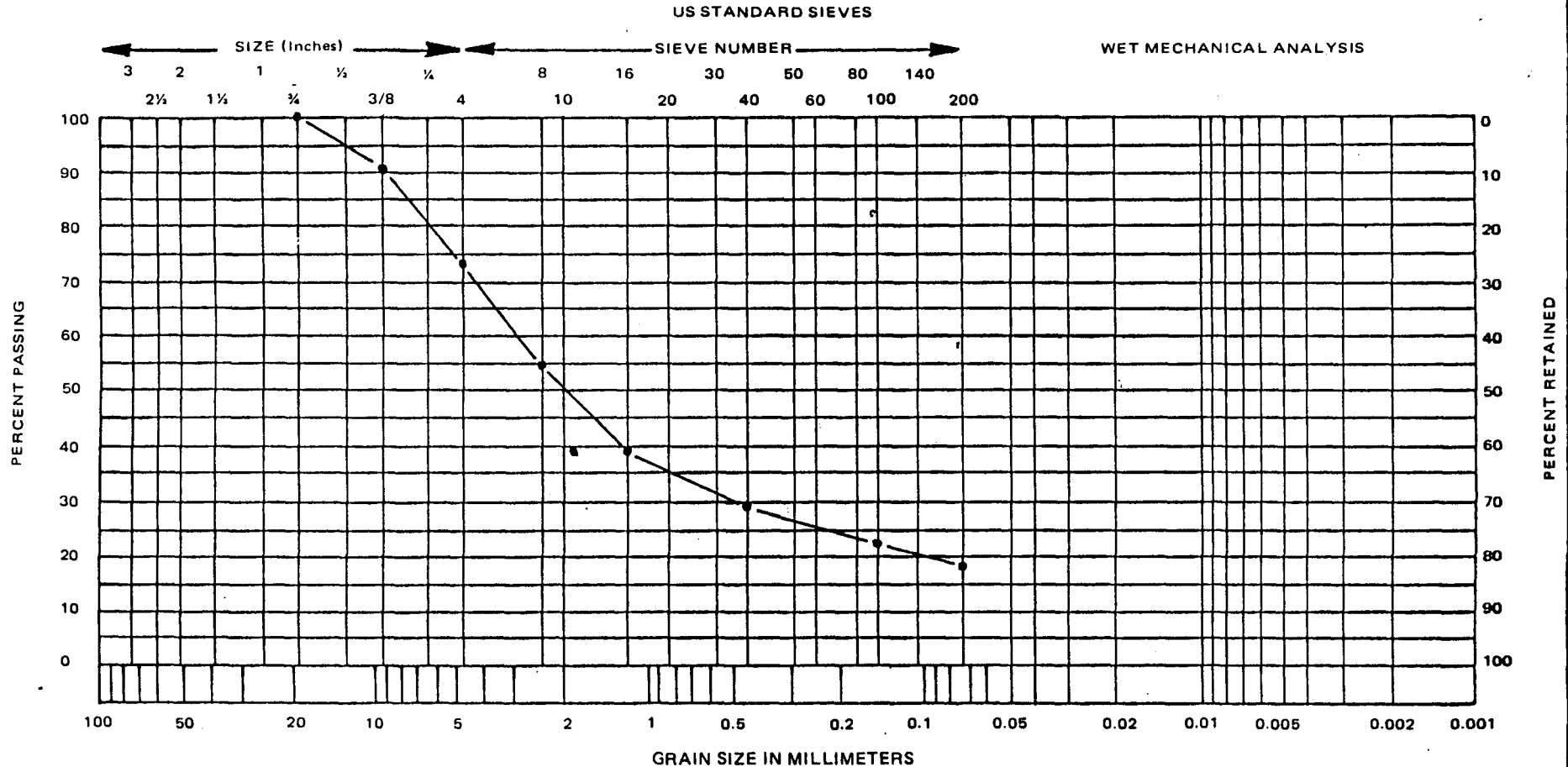
Job # 3-12



EXCAVATION NUMBER	SAMPLE NUMBER	NATURAL % MOISTURE	W _L	W _P	I _p	CLASSIFICATION	REMARKS
	2 @ 4'	3.8%	21.3	—	NP	SM-ML	50.9% Passing #200 screen.
							4.8% Gravel.
							44.3 % Sand
TECHNICIAN (Signature)			PLOTTED BY (Signature)			CHECKED BY (Signature)	
<i>Patrick Dussu</i>			<i>Patrick Dussu</i>				

PROJECT

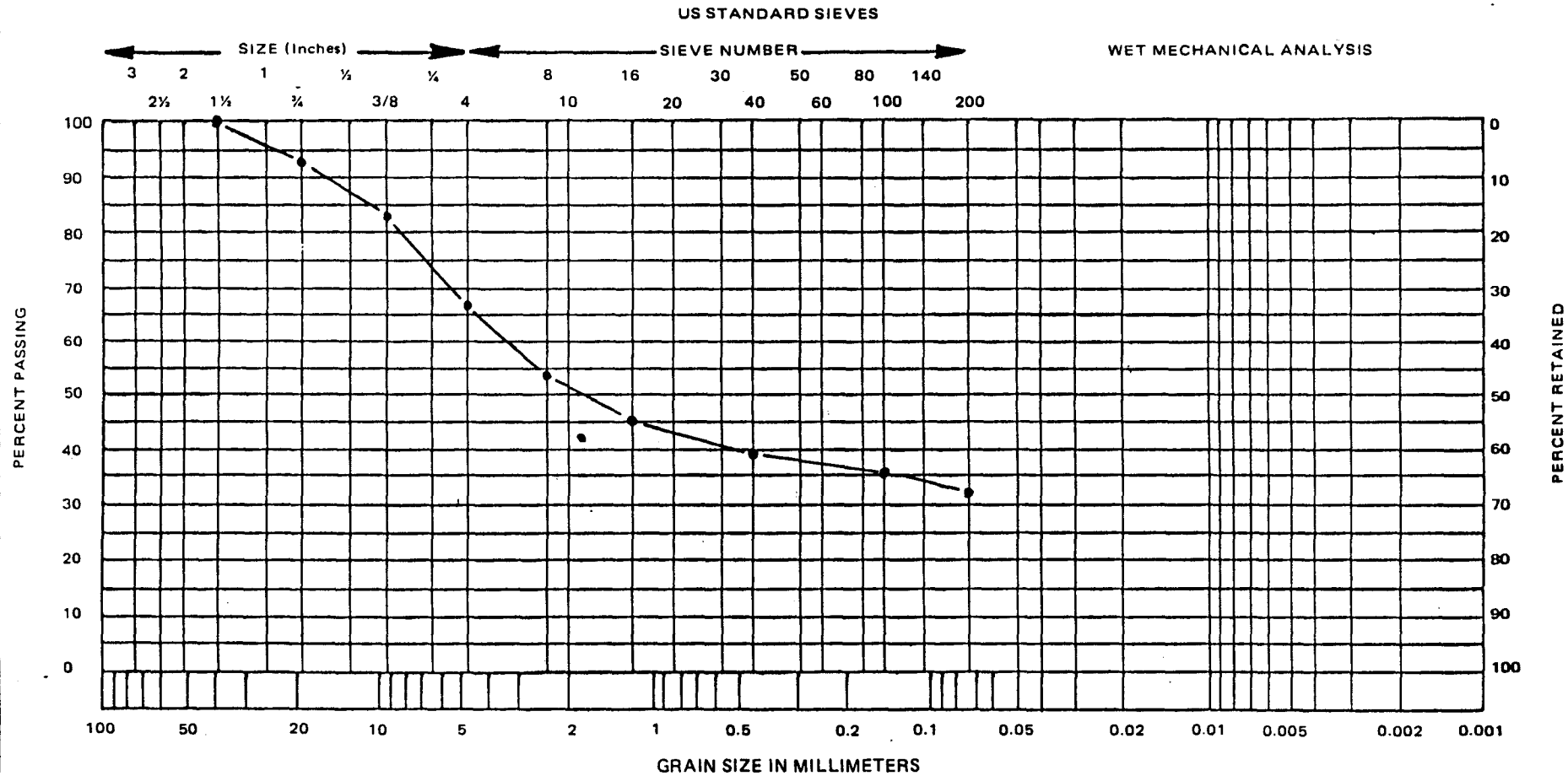
Destination *Wilson Ranch* Job *3-12*



EXCAVATION NUMBER	SAMPLE NUMBER	NATURAL % MOISTURE	W _L	W _P	I _P	CLASSIFICATION	REMARKS
4A @ 9'		8.3	-	-	NP	SM	26.4 % Gravel
							55.0 51.4 % Sand
							18.6 22.2 % Fine
TECHNICIAN (Signature) <i>John Whiteside</i>			PLOTTED BY (Signature) <i>John Whiteside</i>			CHECKED BY (Signature)	

PROJECT

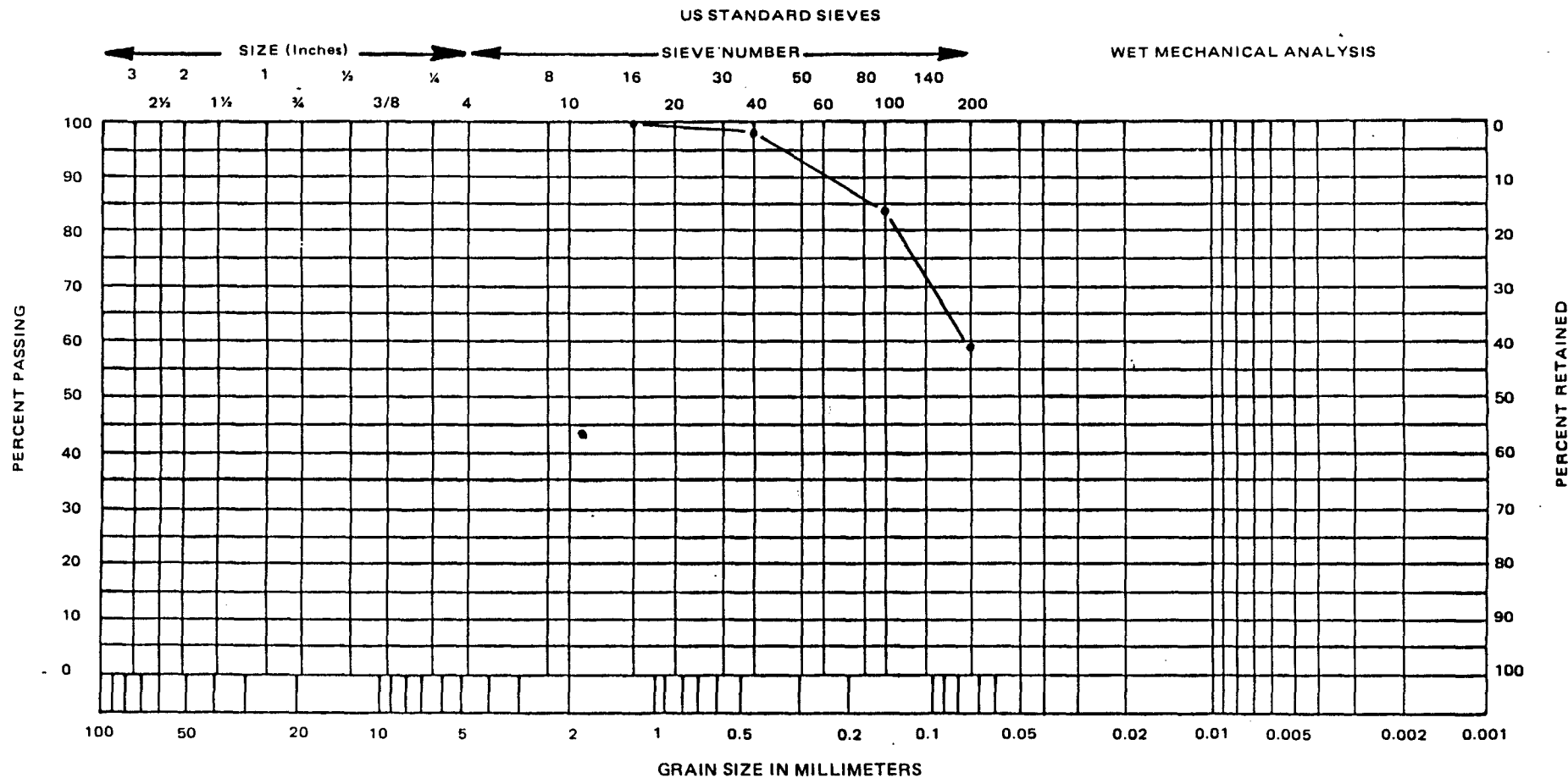
Destination Wilson Ranch Job 3-12



EXCAVATION NUMBER	SAMPLE NUMBER	NATURAL % MOISTURE	W _L	W _P	I _P	CLASSIFICATION	REMARKS
10A@9'		9.0				SC-GC	32.8 % Gravel
							34.4 % Sand
							32.8 % Fine
TECHNICIAN (Signature) John Whiteside			PLOTTED BY (Signature) John Whiteside			CHECKED BY (Signature) A. Porter	

PROJECT

Destination Wilson Ranch Job 3-12



EXCAVATION NUMBER	SAMPLE NUMBER	NATURAL % MOISTURE	W _L	W _P	I _P	CLASSIFICATION	REMARKS
19A @ 4'		7.4	-	-	NP	ML (sandy silt)	0.68.8 % Gravel
							40.6 % Sand
							59.4 % Fine
TECHNICIAN (Signature)			PLOTTED BY (Signature)			CHECKED BY (Signature)	
J.W.			J.W.			[Signature]	

PROJECT

Wilson Ranch - Destination Properties

RESULTS

MAXIMUM DRY UNIT WEIGHT

EXCAVATION NUMBER

SAMPLE NUMBER

Bulk

114.3 PCF

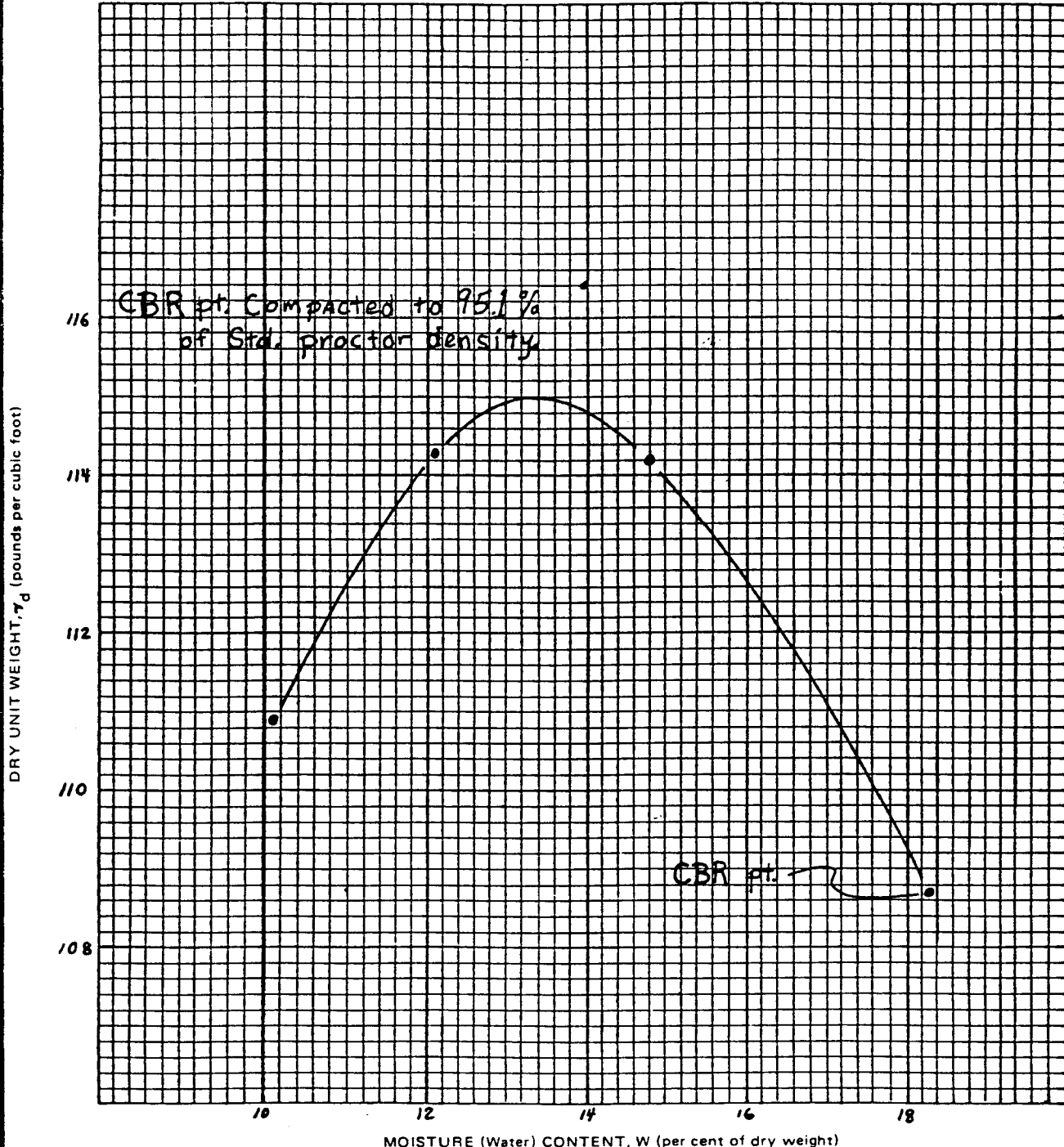
REMARKS (Use reverse side, if more space is needed)

Silt.

ASTM D-699 Method A

OPTIMUM MOISTURE (Water) CONTENT

12.1%



TECHNICIAN (Signature)

J. Whiteside

PLOTTED BY (Signature)

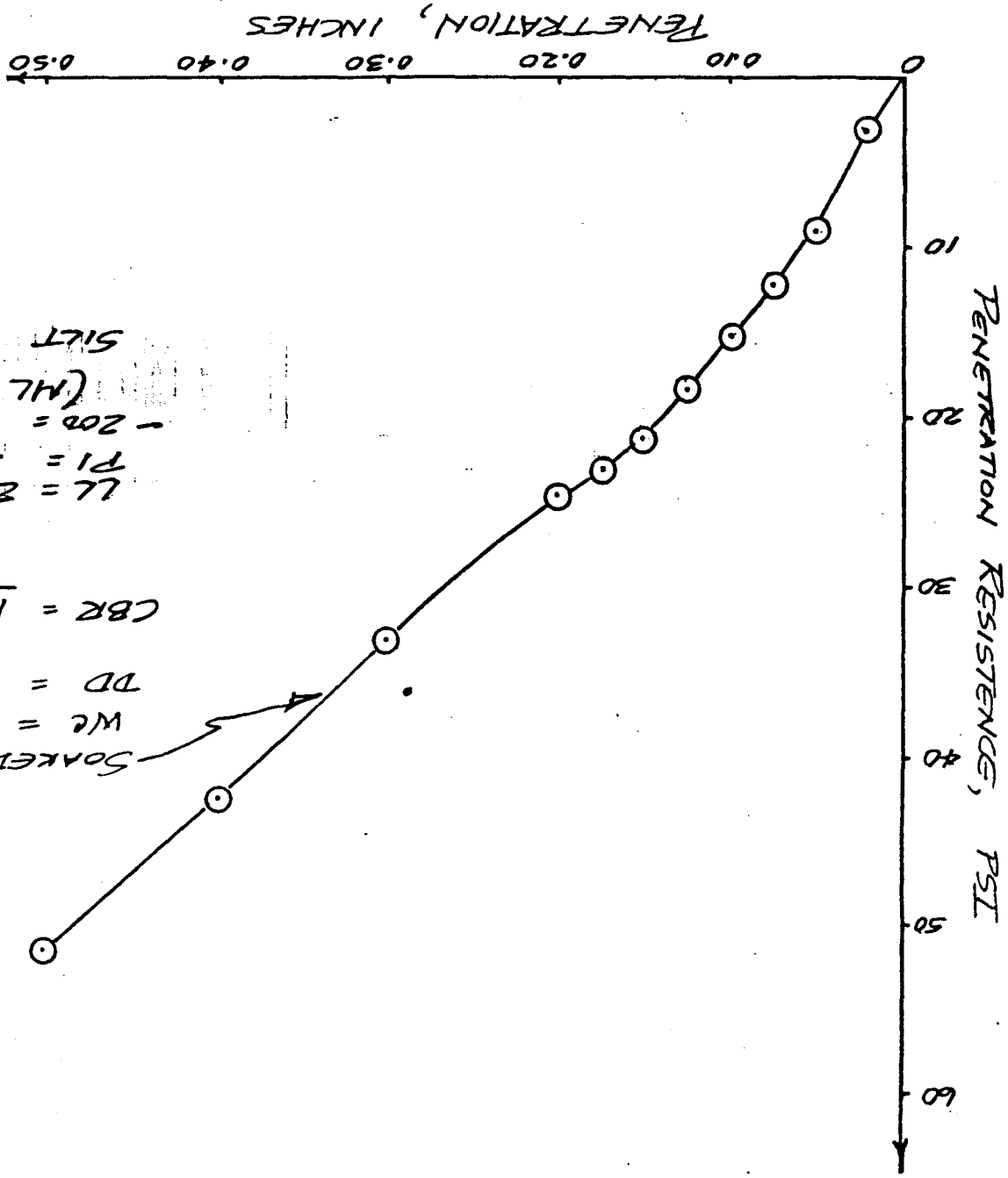
Patricia Dawson

CHECKED BY (Signature)

S. G. Rice



DYNAMIC CBR TEST RESULTS



SOAKED SAMPLE
 WE = 17.6
 VD = 109.9 PCF
 $CBR = \frac{15(100)}{1000} = 1.5$
 LL = 23.7
 PI = 3.2
 -200 = 78.1 (ML)
 SILT



**Wilson Ranch Townhomes
Response to Staff Review Comments**

Submitted By Nichols Associates, Inc.
for
GNT Development

July 1, 1996

P.O. BOX 60010
751 HORIZON CT
SUITE 102
GRAND JUNCTION
COLORADO 81506
TELEPHONE
970-245-7101
FACSIMILE
970-245-3251

City Community Development
Dave Thornton
General Comments

1. The 119 parking spaces as proposed meets the parking requirement for multi-family development.
2. Please submit a detailed landscaping plan at final plat.

A detailed landscape plan will be submitted at final plat.

3. The procedure for final approval for the private street into the development is not certain. Please contact Kathy Portner at 244-1446 regarding this.

Kathy Portner was contacted on 6-19-96. A specific approval process is not required for this private street.

4. We would like to see as many of the existing trees as possible be retained. Please show on the landscaping plan the location of all existing trees.

Existing tree location is shown on landscaping plan. Only tree worth saving is the Cottonwood. Others are "trash trees" such as seeded elms.

City Development Engineer
Jody Kliska

1. Similar projects which have discharged directly into Leach Creek have been assessed a drainage fee. The calculated fee based on the information provided in the drainage study is \$13,711.25.

Original approval was given for direct discharge into canal. I have voluntarily designed a storm drain which will cost \$12-15,000 to avoid this. I have talked to the canal company and if the cost of drainage is prohibitive a discharge agreement can be executed.

Note: Please see attached minutes ,pages 2 and 3, from Mesa County Planning Commission Meeting, April 17, 1980.

2. Please submit the pavement design with final plans.

Pavement design has been added to the "Roadway Plan and Profile" drawing.

3. Indicate the storm drain crossing on the sewer profiles.

The storm drain crossing is shown on the sewer profile on the "Water and Sewer Plan and Profile".

4. The centerline profile for G 1/2 Road shows a grade of .13%. The SWMM manual calls for a minimum .5% grade. Is it possible to increase the slope?

Increasing the centerline profile grade is not practical for this section of road. G 1/2 Road is designed with a 2% cross slope in this area to prevent standing or ponding water on the driving surface. Runoff from the road surface will be transported to the nearest storm drain inlet by the curb and gutter and adjacent drainage ditch.

5. The request for TCP credit needs to be done in a letter to Community Development detailing the costs of the improvements.

Cost for new G 1/2 is approximately \$100,000 (bid by United Paving on 6/28/96). TCP that would be collected would be only \$30,500.

**City Utility Engineer
Trent Prall**

1. PLEASE NOTE: 1996 City of Grand Junction Standard Specifications shall apply for this proposed development. Copies are available for \$10 in the Public Works and Utilities office.

Acknowledged.

2. As of 6/14/96, the sewer under the canal is still not accepted due to easements not being finalized. Please submit finalized easements as soon as possible.

The finalized easement is included with this submittal.

3. Water: Ute. Please provide a sign off block for Ute Water on all water related plans.

An approval block for Ute Water has been added to the water related plans.

4. If sewers are to be publicly maintained, ensure plat reflects 20' minimum easements accommodating installation, repair, maintenance and replacement of sewers.

A 20' easement will be recorded after the sewer main is completed.

5. Alignments and grades appear adequate. More comments on final submittal.

6. Please add the following notes for the final submittal:

- A. Contractor shall have one signed copy of plans and a copy of City of Grand Junction's Standard Specifications at the job site at all times.
- B. All sewer mains shall be PVC SDR 35 (ASTM 3034) unless otherwise noted.
- C. All sewer mains shall be laid to grade utilizing a pipe laser.
- D. All service line connections to the new main shall be accomplished with full body wyes or tees. Tapping saddles will not be allowed.
- E. No 4" services shall be connected directly into manholes.
- F. The contractor shall notify the City inspection 48 hours prior to commencement of construction.
- G. The Contractor is responsible for all required sewer line testing to be completed in the presence of the City Inspector. Pressure testing will be performed after all compaction of street subgrade and PRIOR to street paving. Final lamping will also be accomplished after the paving is completed. These tests shall be the basis of acceptance of the sewer line extension.
- H. The Contractor shall obtain City of Grand Junction Street Cut Permit for all work within existing City road right-of-way prior to construction.
- I. A clay cut-off wall shall be placed 10 feet upstream from all new manholes unless otherwise noted. The cut-off wall shall extend from 6 inches below to 6 inches above granular backfill material and shall be 2 feet wide. If native material is not suitable, the contractor shall import material approved by the engineer.

- J. Sewer stub outs shall be capped and plugged east of property line. Stub out shall be identified with a steel fence post buried 1' below finished grade. As-built surveying of stub out required prior to backfill.

Unclear. Sewer does not extend to east property line nor could it serve any purpose if it were extended nor would adequate cover be available.

- K. Benchmark _____

Notes A through K (excluding J) have been added to the applicable drawings.

**City Fire Department
Hank Masterson**

1. The proposed fire line extension exceeds 1,000 feet in length and estimated fire flows are less than 1000 gallon per minute. Required fire flows for the townhomes will exceed 1000 gpm. To reduce required fire flows, petitioner will be required to install NFPA 13D fire sprinkler systems in all townhomes.

Acknowledged

2. The cost of the 13D systems must be included in an Improvements Agreement. Estimated cost of these sprinkler systems is \$1.50 per square foot of floor space.

Improvements Agreement would be unduly burdensome. Same result can be accomplished by adding a note to Final Plat and requiring installation at time building permit is issued. Without sprinklers no Certificate of Occupancy could be obtained.

3. Along with the fire sprinkler systems, the fire line sizes and hydrant locations will be adequate as shown.

Acknowledged.

**City Police Department
Dave Stassen**

1. Are the parking garages true garages (enclosed on all sides) or are they covered "carports"? If they are just covered ports, I would STRONGLY suggest not covering them with the set-up as is, the covered parts COULD have a significant problem with thefts from auto. My recommendation would be to do away with the covers and place pedestrian level lights throughout all parking area so that there are no dark areas in the parking lots.

Parking garages are true garages.

2. If only fencing is to be used, it should be transparent in nature.

Perimeter fencing will be split rail.

**Mesa County School District #51
Lou Grasso**

School - Current Enrollment/Capacity - Impact
Appleton Elementary - 277/250 - 40
West Middle School - 531/500 - 20
Grand Junction High School - 1674 - 1630 - 26

**U.S. West
Max Ward**

For timely telephone service, as soon as you have a plat and power drawing for your housing development, please.....

MAIL COPY TO:
U.S. West Communications
Developer Contact Group
P.O. Box 1720
Denver, CO 80201

AND CALL THE TOLL FREE NUMBER FOR:
Developer Contact Group
1-800-526-3557

We need to hear from you at least 60 days prior to trenching.

Acknowledged.

**Public Service Company
Jon Price**

1. Sewer or water lines cannot be installed in same trench as natural gas - 3 feet horizontal separation.

Sewer and gas line locations have been modified to provide a minimum 3 foot horizontal separation.

2. Gas service tap will not be installed under asphalt or concrete.

The gas line location has been modified to prevent taps under asphalt or concrete.

3. Easements? I suggest a "blanket easement".

See Note 5, "Site Plan", "All open space is designated as a utility easement."

**U.S. Postal Service
Mary Barnett**

The Postal Service recommends central delivery and will provide the developer with equipment.

Acknowledged.

**Ute Water
Gary Mathews**

1. The proposed 8" line in G 1/2 Road needs extended further to the east to the end of property and an 8" inline valve installed.

The 8" water main has been extended an additional 260' to the east to the beginning of road construction. The line will be terminated with an 8" valve and a blowoff.

2. Two inline valves are needed on the canal crossing. One on each side of the canal. Contact with Ute Water is needed to discuss number, cost and location of water meters.

Valves have been added. See "Water Line - Wilson Ranch Tie In." Water meters are located in accordance with Ute Water's recommendations.

3. Water mains shall be C-900, class 150. Installation of pipe fittings, valves and services including testing and disinfection shall be in accordance with Ute Water standard specifications and drawings.

Notes added to plans to include Ute Water specifications and drawings.

4. Developer will install meter pits and yokes. Ute will furnish pit and yokes.

See Note 3, "Water and Sewer Plan and Profile".

5. Construction plans required 48 hours before development begins.

Requirement acknowledged.

6. Policies and fees in effect at the time of application will apply.

Acknowledged.

Please note also that an easement for waterline maintenance will be recorded after the waterline extension is completed.

**Grand Valley Rural Power
Perry Rupp**

Please note utility easements for power lines.

See Note 5, "Site Plan", "All open space is designated as a utility easement."

**Grand Valley Water Users
Richard Proctor**

Grand Valley Water Users Association has no project facilities located within this proposed area. We offer no other comments.

**Grand Valley Irrigation
Phil Bertrand**

This subdivision abuts our canal and canal right-of-way. A 25 foot from water edge canal right-of-way must not be encroached upon. The plat must show and state this 25 Grand Valley Irrigation Company canal right-of-way. Must state and clarify single point of delivery for irrigation water. A discharge agreement must be signed if water is to enter the canal.

A 25 foot Easement for the Grand Valley Irrigation has been added to the drawings. The single point of delivery for delivery of irrigation water will be in the Northwest corner of the site north of G 1/2 Road. The requirement for a signed discharge agreement is acknowledged.

MESA COUNTY PLANNING COMMISSION

M I N U T E S

April 17, 1980

RECEIVED MAY 5 1980

The first meeting of the month of April was called to order at 7 :35 p.m. by Chairman LLOYD SOMMERVILLE. The following members were present: HARRY TALBOTT, KEITH MESSINGER, JAMES KAMICAR, DAVID SKINNER, NANCY DICKEY, GERRY STUART and CHARLIE REICKS.

KARL METZNER, Assistant Planning Director; ROGER SHORES, Planning Staff, and LEILA E. MOSHER, Certified Shorthand Reporter, were also present. There were approximately fifty interested citizens in the audience.

REICKS/MESSINGER PASSED 7-0 A MOTION TO APPROVE THE MINUTES OF THE MARCH 13, 1980 MEETING.

C 18-80 REZONE AFT TO PB & O.D.P. FOR MESA VILLAGE SUBDIVISION

Petitioner: Lincomm, Inc. Location: Northeast corner of 24 Road and F Road (re-aligned). Request to change from agricultural/forestry uses to planned business uses on 26 acres.

- a. Consideration of zone.
- b. Consideration of outline development plan.

LLOYD SOMMERVILLE read the request and opened the public hearing.

KARL METZNER outlined the location of the parcel.

JOHN SHAW appeared for the Petitioner and outlined the proposed development.

KARL METZNER presented the Review Sheet Comments and the Staff Recommendations.

JOHN SHAW responded to the comments on the twenty foot maintenance strip, stating that this is proposed to be a landscaped area for emergency vehicle access. JOHN SHAW stated the developer was aware of the flood plain problem and had planned the design of the structure above the flood plain elevation.

LLOYD SOMMERVILLE closed the public hearing.

REICKS/SKINNER PASSED 6-1 (STUART AGAINST) A MOTION TO RECOMMEND APPROVAL TO THE COUNTY COMMISSIONERS OF THE REZONE FROM AFT TO PB AND ODP FOR THE FOLLOWING REASONS: THAT IT DOES CONFORM WITH THE GUIDELINES OF THE NORTHWEST TASK FORCE; IT DOES ABUT AND ADJOIN AN EXISTING PB ZONE AND THAT IT IS NOT SERIOUSLY GOING TO CHANGE THE CHARACTER OF THE AREA.

JERRY TOMPKINS appeared and concurred with the comments of DAVID JONES.

MR. CONKLIN appeared as a property owner in the area and voiced objection to the proposal because of the high density proposed.

JOHN SUMMERS appeared in opposition to the proposed high density.

JACK PAYNE, the Petitioner, responded to the audience with a description of the proposed development and how it would correspond to the neighborhood.

LARRY BRANSON appeared as a property owner in the vicinity of the proposed rezoning and objected to the density of the proposal.

ROGER SHORES outlined the Review Sheet Comments and presented the Staff Recommendations.

TOM LOGUE: We have talked to the Staff and feel their comments are well taken and can be incorporated in future plans.

JACK PAYNE: As I tried to refer to in my comments, I do not anticipate there will be six units per acre here, and I think Roger's recommendation that we delete the request for density is more than appropro, and I am certainly more than willing to accept that.

LLOYD SOMMERVILLE closed the public hearing.

LLOYD SOMMERVILLE: I might state, from observation of the topography of the area, that it is the type of area I think the planned residential could substantially improve the area.

SKINNER/TALBOTT PASSED 5-0 (KAMICAR AND REICKS ABSTAINING)
A MOTION TO RECOMMEND DENIAL TO THE COUNTY COMMISSIONERS AS THERE IS NO ADOPTED VICINITY PLAN IN THE AREA; THAT THIS WOULD BE A MAJOR DEPARTURE FROM THE EXISTING ZONING THAT IS IN THE AREA AT THE PRESENT TIME.

C 191-79 WILSON RANCH SUBDIVISION - PRELIMINARY PLAN

Petitioner: Destination Properties, Inc. Location: East side of 25.5 Line, South side of G.5 Road (I-70). Contains 42 acres designed for 181 units in a planned residential zone.

LLOYD SOMMERVILLE read the request and opened the public hearing.

KARL METZNER outlined the location of the parcel.

TOM LOGUE, Paragon Engineering, appeared for the Petitioner and outlined the proposed development.

✓ NANCY DICKEY: On your multi-family up there above the canal, you are going to have drainage into the canal?

✓ TOM LOGUE: Yes, Ma'am, that's right.

KARL METZNER presented the Review Sheet Comments and the Staff Recommendations.

TOM LOGUE responded to the Review Sheet Comments and the Staff Recommendations, stating they had discussions on the various items with the Planning Staff, the County Road Department, the Drainage District and the County Engineer.

HARRY TALBOTT: Mr. Chairman, Karl, or Roger, how does this fit in with the Northwest Task Force Recommendation?

KARL METZNER: It complies with the Recommendation.

✓ TALBOTT/MESSINGER PASSED 6-0 (REICKS ABSTAINING) A MOTION TO RECOMMEND APPROVAL TO THE COUNTY COMMISSIONERS WITH THE FOLLOWING STIPULATIONS: THAT IT IS WITHIN THE GUIDELINES OF THE NORTHWEST VICINITY PLAN; THAT IT CAN BE SERVED WITH UTILITIES; THAT THEY WORK WITH THE STAFF TO DEAL WITH THE DESIGN AND DEVELOPMENT PROBLEMS CONCERNING SIDEWALKS AND MAT AND G.5 ROAD, AND THAT LANDSCAPING PLAN BE COMPATIBLE WITH THE AREA WITH A PLANTING SCHEDULE TO BE PROVIDED.

C 165-79 JUNCTION MINI STORAGE - FINAL PLAN AND PLAT

Petitioner: Ken Atchison. Location: Between the D&RGW Railroad and E Road, lying West of 30.25 Line. Contains 5.056 acres in a planned commercial zone.

- a. Consideration of final plan.
- b. Consideration of final plat.

LLOYD SOMMERVILLE read the request and opened the public hearing.

ROGER SHORES outlined the location of the parcel.

KENNETH ATCHISON appeared as the Petitioner and outlined the proposed development. MR. ATCHISON requested direction from the Commission on the residence that is presently on the property, and the procedure whereby he could leave the residence there as an office and for public use.

LLOYD SOMMERVILLE closed the public hearing.

REICKS/SKINNER PASSED 7-0 A MOTION TO RECOMMEND APPROVAL OF THE FINAL PLAN AND PLAT TO THE COUNTY COMMISSIONERS, ALONG WITH THE RECOMMENDATION THAT THE HOUSE CAN REMAIN AS LONG AS IT IS NEVER SEVERED FROM THE PROPERTY, AND USED ONLY FOR OFFICE SPACE AND PUBLIC USE.

C 31-80 EASEMENT VACATION

Petitioner: Bob Coburn. Location: The West 5' of the 20' utility along the East side of Lot 1, Block 4, Sunridge Subdivision, 1st Addition.

August 8, 1996



Dan Garrison
GNT Development Corp.
PO Box 308
Grand Junction, CO 81501

Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(970) 244-1430 FAX (970) 244-1599

Dear Dan:

The following items must be submitted to the City Community Development Department by the date noted for Wilson Ranch Townhomes to be scheduled for the September 3, 1996 Planning Commission hearing.

1. Submit 4 copies of the full set of revised plans, including new plats, (stapled and rolled) with corrections addressing conditions of Planning Commission report dated July 31, 1996 and my most recent comments listed on the attached sheet, on or before noon August 14, 1996. Plans shall show phasing.
2. Submit a legal description for future lot 1. block 1 for the rezoning notice (metes and bounds description) by noon August 13th. The rezoning of lot 1, block 3 from PR 4.4 to Planned Business will be added to the agenda.
3. Submit 8 copies of plats (set of 4) for distribution to utilities. Plats shall include a review agency cover sheet and other attachments specified on the attached submittal checklist. Submit on or before 12:00 noon, August 14th. We'll add file # and return deadlines, then call and you can deliver them to the review agencies. Utilities will be given one week to respond.

Due to the short notice for review of these plans some issues may need to be resolved at the Planning Commission hearing. There will not be time for response to comments from yourself. Plats/plan may need revision pending the outcome of the commission's decision. Please be sure to request a longer time frame than one year for recording, it that is your intent. Have Nichols & Associates call me if they have questions.

Sincerely,

A handwritten signature in cursive script that reads "Bill Nebeker".

Bill Nebeker
Senior Planner

FP-96-160 / WILSON RANCH TOWNHOMES / ADDITIONAL REVIEW COMMENTS

August 23, 1996 / page 1 of 2

CITY COMMUNITY DEVELOPMENT

8/22/96

Bill Nebeker

244-1447

Filing One:

1. The whole area encompassing Wilson Ranch Townhomes must be platted with this first filing. Show all dimensions for phases and rename filing #2 as block 1, lot 1; filing #3 as block 1, lot 2; and filing #4 as block 1, lot 3. If needed, they can be designated for future development in the dedication statement. A utility or multi-purpose easement may be needed along G ½ Road. Eliminate the temporary cul-de-sac. Show the original alignment of G ½ Road and note how it is to be vacated, with Ordinance # _____, Book _____, and Page _____.
2. Change lot 1 to block 2, lot 1.
3. Add a dedication statement for a pedestrian easement within Tract B.
4. Change Area Summary to include the lots for future development.
5. Legal description on cover page should include entire area being platted.

Filing Two:

1. Legal description on cover will be replat of block 1, lot 1.
2. Clear up confusion of tracts. Tract A & B are located on the same lot, as well as Tract B & C on a separate lot; then the private road is also designated as Tract C.
3. What happened to parking garage G9?
4. Remove dedication statement for G ½ Road since its not being dedicated with this filing. Remove other dedication statements for easements not being dedicated on this filing and all others.
5. Check spelling on this and other cover sheets; pubolic, gurses,
6. Is temporary cul-de-sac not being dedicated on this plat?

Filing Three & Four:

1. Revise legal description as changed above.
2. Tract B dedication statement on filing 3 (private drive) must be the same as that in filing 2.
3. Tracts are not labeled on filing 4.

Site Plan:

1. Change the note on the site plan to read that ALL trash dumpsters will be enclosed on three sides by a 6 foot wooden fence.
2. All private sidewalks in the development must be at least 4' wide.
3. Remove the note, "Rear and Side Setback (North side only)" from the site plan. (The yard along a public streets is always a front yard setback

NOTE: Increased landscaping and possibly berming will be required between the sidewalk and the parking and trash receptacles since these facilities are not desirable in front yards and are not allowed in multi-family zones.

CITY PROPERTY AGENT

8/22/96

Steve Pace

256-4003

1. Need to note how the original alignment for G ½ Road was vacated (Filing #1).
2. Need to add pedestrian and drainage easements to the dedication (Filing #1).
3. The City may require a 14' multi-purpose easement along G ½ Road (Filing #1).
4. Bearings on the plat should read the same direction as in the description (Filing #1).

FP-96-160 / WILSON RANCH TOWNHOMES / ADDITIONAL REVIEW COMMENTS

August 23, 1996 / page 2 of 2

5. The 7th call along I-70 in the description doesn't match what is platted (Filing #1).
6. Remove G ½ Road & Grand Valley Irrigation Company easements from the description (Filing #2).
7. C1 and C2 in the curve table on Filing #2 are identical.
8. The tracts as labeled on Filing #2 are confusing.
9. Address Tract "B" in Filing #3 the same as Tract "C" in Filing #2.
10. Remove Grand Valley Irrigation Company easements from the dedication in Filing #3.
11. Need coordinates for parking garages on Filing #3.
12. Total acreage for Filing #3 should be 1.48 acres.
13. Remove Grand Valley Irrigation Company easement from Filing #4 dedication.
14. Tracts A & B are addressed in the dedication, but are not labeled on the plat.

To: Bill Nebeker
From: Trenton Prall
Subject: Fwd: FP96-160 Wilson Ranch Townhomes / Response
Date: 8/28/96 Time: 9:01AM

Originated by: TRENTONP @ CITYHALL on 8/28/96 8:50AM
Forwarded by: TRENTONP @ CITYHALL on 8/28/96 9:01AM (UNCHANGED)

***** ORIGINAL MESSAGE FOLLOWS

Plats - Are phases 2, 3, and 4 all being filed at the same time the sewer and water are constructed?? If not Filing 2 will also have to account for utility easements for all utilities being constructed under Filing 2.

Please let me know.

No other objections. TCP

795 GARRISON CT

NEBEKER

105 TO 94 SPTOWNES
76 TO 61 TOWNHOMES

STAFF REVIEW - PLANNING COMMISSION - SEPTEMBER 3, 1996 HEARING

FILE: FPP-96-160
DATE: August 28, 1996
STAFF: Bill Nebeker
REQUEST: Final Plat and Plan for Wilson Ranch Townhomes and Vacation and Rededication of G 1/2 Road. *REZONE PR 4.4 TO PB*
LOCATION: South side G1/2 Road, east of 25 1/2 Road
APPLICANT: W.D. Garrison for GNT Development Corp.

EXECUTIVE SUMMARY: Staff recommends approval of Phase 1-4 of the final plat and site plan for this 61 unit townhome development, as well as the vacation and rededication of adjacent G 1/2 Road. The townhome development is the last phase of the Wilson Ranch development. Four previous filings for 94 single family homes have been approved and largely constructed. The townhomes range in size from 1000 to 1400 square feet.

EXISTING LAND USE: Vacant - undeveloped

PROPOSED LAND USE: Attached Townhomes -

SURROUNDING LAND USE: North: I-70
East: Vacant
South: Single Family Residential
West: Single Family Residential

EXISTING ZONING: PR-4.4

SURROUNDING ZONING: PR

North: County AFT
East: City PR 4.4
South: City PR 4.4
West: County AFT

RELATIONSHIP TO COMPREHENSIVE PLAN: The preferred alternative for the Growth Plan (Concentrated Urban Growth) recommends that this area develop as Residential Medium Density (4-7.9 dwellings per acre). This townhome development has a density of 7.9 dwellings per acre. However the Wilson Ranch Planned Development has an overall density not to exceed 4.4 dwellings per acre. This development is in conformance with the Growth Plan.

ST. VAC & SUBPLAN/PLAT PART OF ORIGINAL PROPOSAL ???
\$ 125,000 TO 175,000/JUNE

STAFF ANALYSIS: The applicant proposes to develop a 61 unit townhome development that will be constructed in four phases. Planning Commission approval is sought for all of the phases at this time. As part of the proposal a portion of G 1/2 Road adjacent to the development will be vacated and realigned to provide a more buildable site. The townhomes constitute the last phase of Wilson Ranch Planned Development, a 94 unit single family subdivision and these townhomes.

Street Vacation The site for the townhomes is sandwiched between I-70 and the Grand Valley Highline Canal. Currently G 1/2 Road cuts through the middle of the site. By vacating approximately 850 feet of the road and realigning it to the north, adjacent to I-70, a more functional, buildable site is obtained, while also straightening the road considerably. The new road will be improved with curb and gutter on both sides and a detached sidewalk on the south side adjacent to the townhomes. A sidewalk on the I-70 side of the street would serve no purpose. The cost of relocating and fully improving the street will be the applicant's. The street may not be vacated until the new alignment, as shown in the first phase, has been platted.

The proposal to vacate G 1/2 Road meets the following criteria in the Grand Junction Zoning and Development Code regarding vacation of rights-of-way and easements.

- 8-3-1 LANDLOCKING - The proposal does not landlock any parcel of land.
- 8-3-2 RESTRICTIVE ACCESS - The proposal does not restrict access to any parcel of land.
- 8-3-3 QUALITY OF SERVICES - The proposal will not have an adverse impact on the health, safety and/or welfare of the general community, and will not reduce the quality of public services provided to any parcel of land. G 1/2 Road will be rededicated and reconstructed in an alternate location.
- 8-3-4 ADOPTED PLANS & POLICIES - The proposal does not conflict with adopted plans or policies affecting this area.
- 8-3-5 BENEFITS TO CITY OR COUNTY - The proposal has positive benefit to the city because provides for a straighter, safer street. It also provides a more buildable site for the development.

Site Plan Previous approval has been granted for 94 single family homes platted in four filings. The preliminary plan for 76 townhomes and condominiums was originally approved by the Mesa County Commissioners in 1980. The preliminary plan for 61 townhomes was approved administratively by City staff in June per the annexation agreement dated July 30, 1992. Final approval of the plat and plan by the Planning Commission is required to assure that the development meets current city standards. The street vacation must be approved by City Council as well as the Planning Commission.

The original preliminary plan approved by Mesa County included 20 townhomes and 56 condominiums. The plan also included a pool and playground. The site was largely configured as shown on the current site plan, with a private street running through the site approximately parallel to the Grand Valley Highline Canal. The final plan has the same configuration but contains 61 townhomes ranging in size from 1000 to 1400 square feet, in one and two story dwellings. The reduced density is due to a required 25 foot wide easement granted to Grand Valley Irrigation District for a ditch maintenance road. Along with the reduction in density, the applicant has also eliminated the pool and active playground, although open space is still proposed. At a minimum the applicant should provide some active features in the open space area(s) such as picnic tables, barbecue grills, basketball court, horseshoes, volleyball, or tot lot.

The applicant has responded to staff's concerns for active recreation by suggesting a pledge of \$1000 to the homeowner's association after the completion of phase 2 or 3, to install recreational amenities to their liking. According to the City Parks Department the approximate cost of a small tot lot is \$7000 to \$8000. A basketball court costs approximately \$12,000. More passive recreation such as picnic tables and trash cans would be less expensive but would easily eclipse the \$1000 contribution. Staff recommends that either active recreational amenities be installed by the developer, or an amount more in line with the cost of these amenities be provided to the homeowner's association prior to completion of phase 3.

The applicant is providing 119 parking spaces in 38 garages and 81 covered or open spaces. Required parking per city code is 114 spaces. The garage spaces are being platted, allowing them to be sold or leased separately from the townhomes. There could be a parking shortage on site if one resident buys more than one garage, or if they are used for purposes other than vehicle parking. If the garages were owned as common area by the homeowner's association, there would be more control to assure that their main purpose was achieved. Staff recommends that the garage spaces not be platted, but are left as common open space along with the remainder of the parking in the development.

Each phase contains the following number of dwellings and parking spaces:

<u>Phase</u>	<u># of dwellings</u>	<u>parking spaces</u>	
1	0	0	
2	26	73	(20 - garages; 53 - other)
3	17	12	(12 - garages; 0 other)
4	18	34	(6 - garages; 28 - other)
Total	61	119	(38 - garages; 81 - other)

Each phase contains enough parking for the amount of units being constructed. However some of the units in phases 2 and 3 do not have convenient parking located nearby. The applicant should consider reconfiguring some of the parking areas in these phases to provide more convenient parking for all units. Walkways within the site must be at least 4' wide.

The applicant is proposing a dense landscape buffer along G 1/2 Road to shield noise from I-70. Since this landscaping is located in the right-of-way a detailed plan showing the species to be planted, must be reviewed by the City Forester prior to planting. The developer or the future homeowners association will be required to maintain this landscaping. A revocable permit will be required for this landscaping in the public right-of-way. Landscaping on the remainder of the site, which includes a split rail fence and a hedge along the canal, appears to be adequate.

Stormwater runoff drains into the Grand Valley Highline Canal and adjacent Leach Creek. Grand Valley Irrigation Company is agreeable to this runoff. A discharge agreement will be required before recording the plat. A drainage fee is required for discharge into Leach Creek. A 20' easement for a future pedestrian and bicycle trail shall be dedicated along the canal.

^{4.4}
Rezone: Block 2, lot 4 located in the northeast corner of the site is proposed to be rezoned from PR 4.2 to Planned Business (PB). This parcel is located adjacent to Bookcliff Gardens Nursery. The applicant has proposed a swap with Bookcliff Gardens - the lot would be traded to the nursery to allow expansion of their nursery in return for landscaping materials for this development. Bookcliff Gardens is zoned PB. The rezone would allow the nursery to use the lot as intended. Uses on the lot will be limited to those uses commonly associated with the landscape nursery business.

The proposed rezone meets the criteria established in Section 4-4-4 of the Grand Junction Zoning and Development Code. The existing zoning was not an error at the time of adoption. With the proposed layout of the Wilson Ranch Townhomes, this parcel is better utilized as a part of the adjacent commercial use, rather than for residential purposes. The adjacent use, Bookcliff Gardens nursery has expressed a need for this lot to expand their area for storage and growing of landscape material. The proposed rezone is compatible with adjacent commercial properties and due to its proposed low impact use, is compatible with nearby residential uses. Benefits derived by the community through this rezoning include increased property taxes on a parcel that would otherwise be substantially unusable. The proposal is not in conformance with the Growth Plan map, which shows this area developing as residential 4 to 7.9 dwellings per acre, however it meets the intent of the plan to provide orderly, integrated growth. Adequate public facilities are available to serve the development for the type and scope suggested by the rezone.

Subdivision Plat: The development is divided into 4 phases. The first phase includes the realignment of G 1/2 Road, sidewalk roadway landscaping and fencing of the canal. Phase 2 includes a portion of the private street, Stirrup Road, and the construction of the first 26 townhomes. A temporary cul-de-sac is proposed within phase 2 to provide a turnaround until future development occurs. On the third phase the remainder of Stirrup Road will be constructed to G 1/2 Road along with 17 dwellings. The final phase includes the remaining 18 units. Tracts will be dedicated to the homeowners association for common parking, access, irrigation and open space purposes. Although private, Stirrup Road will be dedicated with an ingress/egress easement for trash collection, emergency vehicles and other services.

The applicant has requested a phasing plan of approximately one year for each successive phase as shown below:

<u>Phase</u>	<u>Completion Date</u>
Phase 1	December 31, 1996
Phase 2	December 31, 1997
Phase 3	December 31, 1998
Phase 4	December 31, 1999

This phasing schedule conforms with the intent of Section 6-9-2D of the Grand Junction Zoning and Development Code's, to allow one year for platting each phase of a development. The difference with this application is that approval for all four phases are sought at the same time.

STAFF RECOMMENDATION: Approval of the vacation and rededication of G 1/2 Road; Wilson Ranch Townhomes site plan, final plat filings 1-4 and rezone of proposed block 2, lot 1 from PR-4.4 to Planned Business, with the following conditions:

Rezone:

1. The uses on block 2, lot 1 shall be limited to those uses commonly associated with the landscape nursery business. *growing, plant storage*

Vacation:

1. G 1/2 road shall not be vacated until filing 1 is recorded, dedicating the new street in its entirety. The road shall be constructed in the new alignment before the current alignment is closed.

Site Plan:

1. A detailed landscaping plan for the area between the sidewalk and G 1/2 Road (in the public right-of-way) shall be submitted for review and approval by the City Forester prior to final approval of construction plans. Selected species shall comply with City recommended plantings. A revocable permit shall be required for this landscaping. All future maintenance of the landscaping shall be the developer or the homeowner association's responsibility.

JODY - ②

A pavement design report for G 1/2 Road must be reviewed and approved by the City Engineer prior to commencement of construction.

get figures from JODY ③

A discharge agreement with the Grand Valley Irrigation Company is required for any stormwater discharge into the canal. The agreement shall be executed and recorded prior to approval of construction plans.

4. A drainage fee to be calculated by the City Engineer shall be required for water discharged into Leach Creek.

5. The following changes shall be made to the site plan:

- a. All private sidewalks in the development must be at least 4' wide.
- b. All trash containers shall be screened with a 6' high sight obscuring fence or wall. Trash containers, maintenance building and/or parking spaces within 20' of the front lot line shall be heavily screened with a combination of landscaping, berms, walls or fencing.
- c. ~~As directed by the Planning Commission, the applicant shall provide one or more active recreation areas with picnic tables, barbecue grills and/or recreation amenities such as children's playground equipment, basketball/volleyball courts, or provide an equivalent amount of money to the homeowners association to install one or more of these amenities before filing 3 is completed.~~

RECREATION AMENITIES SHALL BE DECIDED BEFORE FINAL APPROVAL OF 4 PHASE 1B.

Subdivision:

- 1. Platting of individual lots for parking garages shall be deleted.
- 2. Filing 2 shall include an easement within the boundaries of filing 3 for the sanitary sewer line serving the development.
- 3. The phasing schedule may proceed as proposed by the applicant, with each successive phase being completed within one year. The first phase shall be completed by December 31, 1996.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on item 96-160 I move that we :

- 1. Forward a recommendation of approval to the City Council for the vacation of G 1/2 Road and the rezone of proposed block 2, lot 1 from PR-4.4 to Planned Business, with conditions in staff's recommendation; and
- 2. Approve the site plan and filings 1-~~2~~³ of the final plat with the conditions in staff's recommendation.

4/2/96 3-1

3-1

WILSON RANCH

September 5, 1996

City of Grand Junction
Community Development

Attn: Bill Nebeker

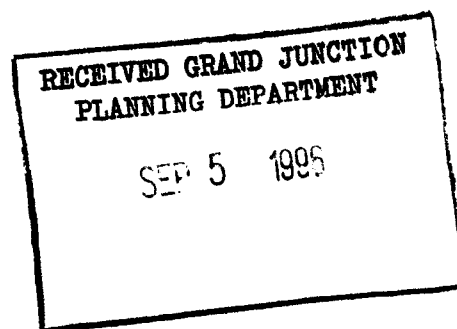
I would like to appeal the Planning Commission recommendation made September 3, 1996 concerning Wilson Ranch Townhomes.

Specific items of appeal^{are} is the recommendation on garages and the funds for active/passive recreation resulting in a denial of the final plat for filing four.

Sincerely,



W. D. Garrison



WILSON RANCH • 25¹/₂ & G¹/₂ Roads

G N T DEVELOPMENT CORP. • Developers of Wilson Ranch and other fine properties
P.O. Box 308 • Grand Junction, CO 81502 • Office: (970) 243-5902

STAFF REVIEW - CITY COUNCIL - SEPTEMBER 18, 1996 HEARING

FILE: FP-96-160
DATE: September 12, 1996
STAFF: Bill Nebeker
REQUEST: Vacation of a portion of G 1/2 Road and Rezone of a parcel from PR-4.4 to PB.
LOCATION: Wilson Ranch Townhomes; G1/2 Road, east of 25 1/2 Road
APPLICANT: W.D. Garrison for GNT Development Corp.

EXECUTIVE SUMMARY: Staff recommends approval of this vacation and rezoning request to accommodate the development of 61 townhomes in the last phase of Wilson Ranch. G 1/2 Road adjacent to the site will be vacated and realigned to provide a straighter and wider road. All improvements will be at the applicant's expense. The road will not be vacated until the new road is dedicated and constructed. The realignment isolates a parcel in the northeast corner of the site from the remainder of the development. The rezoning of this parcel from PR-4.4 to Planned Business allows it to be swapped to Bookcliff Gardens Nursery for landscaping materials to be planted along G 1/2 Road and in the interior of this site.

EXISTING LAND USE: Vacant - undeveloped

PROPOSED LAND USE: 61 Townhomes

SURROUNDING LAND USE: North: I-70
East: Vacant
South: Single Family Residential
West: Single Family Residential

EXISTING ZONING: PR-4.4

SURROUNDING ZONING:

North: County AFT
East: City PR-4.4
South: City PR-4.4
West: City PR-4.4

RELATIONSHIP TO COMPREHENSIVE PLAN: The preferred alternative for the Growth Plan (Concentrated Urban Growth) recommends that this area develop as Residential Medium Density (4-7.9 dwellings per acre). This townhome development has a density of 7.9 dwellings per acre.

However the Wilson Ranch Planned Development has an overall density not to exceed 4.4 dwellings per acre. This development is in conformance with the Growth Plan.

STAFF ANALYSIS: The applicant proposes to vacate a portion of G 1/2 Road in conjunction with the development of a proposed 61 unit townhome development. A portion of the site adjacent to Bookcliff Gardens is also proposed to be rezoned from PR-4.4 to Planned Business to be traded for landscape materials for this development. An appeal of the Planning Commission's decision to approve the final plan will be scheduled concurrent with the second reading of the ordinance for the vacation and rezone. An amended staff report will be submitted at that time to reflect the appeal of the site plan.

Street Vacation The site for the townhomes is sandwiched between I-70 and the Grand Valley Highline Canal. Currently G 1/2 Road cuts through the middle of the site. By vacating approximately 850 feet of the road and realigning it to the north, adjacent to I-70, a more functional, buildable site is obtained, while also straightening the road considerably. The new road will be improved with curb and gutter on both sides and a detached sidewalk on the south side adjacent to the townhomes. A sidewalk on the I-70 side of the street is not required because it would serve no useful purpose. The cost of relocating and fully improving the street will be the applicant's. The street may not be vacated until the new alignment, as shown in the first phase, has been platted.

The Planning Commission found that the proposal to vacate G 1/2 Road meets the following criteria in the Grand Junction Zoning and Development Code regarding vacation of rights-of-way and easements:

- 8-3-1 **LANDLOCKING** - The proposal does not landlock any parcel of land.
- 8-3-2 **RESTRICTIVE ACCESS** - The proposal does not restrict access to any parcel of land.
- 8-3-3 **QUALITY OF SERVICES** - The proposal will not have an adverse impact on the health, safety and/or welfare of the general community, and will not reduce the quality of public services provided to any parcel of land. G 1/2 Road will be rededicated and reconstructed in an alternate location.
- 8-3-4 **ADOPTED PLANS & POLICIES** - The proposal does not conflict with adopted plans or policies affecting this area.
- 8-3-5 **BENEFITS TO CITY OR COUNTY** - The proposal has positive benefits to the City it provides for a straighter, safer street. It also provides a more buildable site for the development.

Rezone: Proposed Lot 1, Block 2 of Filing One, located in the northeast corner of the site, is proposed to be rezoned from PR 4.4 to Planned Business (PB). This parcel is located adjacent to Bookcliff Gardens Nursery. The applicant has proposed a swap with Bookcliff Gardens - the lot would be traded to allow for expansion of the nursery in return for landscaping materials for this development. Bookcliff Gardens is zoned PB. The rezone would allow the nursery to use the lot as intended. Uses on the lot will be limited to those uses commonly associated with the landscape nursery business.

The Planning Commission found that the proposed rezone meets the criteria established in Section 4-4-4 of the Grand Junction Zoning and Development Code as noted below:

- A. **Was the existing zone an error at the time of adoption?** No. With the proposed layout of the Wilson Ranch Townhomes, this parcel is better utilized as a part of the adjacent commercial use, rather than for residential purposes. The adjacent use, Bookcliff Gardens Nursery has expressed a need for this lot to expand their area for storage and growing of landscape materials.
- B. **Has there been a change in character in the area due to the installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.?** Yes. The realignment of G 1/2 Road to provide a more buildable site for Wilson Ranch Townhomes, isolates this parcel from the remainder of the residentially zoned portion of the development. This parcel could not feasibly be developed for residential uses due to the realignment.
- C. **Is there an area of community need for the proposed rezone?** Yes. Increasing development in the Grand Valley has instigated the need for Bookcliff Gardens to expand its operations to meet the demand for additional landscaping materials.
- D. **Is the proposed rezone compatible with the surrounding area or will there be adverse impacts?** Limited to uses customarily associated with a landscape nursery business, there will be no perceived impact on surrounding properties. Due to the small area of this site, it is anticipated that this parcel will be used for storage. Site plan review is required before the site may be utilized.
- E. **Will there be benefits derived by the community, or area, by granting the proposed rezone?** Yes. Benefits derived by the community include additional open space along the I-70 corridor. Also there will be a slight gain in property taxes for a parcel that would otherwise be substantially unusable.
- F. **Is the proposal in conformance with the policies, intents and requirements of this Code, with the City Master Plan (Comprehensive Plan), and other adopted plans and policies?** The proposal is not in conformance with the Growth Plan Map, which shows this area developing as residential 4 to 7.9 dwellings per acre, however it meets the intent of the

plan to provide orderly, integrated growth. The Growth Plan Map was not intended to be the final map for every land use decision of every size in the City.

- G. **Area adequate public facilities available to serve development for the type and scope suggested by the proposed zone?** Depending on the specific use of this parcel, there is no anticipated need for any additional facilities to serve this site.

STAFF RECOMMENDATION: Approval of the vacation of a portion of G 1/2 Road and the rezone of proposed Lot 1, Block 2, Wilson Ranch Townhomes Filing #1 from PR-4.4 to Planned Business, with the following conditions:

Rezone:

1. The uses on Lot 1, Block 2, shall be limited to those uses commonly associated with the landscape nursery business.

Vacation:

1. G 1/2 road shall not be vacated until filing 1 is recorded, dedicating the new street in its entirety. The road shall be constructed in the new alignment before the current alignment is closed.

PLANNING COMMISSION RECOMMENDATION: Approval per staff's recommendation.

**Wilson Ranch Townhomes
#FP-96-160**

Wilson Drive

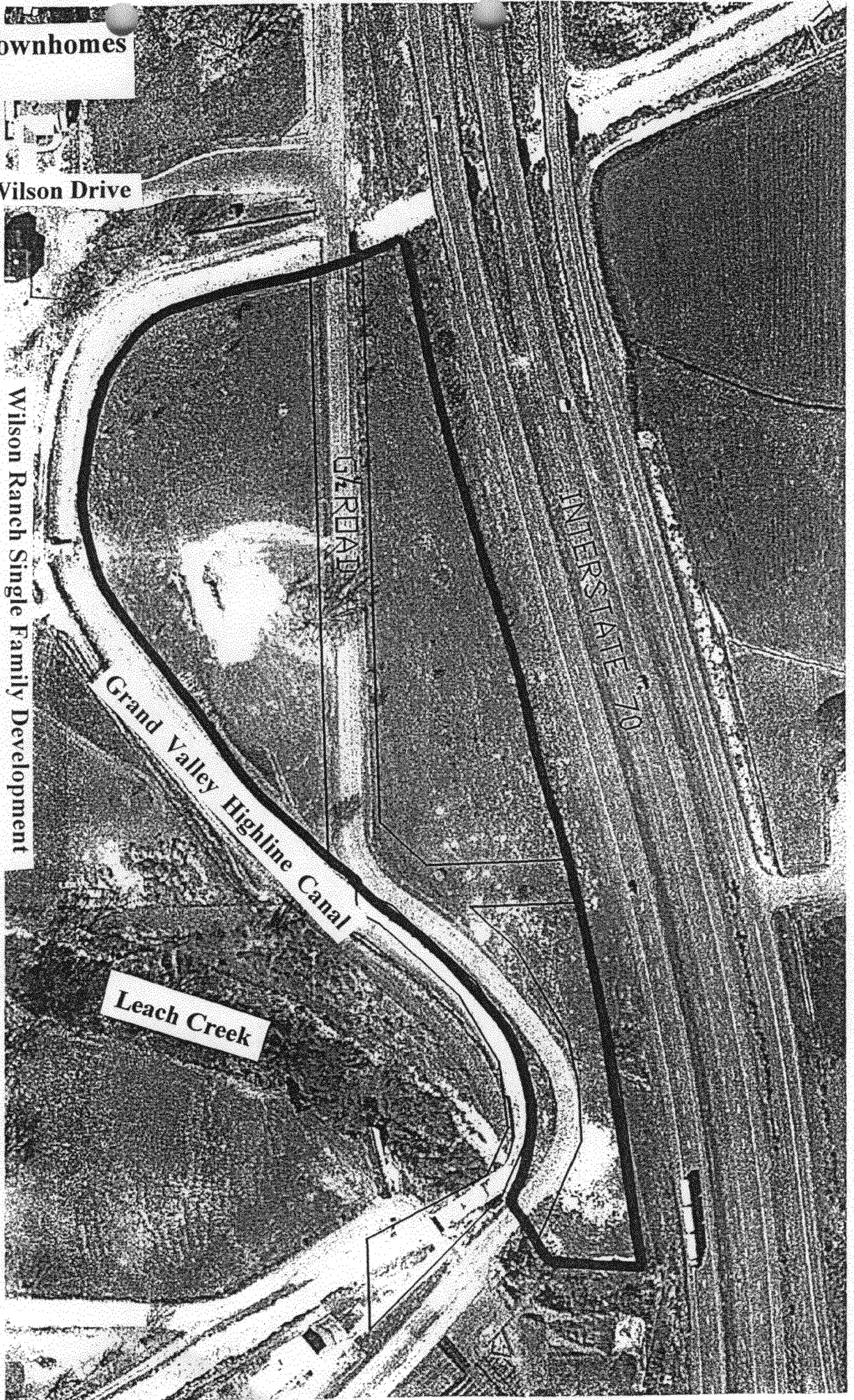
Wilson Ranch Single Family Development

Grand Valley Highline Canal

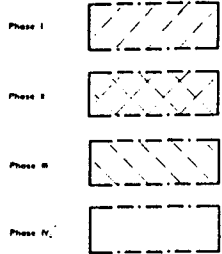
Leach Creek

GREEN

INTERSTATE 70



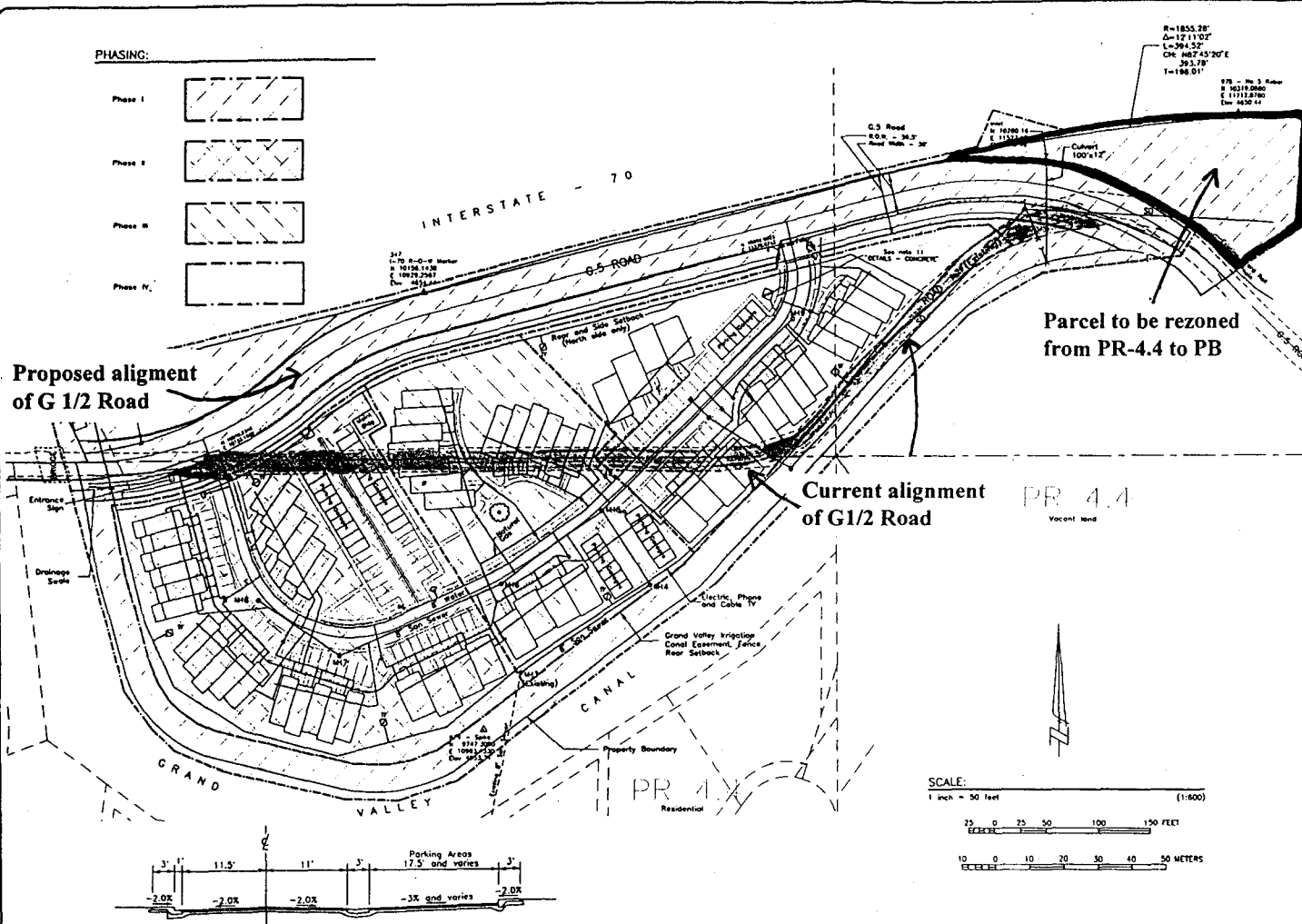
PHASING:



Proposed alignment of G 1/2 Road

Current alignment of G1/2 Road

Parcel to be rezoned from PR-4.4 to PB



N=1855.28'
 Δ=1711.02'
 L=394.52'
 CR= 807°43'20"E
 283.78'
 I=188.01'

STB - No. 3 Area
 1 10219.0800
 1 11121.9190
 L= 420.24'

247
 1-70 R.O.S. Marker
 N 10156.1428
 E 10872.2947
 L= 14154.44'

G.5 Road
 R.O.S. = 34.7'
 Road Mark = 30'

Curv. 100+117'

See note 11
 10219.0800
 11121.9190
 DISTANCE = 420.24'

- NOTES:
- All work shall be in accordance with approved plans and City of Grand Junction Specifications.
 - Natural gas meters for townhome groups shall be located on the end of each group and shall be a minimum of three feet from any tree or opening.
 - Electric meters for each group of townhomes shall be installed in a single location.
 - SURVEY CONTROL - Control points for horizontal and vertical control are shown on the drawings.
 - All open space within the site is designated as an easement for utilities.
 - The fence on the Grand Valley Canal Easement shall be a split rail fence a maximum of 4 feet in height.
 - The townhome entrance sign at the West entrance shall be a maximum of 4 feet by 8 feet.
 - Parking areas are a minimum of 9 feet by 18.5 feet.
 - All parking spaces are to be paved.
 - There are 118 parking spaces including open, garages, and covered parking.
 - Refer to the Final Plat for actual lot dimensions.
 - Three bikeracks, each capable of holding 3 bicycles shall be installed as directed by the owner.
 - Phase III construction shall include completion of Stirrup Drive.
 - The Eastern trash dumpster shall be enclosed on three sides by a 6 foot wooden fence.

LAND USE BREAKDOWN:

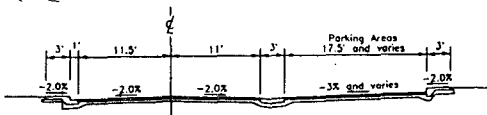
Land Use	Area (acres)	% of Total
Townhomes (61 units)	1.21	16
G 1/2 Road	1.05	14
Stirrup Drive, Parking, Adjacent Sidewalks	1.32	17
G 1/2 Road Sidewalk	0.10	1
Interconnecting Sidewalks	0.07	1
Open Space	3.92	51
Total	7.67	100

SITE UTILITY VENDORS:

- Water - Use Water Conservancy District
- Sewer - City of Grand Junction
- Electricity - Grand Valley Rural Power Lines, Inc.
- Gas - Public Service Company of Colorado
- Telephone - US West Communications
- Cable TV - TCI Cablevision of Western Colorado
- Irrigation - Grand Valley Irrigation Company

UTILITY NOTES:

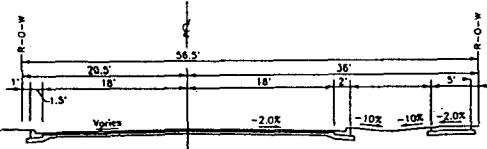
- Stencils for the following utilities MUST be installed and marked at all road crossings prior to paving:
 - A. Public Service - 4" sch. 40 PVC, 36" depth
 - B. GVP - 3 1/2" sch. 80 PVC, elec. grade, 48" depth
 - C. TCI - 4" sch. 40 PVC, 24" depth
 - D. US West - 4" sch. 40 PVC, 24" depth



NOTE: For appropriate partial sections, see plan

STIRRUP DRIVE:

No Scale

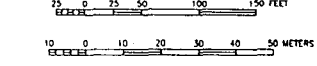
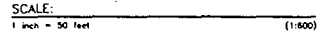
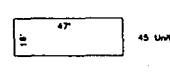
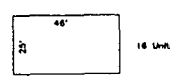


G.5 ROAD - TYPICAL CROSS SECTION:

No Scale

TYPICAL TOWNHOME LOTS:

Not to Scale



LEGEND:

- Storm Drain Inlet Without Curb Opening
- 48-inch Manhole With Ring and Cover
- 15-inch ADS #12 Stormdrain Pipe
- 12-inch Culvert
- Minimum Finished Floor Elevation (typ)
- Erosion Control Straw Bales
- Transformer
- Street Light
- Fire Hydrant
- Survey Control Point
- Electrical Power Pole
- Thrust Block with approximate pipe bend angle
- 6 cy Trash Dumpster Pad
- Stop Sign
- Street Name Sign

DESIGNED BY: J.M.S.

DRAWN BY: J.M.S.

CHECKED BY: J.M.S.

DATE: 8/12/99

PROJECT NUMBER: 3269

SHEET NUMBER: 2 OF 10

WILSON RANCH TOWNHOMES

CIVIL ENGINEERING • PHOTOGRAMMETRY • SURVEYING

75 • Hudson Court • Denver, Colorado 80202 • Phone: 303-733-1171

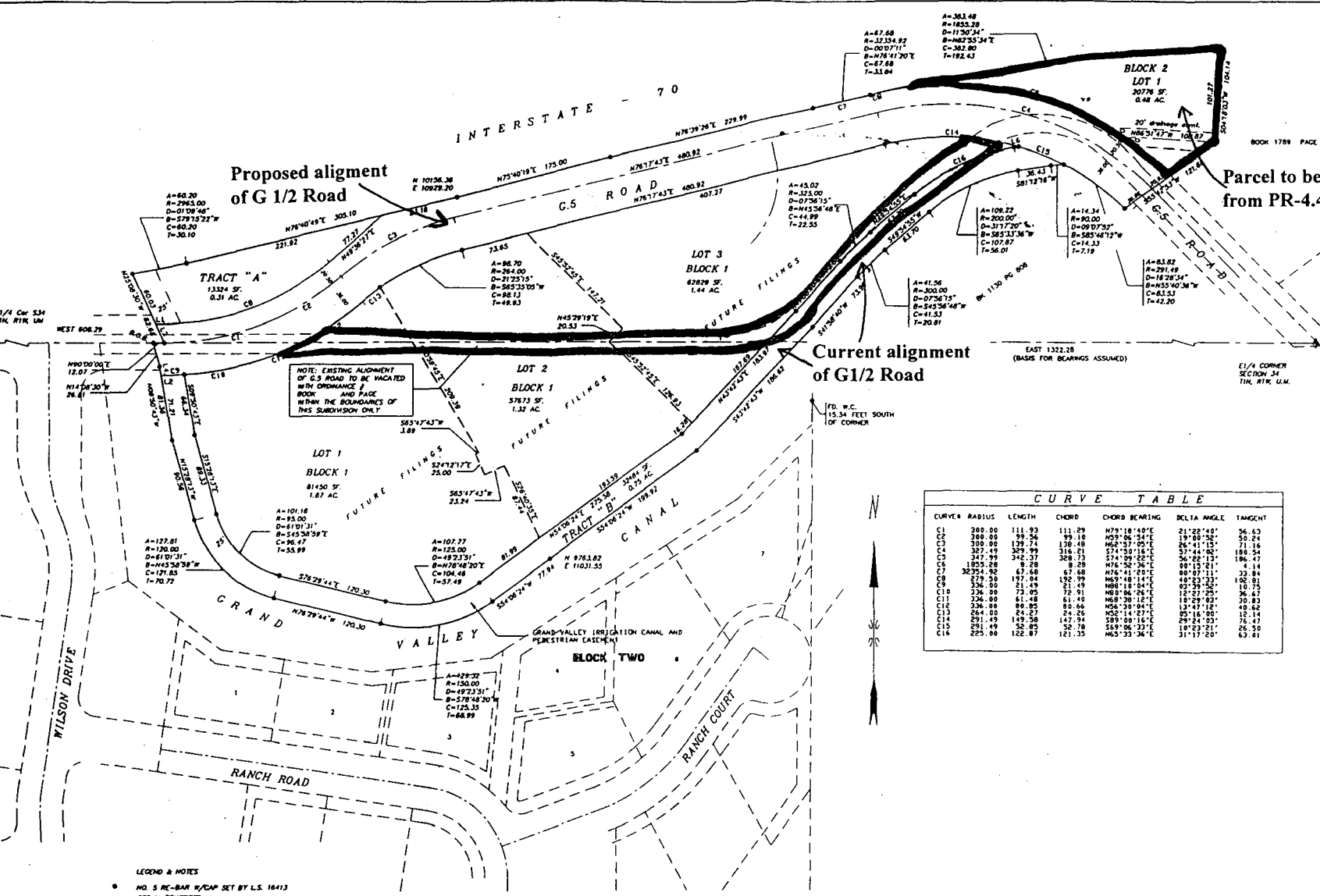
NICHOLS ASSOCIATES, INC.

DATE: Thu Aug 12 08:06:17 1999 nichols Associates, Inc.

Parcel to be rezoned from PR-4.4 to PB

Proposed alignment of G 1/2 Road

Current alignment of G1/2 Road



NOTE: EXISTING ALIGNMENT OF G.5 ROAD TO BE VACATED WITH ORDINANCE / BOOK / AND PAGE WITHIN THE BOUNDARIES OF THIS SUBDIVISION ONLY

CURVE TABLE					
CURVER	RADIUS	LENGTH	CHORD BEARING	BELTA ANGLE	TANGENT
C1	300.00	111.93	N79°18'40"E	21°22'40"	56.63
C2	300.00	92.56	N57°06'54"E	19°03'54"	29.24
C3	300.00	179.74	N62°37'05"E	26°41'15"	71.16
C4	327.49	329.99	S74°50'16"E	17°44'52"	180.54
C5	347.99	342.37	S74°09'22"E	36°22'13"	186.47
C6	1025.20	0.20	N76°52'56"E	00°15'21"	4.14
C7	32354.90	67.68	N76°41'20"E	00°07'11"	33.84
C8	275.50	197.04	N67°48'14"E	48°23'23"	106.81
C9	536.50	21.49	N88°10'04"E	02°31'58"	15.75
C10	236.00	73.05	N67°06'26"E	12°27'25"	36.67
C11	236.00	61.48	N67°09'12"E	18°28'52"	26.83
C12	336.00	86.85	N56°30'04"E	12°47'12"	40.62
C13	264.00	24.27	N50°14'27"E	05°16'00"	12.14
C14	291.49	149.58	S89°00'16"E	29°24'03"	75.47
C15	291.49	52.05	S59°06'33"E	07°23'21"	25.30
C16	225.00	122.87	N65°33'36"E	11°17'20"	64.81



- LEGEND & NOTES
- NO. 5 RE-BAR 1/2" CAP SET BY L.S. 18413 SET IN CONCRETE
 - ⊥ NO. 5 RE-BAR 1/2" CAP L.S. 18413
 - ⊙ FOUND MESA COUNTY SURVEY MARKER
 - 1. 1.50 SPRINKLING SYSTEMS ARE REQUIRED FOR ALL TOWNHOMES
 - 2. Private drives shall be maintained by the Wilson Ranch Townhomes Homeowners' Association.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N98°00'00"E	9.62
L2	N90°00'00"E	3.78
L3	S25°00'00"E	82.45
L4	S29°20'43"E	10.15
L5	N67°18'12"E	4.95

AREA SUMMARY
 ROAD = 1.51 ACRES = 21%
 LOTS = 4.81 ACRES = 65%
 TRACTS = 1.08 ACRES = 14%
 TOTAL = 7.38 ACRES = 100%

WILSON RANCH TOWNHOMES FILING ONE

FINAL PLAT
 SITUATED IN SECTION 34, TOWNSHIP 1 NORTH, RANGE 1 WEST, UTE MERIDIAN

FOR: GNT DEVELOPMENT CORP.		SURVEYED BY: RM SB
SCALE: 1" = 50 FT		DRAWN BY: MEM
DATE: 6/13/98		ACAD ID: WRT/PM
		SHEET NO.
		FILE: 95259

CITY OF GRAND JUNCTION

Ordinance No. _____

REZONING PROPERTY TO BE KNOWN AS
LOT 1, BLOCK 2, WILSON RANCH TOWNHOMES FILING ONE,
LOCATED ON THE NORTH SIDE OF G 1/2 ROAD, ADJACENT TO
BOOKCLIFF GARDENS NURSERY
FROM PR-4.4 TO PB

Recitals.

A rezone from PR-4.4 to PB (Planned Business) has been requested for a 0.48 acre parcel located in the northeast corner of proposed Wilson Ranch Townhomes. The realignment of G 1/2 Road to create a more buildable parcel for the townhomes, isolates this parcel from the remainder of the site. GNT Development Corporation has proposed to sway this lot to adjacent Bookcliff Gardens Nursery for landscaping materials for the townhome development. Bookcliff Gardens is zoned PB. The zone change allows Bookcliff Gardens to use this parcel without further City Council approval. Planning Commission approval of a final plan is required prior to usage of this parcel.

At its September 3, 1996 hearing, the Grand Junction Planning Commission recommended approval of this rezone request.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:

City Council finds that the requested rezone meets the criteria as set forth in Section 4-4-4 of the Grand Junction Zoning and Development Code and in accordance therewith the following described parcel is hereby rezoned from PR-4.4 to PB:

Beginning at a pt which is N90°00'00"W 868.50ft and N00°00'00"E 317.35ft from the E1/4 cor Sec 34, T1N, R1W, U.M. and considering the S line of the NE 1/4 of Sec 34, T1N, R1W, U.M. to bear N90°00'00"W and all bearings contained herein relative thereto, thence S04°18'03"W 104.14ft; thence S55°42'53"W 63.89ft; thence N45°58'15"W 4.24ft; thence with a curve turning to the left with an arc length of 342.37ft, with a radius of 347.99ft, with a chord bearing of N74°09'22"W, with a chord length of 328.73ft, thence with a curve turning to the right with an arc length of 383.48ft, with a radius of 1855.28ft, with a chord bearing of N82°55'34"E, with a chord length of 382.80ft to the Point of Beginning.

INTRODUCED for FIRST READING and PUBLICATION this day of 1996

PASSED on SECOND READING this day of , 1996.

ATTEST:

City Clerk

President of City Council

CITY OF GRAND JUNCTION

Ordinance No. _____

VACATING G 1/2 ROAD ADJACENT TO
WILSON RANCH TOWNHOMES, EAST OF 25 1/2

Recitals.

GNT Development Corporation has proposed to vacate G 1/2 Road approximately between the Grand Valley Canal crossing east of 25 1/2 Road and Leach Creek, adjacent to the proposed Wilson Ranch Townhomes. Currently the road cuts through the middle of the townhome site. By vacating the street and realigning it to the north, more parallel with Interstate 70 right-of-way, a more buildable site is obtained. A new street with full improvements will be constructed by the applicant at no expense to the City. Utilities will be relocated at the applicant's expense. The road will not be vacated until a new road is dedicated and constructed.

At its September 3, 1996 hearing, the Grand Junction Planning Commission recommended approval of this vacation request.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:

City Council finds that the requested vacation meets the criteria as set forth in Section 8-3 of the Grand Junction Zoning and Development Code and in accordance therewith the G 1/2 Road right-of-way located within the following described parcel is hereby vacated.

Beginning at a point on the North line of the SE 1/4 Section 34, Township 1 North, Range 1 West being 735.87 feet N90°00'00"E of the NW corner of the SE 1/4 Section 34, T1N, R1W, U.M. and considering the North line of the SE 1/4 Section 34 T1N, R1W U.M. to bear N90°00'00"E and all bearings contained herein to be relative thereto:

thence 62.85 feet along the arc of a curve to the left with a radius of 326.00 feet and whose chord bears N61°26'21"E 62.75 feet;
thence S90°00'00"E 440.86 feet;
thence 69.42 feet along the arc of curve to the left with a radius of 78.00 feet and whose chord bears N64°30'14"E 67.15 feet;
thence N39°00'28"E 101.03 feet
thence N48°57'08"E 96.32 feet;
thence N57°09'21" E 53.66 feet;

thence 126.44 feet along the arc of a non-tangent curve to the right with a radius of 274.00 feet and whose chord bears S78°52'54"E 125.32 feet;
thence 70.45 feet along the arc of a non-tangent curve to the left with a radius of 87.00 feet and whose chord bears S80°21'09"W 68.54 feet;
thence S57°09'21"W 76.56 feet;
thence S48°57'08"W 86.80 feet;
thence S39°00'28"W 95.81 feet;
thence 122.82 feet along the arc of a curve to the right with a radius of 138.00 feet and whose chord bears S64°30'14"W 118.80 feet;
thence N90°00'00"W 628.06 feet;
thence N14°08'30"W 4.13 feet;
thence S90°00'00"E 5.51 feet;
thence 131.08 feet along the arc of a curve to the left with a radius of 326.00 feet and whose chord bears N78°28'52"E 130.20 feet to the Point of Beginning

The vacation of G 1/2 Road is expressly contingent upon recordation of Wilson Ranch Townhomes Filing #1 showing the rededication of G 1/2 Road in an alternate location as required by the City.

INTRODUCED for FIRST READING and PUBLICATION this day of 1996

PASSED on SECOND READING this day of , 1996.

ATTEST:

City Clerk

President of City Council

CITY OF GRAND JUNCTION

Ordinance No. _____

VACATING G 1/2 ROAD ADJACENT TO
WILSON RANCH TOWNHOMES, EAST OF 25 1/2

*REPLACES
THIS LEAVE WAY TO
CC PROJECTS FOR
1ST ROWING*

Recitals.

GNT Development Corporation has proposed to vacate G 1/2 Road approximately between the Grand Valley Canal crossing east of 25 1/2 Road and Leach Creek, adjacent to the proposed Wilson Ranch Townhomes. Currently the road cuts through the middle of the townhome site. By vacating the street and realigning it to the north, more parallel with Interstate 70 right-of-way, a more buildable site is obtained. A new street with full improvements will be constructed by the applicant at no expense to the City. Utilities will be relocated at the applicant's expense. The road will not be vacated until a new road is dedicated and constructed.

At its September 3, 1996 hearing, the Grand Junction Planning Commission recommended approval of this vacation request.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION, COLORADO:

City Council finds that the requested vacation meets the criteria as set forth in Section 8-3 of the Grand Junction Zoning and Development Code and in accordance therewith the G 1/2 Road right-of-way located within the following described parcel is hereby vacated.

Beginning at a pt on the N line of the SE1/4 Sec 34, T1N, R1W, U.M. - said pt being 596.23ft E of the NW cor of the SE1/4 of said Sec 34; thence E along said N line 722.83ft to the north bank of the Grand Valley Canal, also known as the Highline Canal; thence along the said north bank the following 6 courses and distances: 1) S45°29'15"W 171.38ft, 2) S56°44'15"W 301.17ft, 3) S80°30'15"W 107.47ft, 4) N74°13'45"W 135.85ft, 5) N47°02'00"W 80.36ft, 6) N14°08'30"W 217.97ft to the POB; parcel containing 3.36 acres more or less. ALSO that part of the SW4NE4 Sec 34 in T1N, R1W, U.M. lying E of Grand Valley Canal and S of I-70 and also that part of SE4 NE4 said Sec 34 lying N of Leach Wash & S of I-70; parcel containing 3.76 acres more or less. Parcels include the current, undescribed, R-O-W for G 1/2 Road.

The vacation of G 1/2 Road is expressly contingent upon recordation of Wilson Ranch Townhomes Filing #1 showing the rededication of G 1/2 Road in an alternate location as required by the City.

INTRODUCED for FIRST READING and PUBLICATION this day of 1996

PASSED on SECOND READING this day of , 1996.

ATTEST:

City Clerk

President of City Council

STAFF REVIEW - CITY COUNCIL - OCTOBER 16, 1996 HEARING

FILE: FP-96-160
DATE: October 10, 1996
STAFF: Bill Nebeker
REQUEST: Vacation of a portion of G 1/2 Road, Rezone of a parcel from PR-4.4 to PB and Appeal of Planning Commission's approval of final plat/plan for 61 townhomes.
LOCATION: Wilson Ranch Townhomes; G1/2 Road, east of 25 1/2 Road
APPLICANT: W.D. Garrison for GNT Development Corp.

EXECUTIVE SUMMARY: An appeal of Planning Commission's decision to approve the final plat/plan for a 61 unit townhome development on 7.67 acres, constituting the final phase of Wilson Ranch Planned Development. Also the applicant requests a street vacation and rezoning to accommodate the townhome development. G 1/2 Road adjacent to the site will be vacated and realigned to provide a straighter and wider road. The realignment isolates a parcel in the northeast corner of the site from the remainder of the development. The rezoning of this parcel from PR-4.4 to Planned Business allows it to be swapped to Bookcliff Gardens Nursery for landscaping materials to be planted along G 1/2 Road and in the interior of this site.

EXISTING LAND USE: Vacant - undeveloped

PROPOSED LAND USE: 61 Townhomes

SURROUNDING LAND USE: North: I-70
East: Vacant & Bookcliff Gardens
South: Single Family Residential
West: Single Family Residential

EXISTING ZONING: PR-4.4

SURROUNDING ZONING: North: County AFT
East: City PR-4.4
South: City PR-4.4
West: City PR-4.4

RELATIONSHIP TO COMPREHENSIVE PLAN: The preferred alternative for the Growth Plan (Concentrated Urban Growth) recommends that this area develop as Residential Medium Density (4-7.9 dwellings per acre). This townhome development has a density of 7.9 dwellings per acre.

However the Wilson Ranch Planned Development has an overall density not to exceed 4.4 dwellings per acre. This development is in conformance with the Growth Plan Map.

STAFF ANALYSIS: The applicant proposes to develop a 61 unit townhome development, being the final phase of the Wilson Ranch Planned Residential Development. A final plat/plan for the development was approved by the Planned Commission at its September 3, 1996 hearing. This approval has been appealed, with many letters in opposition to the development coming from residents of the Wilson Ranch single family development to the south. To accommodate the development as planned, the applicant also proposes to vacate a portion of G 1/2 Road and rezone a portion of the site adjacent to Bookcliff Gardens from PR-4.4 to Planned Business.

Street Vacation: The site for the townhomes is sandwiched between I-70 and the Grand Valley Highline Canal. Currently G 1/2 Road cuts through the middle of the site. By vacating approximately 850 feet of the road and realigning it to the north, adjacent to I-70, a more functional, buildable site is obtained, while also straightening the road considerably. The new road will be improved with curb and gutter on both sides and a detached sidewalk on the south side adjacent to the townhomes. A sidewalk on the I-70 side of the street is not required because it would serve no useful purpose. The cost of relocating and fully improving the street will be the applicant's. The street may not be vacated until the new alignment, as shown in the first phase, has been platted.

The Planning Commission found that the street vacation meets the following criteria in the Grand Junction Zoning and Development Code regarding vacation of rights-of-way and easements:

- 8-3-1 **LANDLOCKING** - The proposal does not landlock any parcel of land.
- 8-3-2 **RESTRICTIVE ACCESS** - The proposal does not restrict access to any parcel of land.
- 8-3-3 **QUALITY OF SERVICES** - The proposal will not have an adverse impact on the health, safety and/or welfare of the general community, and will not reduce the quality of public services provided to any parcel of land. G 1/2 Road will be rededicated and reconstructed in an alternate location.
- 8-3-4 **ADOPTED PLANS & POLICIES** - The proposal does not conflict with adopted plans or policies affecting this area.
- 8-3-5 **BENEFITS TO CITY OR COUNTY** - The proposal has positive benefits to the City it provides for a straighter, safer street. It also provides a more buildable site for the development.

Rezone: Proposed Lot 1, Block 2 of Filing One, located in the northeast corner of the site, is proposed to be rezoned from PR 4.4 to Planned Business (PB). This parcel is located adjacent to Bookcliff Gardens Nursery. The applicant has proposed a swap with Bookcliff Gardens - the lot would be traded to allow for expansion of the nursery in return for landscaping materials for this development. Bookcliff Gardens is zoned PB. The rezone would allow the nursery to use the lot as intended. Uses on the lot will be limited to those uses commonly associated with the landscape nursery business.

The Planning Commission found that the proposed rezone meets the criteria established in Section 4-4-4 of the Grand Junction Zoning and Development Code as noted below:

- A. **Was the existing zone an error at the time of adoption?** No. With the proposed layout of the Wilson Ranch Townhomes, this parcel is better utilized as a part of the adjacent commercial use, rather than for residential purposes. The adjacent use, Bookcliff Gardens Nursery has expressed a need for this lot to expand their area for storage and growing of landscape materials.
- B. **Has there been a change in character in the area due to the installation of public facilities, other zone changes, new growth trends, deterioration, development transitions, etc.?** Yes. The realignment of G 1/2 Road to provide a more buildable site for Wilson Ranch Townhomes, isolates this parcel from the remainder of the residentially zoned portion of the development. This parcel could not feasibly be developed for residential uses due to the realignment.
- C. **Is there an area of community need for the proposed rezone?** Yes. Increasing development in the Grand Valley has instigated the need for Bookcliff Gardens to expand its operations to meet the demand for additional landscaping materials.
- D. **Is the proposed rezone compatible with the surrounding area or will there be adverse impacts?** Limited to uses customarily associated with a landscape nursery business, there will be no perceived impact on surrounding properties. Due to the small area of this site, it is anticipated that this parcel will be used for storage. Site plan review is required before the site may be utilized.
- E. **Will there be benefits derived by the community, or area, by granting the proposed rezone?** Yes. Benefits derived by the community include additional open space along the I-70 corridor. Also there will be a slight gain in property taxes for a parcel that would otherwise be substantially unusable.
- F. **Is the proposal in conformance with the policies, intents and requirements of this Code, with the City Master Plan (Comprehensive Plan), and other adopted plans and policies?** The proposal is not in conformance with the Growth Plan Map, which shows this area developing as residential 4 to 7.9 dwellings per acre, however it meets the intent of the

plan to provide orderly, integrated growth. The Growth Plan Map was not intended to be the final map for every land use decision of every size in the City.

- G. **Area adequate public facilities available to serve development for the type and scope suggested by the proposed zone?** Depending on the specific use of this parcel, there is no anticipated need for any additional facilities to serve this site.

Site Plan: A preliminary plan for 76 townhomes and condominiums was a part of the original approval of the overall Wilson Ranch development, approved by the Mesa County Commissioners in 1980. The larger plan originally included 105 single family homes, but was reduced to 94 lots, platted in four filings. The preliminary plan for 61 townhomes was approved administratively by City staff in June per the annexation agreement dated July 30, 1992. Final approval of the plat and plan by the Planning Commission was required to assure that the development meets current city standards.

The original preliminary plan approved by Mesa County had 76 dwellings, including 20 townhomes and 56 condominiums. The plan proposed 76 covered parking spaces and 114 open spaces, equivalent to 2.5 spaces per unit (190 total), although the plan only showed 104 open spaces. Nevertheless, the plan exceeded the parking requirement of approximately 152 spaces per unit. The plan also included a pool and playground. The site was largely configured as shown on the current site plan, with a private street running through the site approximately parallel to the Grand Valley Highline Canal.

The final plan has the same configuration but contains 61 townhomes ranging in size from 1000 to 1400 square feet, in one and two story dwellings. The reduced density is due to a required 25 foot wide easement granted to Grand Valley Irrigation District for a ditch maintenance road. Along with the reduction in density, the applicant has also eliminated the pool and active playground, although open space is still proposed. The preliminary plan in the Wilson Ranch single family development showed tennis courts, a pool and clubhouse that were later reduced to a park with trees and grass.

Open Space: The site plan shows 51% of the site as open space. However this percentage includes the 0.48 acre lot to be traded to Bookcliff Gardens. The applicant had intended that this lot be included in the open space calculation for the townhome development even though it will be used by the nursery for their business. After its sale or trade the applicant cannot be guaranteed the use of this parcel so it may not be used in the calculation of open space. With the loss of this lot, approximately 48% of the site is devoted to open space. The Grand Junction Zoning and Development Code does not suggest a required minimum for open space in Planned Residential zones, but by comparison, the RMF-32 zone requires a minimum of 20% open space.

Staff had recommended that at a minimum, the applicant should provide some active features in the open space area(s) such as picnic tables, barbecue grills, basketball court, horseshoes, volleyball, or a tot lot. The applicant proposed to wait until after development of phase three, to

determine the composition of residents and their recreational needs; then allow the homeowner's association to decide what amenities were preferred, with funds up to a maximum amount being donated by the developer. The Planning Commission decided that the final phase would not be approved until a determination was made for the required open space amenities.

The applicant is proposing a dense landscape buffer along G 1/2 Road to shield noise from I-70. Since this landscaping is located in the right-of-way a detailed plan showing the species to be planted, must be reviewed by the City Forester prior to planting. The developer or the future homeowners association will be required to maintain this landscaping. A revocable permit will be required for this landscaping in the public right-of-way. Landscaping on the remainder of the site, which includes a split rail fence and a hedge along the canal, appears to be adequate.

Parking: The applicant is providing 119 parking spaces in 38 freestanding garages and 81 covered (carport) or open spaces. Required parking per city code is 114 spaces. As shown below, each phase contains enough parking for the amount of units being constructed.

<u>Phase</u>	<u># of dwellings</u>	<u>parking spaces</u>	
1	0	0	
2	26	73	(20 - garages; 53 - other)
3	17	12	(12 - garages; 0 - other)
4	18	34	(6 - garages; 28 - other)
Total	61	119	(38 - garages; 81 - other)

Some of the units in phases 3 and especially 4 do not have convenient parking located nearby. Staff had recommended that additional parking be provided for the dwellings in the northeast corner of the site. The applicant responded by proposing to eliminate one building, rearrange dwellings in three others for a net loss of one dwelling, and construct 15 additional parking spaces. Twelve of these spaces could be in garages or covered spaces. Staff recommends that this change from the Planning Commission's decision be approved as part of the construction of phase 4. This revised design would change phase 4 parking and the total amount of parking as follow:

<u>Phase</u>	<u># of dwellings</u>	<u>parking spaces</u>	
4	17	49	(18 - garages; 31 - other)
Total	60	134	(50 - garages; 84 - other)

With this revision, twenty parking spaces above the minimum required would be available on site.

The narrowness of the site does not allow for attached garages for each unit. The detached garages are proposed to be platted separately for lease or sale to townhome residents. Staff is concerned that there could be a parking shortage on site if one resident buys more than one garage, or if they are used for purposes other than vehicle parking. Their distance from some of

the units make them likely candidates for enclosed storage areas. The Planning Commission required that the garages not be platted so they cannot be sold separately. Staff recommends that unless the garages can be legally attached to each townhome, that the number of garages be reduced to that above the required parking for the development. In this way the garages become amenities that could be used for purposes other than parking, if desired. As presently configured this would allow the platting of only 20 garages

Subdivision Plat: The development is divided into 4 phases. The first phase includes the realignment of G 1/2 Road, sidewalk roadway landscaping and fencing of the canal. Phase 2 includes a portion of the private street, Stirrup Road, and the construction of the first 26 townhomes. A temporary cul-de-sac is proposed within phase 2 to provide a turnaround until future development occurs. On the third phase the remainder of Stirrup Road will be constructed to G 1/2 Road along with 17 dwellings. The final phase includes the remaining 17-18 units. Tracts will be dedicated to the homeowners association for common parking, access, irrigation and open space purposes. Although private, Stirrup Road will be dedicated with an ingress/egress easement for trash collection, emergency vehicles and other services. No parking will be allowed on the private street except in designated parking spaces.

The applicant has requested a phasing plan of approximately one year for each successive phase as shown below:

<u>Phase</u>	<u>Completion Date</u>
Phase 1	December 31, 1996
Phase 2	December 31, 1997
Phase 3	December 31, 1998
Phase 4	December 31, 1999

This phasing schedule conforms with the intent of Section 6-9-2D of the Grand Junction Zoning and Development Code, to allow one year for platting each phase of a development. The difference with this application is that approval for all four phases are sought at the same time, although due to the open space amenities issue, only three phases are recommended for approval. Due to the time delay caused by the appeal, staff recommends that Phase I be given one year from approval from final completion.

PLANNING COMMISSION RECOMMENDATION:

I. Approval of rezone and street vacation, with the following conditions:

Rezone: The uses on block 2, lot 1 shall be limited to those uses commonly associated with the landscape nursery business.

Vacation: G 1/2 road shall not be vacated until filing 1 is recorded, dedicating the new street in its entirety. The road shall be constructed in the new alignment before the current alignment is closed.

II. Approval of **phases 1-3** of the final plan and plat, with the following conditions:

Plan:

1. A detailed landscaping plan for the area between the sidewalk and G 1/2 Road (in the public right-of-way) shall be submitted for review and approval by the City Forester prior to final approval of construction plans. Selected species shall comply with City recommended plantings. A revocable permit shall be required for this landscaping. All future maintenance of the landscaping shall be the developer or the homeowner association's responsibility.
2. A pavement design report for G 1/2 Road must be reviewed and approved by the City Engineer prior to commencement of construction.
3. A discharge agreement with the Grand Valley Irrigation Company is required for any stormwater discharge into the canal. The agreement shall be executed and recorded prior to approval of construction plans.
4. A drainage fee to be calculated by the City Engineer shall be required for water discharged into Leach Creek.
5. The following changes shall be made to the site plan:
 - a. All private sidewalks in the development must be at least 4' wide.
 - b. All trash containers shall be screened with a 6' high sight obscuring fence or wall. Trash containers, maintenance building and/or parking spaces within 20' of the front lot line shall be heavily screened with a combination of landscaping, berms, walls or fencing.
 - c. Recreation (amenities for the development) shall be installed with the approval of filing 4 (as amended). (Future Planning Commission action required for phase 4.)

Subdivision:

1. Platting of individual lots for parking garages shall be deleted.
2. Filing 2 shall include an easement within the boundaries of filing 3 for the sanitary sewer line serving the development.

3. The phasing schedule may proceed as proposed by the applicant, with each successive phase being completed within one year. The first phase shall be completed by December 31, 1996.

STAFF RECOMMENDATION: Approval per the Planning Commission's recommendations with the following revisions:

1. Only 20 garages may be platted for separate sale or lease unless garages are legally attached to the townhome unit.
2. Phase 4 will require Planning Commission approval to determine desired open space amenities and parking considerations. Phase 4 shall be revised to delete one dwelling and add 15 additional parking spaces, as proposed by the applicant.
3. Phase I of the development must be completed by December 31, 1997.

WILSON RANCH

Schedule amendment to annexation agreement for Dec. 18th.

October 31, 1996

Dan Wilson, City Attorney
Grand Junction City
Grand Junction, CO.

*C Kathy P
- any reason to object?
if not, can you schedule
for council approval?
Please let me know...*

Dear Dan,

In accordance with our discussion this AM (10-31) I am requesting that the period allowed for completion of final plat for the multi-family portion of Wilson Ranch be extended until 12-31-98.

You will recall that in the Annexation Agreement time lines were set for all future phases of Wilson Ranch. All have been met with the exception of that for the requested portion. Original time line was to be 1997. Due to my recent difficulty in obtaining approval of a final plat I believe the extension would benefit all concerned. Your assistance in obtaining this would be appreciated.

Also included in the Annexation Agreement are provisions allowing a preliminary plan approval on an administrative basis. Per our discussion I would like to utilize this method for any new plan which may be submitted for consideration.

Sincerely,



W. D. Garrison, President GNT Development Corp.

APPEAL OF PLANNING COMMISSION APPROVAL OF THE FINAL PLAT AND PLAN FOR 61
TOWNHOMES AND PUBLIC HEARINGS ON VACATING A RIGHT-OF-WAY AND REZONING FROM
PR-4.4 TO PB FOR WILSON RANCH TOWNHOMES - FINAL PLAT AND PLAN DENIED [
FILE #FP-96-160]

An appeal of Planning Commission's decision to approve the final plat/plan for a 61 unit townhome development on 7.67 acres, constituting the final phase of Wilson Ranch Planned Development. Also the applicant requests a street vacation and rezoning to accommodate the townhome development. G 1/2 Road adjacent to the site will be vacated and realigned to provide a straighter and wider road. The realignment isolates a parcel in the northeast corner of the site from the remainder of the development. The rezoning of this parcel from PR-4.4 to Planned Business allows it to be swapped to Bookcliff Gardens Nursery for landscaping materials to be planted along G 1/2 Road and in the interior of this site.

A hearing was held after proper notice. Bill Nebeker, Community Development Department, reviewed this item. This is a request by Dan Garrison, GNT Development Corp. G 1/2 Road cuts through the site and the applicant is proposing that the road be moved up adjacent but parallel to Interstate 70. A new urban collector would be constructed there. The preliminary development plan was approved by the Mesa County Commissioners in 1980. Mr. Nebeker explained Staff's formula for determining density for a PR zone. When a Planned Residential is requested, Staff looks at the entire site owned by the applicant which is to be developed. The applicant's number of proposed units is divided by the acreage of the property resulting in an average density. In this case, the average density of Wilson Ranch is 4.4 units/acre. The density in the townhomes is close to 8 units/acre, thus the density of the single-family homes are closer to 2 or 3 units/acre. At the time the property is rezoned, the applicant must also present a plan to show how the densities are allocated. The original plan had no garages. It had carports and open parking spaces. G 1/2 Road was proposed to be vacated and relocated, which has always been a part of the plan. Staff supports the vacation of G 1/2 Road. It straightens out the road considerably and makes it more developable. There has been no opposition to the vacation and relocation of G 1/2 Road. It will be rededicated and built entirely at the applicant's expense. It will be built as an urban collector with a capacity up to 8,000 vehicles. G 1/2 Road on either side was built to a residential collector which can handle up to 3,000 cars/day. There will be a total of 165 homes in Wilson Ranch using G 1/2 Road with an average usage of 1,650 cars/day. A residential collector is designed to handle up to 3,000 cars/day. G 3/8 Road can also be used to exit the development, and Staff feels the traffic impact is not a factor. Staff does not oppose the request to rezone the dedicated open space to a Commercial zone, and trade it to Bookcliff Gardens. Bookcliff Gardens must present a plan to Planning Commission showing the use of this piece of property. The use on that property is limited to uses associated with the landscape/nursery business. Regarding the site plan, Planning Commission discussed the open space. The plan originally indicated a pool and clubhouse which is no longer in the plan. Staff is requiring some type of amenities in the open space area. Planning Commission said it would not approve Phase #4 of this development until it was decided what type of amenities would be placed in the open space, thus allowing the homeowners association some input. Staff was also concerned with parking. The applicant removed four units and added 15 parking spaces, which is agreeable with Staff. Mr. Nebeker said the plan includes detached garages, originally proposed by the applicant to be platted individually so they could be leased or sold to persons owning the townhomes. The homeowners association would have control of the garages and it would have a mechanism for obtaining funds for maintenance of the facility. Staff was concerned that the garages could be purchased and used for storage by residents as well as those outside the development. Planning Commission finally decided not to plat any of the garages. The applicant has since added more garages. The petitioner has 20 spaces more than required, so Staff recommends only 20 of the garages be platted. The

garages would be one car garages with closing doors. The petitioner, Mr. Garrison, will discuss the garage issue. Staff also recommend a change to the Planning Commission recommendation which is requiring the petitioner to complete the first phase by December 31, 1997, rather than December, 31, 1996. The first phase is the realignment of G 1/2 Road.

Councilmember Theobald asked how the pool and clubhouse was required to be built? Mr. Nebeker said it was shown on the original plans by the developer that there would be a pool and clubhouse. Councilmember Theobald asked if the petitioner is obligated to build those amenities? Mr. Nebeker said between the preliminary and final approval, Mr. Garrison proposed not to construct the pool and clubhouse, and it was not required during final approval by the Planning Commission. It was included in the 1980 approved preliminary plan. Mr. Garrison filed a revised preliminary plan without the pool and clubhouse which has been approved by the City.

Petitioner W. D. "Dan" Garrison, president of GNT Development Corp, said the preliminary approval was given in 1980. In 1982 a final approval was given for Wilson Ranch Filing #1 for 44 units which he again refiled in 1990. In January, 1991, he built the 44 units, and did Filing #2. Subsequently, he did Filings #3 and #4. As a part of the original approval, the pool, clubhouse, tennis courts, etc. was discussed. Mr. Garrison quoted Skip Berhorst, representing Destination Properties, Inc., who were the developers of South Rim, when questioned about the tennis courts, swimming pool and amenities, as saying "the amenities will be built if the market develops, if there is a desire by the residents, and if we make enough money." That is what Mr. Garrison considered final when he purchased Wilson Ranch December, 1990. He had nothing to do with the final approval of Filing #1 of Wilson Ranch. The proposal for the multi-family units goes back to the original PR-4.4 zoning based upon 41.37 acres. On that basis, the approval was given by the Mesa County Planning Commission for 105 single family homes to be built south of the canal, and 76 multi-family homes to be built north of the canal. Through some revisions south of the canal, Mr. Garrison did not build 105 units. He platted 94 single family lots for homes. There are four vacant lots at this time. He has plans to develop the area north of the canal as a multi-family area. He has gone through five designs for this parcel. He gave up over an acre of the property to the canal company for maintenance, which was necessary. After providing the one acre of the 7.6 acres, it was impossible and impractical to build the 76 units that were allowed. The 76 units were divided among townhomes and condominiums. There was much less open space than currently exists. The townhomes are 850 square feet. Mr. Garrison felt a better use of the land was for a better quality product. The quality product he has proposed are townhomes which would vary from 1000 to 1400 square feet. The original plan had no garages, and he has no obligation to build garages. He has an obligation to provide parking. He asked to plat the garages separately because some people might want to buy one. Deed restrictions can be made when the purchase takes place. He suggested the purchaser must be a Wilson Ranch resident, and no resident can own or lease more than one garage. It cuts approximately \$6,000 from the cost of a home to eliminate the garage. He felt more people can qualify and have a nice residence if they don't have to buy a garage. He felt the garages add to the quality of the project, but did not wish to belabor the issue. Staff recommends Mr. Garrison be allowed to build 20 garages out of the 50. He agreed with the amendment to Phase #4 and accepts Staff recommendation on it. Mr. Garrison said a great deal of landscaping is planned for the project, as he believed landscaping makes a subdivision. He said the G 1/2 Road corridor is proposed to City standards in terms of an urban collector. It has curb and gutter on both sides with a 10 foot wide landscape strip on the south. To the south of the landscape strip there is a five-foot wide detached sidewalk. The landscape strip is designed to buffer the entire development against traffic on G 1/2 Road and traffic from I-70. The agreement with Bookcliff Gardens was that Mr. Garrison would give Bookcliff Gardens the land (4.3 acres) at fair market value in exchange for Bookcliff Gardens' landscape material at retail. He intends to preserve the best tree on the property which is a 85-90 year old cottonwood tree. The rest of the trees on the property are trash trees (elms that throw seeds, etc.) His plans for the canal include a three rail, split rail fence, welded wire on the outside, two rows of barbed wire on

the top, to be planted heavily with dense shrubs to prevent any access between the canal right-of-way and the homes, making it safe and salable as well. The total number of units is now 60. The value of a density unit in the north area of Grand Junction is approximately \$10,000/density unit. Mr. Garrison pointed out that on July 3, 1993, he petitioned for annexation to the City. Provisions of that petition were that the City accept all of the preliminary plans which had been approved by the County. Unless minor changes for technical or engineering reasons were necessary, the preliminary plan would stand approved. If it were anything other than minor or technical, he would go back through the preliminary process. He also pointed out overhead fire protective sprinklers will be installed in each unit as a result of fire flow tests. The tests indicated a flow of 970 gallons per minute. He felt a good project has been designed. It is a composite of the original plan and what he felt is the best he could do. He felt it is a good use of the zoning which exists in the area. He requested Council's approval of the plan.

Councilmember Graham asked what the per unit price for the townhomes will be? Mr. Garrison estimated the \$100,000 range.

Councilmember Terry asked who would be responsible for the garage units should they be built and not sold? Mr. Garrison said they would be his responsibility as the owner.

Mr. Garrison said there is a half road dedication on the east side of 25 1/2 Road and goes from G 3/8 Road to the bottom of Wilson Ranch. The west side has never been dedicated. G 1/2 Road goes from 25 Road to 26 Road, it exists for one mile.

Mayor Afman asked Mr. Garrison about his other projects. Mr. Garrison listed several projects in the valley in which he has been involved.

Councilmember Maupin asked why Mr. Garrison has not planned a project with attached garages which seems to be in demand? Mr. Garrison said he felt the condos would attract retirees and first time homeowners. He felt the combination of families and retirees makes for a good community.

Councilmember Theobald asked Mr. Garrison how he conveyed to people buying in the first phases of Wilson Ranch what was going to be happening in the final phases across the canal? Mr. Garrison said the houses were sold by a variety of realtors. The plans have been on the books for a long time. On July 12, 1996, Mr. Garrison sent a letter to every homeowner in Wilson Ranch inviting them to a gathering at the Ramada Inn where he presented the plans and said he would be happy to talk to the owners about the plans.

Mr. Garrison said one of the points of contention between Staff and the developer has been the active versus passive recreation area. He said 48% of the entire site (7.76 acres), after dropping the Bookcliff Gardens land, is open space and landscaped. He does not know what type of amenities the residents will want.

Councilmember Theobald asked if the easement is an exclusive easement or can anything else be done with that property? Mr. Garrison said he has been requested by Staff to write the easement in such a manner that there is an opportunity for the City to have a walking path within the easement.

area, as well. In terms of Mr. Garrison or any resident being able to do anything with that area, Mr. Garrison said no.

Public comments were taken at this time.

Ms. Jo Holcomb, 2554 S. Corral Dr., Wilson Ranch Subdivision, spoke to Council representing the Wilson Ranch Homeowners Association. She asked the members of the Association who were present at the meeting to stand. She said the Association is not opposed to the development, but is opposed to the site plan, as drafted, and is concerned with the very components the Planning Commission uses to assess developments as a whole, namely, quality of services, and benefits to City or County. Ms. Holcomb stated a background of inconsistencies with the request. The original density presentation of the development to several Wilson Ranch homeowners was outlined to be approximately 15-20 luxury townhouses, 2000 square feet, brick construction, attached double car garage, including plans for a clubhouse and a pool. All units were stated to be single family dwellings. Rather, the actual density was 76 units, now down to 61 units, and ultimately 60 units with on-street parking and none of the aforementioned amenities. A presentation on the new developments which was given in July, 1996, at which time Wilson Ranch homeowner, Ray Segura, in disbelief, questioned these changes. The developer's response was the offer to purchase Mr. Segura's house and property. Other homeowners reacted similarly. Misrepresentation was the immediate thought in the minds of many of the homeowners. Many inconsistencies were brought to light at the September 3, 1996, Planning Commission meeting because the existing elevation of the townhouse subdivision is ten feet higher than the Wilson Ranch Subdivision, and because the canal border of the townhouse subdivision allows the greatest number of units within the seven acres. It was explicitly stated at the September 3 meeting that the construction of the 36 units were to be single level dwellings for the sole purpose of providing privacy to the Wilson Ranch homeowners. Instead, 24 of the dwellings are double story units. Other issues which have been readdressed include a provision of a recreational area. To date, this has not taken place. The subdivision plans show a 51% open area, however, this is inclusive of the property to be deeded to Bookcliff Gardens and Grand Valley Irrigation easement rights, neither of which is useable to future townhouse users. The sole reason for scaling down the townhouses from 76 to 60 was because of easement and space constraints. 76 units simply were not possible.

Ms. Holcomb addressed the concerns of the homeowners association:

1. Garages - The lack of attached garages per unit and the proposed seven unattached garage buildings present a number of issues.

a. The mechanism for garage ownership has not been defined. Lease versus purchase of these spaces is a significant concern. These sentiments were also shared and discussed by City Attorney John Shaver and Planning Commissioner Jeff Vogel. Definition of who may purchase or lease the number of units purchased by a single individual, actual use of the units, be it parking versus storage versus sub-letting, enforcement of determined use, collection of fees and distribution of said fees is too tenuous nor is clarification easily secured. Enforcement of determined use will be a large issue. If a garage is purchased, the homeowner would have the ability to sell only this structure while retaining ownership of the living unit. This would suggest the creation of storage units. A living unit may be sold while original ownership of the garage is maintained, which could reduce the number of parking spaces assured each homeowner per the covenants. Ownership of multiple garage spaces could also reduce the number of parking spaces assured each homeowner. Likewise, if garages were leased, it would suggest commercial enterprise.

b. Unattached garages, heights and security issues - must access vehicles in remote locations and personal safety can be at risk.

c. Lack of attached garages is contradictory to the marketing description of high-end, luxury townhouses.

2. Crime - Secondary to the high density of this area, an invitation to an increased crime rate is offered. This, in conjunction with uncovered, unattached parking can promote increased vandalism. This is not in the best interest of the planned community who has the right to expect the same quality of living afforded to like subdivisions in the area. This is not in the best interests of the entire north area, and certainly not in the best interests of Grand Junction as a marketable community.

3. Safety -

a. Regarding the split rail fence along the canal, the association is aware of the attraction of canals in children, and fear for the safety of children as well as disoriented elders with such a low barrier. Future residents should expect and demand effective safety structures. Will fencing be built as each phase is completed, or pending completion of all phases? As much as one year between phases could mean much of the canal would remain open despite existing occupancy.

b. Ms. Holcomb said the provision of a fire sprinkling system within each unit was a requirement rather than a quality addition. She introduced Mr. Ray Segura, an expert hydraulics and fire inspector, designer and installer of fire safety sprinkling equipment for a detailed explanation.

Mr. Segura, 2575 Ranch Court, Wilson Ranch Subdivision, distributed a hand-out to Council. He said the subdivision is full of children. His job is life safety. He is a fire suppression contractor. He was asked to evaluate the project based on fire safety. He told Council the flow tests were conducted in March, 1996, which is the lowest demand time of the year and the test showed 919 gallons/minute. The rate would drop in the summer when water usage is high. He understood Mr. Garrison plans to take the water supply from Wilson Ranch Subdivision up to G 1/2 Road and continue east to feed the subdivision. If there's a fire within the subdivision, by the time the pumper truck taps are opened, the residual flow will drop to below minimum requirements. He felt there is insufficient fire flow for the proposed density. Mr. Segura said Hank Masterson of the City Fire Department was not happy with the plan either, but offered the installation of a sprinkler system as an alternative. Mr. Segura said sprinkler systems are designed to get people out of a structure, not to save property. A sprinkler system will not take care of a garage fire, brush fire or attic fire. Hank Masterson had said because the two story units are stacked above the canal, fire can leap across the canal. Mr. Segura asked if Wilson Ranch homeowners get the water or if the townhomes get it? He asked why the line is not going down and continuing to 26 Road, and looping back to G Road, so both subdivisions have adequate fire protection? He was told it's too expensive and cannot be done. If water cannot be provided for adequate fire protection, the size of the subdivision should be reduced. Mayor Afman asked Mr. Segura if he had worked with any other projects in the valley where this concern has been addressed? Mr. Segura said he has installed such systems in the past, but the 13B and 13R systems have just recently become cost effective. He is opposed to the site plan based on a fire hazard. He is not opposed to the

realignment of G 1/2 Road. He is not opposed to the rezone of the parcel of land to be exchanged with Okcliff Gardens.

Councilmember Mantlo, former Fire Chief, said the estimated response time for the area would be five to six minutes.

c. Ms. Jo Holcomb continued by saying another safety issue is the fact the cul-de-sac design does not follow recommended AASHTO (American Association of State Highway Transportation Officials) guidelines for access of emergency vehicles.

The trunkated cul-de-sac at the end of the western parking garages (the northwest section) does not have sufficient space to allow emergency vehicles or trash collection vehicles to turn, thus necessitating those vehicles to back up over a distance of approximately 170 feet. AASHTO guidelines for cul-de-sac design recommends a minimum of a 50' by 100' turning space. The affect of newly added garages in the southeast area is unknown at this time.

d. The emergency vehicle access is of concern. While no parking is to be allowed on the main thoroughfare, residents will surely park cars for short periods of time. The density of this project will dilute fire fighting efforts.

4. School Impact - Impact projections for the area's affected schools include an additional 40 students at Appleton Elementary, 20 at West Middle School, and 26 at Grand Junction High School. The homeowners association agrees with the Western Colorado Congress who stated "The State of Colorado empowers commissioners to deny land use proposals in order to protect the community's safety and welfare. When it is revealed at a public hearing that part of the infrastructure cannot handle more development, or that the quality of a public service is poor, and a proposed subdivision would exasperate the condition, officials have the ability to rule against or scale down a development to further prevent deterioration of the community."

5. Miscellaneous -

a. The parking spaces are 17.5 feet long which is inadequate for common passenger type vehicles. Will potential homeowners be excluded upon their vehicle type?

b. The Wilson Ranch Townhouse Subdivision is being marketed as luxury condos and said to range (stated at the last Planning Commission meeting) in the \$125,000 to \$175,000 bracket. It is presumed those interested in purchasing these units would be comprised of those who possess expendable incomes. This further brings the expectation of recreational vehicles as well as multiple personal vehicles. The covenants are obscure when addressing RV's, boats, etc.

c. The common ground play area has been marginally addressed as its provision was originally resisted. Rectification of this is imperative. Children will use G 1/2 Road to access Wilson Ranch Park, presenting a significant safety hazard. The common ground area has been

designated on the plat as the easterly tail of the subdivision which fronts the living units, and is surprising that potential residents would define that area as a playground area.

d. The current soft real estate market as well as aesthetics concerning the development, and a sound barrier between the development and I-70.

Ms. Holcomb questioned the procedural issue regarding the development's approval. Customarily, preliminary approval with public comment precedes administrative final approval. In this instance the development was preliminarily approved administratively without public comment. Only now, for final approval, is public comment allowed. She questioned what has driven this change in protocol.

6. The homeowners association offers the following recommendations:

a. Council delay or reject the final approval of the townhouse development pending outcome of the school bond issue;

b. Downscale and/or redesign the development to include attached garages; the end result would be a responsible, well planned and safe community for the community at large;

c. Rectification of all the remaining safety issues;

d. Complete water loop for adequate fire protection;

e. At a minimum, be granted a deferral to have the opportunity to discuss any of these concerns with the developer which should cause no harm to the developer due to the completion date of December, 1997.

Ms. Holcomb realized the property was annexed into the City in 1992 with the conditional approval of the townhouse development as approved by the County. While the City approved this development based on County approval, they did not waive all rights. What the City did not waive is the City's police powers to promote and protect health, safety, or general welfare of the municipality of its inhabitants. The goal of the Homeowners Association is to make this and all developments responsible, reasonable and safe for the entire community.

Mayor Afman asked Ms. Holcomb if she attended the open house meeting conducted by Mr. Garrison for the homeowners. Ms. Holcomb said no, she was out of town.

Councilmember Terry questioned Ms. Holcomb's discussion on the change in process. Mr. Nebeker said there was some confusion when the preliminary plan was reviewed because of the annexation agreement. Based on the annexation agreement, Staff reviewed it preliminarily. After the preliminary approval, Staff looked to see what was done with other phases

of Wilson Ranch, and found they did go to Planning Commission. So the final plan came before Planning Commission also. It would have been better if the preliminary plan had gone to Planning Commission, but because it was already approved, the final plan was taken to the Planning Commission and subsequently City Council.

Councilmember Baughman asked Ms. Holcomb if, at the time of purchase, was she was apprised of the extent of the development in the townhome portion of the Wilson Ranch Subdivision? She said she was not, and had no knowledge whatsoever. As homeowners were called to plan a meeting date for discussion, an informal survey was conducted which revealed less than 1/8 of the subdivision residents said they were aware of this prior to the purchase of their lot or home.

Councilmember Theobald asked Ms. Holcomb when she purchased her property? She said December, 1995. He asked Ms. Holcomb if the outcome of the school bond issue vote is successful, would she be in favor of the proposal? Ms. Holcomb answered not necessarily so.

Councilmember Graham asked Ms. Holcomb if she had information regarding the numbers of people living within the subdivision, also the mean fair market value of houses in the subdivision? Ms. Holcomb said no. The homes on the east side are houses at a minimum of \$200,000 and exceed 2000 square feet. The lots alone start at \$40,000. Recent sales in the Wilson Ranch Subdivision are in the \$135,000 to \$140,000 range. Councilmember Graham asked Ms. Holcomb if she, on behalf of the homeowners association, felt it would depress real property values in her subdivision if Council approves the subdivision? Ms. Holcomb said yes.

Ms. Valerie Robison, 2555 G 3/8 Road, concurred with Ms. Holcomb's comments. She was concerned with use of the common areas listed in the covenants. The designation of the 51% of the open space area is not clear, and could include the parking. There is no provision in the covenants for insurance coverage to be secured by the homeowners association of the townhomes, and no provision for covenant enforcement. There are a lot of unknowns including whether there will be parking spaces or carports, whether there will playgrounds, horseshoes, or swimming pools. Ms. Robison purchased her home in August, 1996, and was not aware of the plans. She was told there were townhomes that were going to be developed along 26 Road. She knew of the concept of townhomes, but did not know they would be across the street from her home.

Mr. Ned Pollard, 741 Wilson Court, purchased his home in December, 1992. He was not made aware of any townhomes at the time of purchase, although he did attend a homeowners association meeting at which time Mr. Garrison discussed future plans for this project. He was concerned with vehicles exiting Wilson Ranch using G 1/2 or G 3/8 Roads. There are blind spots on 25 Road in both directions. He was not opposed to the realignment of G 1/2 Road, but was concerned with providing safety at both intersections.

Mr. Joe Subialka, 2551 G 3/8 Road, Wilson Ranch, felt he will be most affected by the additional traffic as his home is the last one before leaving the subdivision on G 3/8 Road. The speed limit on G 3/8 Road is now 25 mph. Police monitoring revealed traffic consistently travels G 3/8 Road at a speed over 40 mph. He opposed realigning G 1/2 Road because the current curves force traffic to slow down somewhat. He felt the traffic speed would increase even more if G 1/2 Road were realigned. He felt that a successful bond issue will not alleviate the school crowding as it takes at least one to two years to construct new schools. Mr. Subialka purchased his home in March, 1994 from a local realtor, who informed him

there were plans for future development to the north.

Mr. William Rohr, 2559 G 3/8 Road, was concerned with police protection. The stop sign in front of his home (G 3/8 Road and Wilson Ranch Road) is run constantly by motorists. He has attempted in vain to get someone to patrol the area. As new homes and people are added, how will the traffic be controlled? As many as 23 cars have run the stop sign in one evening. Mr. Rohr purchased his property in February, 1992, and was aware of the townhomes, but not the



City of Grand Junction, Colorado
250 North Fifth Street
81501-2668
FAX: (970)244-1599

January 24, 1997

Dan Garrison
GNT Development Corp.
PO Box 308
Grand Junction, CO 81501

Dear Dan:

The Community Development Department, in anticipation of a public hearing on March 4, 1997, concerning the issue of access to Frank Lamm's property, east of Wilson Ranch Filing No. Four, requires that you, as the subdivider, submit a letter requesting that the Planning Commission hear a request to correct the Wilson Ranch Filing number 4 plat to include the intended access to Frank Lamm's property as was proposed and approved in Wilson Ranch Filing number 3. Please feel free to include in your letter any additional background information that may be helpful to the staff and/or the Commission.

A \$100.00 fee will be required for legal notice and administrative costs.

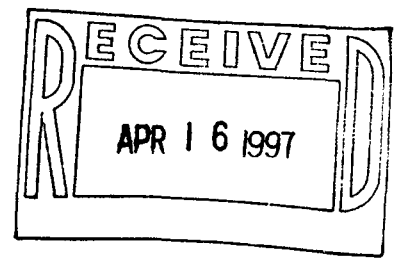
Please submit your letter and check to me by February 3, 1997. If you have any questions please call me at 244-1447.

Sincerely,

A handwritten signature in cursive script that reads "Bill Nebeker".

Bill Nebeker
Senior Planner

*file in Wilson Ranch
Townhome file*



April 15, 1997

Dan Wilson, City Attorney
Grand Junction City
250 N. 5th Street
Grand Junction, CO 81501

*C: Kathy P: my concerns about
giving Garrison written
confirmation?*

Dear Dan,

*Su: please file weekly
file*

Last October we spoke about the period of time allowed by the Annexation Agreement for filing a final plat on the Wilson Ranch multi-family portion. I requested that the period be extended to 12-31-99. This request was based upon my difficulty in obtaining approval for the final plat. Also included in the discussion were the annexation provisions allowing a preliminary plan approval on an administrative basis and my desire to use these same provisions in future submissions.

You concurred with my requests and I confirmed our discussion with a letter to you on October 31, 1996. No formal response was ever received.

Noting recent changes in City Council I am anxious to preserve this agreement. What do you suggest?

I currently have the property on the market but if a buyer fails to surface I will plan on a new submittal during 1998.

Thanks for your assistance.

Sincerely,

W. D. Garrison, President GNT Development Corp.

WILSON RANCH • 25 1/2 & G 1/2 Roads

G N T DEVELOPMENT CORP. • Developers of Wilson Ranch and other fine properties
P.O. Box 308 • Grand Junction, CO 81502 • Office: (970) 243-5902

File Close-out Summary

File #: FP-96-160

Name: Wilson Ranch Townhomes

Staff: Bill Nebeker

Action: DENIED

Comments: Glad its over, Frank Lamm access issue still to be resolved

File Turned In: 02-28-97

Tax Parcel #2701-344-00-130

Beginning at a point on the north line of the SE 1/4 of section 34, T.1 N., R.1 W., Ute Meridian - said point being 596.23' east of the NW corner of the SE 1/4 of said Sec. 34; thence east along said North line 722.83' to the north bank of the Grand Valley Canal, also known as the Highline Canal; thence along the said north bank the following 6 courses and distances:

- (1) 545⁰29'15"W 171.38'
- (2) 556⁰44'15"W 301.17'
- (3) 580⁰30'15"W 107.47'
- (4) N74⁰13'45"W 135.85'
- (5) N47⁰02'00"W 80.36'
- (6) N14⁰08'30"W 217.97' to the point of beginning. Parcel

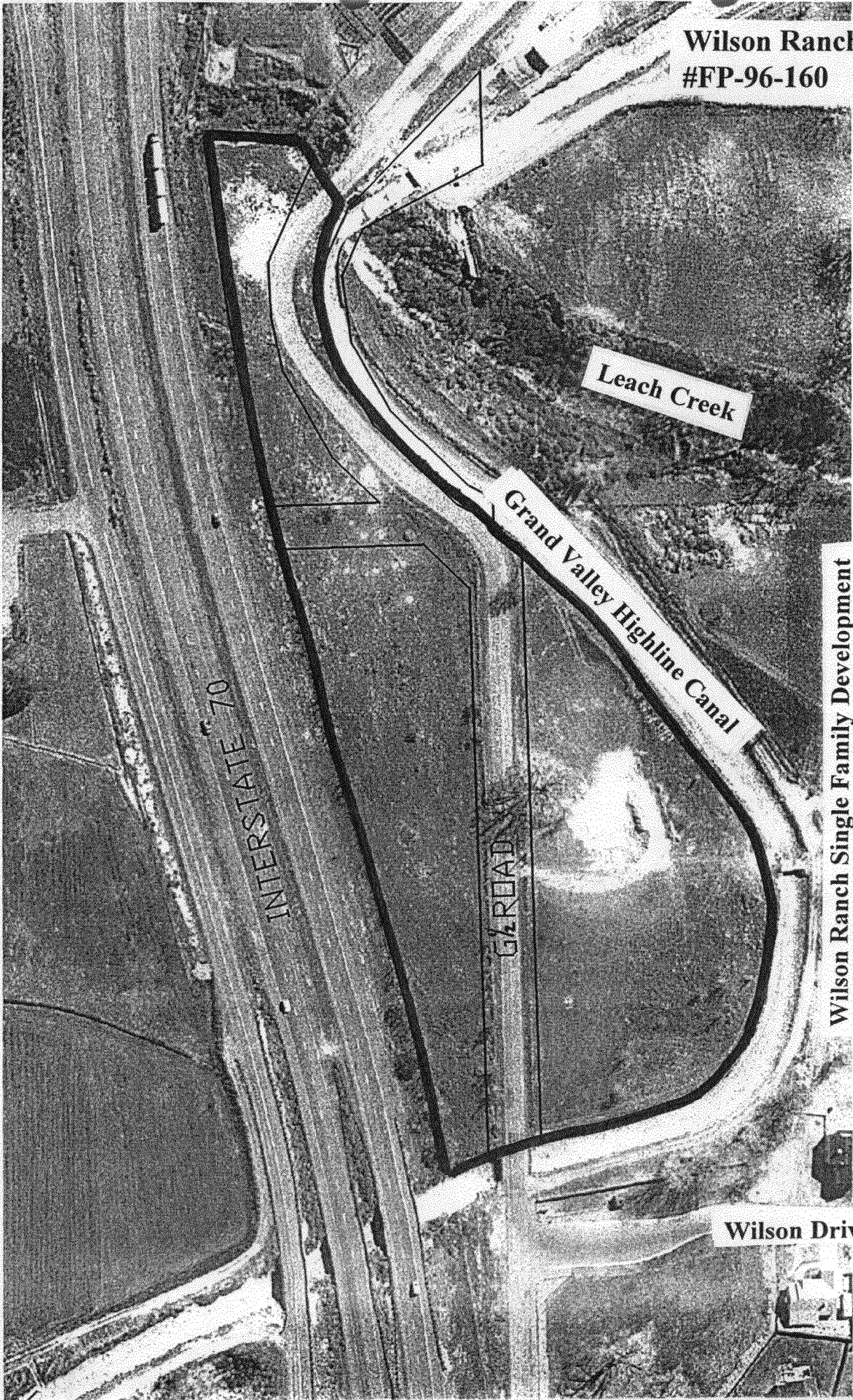
containing 3.36 acres more or less.

Tax Parcel #2701-341-00-141

That part of SW4NE4 section 34 in T.1 N., R.1 W. Ute Meridian lying east of Grand Valley canal & S. of I-70 & also that part of SE4NE4 said section 34 lying N. of Leach Wash & S. of I-70. Parcel containing 3.76 acres more or less.

Parcel also includes the current, undescribed, ROW for G 1/2 Road which will be exchanged for new ROW in the above described parcels.

**Wilson Ranch Townhomes
#FP-96-160**



Leach Creek

Grand Valley Highline Canal

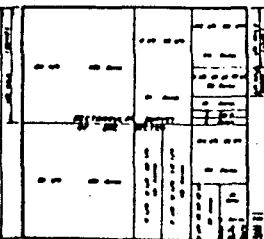
INTERSTATE 70

G/2 ROAD

Wilson Drive

Wilson Ranch Single Family Development

COUNTY OF MESA
 DIVISION OF COUNTY RECORDS
 RECORDS SECTION
 RECORDED MAP NO. 11
 DATE 1-11-77
 174 1/2 WILSON RANCH FILING NO. ONE
 TO BE LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

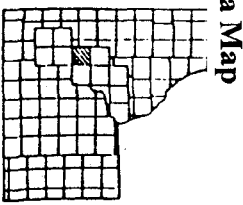
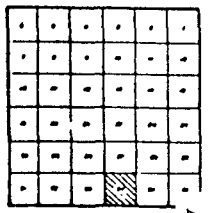


2587 G 1/2

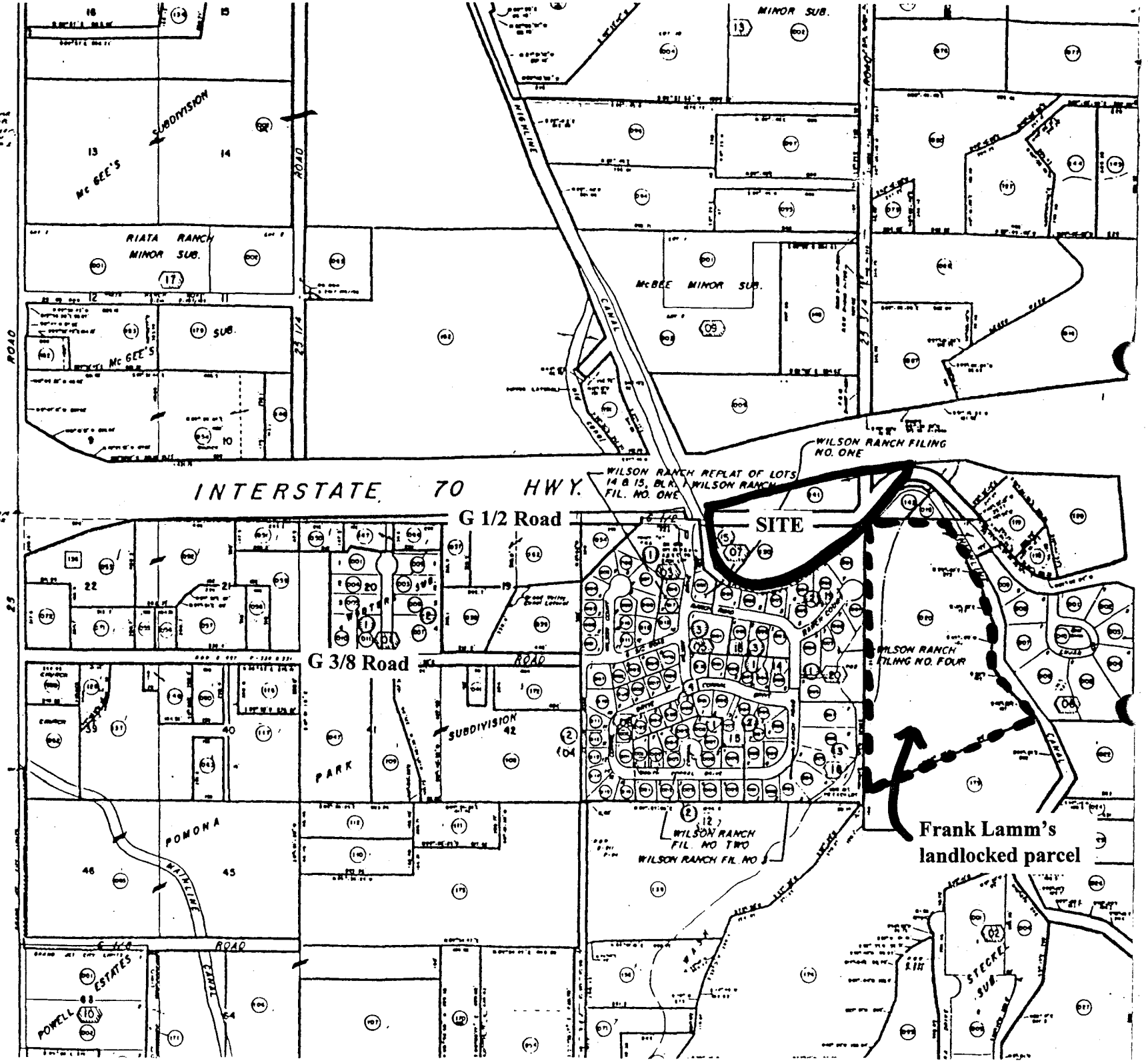
FRANK LAMM'S

Adjoining T.I.N. R.I.W. 2701-33

SCALE - 1" = 100'

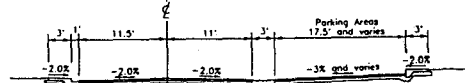
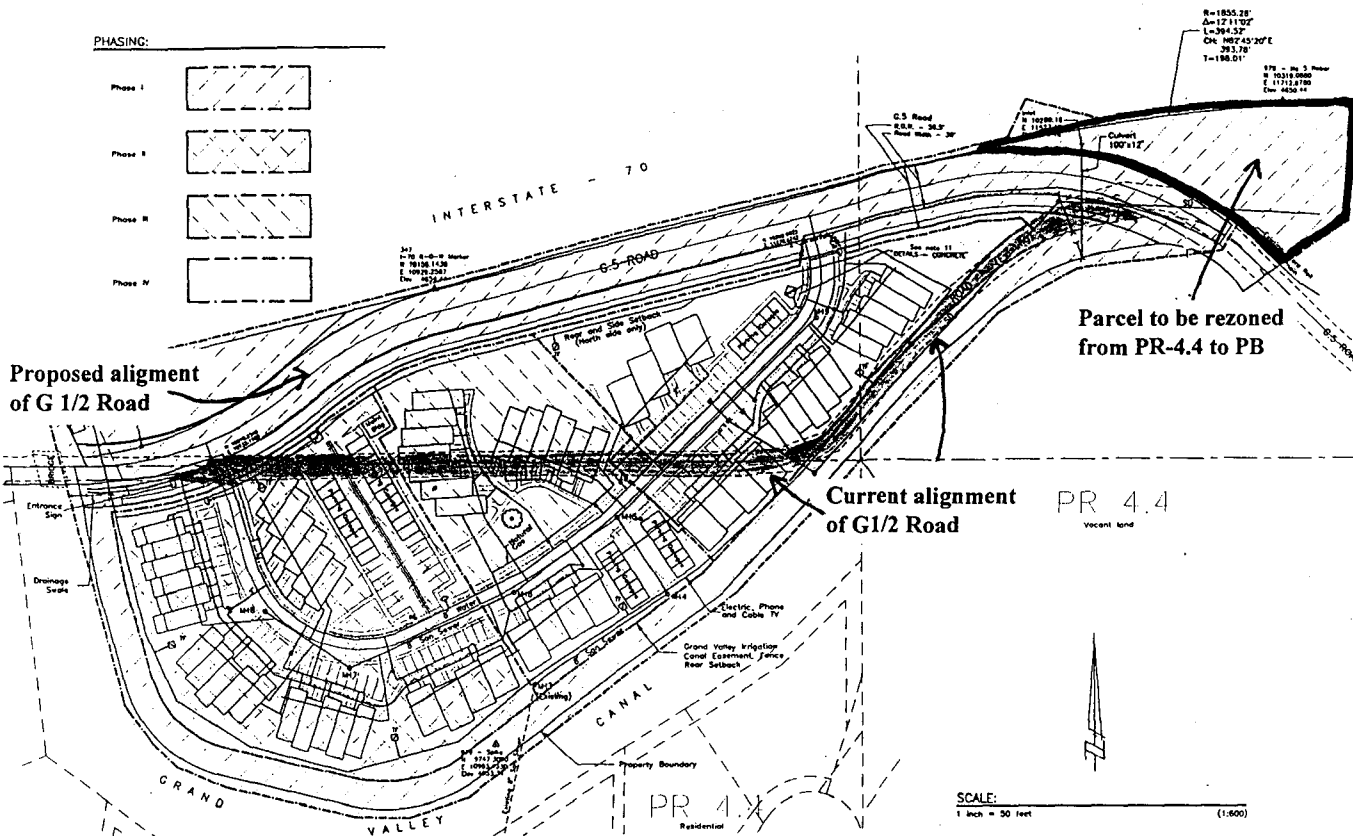
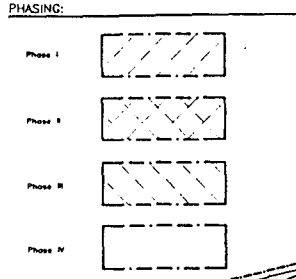


Wilson Ranch Townhomes Area Map



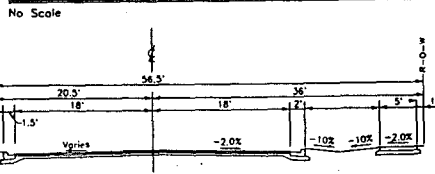
Frank Lamm's landlocked parcel

Site Plan showing current alignment of G 1/2 Road and parcel to be rezoned



NOTE: For appropriate partial sections, see plan

STIRRUP DRIVE:

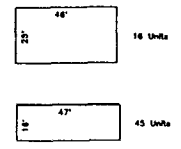


G.5 ROAD - TYPICAL CROSS SECTION:

No Scale

TYPICAL TOWNHOME LOTS:

Not to Scale



LEGEND:

- Storm Drain Inlet Without Curb Opening
- 48-inch Manhole With Ring and Cover
- 15-inch ADS M12 Stormdrain Pipe
- 12-inch Culvert
- FF 54.0 Minimum Finished Floor Elevation (ft)
- ◻ Erosion Control Street Basin
- ◻ Transformer
- ⊥ Street Light
- Fire Hydrant
- ▲ Survey Control Point
- ⊥ Electrical Power Pole
- ⊥ Thru Block with approximate pipe bend angle
- ⊥ 6 cy Trash Dumpster Pad
- Stop Sign
- Street Name Sign

LAND USE BREAKDOWN:

Land Use	Area (acres)	% of Total
Townhomes (81 units)	1.21	18
G 1/2 Road	1.05	14
Stirrup Drive, Parking, Adjacent Sidewalks	1.32	17
G 1/2 Road Sidewalk	0.10	1
Macadamous Sidewalks	0.07	1
Open Space	3.82	51
Total	7.87	100

SITE UTILITY VENDORS:

- Water - Use Water Conservancy District
- Sewer - City of Grand Junction
- Electricity - Grand Valley Rural Power Lines, Inc.
- Gas - Public Service Company of Colorado
- Telephone - US West Communications
- Cable TV - TCI Cablevision of Western Colorado
- Irrigation - Grand Valley Irrigation Company

UTILITY NOTES:

1. Sleeves for the following utilities MUST be installed and marked at all road crossings prior to paving:
 - A. Public Service - 4" x 40 PVC, 36" depth
 - B. CIP - 2 1/2" x 40 PVC, 48" depth
 - C. TCI - 4" x 40 PVC, 24" depth
 - D. US West - 4" x 40 PVC, 24" depth

NOTES:

1. All work shall be in accordance with approved plans and City of Grand Junction Specifications.
2. Natural gas meters for townhome groups shall be located on the end of each group and shall be a minimum of three feet from any fresh air opening.
3. Electric meters for each group of townhomes shall be located in a single location.
4. SURVEY CONTROL - Control points for horizontal and vertical control are shown on the drawings.
5. All open spaces within the site is designated as an easement for utilities.
6. The fence on the Grand Valley Canal Easement shall be a split rail fence a maximum of 4 feet in height.
7. The Townhome entrance sign at the West entrance shall be a maximum of 4 feet by 6 feet.
8. Parking areas are a minimum of 8 feet by 18.5 feet.
9. All parking areas are to be paved.
10. There are 118 parking spaces including open, garages, and covered parking.
11. Refer to the Final Plat for actual lot dimensions.
12. Three bike racks, each capable of holding 3 bicycles shall be installed as directed by the owner.
13. Phase II construction shall include completion of Stirrup Drive.
14. The Eastern trash dumpster shall be enclosed on three sides by a 6 foot wooden fence.

REVISIONS

NO.	DATE	REVISION

RESHECKED BY: J.A.S.
DRAWN BY: J.A.S.
SURVEY DATE: 11/12/98

SITE PLAN
WILSON MANCH TOWNHOMES

DATE ENGINEERED: 11/12/98
PROJECT NUMBER: 3269
SHEET NUMBER: 3 OF 10

NICHOLS ASSOCIATES, INC.
237 West 10th Street • Grand Junction, Colorado 81505 • Phone: 970/241-1111

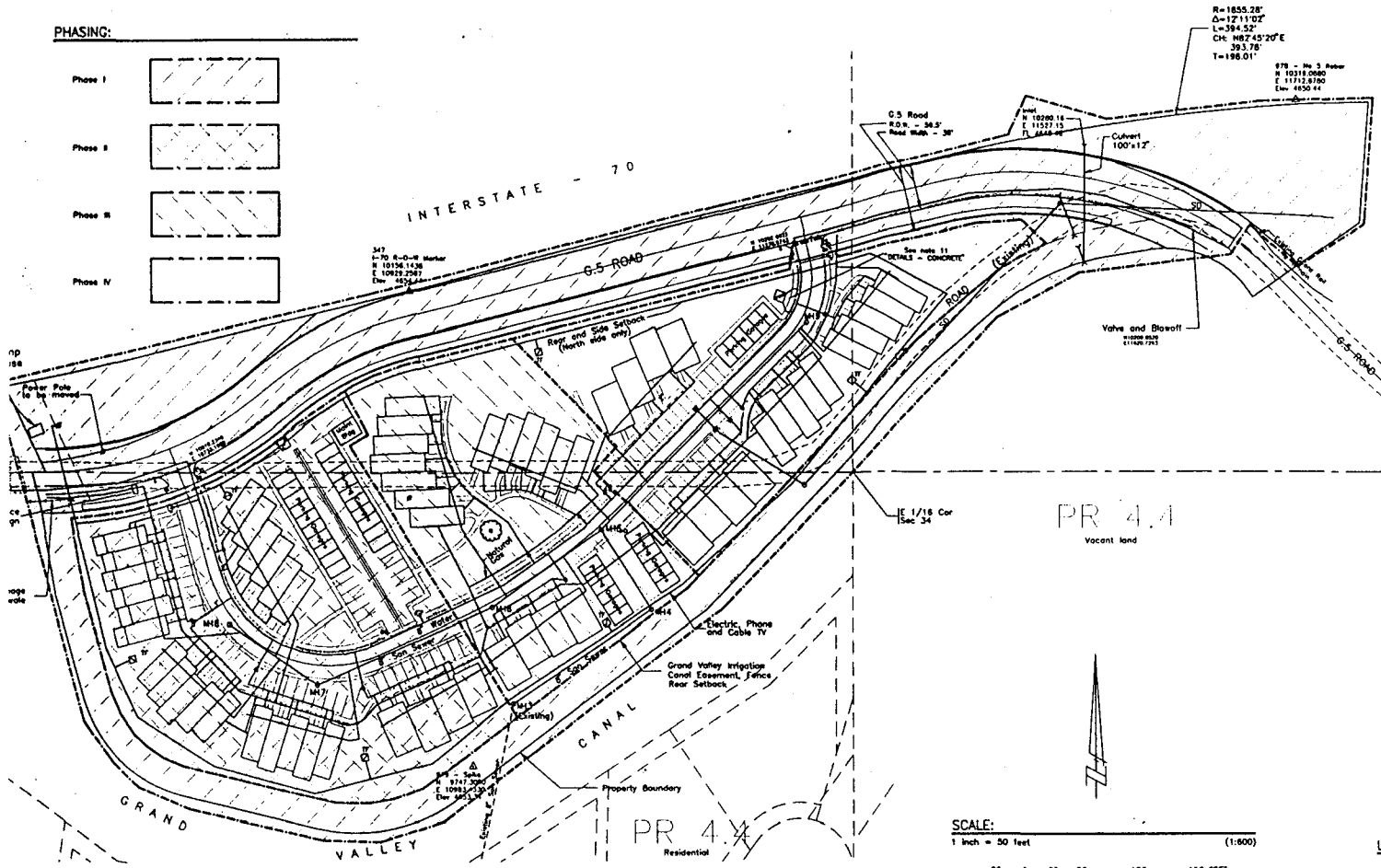
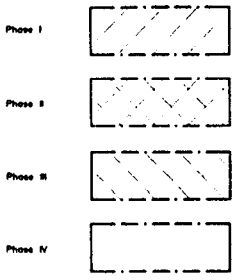
DATE DRAWN: August 12, 1998

SCALE: 1 inch = 50 feet

PROJECT NUMBER: 3269

SHEET NUMBER: 3 OF 10

PHASING:



- NOTES:**
- All work shall be in accordance with approved plans and City of Grand Junction Specifications.
 - Natural gas meters for townhome groups shall be located on the end of each group and shall be a minimum of three feet from any fresh air opening.
 - Electric meters for each group of townhomes shall be installed in a single location.
 - SURVEY CONTROL** - Control points for horizontal and vertical control are shown on the drawings.
 - All open space within the site is designated as an easement for utilities.
 - The fence on the Grand Valley Canal Easement shall be a split rail fence a maximum of 4 feet in height.
 - The Townhome entrance sign at the West entrance shall be a maximum of 4 feet by 8 feet.
 - Parking areas are a minimum of 9 feet by 18.5 feet.
 - All parking areas are to be paved.
 - There are 119 parking spaces including open, garages, and covered parking.
 - Refer to the Final Plat for actual lot dimensions.
 - Three bike racks, each capable of holding 5 bicycles shall be installed as directed by the owner.
 - Phase II construction shall include completion of Stirrup Drive.
 - The Eastern trash dumpster shall be enclosed on three sides by a 6 foot wooden fence.

LAND USE BREAKDOWN:

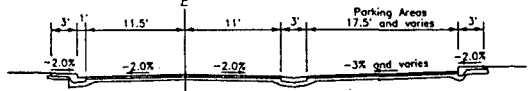
Land Use	Area (acres)	% of Total
Townhomes (61 units)	1.21	18
C 1/2 Road	1.05	14
Stirrup Drive, Parking, Adjacent Sidewalks	1.32	17
C 1/2 Road Sidewalk	0.10	1
Miscellaneous Sidewalks	0.07	1
Open Space	3.82	51
Total	7.67	100

SITE UTILITY VENDORS:

- Water - Uta Water Conservancy District
- Sewer - City of Grand Junction
- Electricity - Grand Valley Rural Power Lines, Inc.
- Gas - Public Service Company of Colorado
- Telephone - US West Communications
- Cable TV - TCI Collaboration of Western Colorado
- Irrigation - Grand Valley Irrigation Company

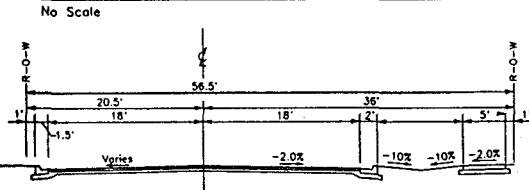
UTILITY NOTES:

- Steeves for the following utilities **MUST** be installed and marked at all road crossings prior to paving:
 - A. Public Service - 4" sch. 40 PVC, 36" depth
 - B. CVP - 2 1/2" sch. 80 PVC, elec. grade, 48" depth
 - C. TCI - 4" sch. 40 PVC, 24" depth
 - D. US West - 4" sch. 40 PVC, 24" depth



NOTE: For appropriate partial sections, see plan

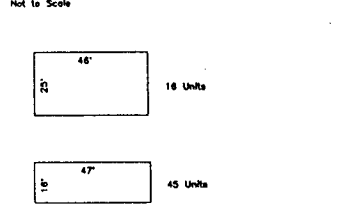
STIRRUP DRIVE:



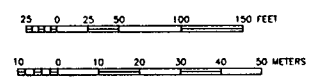
G-5 ROAD - TYPICAL CROSS SECTION:

No Scale

TYPICAL TOWNHOME LOTS:



SCALE:
1 inch = 50 feet (1:600)



LEGEND:

- o Storm Drain Inlet Without Curb Opening
- o 48-inch Manhole With Ring and Cover
- SD 15-inch ADS M12 Stormdrain Pipe
- 12-inch Culvert
- FF 54.0 Minimum Finished Floor Deviation (typ)
- EROSION CONTROL Straw Bales
- TF Transformer
- SL Street Light
- FD Fire Hydrant
- SC Survey Control Point
- EP Electrical Power Pole
- FB Thrust Block with approximate pipe bend angle
- TD 8 cy Trash Dumpster Pad
- S Stop Sign
- SS Street Name Sign

DESIGNED BY: J.M.S.
DRAWN BY: J.M.S.
SURVEY DATE: _____

REVISIONS:

NO.	DATE	REVISIONS

DATE DRAWN: August 12, 1998

SCALE: 1 inch = 50 feet

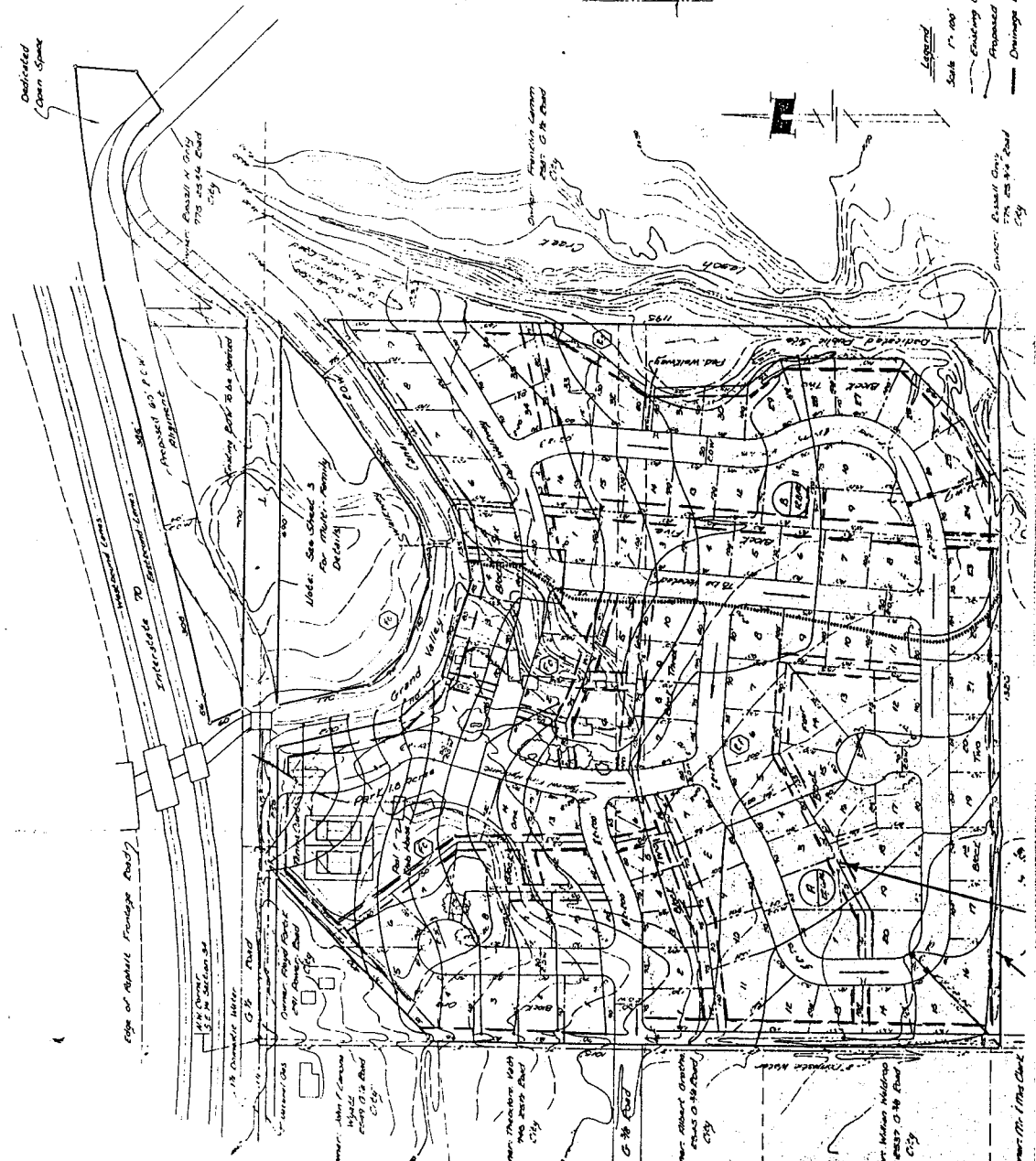
PROJECT NUMBER: 3269

SHEET NUMBER: 3 of 10

CIVIL ENGINEERING • PHOTOGRAMMETRY • SURVEYING
 371 North Court • Grand Junction, Colorado 81508
NICHOLS

WILSON RANCH TOWNHOMES
 SITE PLAN

PRELIMINARY DEVELOPMENT PLAN FOR:
WILSON RANCH
 DEVELOPER: DESTINATION PROPERTIES INC. 8-3 ROAD AVENUE, GRAND JUNCTION, COLO.
 81501, PHONE 245-4877



- Land Use Quantities
1. This Development Located in Part of the 4.5 Acres of Section 34, T14N, R14W, U17E.
 2. Total Area: 400 Acres
 3. Total (70%) - Family Units: 74
 4. Total Single - Family Units: 105
 5. Total Units: 181
 6. Density: 4.4 Units Per Acre
 7. Area in Dedicated Road: 80 Acres or 20%
 8. Area in Private Road: 18 Acres or 4.7%
 9. Area in Dedicated Public Site: 10 Acres or 2.5%

Drainage Notes

In an attempt to offset the impact of the Project on Drainage Down Stream, some of Historic Drainage Areas will be diverted into a main Creek.

The Objectives are to divert the flow into the main Creek.

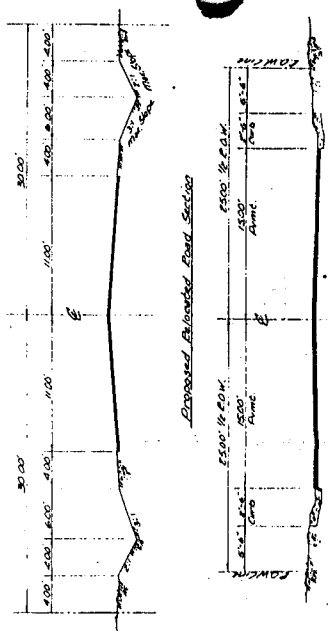
Area 'X' will divert flow into the existing ditch along 25th Road. Area 'Y' will divert flow into the existing ditch along 25th Road.

Area 'Z' will divert flow into the existing ditch along 25th Road.

The 100-year Storm can be safely conveyed within the Development without damage to the structures providing the floor elevations are established in accordance with Good Engineering Practice.

Lot Increase

8 to 500's
 0 to 100's



Typical 60' P.O.M. Section

S.F. Building Set-back Requirements

Front Yard min 20'

Rear Yard min 15'

Side Yard min 5'

Min Building Setback: 10'

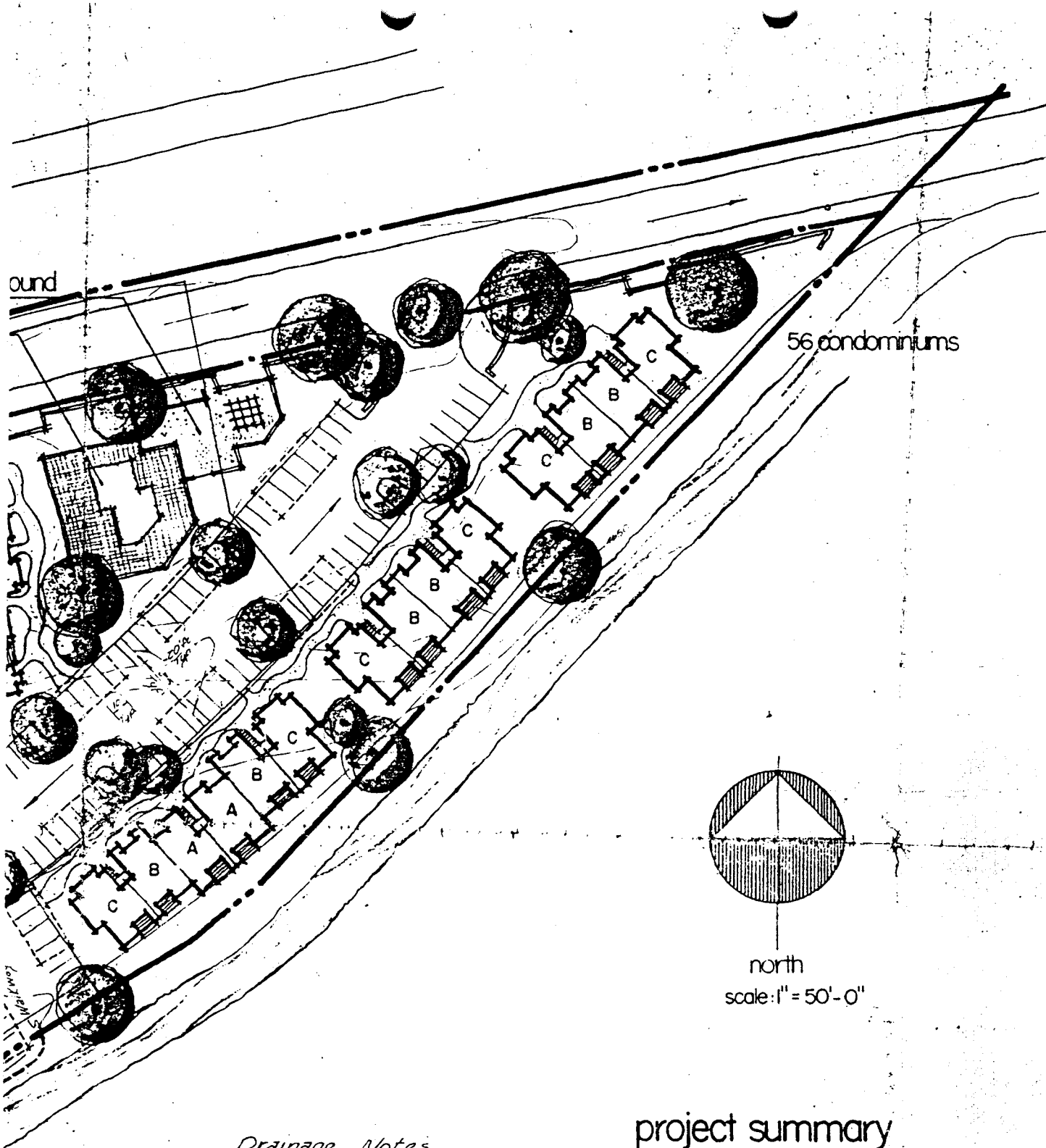
Legend

Scale: 1" = 100'

--- Existing Contours

--- Proposed Contours

--- Drainage Basin Line



Drainage Notes

Drainage will flow South into the Canal (See Sheet 2 of 3)

**Originally Approved Preliminary Plan
(on two sheets)**

project summary

condominiums	56
townhomes	20
total dwellings	76

parking

covered - 1 space per unit
guest - 1.5 spaces per unit
total 2.5 spaces per unit

interstate 70

playground
pool

60' dedicated right of way

20 townhomes

20

Private

Drive

grand valley canal

See Sheet Two for Detail





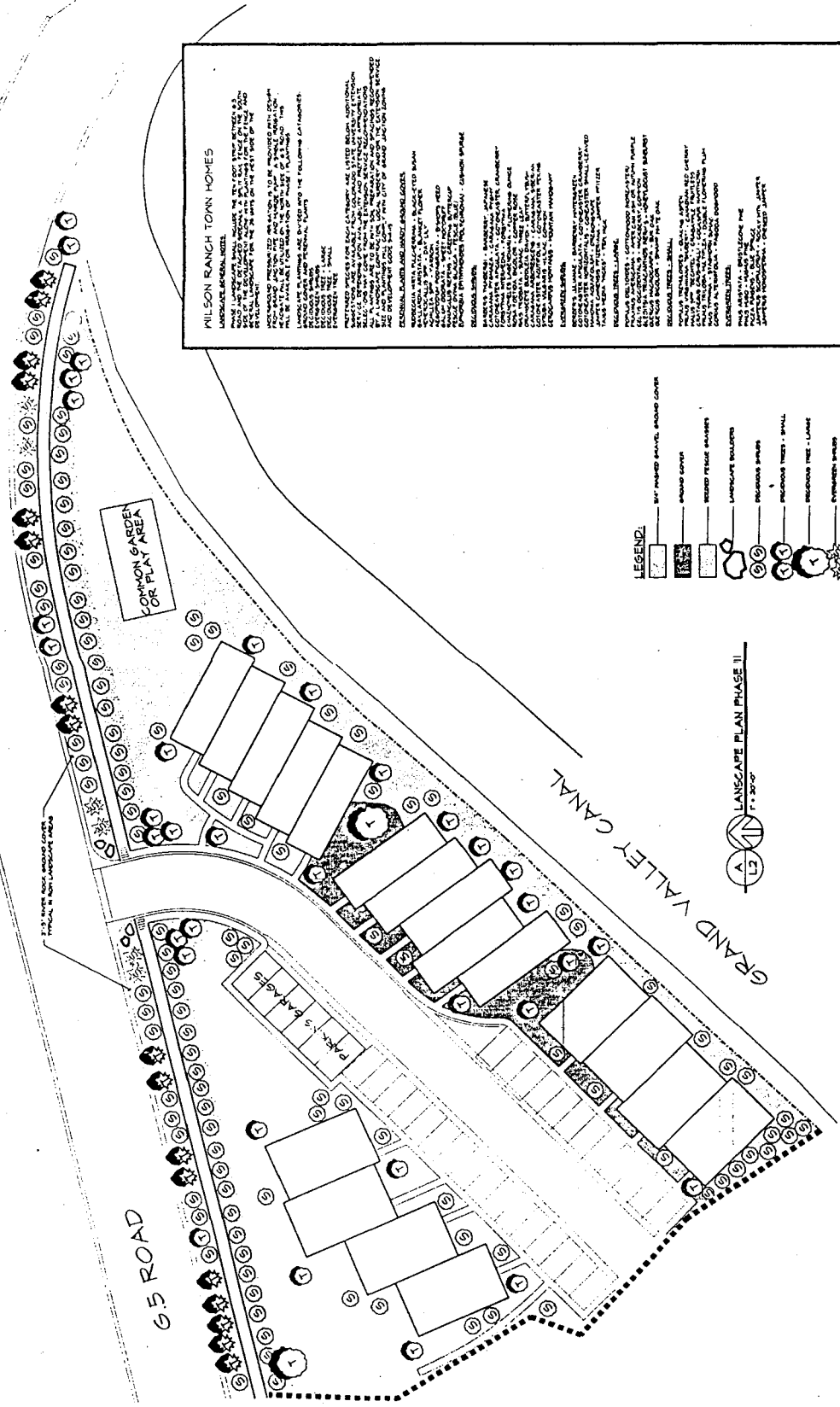
DKO
 ARCHITECTURE
 1000 S. GARDEN AVENUE
 SUITE 100
 DENVER, CO 80202
 303.733.1111

LANDSCAPE PLAN
 WILSON RANCH TOWNHOMES

Sheet #1
 1191

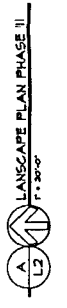
DATE: 02/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]

Sheet #2
 L2

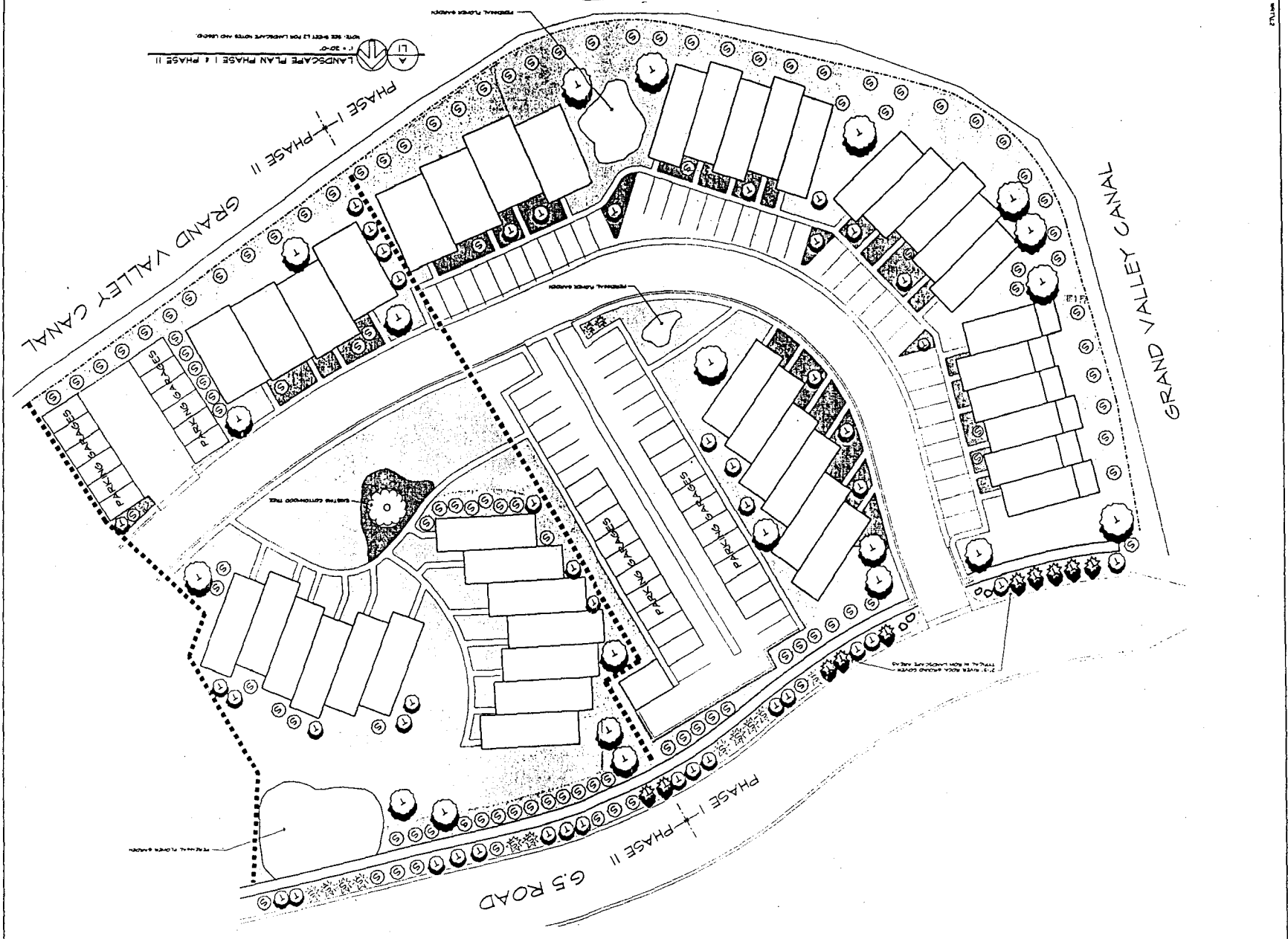


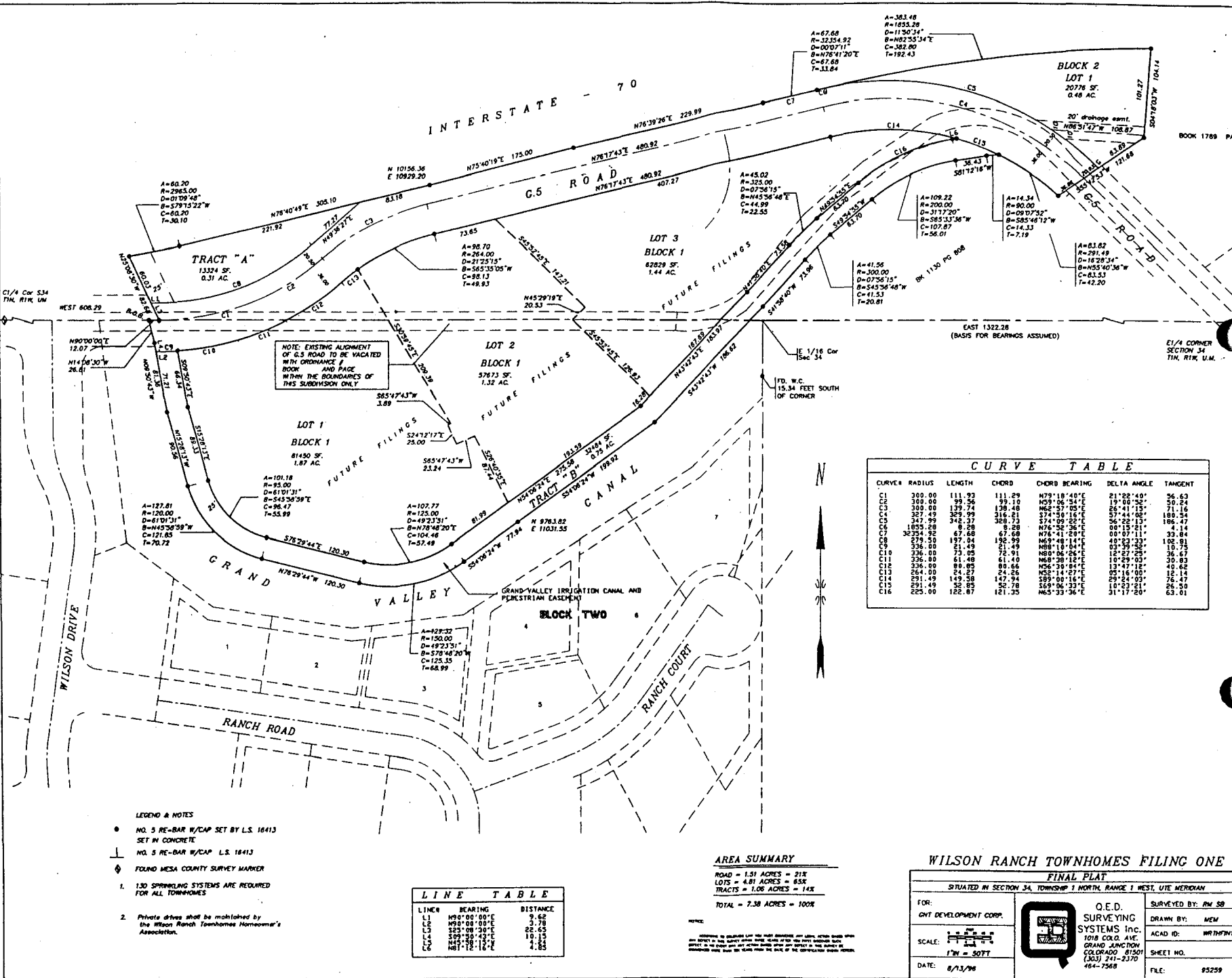
WILSON RANCH TOWN HOMES
 LANDSCAPE PLAN
 THESE LANDSCAPE PLANS SHALL BE THE PROPERTY OF DKO ARCHITECTURE. NO PART OF THESE PLANS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DKO ARCHITECTURE. THE USER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION AND MAINTENANCE OF THE LANDSCAPE. THE USER SHALL BE RESPONSIBLE FOR THE REPLACEMENT OF ANY PLANTS THAT DIE OR ARE DAMAGED. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE FEATURES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE MATERIALS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE EQUIPMENT. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE TOOLS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUPPLIES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SERVICES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE CONTRACTORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUBCONTRACTORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE VENDORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE DISTRIBUTORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE INSTALLERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE MAINTENANCE PERSONNEL. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE CONSULTANTS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE DESIGNERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE ARCHITECTS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE ENGINEERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE PLANNERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE MANAGERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUPERVISORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE ASSISTANTS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUPPORT STAFF. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE OPERATORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE TECHNICIANS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE LABORERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE WORKERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE EMPLOYEES. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE CONTRACTORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUBCONTRACTORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE VENDORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE DISTRIBUTORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE INSTALLERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE MAINTENANCE PERSONNEL. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE CONSULTANTS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE DESIGNERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE ARCHITECTS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE ENGINEERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE PLANNERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE MANAGERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUPERVISORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE ASSISTANTS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE SUPPORT STAFF. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE OPERATORS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE TECHNICIANS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE LABORERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE WORKERS. THE USER SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPE EMPLOYEES.

- LEGEND:**
- 1" x 2" WHITE BLOCK: GROUND COVER
 - 2" x 4" WHITE BLOCK: GROUND COVER
 - 3" x 6" WHITE BLOCK: GROUND COVER
 - 4" x 8" WHITE BLOCK: GROUND COVER
 - 5" x 10" WHITE BLOCK: GROUND COVER
 - 6" x 12" WHITE BLOCK: GROUND COVER
 - 7" x 14" WHITE BLOCK: GROUND COVER
 - 8" x 16" WHITE BLOCK: GROUND COVER
 - 9" x 18" WHITE BLOCK: GROUND COVER
 - 10" x 20" WHITE BLOCK: GROUND COVER
 - 11" x 22" WHITE BLOCK: GROUND COVER
 - 12" x 24" WHITE BLOCK: GROUND COVER
 - 13" x 26" WHITE BLOCK: GROUND COVER
 - 14" x 28" WHITE BLOCK: GROUND COVER
 - 15" x 30" WHITE BLOCK: GROUND COVER
 - 16" x 32" WHITE BLOCK: GROUND COVER
 - 17" x 34" WHITE BLOCK: GROUND COVER
 - 18" x 36" WHITE BLOCK: GROUND COVER
 - 19" x 38" WHITE BLOCK: GROUND COVER
 - 20" x 40" WHITE BLOCK: GROUND COVER
 - 21" x 42" WHITE BLOCK: GROUND COVER
 - 22" x 44" WHITE BLOCK: GROUND COVER
 - 23" x 46" WHITE BLOCK: GROUND COVER
 - 24" x 48" WHITE BLOCK: GROUND COVER
 - 25" x 50" WHITE BLOCK: GROUND COVER
 - 26" x 52" WHITE BLOCK: GROUND COVER
 - 27" x 54" WHITE BLOCK: GROUND COVER
 - 28" x 56" WHITE BLOCK: GROUND COVER
 - 29" x 58" WHITE BLOCK: GROUND COVER
 - 30" x 60" WHITE BLOCK: GROUND COVER
 - 31" x 62" WHITE BLOCK: GROUND COVER
 - 32" x 64" WHITE BLOCK: GROUND COVER
 - 33" x 66" WHITE BLOCK: GROUND COVER
 - 34" x 68" WHITE BLOCK: GROUND COVER
 - 35" x 70" WHITE BLOCK: GROUND COVER
 - 36" x 72" WHITE BLOCK: GROUND COVER
 - 37" x 74" WHITE BLOCK: GROUND COVER
 - 38" x 76" WHITE BLOCK: GROUND COVER
 - 39" x 78" WHITE BLOCK: GROUND COVER
 - 40" x 80" WHITE BLOCK: GROUND COVER
 - 41" x 82" WHITE BLOCK: GROUND COVER
 - 42" x 84" WHITE BLOCK: GROUND COVER
 - 43" x 86" WHITE BLOCK: GROUND COVER
 - 44" x 88" WHITE BLOCK: GROUND COVER
 - 45" x 90" WHITE BLOCK: GROUND COVER
 - 46" x 92" WHITE BLOCK: GROUND COVER
 - 47" x 94" WHITE BLOCK: GROUND COVER
 - 48" x 96" WHITE BLOCK: GROUND COVER
 - 49" x 98" WHITE BLOCK: GROUND COVER
 - 50" x 100" WHITE BLOCK: GROUND COVER



L 1	1991	9611	LANDSCAPING PLAN WILSON RANCH TOWNHOMES	 <p>DKO ARCHITECTURE 15100 SAN DIEGO AVENUE, SUITE 200 SAN DIEGO, CALIFORNIA 92128 PHONE: 619-591-1111</p>
-----	------	------	--	---





CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA ANGLE	TANGENT
C1	300.00	111.93	111.29	N79°18'40"E	21°22'40"	56.63
C2	380.00	99.56	99.10	N69°06'54"E	19°00'56"	50.24
C3	300.00	139.74	139.40	N69°06'54"E	26°41'15"	71.16
C4	327.49	329.99	316.21	S74°50'16"W	57°41'08"	180.54
C5	347.99	316.37	308.73	S74°09'25"W	56°22'13"	186.47
C6	1855.28	8.28	8.28	N76°52'36"E	09°15'21"	4.14
C7	32354.92	67.68	67.68	N76°41'28"E	40°22'31"	33.84
C8	279.30	197.84	192.99	N69°48'14"E	09°29'58"	102.81
C9	336.00	21.49	21.49	N88°19'04"E	03°39'58"	10.75
C10	336.00	73.95	72.91	N89°06'26"E	18°21'28"	36.67
C11	336.00	61.48	61.40	N68°38'12"E	10°29'03"	30.83
C12	336.00	88.05	88.66	N56°39'08"E	13°47'18"	40.62
C13	264.00	24.87	24.26	N55°14'07"E	05°16'00"	12.14
C14	291.49	149.38	147.94	S89°00'16"E	29°24'03"	76.47
C15	291.49	52.25	52.78	S69°06'37"E	10°23'21"	26.50
C16	225.00	122.87	121.25	N63°33'36"E	31°17'50"	63.01

- LEGEND & NOTES**
- NO. 5 RE-BAR W/CAP SET BY L.S. 18413 SET IN CONCRETE
 - ⊥ NO. 5 RE-BAR W/CAP L.S. 18413
 - ◆ FOUND MESA COUNTY SURVEY MARKER
 - 1. 150 SPRINGING SYSTEMS ARE REQUIRED FOR ALL TOWNHOMES
 - 2. Private drives shall be maintained by the Wilson Ranch Townhomes Homeowners' Association.

LINE#	BEARING	DISTANCE
L1	N90°00'00"E	9.62
L2	N90°00'00"E	3.78
L3	S25°08'30"E	22.65
L4	S29°30'45"E	10.15
L5	N45°58'12"W	4.84
L6	N61°12'16"E	4.84

AREA SUMMARY

ROAD = 1.51 ACRES = 21X
LOTS = 4.81 ACRES = 65X
TRACTS = 1.08 ACRES = 14X
TOTAL = 7.38 ACRES = 100X

WILSON RANCH TOWNHOMES FILING ONE
FINAL PLAT

SITUATED IN SECTION 34, TOWNSHIP 1 NORTH, RANGE 1 WEST, UTE MERIDIAN

FOR: GHT DEVELOPMENT CORP.	Q.E.D. SURVEYING SYSTEMS INC. 1018 COLO. AVE. GRAND JUNCTION COLORADO 81501 (303) 241-2170 464-7568	SURVEYED BY: RM SB DRAWN BY: MEM ACAD ID: WRT/PM/1 SHEET NO. FILE: 95259
----------------------------	---	--

DATE: 8/13/96

SCALE: 1" = 50 FT

Plat - Phase #1

INTERSTATE 70

BOOK 1789 PAGE 3

G.S. ROAD

SEE WILSON RANCH TOWNHOMES
FILING ONE
LOT 1
BLOCK 2

SEE WILSON RANCH TOWNHOMES
FILING ONE
LOT 3
BLOCK 1

A=83.82
R=291.49
D=1878.34
B=MS+1036°16'W
C=83.53
T=42.20

N 8994.86
E 10789.48

SEE WILSON RANCH TOWNHOMES
FILING ONE

SEE WILSON RANCH TOWNHOMES
FILING ONE

LOT 2
BLOCK 1

EAST 1322.28
(BASIS FOR BEARINGS ASSUMED)

E1/4 CORNER
SECTION 34
T14N, R14E, U1M.

C1/4 Cor S1/4
T14N, R14E, U1M

WEST 606.29

N 9942.14
E 10649.66

N 9821.45
E 10506.25

A=101.18
R=85.00
D=8107.31
B=MS+365°58'W
C=98.47
T=55.99

N 8755.71
E 10779.50

N 8754.98
E 10913.72

A=125.07
R=125.07
D=4923.77
B=MS+274°30'W
C=104.48
T=57.49

E 1/18 Cor
13.54 FEET SOUTH
OF CORNER

FD. W.C.
13.54 FEET SOUTH
OF CORNER

LEGEND & NOTES

- NO. 5 RE-BAR W/CAP SET BY L.S. 18413 SET IN CONCRETE
- NO. 5 RE-BAR W/CAP L.S. 18413
- ◆ FOUND WESA COUNTY SURVEY MARKER
- 1. 130 SPRINKLING SYSTEMS ARE REQUIRED FOR ALL TOWNHOMES
- 2. Private drives shall be maintained by the Wilson Ranch Townhomes Homeowners' Association.

AREA SUMMARY

PRIVATE ROAD = 0.29 ACRES = 16X
LOTS = 0.57 ACRES = 308
TRACTS = 1.01 ACRES = 54X
TOTAL = 1.87 ACRES = 100X

CURVE TABLE

CURVES	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA ANGLE	TANGENT
C1	326.88	81.49	81.49	N89°18'04"E	82°29'52"	18.75
C2	326.88	73.05	73.05	N89°04'28"E	18°27'25"	26.47
C3	326.88	61.68	61.68	N88°28'18"E	14°29'13"	38.83
C4	326.88	88.83	88.83	N58°38'05"E	13°47'12"	48.42
C5	326.88	82.27	82.27	N57°37'24"E	06°30'32"	6.38
C6	118.00	13.14	13.14	N57°37'24"E	06°30'32"	6.38
C7	118.00	191.20	188.12	S64°59'13"E	99°44'08"	145.14
C8	122.50	813.18	187.85	S64°59'13"E	99°44'08"	145.14
C9	28.00	20.67	20.67	S65°11'24"E	87°31'10"	17.67
C10	62.00	25.89	27.42	S65°11'24"E	87°31'10"	17.67
C11	97.50	129.17	142.08	S61°18'10"E	93°26'29"	103.72
C12	81.00	25.93	31.47	N82°57'53"W	48°08'11"	25.11
C13	81.00	29.45	36.34	S79°38'01"E	83°18'31"	17.76
C14	125.26	18.78	18.78	S17°06'25"E	05°08'24"	2.58
C15	97.50	16.24	6.33	S16°23'55"E	83°43'24"	3.17
C16	381.98	111.73	111.29	N79°18'48"E	21°52'44"	56.43

LINE TABLE

LINE#	BEARING	DISTANCE
L1	N90°00'00"W	18.97
L2	N90°00'00"E	3.78
L3	S25°09'38"E	28.45
L4	S09°30'43"E	19.15
L5	S21°22'48"E	50.89
L6	S14°32'09"E	46.69
L7	S14°32'09"E	46.69
L8	N42°47'43"E	27.17
L9	N42°47'43"E	27.17
L10	N38°29'45"W	52.38
L11	N38°29'45"W	44.22
L12	N42°47'43"E	36.53

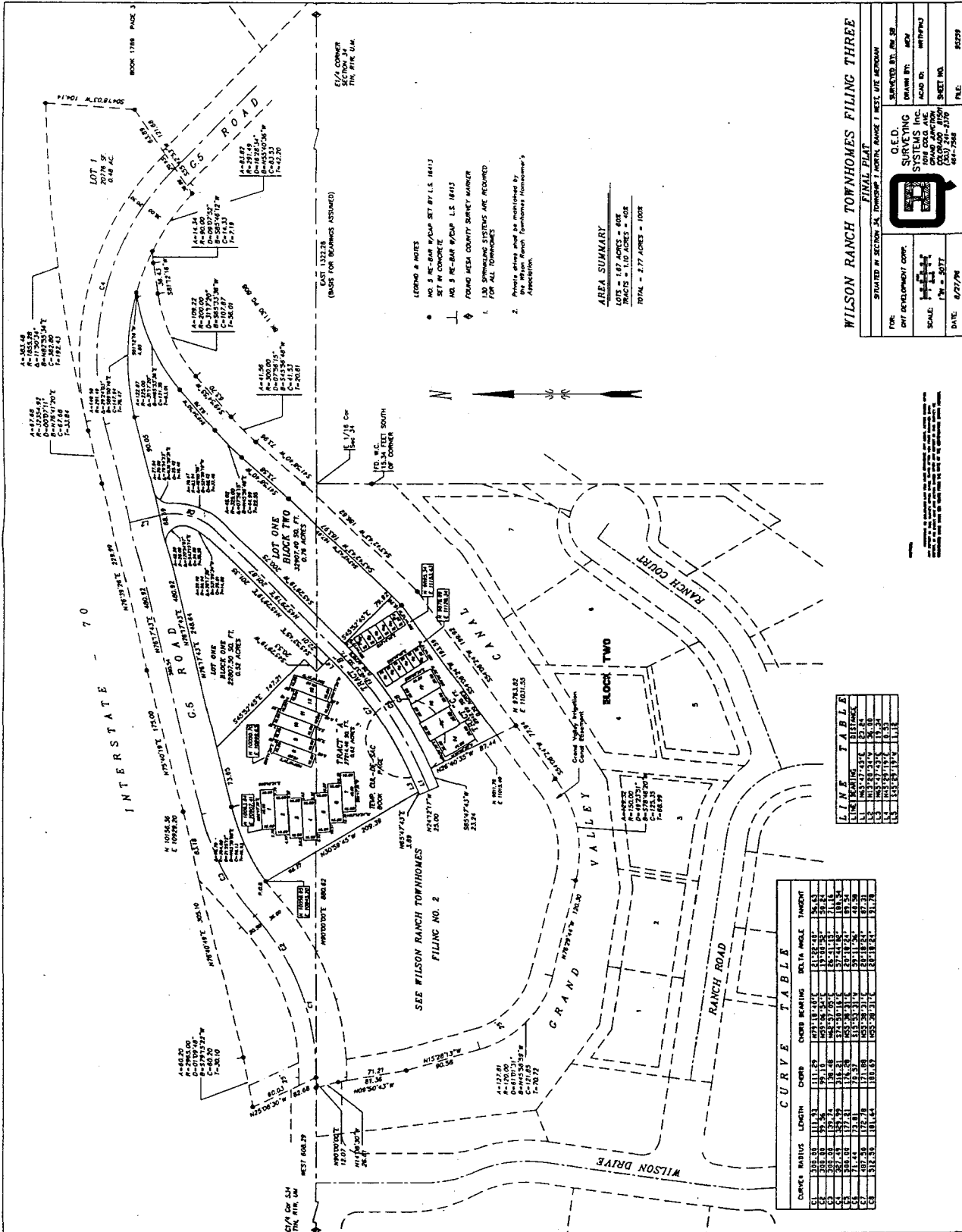
NOTES:
1. REFER TO SURVEY MAP FOR THE LOCATION OF ALL SURVEY MARKERS AND MONUMENTS IN THE FIELD AND OTHER DATA WHICH MAY BE NECESSARY TO LOCATE THE MONUMENTS IN THE FIELD.
2. THE BEARING AND DISTANCE DATA ARE GIVEN IN THIS TABLE.
3. THE BEARING AND DISTANCE DATA ARE GIVEN IN THIS TABLE.

WILSON RANCH TOWNHOMES FILING TWO

FINAL PLAT

SITUATED IN SECTION 34, TOWNSHIP 1 NORTH, RANGE 1 WEST, UTE MOUNTAIN		
FOR: GNT DEVELOPMENT CORP.	 Q.E.D. SURVEYING SYSTEMS Inc. 1018 COLO. AVE. GRAND JUNCTION COLORADO 81501 (303) 241-2170 984-7568	SURVEYED BY: RW JB
SCALE: 1" = 50 FT		DRAWN BY: MEW
DATE: 8/13/98		ACAD ID: WRTWKS
		SHEET NO.
		FILE: 85259

Plat - Phase #2



WILSON RANCH TOWNHOMES FILING THREE
 FINAL PLAT

FOR: STATED IN SECTION 34, TOWNSHIP 1 NORTH, RANGE 1 WEST, UTE MERIDIAN

DATE: 8/27/79

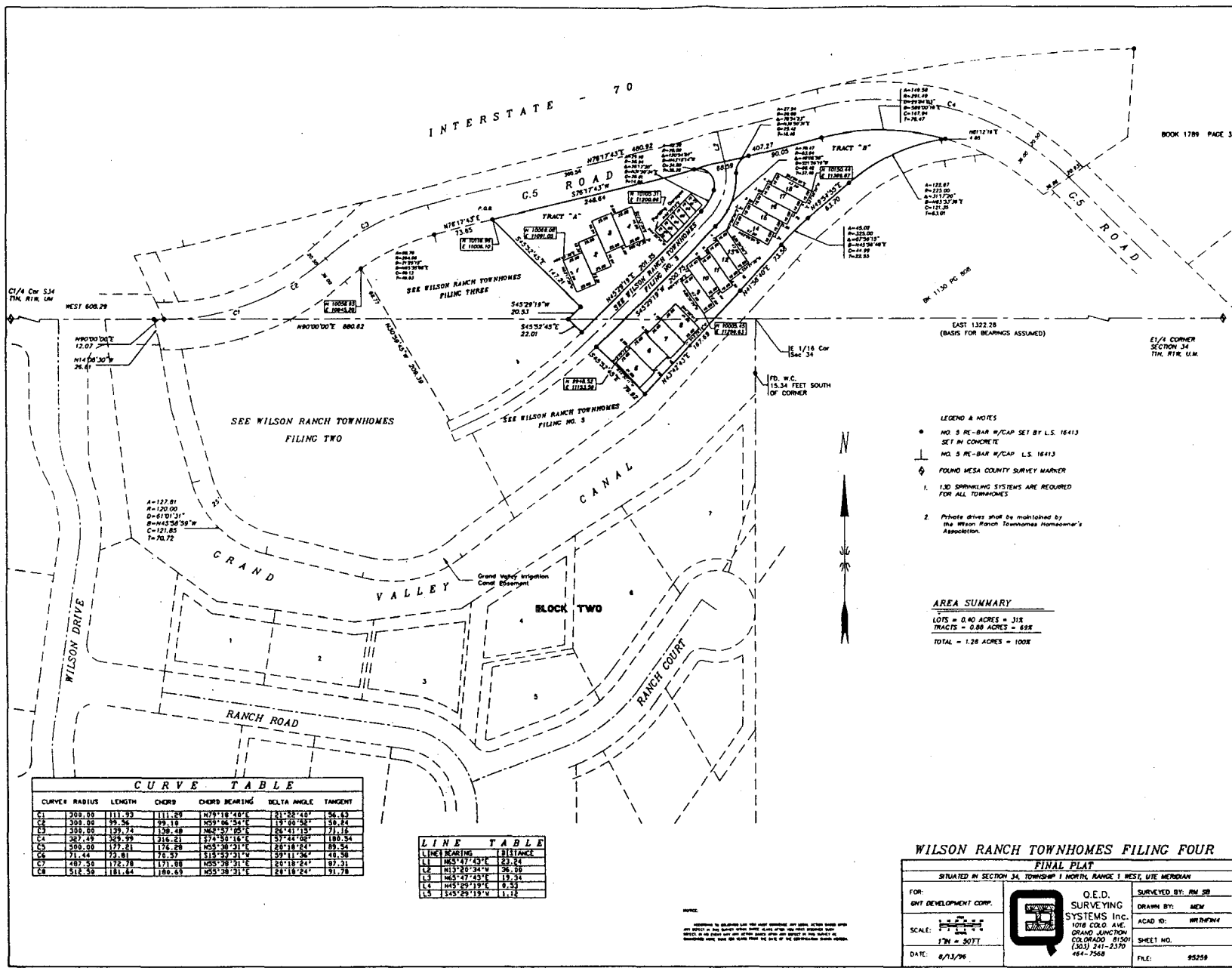
FILE: 8539

PREPARED BY: G.E.D. SURVEYING SYSTEMS, INC.
 1814 COLG AVE.
 DENVER, CO. 80202
 (303) 733-3370

SCALE: 1" = 200'

DATE: 8/27/79

FILE: 8539



BOOK 1789 PAGE 3

- LEGEND & NOTES
- NO. 5 RE-BAR W/CAP SET BY L.S. 16413 SET IN CONCRETE
 - ⊥ NO. 3 RE-BAR W/CAP L.S. 16413
 - ⊕ FOUND MESA COUNTY SURVEY MARKER
 - 1. I.D. SPRINKLING SYSTEMS ARE REQUIRED FOR ALL TOWNHOMES
 - 2. Private drives shall be maintained by the Wilson Ranch Townhomes Homeowners' Association.

AREA SUMMARY

LOTS = 0.40 ACRES = 318
 TRACTS = 0.88 ACRES = 698
 TOTAL = 1.28 ACRES = 100%

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA ANGLE	TANGENT
C1	308.00	111.93	111.29	N157°18'45"E	21°28'44"	54.43
C2	308.00	139.56	99.19	N05°04'54"E	19°08'52"	39.04
C3	308.00	139.74	138.48	N62°37'25"E	25°41'15"	71.16
C4	362.49	365.99	338.21	S71°45'14"E	57°44'08"	188.54
C5	390.00	137.21	114.28	N65°20'31"E	24°18'24"	69.34
C6	71.44	73.61	70.57	S15°53'31"W	59°11'34"	46.38
C7	487.50	172.78	171.88	N65°28'31"E	20°18'24"	87.31
C8	512.59	181.44	180.63	N65°28'31"E	24°18'24"	91.78

LINE	BEARING	DISTANCE
L1	N65°47'43"E	23.24
L2	N13°20'34"W	26.08
L3	N65°47'43"E	19.34
L4	N65°20'31"E	8.33
L5	S45°25'19"W	11.32

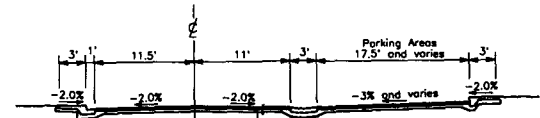
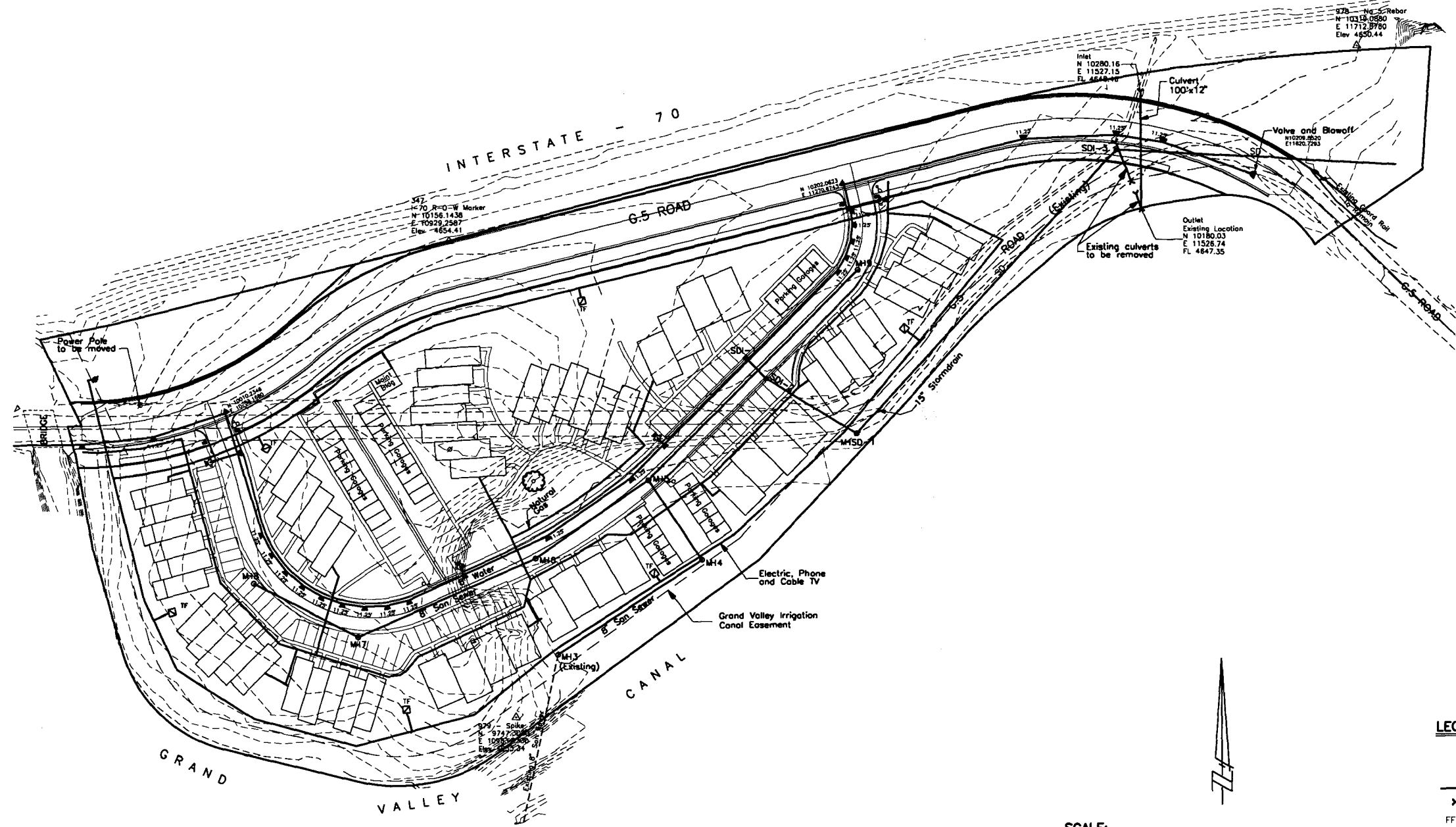
NOTICE: THE SURVEYOR HAS BEEN ADVISED THAT THE PROPERTY OWNER HAS AGREED TO THE SURVEY AND THE PLAT IS BEING FILED FOR RECORD. THE SURVEYOR HAS BEEN ADVISED THAT THE PROPERTY OWNER HAS AGREED TO THE SURVEY AND THE PLAT IS BEING FILED FOR RECORD.

WILSON RANCH TOWNHOMES FILING FOUR
 FINAL PLAT

SITUATED IN SECTION 34, TOWNSHIP 1 NORTH, RANGE 1 WEST, UTE MERIDIAN

FOR: GENT DEVELOPMENT CORP.		SURVEYED BY: RM JB
SCALE: 1" = 30 FT		DRAWN BY: MEW
DATE: 6/13/96		ACAD ID: JHDFHW
		SHEET NO. FILE: 95259

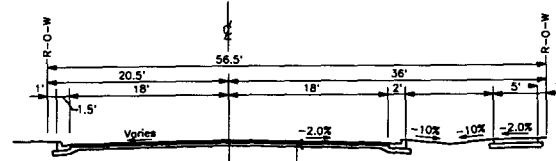
COMPOSITE PLAN
WILSON RANCH TOWNHOMES
 Grand Junction, Mesa County, Colorado



NOTE: For appropriate partial sections see plan

MINIMUM REQUIREMENTS
 3 inches Bituminous Pavement
 6 inches Aggregate Base Course
 Compacted Subbase

PRIVATE DRIVE:
 No Scale

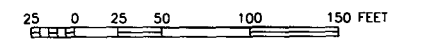


LEFT LANE CROSS SLOPES
 10+00 - 11+50
 s = -0.02
 11+50 - 12+50
 s = 0.02 - 0.0004(STA-1150)
 12+50 - 21+00
 s = +0.02
 21+00 - 21+80
 s = 0.02 - (0.04/60)(STA-2100)

Pavement Structural Section Per design
 3 inches Bituminous Pavement
 6 inches Aggregate Base Course
 Compacted Subbase

MINIMUM REQUIREMENTS
 3 inches Bituminous Pavement
 6 inches Aggregate Base Course
 Compacted Subbase

SCALE:
 1 inch = 50 feet (1:500)



Contour interval: 1 foot

SITE UTILITY VENDORS:

- Water - Ute Water Conservancy District
- Sewer - City of Grand Junction
- Electricity - Grand Valley Rural Power Lines, Inc.
- Gas - Public Service Company of Colorado
- Telephone - US West Communications
- Cable TV - TCI Cablevision of Western Colorado
- Irrigation - Grand Valley Irrigation Company

LEGEND:

- Storm Drain Inlet Without Curb Opening
- 48-inch Manhole With Ring and Cover
- SD 15-inch ADS N12 Stormdrain Pipe
- 12-inch Culvert
- FF 54.0 Minimum Finished Floor Elevation (typ)
- Erosion Control Straw Boles
- Transformer
- Street Light
- Fire Hydrant
- Survey Control Point
- Electrical Power Pole
- Thrust Block with approximate pipe bend angle

UTILITY NOTES:

- Sleeves for the following utilities MUST be installed and marked at all road crossings prior to paving:
 - A. Public Service - 4" sch. 40 PVC, 36" depth
 - B. GVP - 2 1/2" sch. 80 PVC, etc. grade, 48" depth
 - C. TCI - 4" sch. 40 PVC, 24" depth
 - D. US West - 4" sch. 40 PVC, 24" depth

DESIGNED BY	J.M.S.
DRAWN BY	J.M.S.
SURVEY DATE	

NO.	DATE	REVISIONS	BY
1	8-24-98	Coord. Easement, Con. Easement, Details	JMF

COMPOSITE PLAN
WILSON RANCH TOWNHOMES

CIVIL ENGINEERING • PHOTOGRAMMETRY • SURVEYING
 751 Horizon Court • Grand Junction, Colorado 81506 • Phone: 970-245-7101

NICHOLS ASSOCIATES, INC.

DATE DRAWN	May 13 1996
------------	-------------

SCALE	1 inch = 50 feet
-------	------------------

PROJECT NUMBER	3269
----------------	------

SHEET NUMBER	2 OF 10
--------------	---------

Wilson Ranch Planned Development
File History (Not intended to be a complete history)

County Files

191-79	Rezone AFT to PR 4.4
25-83	Filing 1 (2 files)
31-91	Variance - setback

City Files

58-91	Annexation
36-92	Filing #4 & Annexation
PP-96-130	Townhomes Filing 1 (preliminary - administrative review)
FP-96-160	Townhomes Filing 1 (final plat & plan & G 1/2 Road vacation)

DENIED