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File MS-1996-196

Name: Daughters Cove Minor Subdivision – 2709 B ¾ Road

P **S** A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.
r **c** Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page.
e **a** Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.
s **n**
e **n**
n **d**

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DOCUMENT DESCRIPTION:

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X	X	Planning Commission Minutes – 10/1/96 - **	X	Plat – not signed, approved version
X	X	Drainage Fee Evaluation – 8/30/96	X	Notice of Public Hearing – sent 9/20/95
X		Treasurer's Certificate of Taxes Due – 4/18/96		
X		Statutory Deed – Bk 2226 / Pg 410		
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X	X	Certification of Plat – 4/15/97		
X	X	File Close-out Summary - 5/14/97		
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X	X	Decision Letter – 10/1/96		
X	X	Request for Refunds – 8/5/97		
X	X	Grayscale Map		
X	X	Daughter's Cove Minor Subdivision Plat – GIS Historical Maps- **		



DEVELOPMENT APPLICATION

Community Development Department
250 North 5th Street, Grand Junction, CO 81501
(303) 244-1430

Receipt _____

Date _____

Rec'd By _____

File No. MS-96-194

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input checked="" type="checkbox"/> Subdivision Plat/Plan	<input checked="" type="checkbox"/> Minor <input type="checkbox"/> Major <input type="checkbox"/> Resub	1.7 acres (3 lots)	2709 B3/4 Road G.J. CO 81503	RSF - 8	Vacant
<input type="checkbox"/> Rezone				From: To:	
<input type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final				
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Variance					
<input type="checkbox"/> Special Use					
<input type="checkbox"/> Vacation					<input type="checkbox"/> Right-of Way <input type="checkbox"/> Easement
<input type="checkbox"/> Revocable Permit					

PROPERTY OWNER

DEVELOPER

REPRESENTATIVE

Richard I. Bishop

Same

Name

Name

Name

3192 Kennedy Ave.

Address

Address

Address

Grand Junction, CO 81504

City/State/Zip

City/State/Zip

City/State/Zip

(970)434-6027

Business Phone No.

Business Phone No.

Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

Richard I. Bishop
Signature of Person Completing Application

9-1-96
Date

Richard I. Bishop
Signature of Property Owner(s) - attach additional sheets if necessary

9-1-96
Date

SUBMITTAL CHECKLIST

MINOR SUBDIVISION

Location: S SIDE B 3/4 AT PINON

Project Name: DAUGHTERS CONE

ITEMS		DISTRIBUTION																													
Date Received	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City G.J.P.C. (8 sets)	City Downtown Dev. Auth.	City Police	County Planning	County Building Department	Walker Field	School Dist. #51	Irrigation District	Drainage District <u>D.W.I.D</u>	Water District	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Colorado Geologic Survey	U.S. Postal Service	Porsigo WWTF	TCI Cable	TOTAL REQ'D.		
DESCRIPTION		City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City G.J.P.C. (8 sets)	City Downtown Dev. Auth.	City Police	County Planning	County Building Department	Walker Field	School Dist. #51	Irrigation District	Drainage District <u>D.W.I.D</u>	Water District	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Colorado Geologic Survey	U.S. Postal Service	Porsigo WWTF	TCI Cable			
● Application Fee <u>WAIVED</u>	VII-1	1																													
● Submittal Checklist*	VII-3	1																													
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Application Form*	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Reduction of Assessor's Map*	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Evidence of Title	VII-2	1		1			1																								
○ Appraisal of Raw Land	VII-1	1		1	1																										
● Names and Addresses*	VII-2	1																													
● Legal Description*	VII-2	1		1																											
○ Deeds	VII-1	1		1			1																								
○ Easements	VII-2	1	1	1	1		1														1	1	1								
○ Avigation Easement	VII-1	1		1			1							1																	
○ ROW	VII-3	1	1	1	1		1														1	1	1								
○ Covenants, Conditions & Restrictions	VII-1	1	1				1																								
○ Common Space Agreements	VII-1	1	1				1																								
● County Treasurer's Tax Cert.	VII-1	1																													
○ Improvements Agreement/Guarantee*	VII-2	1	1	1			1																								
○ CDOT, 404, or Floodplain Permit	VII-3,4	1	1																												
● General Project Report	X-7	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Location Map <u>FULL SIZE ASSR</u>	IX-21	1																													
○ Composite Plan	IX-10	1	2	1	1																										
○ 11"x17" Reduction Composite Plan	IX-10	1			1	1	1	8	1	1	1	1			1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Final Plat	IX-15	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● 11"x17" Reduction of Final Plat	IX-15	1								1	1	1			1	1	1	1	1	1	1	1	1			1	1				
○ Cover Sheet	IX-11	1	2																												
● Grading & Stormwater Mgmt Plan <u>DRAINAGE PLAN</u>	IX-16	1	2													1								1	1						
○ Storm Drainage Plan and Profile	IX-30	1	2													1					1	1	1								
○ Water and Sewer Plan and Profile	IX-34	1	2	1													1	1	1	1	1	1					1	1			
○ Roadway Plan and Profile	IX-28	1	2													1															
○ Road Cross-sections	IX-27	1	2																												
○ Detail Sheet	IX-12	1	2																												
○ Landscape Plan	IX-20	2	1	1																											
○ Geotechnical Report	X-8	1	1									1														1					
○ Phase I & II Environmental Report	X-10,11	1	1																												
● Final Drainage Report	X-5,6	1	2													1															
○ Stormwater Management Plan	X-12	1	2													1									1						
○ Sewer System Design Report	X-13	1	2	1																											
○ Water System Design Report	X-16	1	2	1													1														
○ Traffic Impact Study	X-15	1	2																												
○ Site Plan	IX-29	1	2	1	1		1	8																							

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 5-16-96 LARRY McDONALD Bill NEBBER
Conference Attendance: RICHARD BISHOP ROBBIE CARWANG
Proposal: 5 LOT MINOR SUBDIVISION
Location: 2709 S 3/4 RD
Tax Parcel Number: 2945-252-00-121 RSI-8
Review Fee: \$430

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? NO
Adjacent road improvements required? MANISE - SIDEWALK, CURB, BUTTER
Area identified as a need in the Master Plan of Parks and Recreation? ?
Parks and Open Space fees required? YES \$225/UNIT Estimated Amount: _____
Recording fees required? YES \$10 PER SHEET Estimated Amount: _____
Half street improvement fees/TCP required? NO UNLESS ST. IMPROVEMENT Estimated Amount: _____
Revocable Permit required? NO NOT REQUIRED
State Highway Access Permit required? NO
On-site detention/retention or Drainage fee required? PROBABLY

Applicable Plans, Policies and Guidelines _____

Located in identified floodplain? FIRM panel # -
Located in other geohazard area? -
Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? -
Avigation Easement required? -

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking Screening/Buffering Land Use Compatibility
- Drainage Landscaping Traffic Generation
- Floodplain/Wetlands Mitigation Availability of Utilities Geologic Hazards/Soils
- Other _____

Related Files: 83-3

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s) _____ Signature(s) of Representative(s) _____

PRE-APPLICATION CONFERENCE

Date: 8-96
Conference Attendance: RICHARD BISHOP, BILL NEBSCHKE
Proposal: 3 LOT MINOR SUBD.
Location: 3 3/4 RD AT PINON
Tax Parcel Number: 2945-252-00-121
Review Fee: WANTED PER BILL NEBSCHKE
(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? NO
Adjacent road improvements required? YES
Area identified as a need in the Master Plan of Parks and Recreation? -
Parks and Open Space fees required? YES Estimated Amount:
Recording fees required? YES Estimated Amount:
Half street improvement fees/TCP required? ? Estimated Amount:
Revocable Permit required?
State Highway Access Permit required?
On-site detention/retention or Drainage fee required? YES

Applicable Plans, Policies and Guidelines
Located in identified floodplain? FIRM panel #
Located in other geohazard area?
Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?
Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Screening/Buffering, Land Use Compatibility, Drainage, Landscaping, Traffic Generation, Floodplain/Wetlands Mitigation, Availability of Utilities, Geologic Hazards/Soils, Other

Related Files:
It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

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Signature(s) of Petitioner(s) Signature(s) of Representative(s)

Laura Bailey
2710 B 3/4 Road
Grand Junction, CO 81503

Burt and Kellie LaMay
280 Pinon Street
Grand Junction, CO 81503

Sandra I. Lampshire
268 27 Road
Grand Junction, CO 81503-1925

D. D. Williamson
274 27 Road
Grand Junction, CO 81503-1925

Richard W. Ray
254 27 1/2 Road
Grand Junction, CO 81503-2079

Mary L. Adams
2714 B 3/4 Road
Grand Junction, CO 81503-2093

Lowell Huscusson
P.O. Box 30056
Grand Junction, CO 81503-3211

Wayne D. Rodgers
218 Sherman Drive
Grand Junction, CO 81503-2066

Craig L. Schultz
210 Sherman Drive
Grand Junction, CO 81503-2066

Cheryl C. Cameron
204 Sherman Drive
Grand Junction, CO 81503-2066

Jay D. Stinecipher
104 Dorothy Drive
Grand Junction, CO 81503-1816

Salvador Flores
110 Dorothy Drive
Grand Junction, CO 81503-1816

Cynthia M. Hutton
118 Dorothy Drive
Grand Junction, CO 81503-1816

Robert E. Fritz
2900 Victoria Drive
Grand Junction, CO 81503-2361

James E. Karp
101 Canary Court
Grand Junction, CO 81503-1542

Robert A. Barry
385 Rodell Drive
Grand Junction, CO 81503-4700

Schoonover Family Revocabl
278 Gary Drive
Grand Junction, CO 81503-1928

Wayne J. Smith
1103 Rood Ave.
Grand Junction, CO 81501-3439

GLB Enterprises
2702 Highway 50
Grand Junction, CO 81503-2268

Feather-Medsker-Smith
333 W. Hampden Ave. Ste 500
Englewood, CO 80110-2335

William W. Basham
150 Sherman Drive
Grand Junction, CO 81503-2064

Diane West
144 Sherman Drive
Grand Junction, CO 81503-2064

Rudolph Fontanari
3316 E 3/4 Road
Clifton, CO 81520-8011

Richard D. Woods
124 Sherman Drive
Grand Junction, CO 81503-2064

Larry A. Crites
118 Sherman Drive
Grand Junction, CO 81503-2064

Katharina Bassett
110 Sherman Drive
Grand Junction, CO 81503-2064

Winnifred Basham
104 Sherman Dr.
Grand Junction, CO 81503-2064

Diane Lee Weaver
278 Pinon Street
Grand Junction, CO 81503-2047

Elizabeth W. Anderson
938 19 1/2 Road
Fruita, CO 81521-9377

Robert Bryan Mullen
2404 Hill Ave. Apt. 3
Grand Junction, CO 81501-7023

Vernon L. Johnson
2712 B 3/4 Road
Grand Junction, CO 81503-2093

Patricia L. Chapman
280 Oak Court
Grand Junction, CO 81503-2071

Shaun Coats
262 Oak Court
Grand Junction, CO 81503-2071

Robert R. Starkey
277 Pinon Street
Grand Junction, CO 81503-2046

Vicki L. Sheley
279 Pinon Street
Grand Junction, CO 81503-2046

Ollie M. Griffith
306 Pinon Street
Grand Junction, CO 81503-2049

Marie Loyola Sanchez
281 1/2 Pinon Street
Grand Junction, CO 81503-2046

Maureen D. Sheetz
278 Oak Court
Grand Junction, CO 81503-2071

Annette L. Augsburg
276 Oak Court
Grand Junction, CO 81503-2071

Patricia A. Whaley
279 Oak Court
Grand Junction, CO 81503-2071

Kevin J. Thompson
P.O. Box 867
Oatman, AZ 86433-0867

Donald O'Brien
8450 W. Baker Ave.
Denver, CO 80227-3100

Ronald House
2795 1/2 Unaweep Ave.
Grand Junction, CO 81503-2843

Richard A. Rulf
277 Oak Court
Grand Junction, CO 81503-2071

James H. Harle
282 27 Road
Grand Junction, CO 81503-1924

Donald A. Lumbardy
P.O. Box 86
Whitewater, CO 81527-0086

Pauline Gage
172 Rainbow Drive
Grand Junction, CO 81503-2954

Robert Devine
334 Belford Ave.
Grand Junction, CO 81501-2428

Fred E. Peaslee
2707 B 3/4 Road
Grand Junction, CO 81503-2057

Ben D. Rose
210 Sherman Drive
Grand Junction, CO 81503-2066

David R. Webb
2713 B 3/4 Road
Grand Junction, CO 81503-2057

Richard I. Bishop
3192 Kennedy Ave.
Grand Junction, CO 81504

Mark Young
MDY Consulting Engineers
759 Horizon Dr., Suite E
Grand Junction, CO 81506

City of Grand Junction
Community Development Dept.
250 N 5th St.
Grand Junction, CO 81501

Lot 3 in the current proposal is wide enough to accommodate a street extension if further subdivision of this parcel is proposed. As designed, a future street would have a two foot off-set from the centerline of Pinon Street to the north. A preferable design would have the centerline of the street match with the center of lot 3. This can be easily accommodated by increasing the lot frontage of lot 1 to approximately 52 feet and decreasing the frontage of lot 2 to approximately 58 feet. The resulting lots would be 5460 and 6670 square feet in size. A five foot wide multi-purpose easement must be dedicated along the west boundary of lot 2 and the east boundary of lot 1 to provide room for future utility extensions, if necessary. These easements would be located in the required setback and would therefore not encumber the lots further.

The minimum lot size in the RSF-8 zone is 4000 square feet. Lot 1, the smallest of the three lots exceeds this minimum by at least 1250 square feet. A drainage fee will be paid in lieu of on-site retention. Some minor corrections to the plat are required before it may be recorded.

STAFF RECOMMENDATION: Approval of this subdivision with the following conditions:

1. Revise plat to show the frontage of lot 3 centered on the centerline of Pinon Street.
2. Add a 5 foot wide multi-purpose easement along the sides of lot 1 and lot 2 for future utility extension, if necessary.
3. Remove the dedication language for the ingress-egress easement. Replace "aligns" with "assigns" in dedication language, last paragraph.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on item 96-196 I move that we approve the Daughter's Cove Minor Subdivision based upon staff's recommendation.

- NOTIFY PURCHASERS OF LOTS 1 & 2 RE ROAD EXTENSION
4. Lot 3 (HAS BEEN CONSIDERED TO ALLOW POSSIBLE EXTENSIONS OF A RD IN THE FUTURE)

4-0

GENERAL PROJECT REPORT
DAUGHTERS COVE SUBDIVISION

We propose to develop 3 lots for single family dwellings on 1.7 acres located at 2709 B 3/4 Road, two small lots facing B 3/4 Road with a third lot having 44' access as dictated by the location of Pinon Street. This allows for the extension of Pinon Street at any future date to accommodate traffic flow, street improvements, utilities and water drainage.

We expect to use these lots for single family dwellings, which will substantially improve the area by turning what is now an empty weed-covered area into useful homes. Grand Junction will benefit by use of existing utilities and taxes generated by the land use. All needed utilities are available in B 3/4 Road

This subdivision complements the surrounding area by proposing housing of comparable value. A fire hydrant is located less than 100' from each property line.

We plan to have this project completed and lots ready for use by late November, 1996.

REVIEW COMMENTS

Page 1 of 2

FILE #MS-96-196

TITLE HEADING: Daughter's Cove Minor Subdivision

LOCATION: 2709 B 3/4 Road

PETITIONER: Richard I Bishop

PETITIONER'S ADDRESS/TELEPHONE: 3192 Kennedy Avenue
Grand junction, CO 81504
434-6027

PETITIONER'S REPRESENTATIVE: Mark Young

STAFF REPRESENTATIVE: Bill Nebeker

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS ON OR BEFORE 5:00 P.M., SEPTEMBER 23, 1996.

CITY COMMUNITY DEVELOPMENT

9/13/96

Bill Nebeker

244-1447

1. Show centerline of Pinon St to the north to assure that it aligns with lot 3.
2. Remove dedication statement for B 3/4 Road since no right-of-way is been dedicated. Add a dedication statement for the multi-purpose easement and irrigation easement. Remove the dedication statement for the ingress\egress easement since none is provided.
3. **NOTE:** Please submit an 11" X 17" copy of the plat with corrections, along with the 4 full size copies in your response to comments.

CITY DEVELOPMENT ENGINEER

9/6/96

Jody Kliska

244-1591

1. Does lot 3 street frontage line up with Pinon St.?
2. Please use the City's Guide to Plat Dedications for the plat dedication language.
3. The drainage fee as calculated is acceptable.

CITY UTILITY ENGINEER

9/12/96

Trent Prall

244-1590

WATER AND SEWER: City of Grand Junction

Composite plan depicting Utility purveyors and locations not submitted. However no objections with proposed configuration.

CITY PROPERTY AGENT

9/16/96

Steve Pace

256-4003

1. The basis of bearings should show the bearing between (2) found monuments along the north line of the NW1/4 SW1/4 NW1/4 of Section 25.
2. Need to address multi-purpose easements in the dedication.

3. Ingress/egress easements are addressed in the dedication but are not shown on the plat.
4. South line of Lot 3 shows S89°58'39"W; the description shows N89°58'39"W.
5. You can remove verbage pertaining to drainage, detention/retention easements from the dedication.
6. The are for Lot 3, and total are, seems to be slightly in error.
7. Label the P.O.B. (Point of Beginning) on the plat.

CITY FIRE DEPARTMENT

9/16/96

Hank Masterson

244-1414

The Fire Department has no problems with this proposal.

ORCHARD MESA IRRIGATION

9/6/96

James D. Rooks

464-7885

No comments.

U S WEST

9/9/96

Max Ward

244-4721

Looks fine.

PUBLIC SERVICE COMPANY

9/12/96

John Salazar

244-2781

GAS & ELECTRIC: No objections.

CITY POLICE DEPARTMENT

9/13/96

Lisa Dicamillo

244-3587

No comment.

TO DATE, NO COMMENTS RECEIVED FROM:

City Attorney

TCI Cablevision

Persigo Wastewater Treatment Facility

DRAINAGE FEE EVALUATION

FOR

DAUGHTERS COVE SUBDIVISION

(LOCATED IN THE NW 1/4 OF SEC. 25, T1S, R1W, U.M.)

PREPARED

FOR

MR. RICHARD I. BISHOP

3192 KENNEDY AVE.

GRAND JUNCTION, CO 81504

PREPARED

BY

MDM Consulting Engineers

759 HORIZON DRIVE, SUITE E

GRAND JUNCTION, CO 81506

DATE: AUGUST 30, 1996

MDY Consulting Engineers
759 HORIZON DRIVE, SUITE E
GRAND JUNCTION, CO 81506

August 30, 1996

Jody Kliska, P.E.
Development Engineer
City of Grand Junction
Dept. of Public Works & Utilities
Engineering Division
250 North 5th Street
Grand Junction, CO 81501

RE: DRAINAGE FEE EVALUATION FOR DAUGHTERS COVE SUBDIVISION

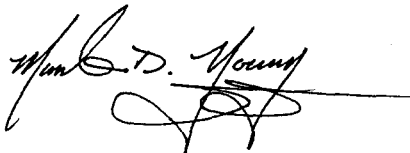
Dear Jody,

Pursuant to our telephone conversation on Friday, August 23, 1996 you will find the Drainage Fee Evaluation for Daughters Cove Subdivision enclosed. Runoff coefficients for historic and developed conditions were determined for the 100 Year Design Storm. The City of Grand Junction & Mesa County Stormwater Management Manual was utilized to determine the runoff coefficients for this evaluation. Due to the insignificant change in the runoff conditions and the minimal amount of development being proposed a grading & drainage plan was not prepared for this project.

Thank you, for your time and consideration regarding this project. If you have any questions or need additional information, please contact our office.

Respectfully Submitted,

MDY Consulting Engineers



Mark D. Young, P.E.

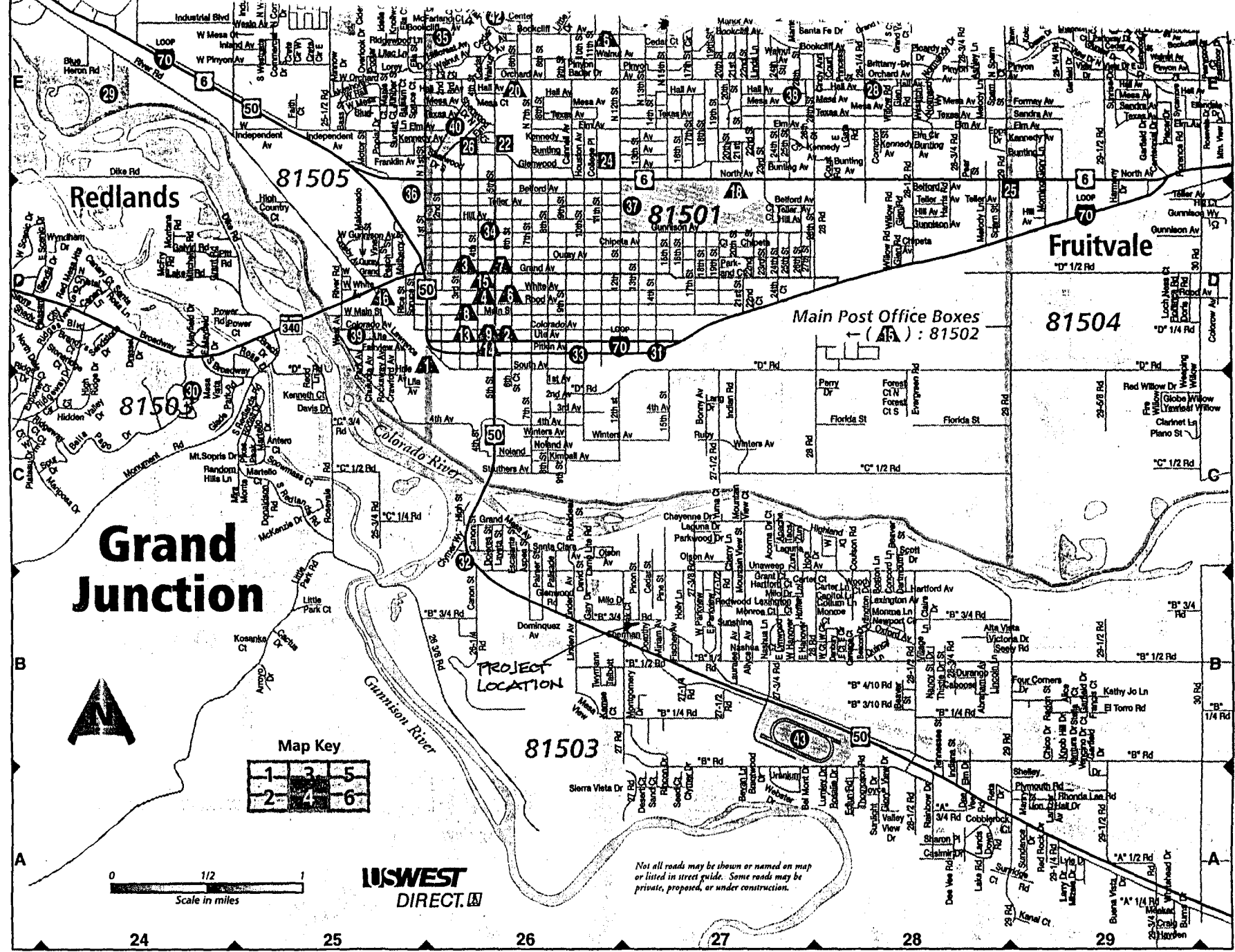
MDY/ec

Enclosures

File (96-109DF.DOC)



Grand Junction Area Street Map



(96-109)

DAUGHTERS COVE SUBDIVISION

8-26-96

RE: DRAINAGE FEE EVALUATION FOR 100 YEAR STORM

1) Project Site Area (A):

$$A = 1.70 \text{ ac}$$

2) Determine Runoff Coefficient (C):

1. SCS Hydrologic Soil Group \rightarrow Mesa Clay Loam (Soil Type C)
2. "C" Values Per Table B-1 (Slope = 0 ~ 2%)

HISTORIC

$$C_{100h} = 0.30 \text{ (Bare Ground)}$$

DEVELOPED

$$C_{100d_1} = 0.95 \text{ (Roofs)}$$

$$C_{100d_2} = 0.76 \text{ (Gravel)}$$

$$C_{100d_3} = 0.30 \text{ (Landscaping)}$$

Where

$$A_1 = [30(60) + 2(14)(70)] \div 43560 = 0.09 \text{ ac (Roofs)}$$

$$A_2 = 12(25 + 25 + 200) \div 43560 = 0.07 \text{ ac (Gravel)}$$

$$A_3 = 1.70 - (0.09 + 0.07) = 1.54 \text{ ac (Landscaping)}$$

$$\therefore \bar{C}_{100d} = \frac{0.95(0.09) + 0.76(0.07) + 0.30(1.54)}{1.70} = 0.35$$

3) Determine Drainage Fee: $\text{Drainage Fee} = \$10,000^{0.0} (C_{100d} - C_{100h}) A^{0.7}$

$$\text{Drainage Fee} = \$10,000^{0.0} (0.35 - 0.30) (1.70)^{0.7} = \$724.91 \text{ Say } \$725^{0.0}$$

LAND USE OR SURFACE CHARACTERISTICS	SCS HYDROLOGIC SOIL GROUP (SEE APPENDIX "C" FOR DESCRIPTIONS)											
	A			B			C			D		
	0-2%	2-6%	6%+	0-2%	2-6%	6%+	0-2%	2-6%	6%+	0-2%	2-6%	6%+
UNDEVELOPED AREAS Bare ground	.10 - .20	.16 - .26	.25 - .35	.14 - .22	.22 - .30	.30 - .38	.20 - .28	.28 - .36	.36 - .44	.24 - .32	.30 - .38	.40 - .48
	.14 - .24	.22 - .32	.30 - .40	.20 - .28	.28 - .36	.37 - .45	.26 - .34	.35 - .43	.40 - .48	.30 - .38	.40 - .48	.50 - .58
Cultivated/Agricultural	.08 - .18	.13 - .23	.16 - .26	.11 - .19	.15 - .23	.21 - .29	.14 - .22	.19 - .27	.26 - .34	.18 - .26	.23 - .31	.31 - .39
	.14 - .24	.18 - .28	.22 - .32	.16 - .24	.21 - .29	.28 - .36	.20 - .28	.25 - .33	.34 - .42	.24 - .32	.29 - .37	.41 - .49
Pasture	.12 - .22	.20 - .30	.30 - .40	.18 - .26	.28 - .36	.37 - .45	.24 - .32	.34 - .42	.44 - .52	.30 - .38	.40 - .48	.50 - .58
	.15 - .25	.25 - .35	.37 - .47	.23 - .31	.34 - .42	.45 - .53	.30 - .38	.42 - .50	.52 - .60	.37 - .45	.50 - .58	.62 - .70
Meadow	.10 - .20	.16 - .26	.25 - .35	.14 - .22	.22 - .30	.30 - .38	.20 - .28	.28 - .36	.36 - .44	.24 - .32	.30 - .38	.40 - .48
	.14 - .24	.22 - .32	.30 - .40	.20 - .28	.28 - .36	.37 - .45	.26 - .34	.35 - .43	.44 - .52	.30 - .38	.40 - .48	.50 - .58
Forest	.05 - .15	.08 - .18	.11 - .21	.08 - .16	.11 - .19	.14 - .22	.10 - .18	.13 - .21	.16 - .24	.12 - .20	.16 - .24	.20 - .28
	.08 - .18	.11 - .21	.14 - .24	.10 - .18	.14 - .22	.18 - .26	.12 - .20	.16 - .24	.20 - .28	.15 - .23	.20 - .28	.25 - .33
RESIDENTIAL AREAS 1/8 acre per unit	.40 - .50	.43 - .53	.46 - .56	.42 - .50	.45 - .53	.50 - .58	.45 - .53	.48 - .56	.53 - .61	.48 - .56	.51 - .59	.57 - .65
	.48 - .58	.52 - .62	.55 - .65	.50 - .58	.54 - .62	.59 - .67	.53 - .61	.57 - .65	.64 - .72	.56 - .64	.60 - .68	.69 - .77
1/4 acre per unit	.27 - .37	.31 - .41	.34 - .44	.29 - .37	.34 - .42	.38 - .46	.32 - .40	.36 - .44	.41 - .49	.35 - .43	.39 - .47	.45 - .53
	.35 - .45	.39 - .49	.42 - .52	.38 - .46	.42 - .50	.47 - .55	.41 - .49	.45 - .53	.52 - .60	.43 - .51	.47 - .55	.57 - .65
1/3 acre per unit	.22 - .32	.26 - .36	.29 - .39	.25 - .33	.29 - .37	.33 - .41	.28 - .36	.32 - .40	.37 - .45	.31 - .39	.35 - .43	.42 - .50
	.31 - .41	.35 - .45	.38 - .48	.33 - .41	.38 - .46	.42 - .50	.36 - .44	.41 - .49	.48 - .56	.39 - .47	.43 - .51	.53 - .61
1/2 acre per unit	.16 - .26	.20 - .30	.24 - .34	.19 - .27	.23 - .31	.28 - .36	.22 - .30	.27 - .35	.32 - .40	.26 - .34	.30 - .38	.37 - .45
	.25 - .35	.29 - .39	.32 - .42	.28 - .36	.32 - .40	.36 - .44	.31 - .39	.35 - .43	.42 - .50	.34 - .42	.38 - .46	.48 - .56
1 acre per unit	.14 - .24	.19 - .29	.22 - .32	.17 - .25	.21 - .29	.26 - .34	.20 - .28	.25 - .33	.31 - .39	.24 - .32	.29 - .37	.35 - .43
	.22 - .32	.26 - .36	.29 - .39	.24 - .32	.28 - .36	.34 - .42	.28 - .36	.32 - .40	.40 - .48	.31 - .39	.35 - .43	.46 - .54
MISC. SURFACES Pavement and roofs	.93	.94	.95	.93	.94	.95	.93	.94	.95	.93	.94	.95
	.95	.96	.97	.95	.96	.97	.95	.96	.97	.95	.96	.97
Traffic areas (soil and gravel)	.55 - .65	.60 - .70	.64 - .74	.60 - .68	.64 - .72	.67 - .75	.64 - .72	.67 - .75	.69 - .77	.72 - .80	.75 - .83	.77 - .85
	.65 - .70	.70 - .75	.74 - .79	.68 - .76	.72 - .80	.75 - .83	.72 - .80	.75 - .83	.77 - .85	.79 - .87	.82 - .90	.84 - .92
Green landscaping (lawns, parks)	.10 - .20	.16 - .26	.25 - .35	.14 - .22	.22 - .30	.30 - .38	.20 - .28	.28 - .36	.36 - .44	.24 - .32	.30 - .38	.40 - .48
	.14 - .24	.22 - .32	.30 - .40	.20 - .28	.28 - .36	.37 - .45	.26 - .34	.35 - .43	.42 - .52	.30 - .38	.40 - .48	.50 - .58
Non-green and gravel landscaping	.30 - .40	.36 - .46	.45 - .55	.45 - .55	.42 - .50	.50 - .58	.40 - .48	.48 - .56	.56 - .64	.44 - .52	.50 - .58	.60 - .68
	.34 - .44	.42 - .52	.50 - .60	.50 - .60	.48 - .56	.57 - .65	.46 - .54	.55 - .63	.64 - .72	.50 - .58	.60 - .68	.70 - .78
Cemeteries, playgrounds	.20 - .30	.26 - .36	.35 - .45	.35 - .45	.32 - .40	.40 - .48	.30 - .38	.38 - .44	.46 - .54	.34 - .42	.40 - .48	.50 - .58
	.24 - .34	.32 - .42	.40 - .50	.40 - .50	.38 - .46	.47 - .55	.36 - .44	.45 - .53	.54 - .62	.40 - .48	.50 - .58	.60 - .68

NOTES: 1. Values above and below pertain to the 2-year and 100-year storms, respectively.
 2. The range of values provided allows for engineering judgement of site conditions such as basic shape, homogeneity of surface type, surface depression storage, and storm duration. In general, during shorter duration storms ($T_c < 10$ minutes), infiltration capacity is higher, allowing use of a "C" value in the low range. Conversely, for longer duration storms ($T_c > 30$ minutes), use a "C" value in the higher range.
 3. For residential development at less than 1/8 acre per unit or greater than 1 acre per unit, and also for commercial and industrial areas, use values under MISC SURFACES to estimate "C" value ranges for use.

RATIONAL METHOD RUNOFF COEFFICIENTS
 (Modified from Table 4, UC-Davis, which appears to be a modification of work done by Rawls)

TABLE "B-1"

Responce to Review Comments

Date: 9-23-96

File: # MS-96-196

Location: 2709 B³/₄ Rd.

Petitioner: Richard I. Bishop

Petitioners - Address/Telephone: Richard I. Bishop
3192 Kennedy A
Grand Jet., Co. 81

Petitioners Representative: Mark Young
MDY Consulting Eng

Staff Representative: Bill Nebeker

Enclosed you will find our responce + your review comments of Sept. 17, 1996. I have addressed and complied with each of your concerns and enclosed 4 full sized copies of the revised Plat and one copy of 11"x17" as requested.

Richard I. Bishop

Responce to Review Comments

Date: 9-23-96

File: # MS-96-196

Location: 2709 B³/₄ Rd.

Petitioner: Richard I. Bishop

Petitioners - Address/Telephone: Richard I. Bishop
3192 Kennedy Av.
Grand Jet, Co. 81504

Petitioners Representative: Mark Young
MDY Consulting Engineers

Staff Representative: Bill Nebeker

Enclosed you will find our responce to your review comments of Sept. 17, 1996. We have addressed and complied with each of your concerns and enclosed 4 full sized copies of the revised Plat and one copy of 11"x17" as requested.

Richard I. Bishop

To: Bill Nebeker
From: Trenton Prall
Subject: Daughter's Minor Sub Plan Review
Date: 12/11/96 Time: 9:19AM

1. Review set was not signed and stamped by a Registered Civil Engineer as required.
2. Existing manhole shall be epoxy coated as it is a drop manhole which will tend to corrode quickly due to the release of hydrogen sulfide gases.
3. Proposed manhole shall have MH ring concreted in place with #4 rebar hoop when not in street per City standards.
4. Increase slope on sewer extension to +0.60% due to the low amount of flow that will be generated from this development.
5. A minimum of 6' of cover shall be maintained over sanitary sewer mains and a minimum of 3' over sanitary sewer service lines.
6. Add following water notes:
 - a. Water meter pits and yokes will be furnished by the City of Grand Junction for installation by contractor.
 - b. Water meter pits shall be place 2' behind any planned sidewalk.
 - c. Minimum cover for all water mains and service lines is 4 feet.

Thanks. TCP

Memorandum

DATE: December 20, 1996
TO: Trent Prall
FROM: Bill Nebeker *BN*
RE: Daughters Cove Subdivision - Sewer & Water Plan & Profile

GOOD TO GO.

NEED

4 SLOTTED

+ STARTED

PLANS PRIOR

TO CONSTRUCTION.

TCP

12/20/96

Trent - please review and return with comments. Thanks. Bill

241-2122

MDT CONSULTING

To: Bill Nebeker
From: Trenton Prall
Subject: Daughter's Cove Minor Subdivision
Date: 4/16/97 Time: 3:45PM

Originated by: BILLN @ CITYHALL on 4/15/97 5:02PM
Forwarded by: TRENTONP @ CITYHALL on 4/16/97 10:32AM (CHANGED)
Forwarded by: TRENTONP @ CITYHALL on 4/16/97 3:45PM (CHANGED)

Per SIDD, I need the following PRIOR to releasing the plat:

As-Built Drawings

- Sealed by a professional engineer
- Two Blue-Line copies
- One Mylar copy
- 3 1/2" disk with drawing files

Testing Reports

- Compaction tests
- Inspection diaries from engineer
- Pressure tests for water and sewer sealed by engineer.

Lamping of the sewer has been completed by our inspector and has passed. I'm still waiting for his word on whether or not everything else is good to go.

I am willing to let him plat if he puts up a \$5000 deposit or letter of credit.

I am out of the office Thursday and Friday this week (4/17 and 4/18) but will be back in on Monday (4/21)

TCP

***** ORIGINAL MESSAGE FOLLOWS *****

Max, everything look OK at this site???? Have they epoxy coated the drop manhole?? Please advise. Thanks TCP

***** ORIGINAL MESSAGE FOLLOWS *****

As part of this subdivision, located on B 3/4 Road east of 27 Road, Richard Bishop proposed to put in a water line, fire hydrant and

**AS-BUILT DRAWING
&
TESTING REPORTS**

FOR

DAUGHTERS COVE SUBDIVISION
(LOCATED IN THE NW 1/4 OF SEC. 25, T1S, R1W, U.M.)

PREPARED

FOR

MR. RICHARD I. BISHOP
3192 KENNEDY AVE.
GRAND JUNCTION, CO 81504

PREPARED

BY

MDU Consulting Engineers, Inc.

HORIZON PARK PLAZA

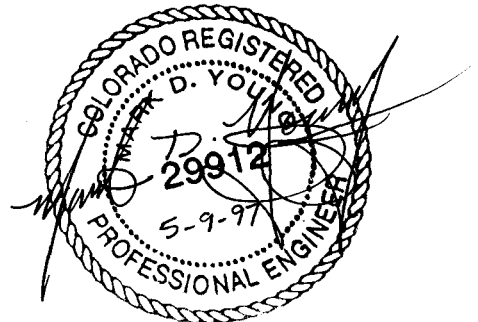
743 HORIZON COURT, SUITE 311

GRAND JUNCTION, CO 81506

PH: (970) 241-2122

FAX: (970) 241-2662

DATE: May 9, 1997



MDY Consulting Engineers, Inc.

HORIZON PARK PLAZA

743 HORIZON COURT, SUITE 311

GRAND JUNCTION, CO 81506

PHN: (970) 241-2122

FAX: (970) 241-2662

May 9, 1997

Mr. Trent Prall, P.E.
Utility Engineer
City of Grand Junction
Dept. of Public Works & Utilities
Engineering Division
250 North 5th Street
Grand Junction, CO 81501

RE: DAUGHTERS COVE SUBDIVISION - AS-BUILT DRAWINGS & REPORT

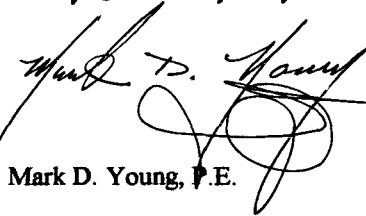
Dear Trent,

MDY Consulting Engineers, Inc. have prepared the AS-BUILT DRAWINGS & REPORT for Daughters Cove Subdivision, a subdivision of a part of the NW 1/4 of Sec. 25, T1S, R1W, U.M., City of Grand Junction, Mesa County, Colorado. For your information, it should be noted that I personally was unable to observe the final pressure tests for both the water and sewer, due to a death in the family. However, a representative of *MDY Consulting Engineers, Inc.* was on-site during the testing in my absence. The testing of both utilities were determined to be in compliance with the City of Grand Junction's specifications.

MDY Consulting Engineers, Inc. & Mr. Bishop would like to thank you for your time and assistance regarding this project. If you have any questions or need additional information, please contact our office.

Respectfully Submitted,

MDY Consulting Engineers, Inc.



Mark D. Young, P.E.

MDY/sy

Enclosures

File (96-109AB.DOC)

TABLE OF CONTENTS

COVER LETTER

TESTING REPORTS

Page 1 - 2

- * COMPACTION TESTS**
- * OBSERVATION DIARY (see cover letter)**
- * PRESSURE TESTS FOR WATER AND SEWER (see cover letter)**

AS-BUILT DRAWINGS (ATTACHED)

- * DAUGHTERS COVE SUBDIVISION - SEWER & WATER PLAN & PROFILE**
 - * *ONE MYLAR COPY***
 - * *TWO BLUELINE COPIES***
 - * *ONE 3 1/2" DISKETTE WITH AS-BUILT DRAWING FILE***

96-169

Lambert and Associates

CONSULTING GEOTECHNICAL ENGINEERS AND MATERIAL TESTING

DAILY FIELD REPORT

PROJECT NUMBER:	M97043MT	DATE:	Wednesday, 4-16-97
PROJECT NAME:	2709 B 3/4 Road	TECHNICIAN:	Casias
PROJECT LOCATION:	Grand Junction, Colorado	WEATHER CONDITIONS:	Sunny
CLIENT:	Mr. Richard Bishop	WORK REQUESTED:	Density tests
CONTRACTOR:	Mr. Richard Bishop	FOREMAN:	Mr. Richard Bishop

WORK PERFORMED BY LAMBERT AND ASSOCIATES REPRESENTATIVE (AND REMARKS)

I arrived at the project site at 8:00 A.M. as requested by Mr. Richard Bishop. I performed soil density tests as requested by Mr. Bishop of material being placed for sewer line backfill, using nuclear soil density test methods. Please refer to the test results sheets for approximate test locations and test results. The test results indicate only the relative compaction and soil moisture content of the material tested at the elevation and location tested at the time of our site visit.

RELATIVE COMPACTION TEST RESULTS

PROJECT: 2709 B & 3/4 Road

PROJECT NO: M97043MT

DATE: 3-13-97
4-16-97

LOCATION: Grand Junction, Colorado

ENGINEERING TECHNICIAN: Hayes/Casias

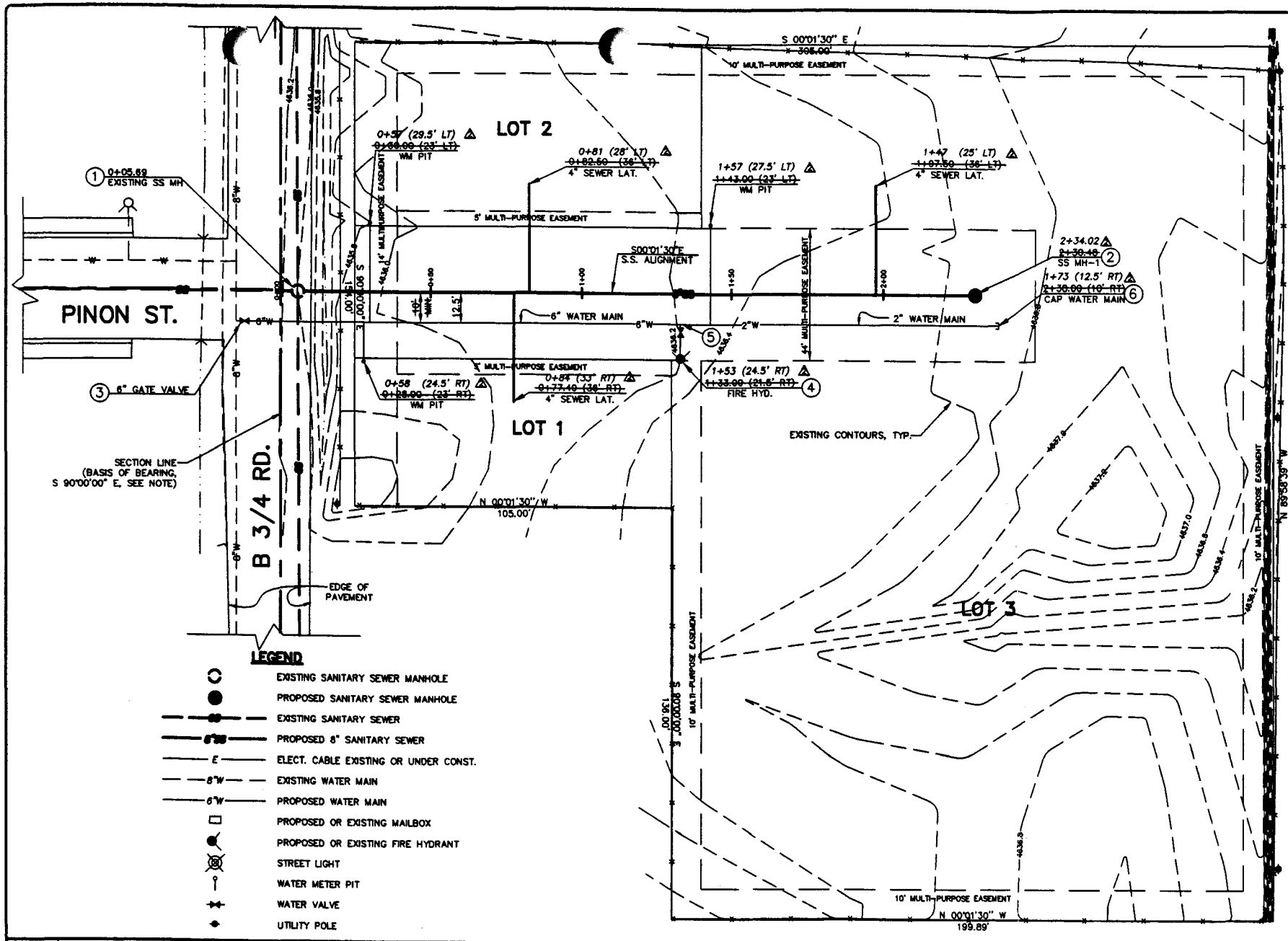
CLIENT: Mr. Richard Bishop

TEST NO.	LOCATION	DEPTH OR ELEVATION	PROCTOR DENSITY PCF	OPTIMUM MOISTURE CONTENT %	DRY DENSITY PCF	MOISTURE CONTENT %	RELATIVE COMPACTION %	SOIL TYPE
1	On sewer line trench, approximately 75' south of B & 3/4 Road 4-16-97	5½-6' below grade	114.0	15.0	110.0	17.5	96	Clay, silty, brown
2	On sewer line backfill (test locations pre-dug out)	4' below grade	114.0	15.0	108.6	17.4	95	Clay, sandy, silty
3	On sewer line backfill (test locations pre-dug out)	2' below grade	114.0	15.0	116.7	13.4	100	"
4	On sewer line backfill (test locations pre-dug out)	At grade	114.0	15.0	117.4	11.4	100	"

REMARKS: The test results indicate the density and moisture content for the location and elevation tested only.

RELATIVE COMPACTION TEST RESULTS

Lambert and Associates



- LEGEND**
- EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER
 - PROPOSED 8" SANITARY SEWER
 - ELECT. CABLE EXISTING OR UNDER CONST.
 - EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - PROPOSED OR EXISTING MAILBOX
 - PROPOSED OR EXISTING FIRE HYDRANT
 - STREET LIGHT
 - WATER METER PIT
 - WATER VALVE
 - UTILITY POLE

CONSTRUCTION NOTES

- 1) TIE-IN TO EXISTING MANHOLE WITH A DROP ASSEMBLY AS PER THE "DROP MANHOLE" DETAIL SHOWN ON EXHIBIT 1 OF THE CITY OF GRAND JUNCTION STANDARD DRAWINGS. INVERT ELEVATION OF DROP SHALL BE DETERMINED IN THE FIELD AND SHALL BE APPROVED BY THE CITY UTILITY ENGINEER. THE INTERIOR SURFACE OF THE MANHOLE SHALL BE EPOXY COATED ACCORDING TO CITY STANDARDS ONCE DROP STRUCTURE IS IN PLACE.
- 2) INSTALL NEW 48" DIA. RCP STANDARD SEWER MANHOLE. TOP OF NEW MANHOLE CONE SECTION SHALL BE SET AT ELEVATION 35.10. GRADE RINGS SHALL BE USED TO SET RIM AT ELEVATION 36.80. MANHOLE RING SHALL BE CONCRETE IN PLACE WITH A #4 REBAR HOOP PER CITY OF GRAND JUNCTION STANDARD DRAWINGS.
- 3) CONNECT TO EXISTING 8" C.I.P. WATER MAIN WITH AN 8"x8" TEE. INSTALL 6" GATE VALVE IMMEDIATELY ADJACENT TO THE TEE ON THE NEW 6" MAIN.
- 4) INSTALL FIRE HYDRANT AND LATERAL WITH VALVE AND REQUIRED THRUST BLOCKS PER EXHIBIT "H" OF THE CITY OF GRAND JUNCTION STANDARD DRAWINGS.
- 5) INSTALL 6"x2" REDUCER ON THE NEW WATER MAIN IMMEDIATELY UPSTATION FROM THE FIRE HYDRANT ASSEMBLY.
- 6) END NEW WATERLINE WITH CAP AND CONCRETE THRUST BLOCK.

GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY MATERIALS AND/OR WORKMANSHIP THAT DOES NOT CONFORM TO THEIR SPECIFICATIONS.
2. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS, AND A COPY OF THE CITY STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
3. SANITARY SEWER AND WATER MAINS TO BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARD DRAWINGS AND SPECIFICATIONS. (SEE EXHIBITS "H" AND "I" OF THE STANDARD DRAWINGS)
4. ALL SANITARY SEWER PIPE TO BE PVC SDR-35 UNLESS OTHERWISE NOTED.
5. ALL SEWER MAINS SHALL BE LAID TO GRADE UTILIZING A LASER.
6. ALL SERVICE LINE CONNECTIONS TO THE NEW SEWER MAIN SHALL BE ACCOMPLISHED WITH FULL-BODY WYES OR TEES. TAPPING SADDLES WILL NOT BE ALLOWED.
7. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED AT ALL TIMES BETWEEN THE WATERLINE AND SEWER LINE (EXCEPT AT SPECIFIED CROSSINGS).
8. ALL STUBOUTS FOR SEWER MAINS AND LATERALS SHALL HAVE GLUED CAPS INSTALLED.
9. SANITARY SEWER LATERALS SHALL BE EXTENDED TO LOCATIONS SHOWN ON THE PLAN AND SHALL BE GLUE CAPPED AND MARKED WITH 2x4 POSTS PAINTED GREEN.
10. MIN. COVER OF 6" SHALL BE MAINTAINED OVER ALL SANITARY SEWER MAINS. MIN. COVER OF 3" SHALL BE MAINTAINED OVER ALL SANITARY SEWER SERVICE LATERALS.
11. ALL WATER MAIN PIPE SHALL BE C900-CLASS 150 PVC UNLESS OTHERWISE NOTED.
12. WATER METER PITS AND YOKES WILL BE FURNISHED BY THE CITY OF GRAND JUNCTION FOR INSTALLATION BY THE CONTRACTOR.
13. WATER METER PITS SHALL BE PLACED 2' BEHIND ANY PLANNED SIDEWALK.
14. MIN. COVER OF 4" SHALL BE MAINTAINED OVER ALL WATER MAINS AND WATER SERVICE LINES.
15. ALL BURIED UTILITIES SHALL BE BACKFILLED AND COMPACTED ACCORDING TO CITY OF GRAND JUNCTION STANDARD DRAWINGS AND SPECIFICATIONS.

UTILITY LEGEND

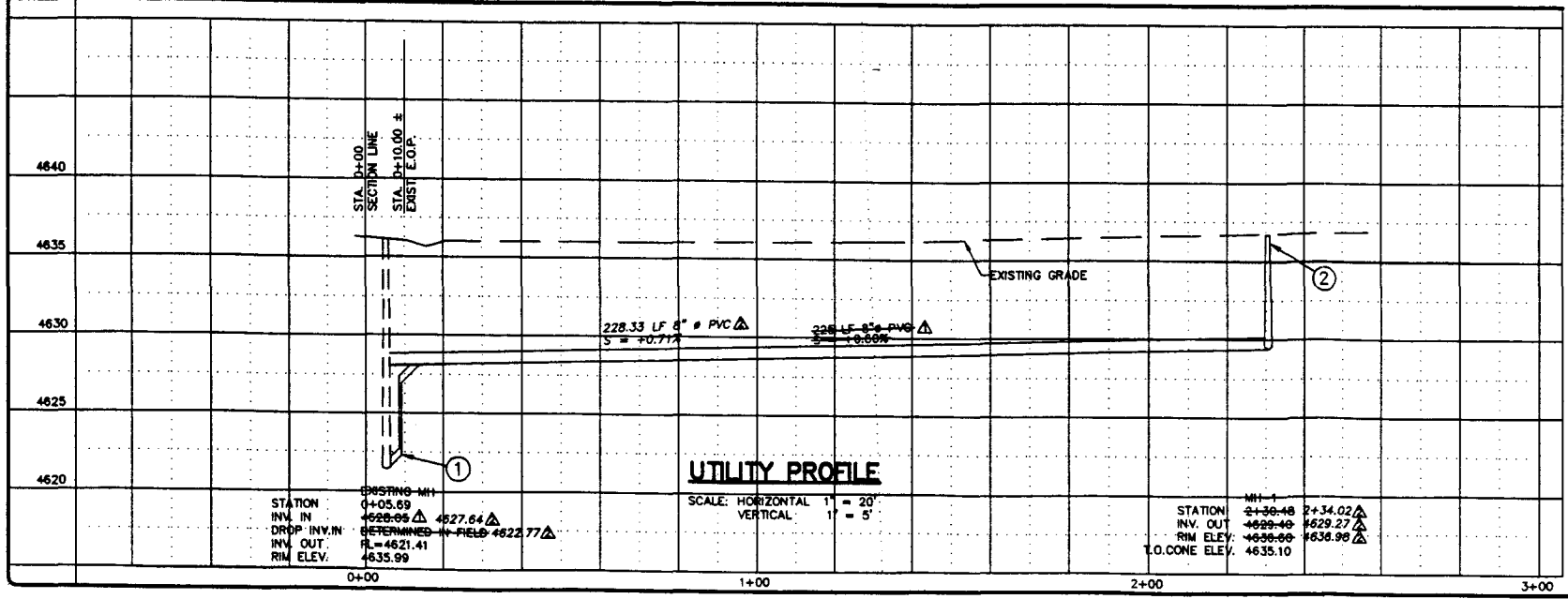
- WM = WATER METER
- GM = GAS METER
- EM = ELECTRIC METER
- G = GAS
- T = TELEPHONE
- E = ELECTRIC
- W = WATER
- OH = OVERHEAD
- IRR = IRRIGATION
- FH = FIRE HYDRANT

UTILITY COMPOSITE

- 1) THE LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. NO CONSTRUCTION SHALL COMMENCE UNTIL FIELD LOCATES AND UTILITY VERIFICATIONS HAVE BEEN MADE.
- 2) THE CONTRACTORS SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY LOCATOR SERVICE 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES. ALL EXISTING UTILITIES SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO ANY DIGGING AFFECTING THEM, AND THE CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION. THE UTILITY LOCATOR SERVICE NUMBER IS 1-800-922-1987.

UTILITY PROVIDERS

WATER: CITY WATER
 ELECTRIC: PUBLIC SERVICE
 GAS: PUBLIC SERVICE
 TELEPHONE: USWEST
 SEWER: CITY SEWER
 CABLE: TCI
 IRRIGATION: ORCHARD MESA IRR. DIST.



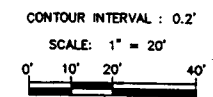
APPROVED FOR CONSTRUCTION

CITY UTILITY ENGINEER _____ DATE _____

ACCEPTED AS CONSTRUCTED

CITY UTILITY ENGINEER _____ DATE _____

AS-BUILT DRAWING



MDY Consulting Engineers
 759 Horizon Drive #8
 Grand Junction, CO 81506
 P: (970) 242-4310
 F: (970) 241-8051

DAUGHTERS COVE SUBDIVISION
SEWER & WATER PLAN & PROFILE

REVISIONS:

NO.	DATE	REMARKS	BY

DESIGNED BY: EWH
 REVIEWED BY: MDY
 P.E. No. 29912
 SURVEYED BY: CDC
 P.L.S. No. 24943
 SURVEY DATE: 6-18-96
 DRAWN BY: EWH
 DATE DRAWN: 11-25-96
 SCALE: HORIZ. 1"=20'
 VERT. 1"=5'
 ACAD DRAWING NAME: DAUG-PP2.DWG
 PROJECT NUMBER: 96-109-0604
 SHEET NUMBER:
 CLIENT: MR. RICHARD BISHOP
 3182 KENNEDY AVE.
 GRAND JUNCTION, CO 81504

TCP # SDO / LOT
SCHOOL # 292 / LOT

OPEN SPACES FEES
(2 LOTS) PAID 4-23-97

20 TRANSCRIBING FEE PREVIOUSLY PAID ON 4-23-97
(NO DICK)

CITY OF GRAND JUNCTION
DEPARTMENT OF PUBLIC WORKS & UTILITIES
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501
(970) 244-4003

TO THE MESA COUNTY CLERK & RECORDER:

THIS IS TO CERTIFY that the herein named Subdivision Plat,

DAUGHTERS COVE MINOR SUBDIVISION

Situated in the NW 1/4 of Section 25,

Township 1 SOUTH, Range 1 WEST,

of the UTE Meridian in the City of Grand Junction, County of Mesa, State of Colorado, has been reviewed under my direction and, to the best of my knowledge, satisfies the requirements pursuant to C.R.S. 38-51-106 and the Zoning and Development Code of the City of Grand Junction for the recording of subdivision plats in the office of the Mesa County Clerk and Recorder.

This certification makes no warranties to any person for any purpose. It is prepared to establish for the County Clerk and Recorder that City review has been obtained. This certification does not warrant: 1) title or legal ownership to the land hereby platted nor the title or legal ownership of adjoining; 2) errors and/or omissions, including, but not limited to, the omission(s) of rights-of-ways and/or easements, whether or not of record; 3) liens and encumbrances, whether or not of record; 4) the qualifications, licensing status and/or any statement(s) or representation(s) made by the surveyor who prepared the above-named subdivision plat.

Dated this 15 day of April, 1997.

City of Grand Junction,
Department of Public Works & Utilities

By: James L. Shanks
James L. Shanks, P.E., P.L.S.
Director of Public Works & Utilities

Recorded in Mesa County
Date: _____
Plat Book: 15 Page: 311
Drawer: DD49
g:\special\platcert.doc
Fee \$ 10.00

File Close-out Summary

File #: MS-96-196

Name: Daughter's Cove Minor Subdivision

Staff: Bill Nebeker

Action: Recorded 5-14-97

Comments: As-Built Drawings accepted by Trent 5-14-97

File Turned In: 5-14-97



May 14, 1997

Mark Young
MDY Consulting Engineers
743 Horizon Ct, Suite 311
Grand Junction, CO 81506

City of Grand Junction, Colorado
250 North Fifth Street
81501-2668
FAX: (970)244-1599

Project: Daughter's Cove Subdivision (MS-96-196)

Subject: Initial Acceptance

Dear Mr. Young:

An inspection of the sanitary sewer and water systems constructed for the above referenced project was conducted on, April 17, 1997. As a result of this inspection, all construction pertaining to sanitary sewer and water was found to be satisfactorily completed.

"As Built" record drawings and required test results for the sanitary sewer and water facilities were received on May 14, 1997. These have been reviewed and found to be acceptable.

In light of the above, the sanitary sewer and water lines and appurtenances are eligible to be accepted for future maintenance by the City of Grand Junction one year after the date of substantial completion. The date of substantial completion is April 17, 1997.

Your warranty obligation for all materials and workmanship, including trench settlement and any related damages, for a period of one year beginning with the date of substantial completion will expire upon acceptance by the City. If you are required to replace or correct any defects which are apparent during the period of the warranty, a new acceptance date (and extended warranty period) will be established by the City.

At the time of acceptance if any of the facilities for which you have made a warranty and for which you desire acceptance is located anywhere, other than a previously existing City right of way, you must also provide proof of good title (to be transferred to the City at the time of acceptance).

Thank you for your cooperation in the completion of the work on this project.

Respectfully,

A handwritten signature in black ink, appearing to read "Trent Prall", is written over a horizontal line.

Trent Prall, P.E.
Utility Engineer

cc: Walt Hoyt, Senior Inspection Supervisor
Jerry O'Brien, Persigo Treatment Facility Supervisor
Jodi Romero, Customer Service Supervisor
✓ Kathy Portner, Senior Planner, Community Development

DAUGHTERS COVE SUBDIVISION

SEWER & WATER PLAN & PROFILE

NO.	DATE	REVISIONS	BY

DESIGNED BY: EWH

REVIEWED BY: MDY
P.E. No. 29912

SURVEYED BY: CDC
P.L.S. No. 24943

SURVEY DATE:
6-18-96

DRAWN BY:
EWH

DATE DRAWN:
11-25-96

SCALE: HORIZ. 1"=20'
VERT. 1"=5'

ACAD DRAWING NAME:
DAUG-PP2.DWG

PROJECT NUMBER:
96-109-0604

SHEET NUMBER:

CLIENT:
MR. RICHARD BISHOP
5122 KENNEDY AVE.
GRAND JUNCTION, CO
81804

MDY
Consulting
Engineers
769 Horizon Drive #2
Grand Junction, CO
81506
P: (970) 242-4310
F: (970) 241-8051

CONSTRUCTION NOTES

1. TIE-IN TO EXISTING MANHOLE WITH A DROP ASSEMBLY AS PER THE "DROP MANHOLE" DETAIL SHOWN ON EXHIBIT 11 OF THE CITY OF GRAND JUNCTION STANDARD DRAWINGS. INVERT ELEVATION OF DROP SHALL BE DETERMINED IN THE FIELD AND SHALL BE APPROVED BY THE CITY UTILITY ENGINEER. THE INTERIOR SURFACE OF THE MANHOLE SHALL BE EPOXY COATED ACCORDING TO CITY STANDARDS ONCE DROP STRUCTURE IS IN PLACE.
2. INSTALL NEW 48" DIA. RCP STANDARD SEWER MANHOLE. TOP OF NEW MANHOLE CONE SECTION SHALL BE SET AT ELEVATION 35.10. GRADE RINGS SHALL BE USED TO SET RIM AT ELEVATION 38.80. MANHOLE RING SHALL BE CONCRETE IN PLACE WITH A #4 REBAR HOOP PER CITY OF GRAND JUNCTION STANDARD DRAWINGS.
3. CONNECT TO EXISTING 8" C.I.P. WATER MAIN WITH AN 8"x6" TEE. INSTALL 6" GATE VALVE IMMEDIATELY ADJACENT TO THE TEE ON THE NEW 6" MAIN.
4. INSTALL FIRE HYDRANT AND LATERAL WITH VALVE AND REQUIRED THRUST BLOCKS PER EXHIBIT "H" OF THE CITY OF GRAND JUNCTION STANDARD DRAWINGS.
5. INSTALL 6"x2" REDUCER ON THE NEW WATER MAIN IMMEDIATELY UPSTATION FROM THE FIRE HYDRANT ASSEMBLY.
6. END NEW WATERLINE WITH CAP AND CONCRETE THRUST BLOCK.

GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE CITY. THE CITY RESERVES THE RIGHT TO ACCEPT OR REJECT ANY MATERIALS AND/OR WORKMANSHIP THAT DOES NOT CONFORM TO THEIR SPECIFICATIONS.
2. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS, AND A COPY OF THE CITY STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES.
3. SANITARY SEWER AND WATER MAINS TO BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STANDARD DRAWINGS AND SPECIFICATIONS. (SEE EXHIBITS "H" AND "I" OF THE STANDARD DRAWINGS)
4. ALL SANITARY SEWER PIPE TO BE PVC SDR-35 UNLESS OTHERWISE NOTED.
5. ALL SEWER MAINS SHALL BE LAID TO GRADE UTILIZING A LASER.
6. ALL SERVICE LINE CONNECTIONS TO THE NEW SEWER MAIN SHALL BE ACCOMPLISHED WITH FULL-BODY WYES OR TEES. TAPPING SADDLES WILL NOT BE ALLOWED.
7. A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED AT ALL TIMES BETWEEN THE WATERLINE AND SEWER LINE (EXCEPT AT SPECIFIED CROSSINGS).
8. ALL STUBOUTS FOR SEWER MAINS AND LATERALS SHALL HAVE GLUED CAPS INSTALLED.
9. SANITARY SEWER LATERALS SHALL BE EXTENDED TO LOCATIONS SHOWN ON THE PLAN AND SHALL BE GLUED CAPPED AND MARKED WITH 2x4 POSTS PAINTED GREEN.
10. MIN. COVER OF 6" SHALL BE MAINTAINED OVER ALL SANITARY SEWER MAINS. MIN. COVER OF 3" SHALL BE MAINTAINED OVER ALL SANITARY SEWER SERVICE LATERALS.
11. ALL WATER MAIN PIPE SHALL BE C900-CLASS 150 PVC UNLESS OTHERWISE NOTED.
12. WATER METER PITS AND YOKES WILL BE FURNISHED BY THE CITY OF GRAND JUNCTION FOR INSTALLATION BY THE CONTRACTOR.
13. WATER METER PITS SHALL BE PLACED 2' BEHIND ANY PLANNED SIDEWALK.
14. MIN. COVER OF 4" SHALL BE MAINTAINED OVER ALL WATER MAINS AND WATER SERVICE LINES.
15. ALL BURIED UTILITIES SHALL BE BACKFILLED AND COMPACTED ACCORDING TO CITY OF GRAND JUNCTION STANDARD DRAWINGS AND SPECIFICATIONS.

UTILITY LEGEND

- WM = WATER METER
- GM = GAS METER
- EM = ELECTRIC METER
- G = GAS
- T = TELEPHONE
- E = ELECTRIC
- W = WATER
- OH = OVERHEAD
- IRR = IRRIGATION
- FH = FIRE HYDRANT

UTILITY COMPOSITE

- 1) THE LOCATION OF UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. NO CONSTRUCTION SHALL COMMENCE UNTIL FIELD LOCATES AND UTILITY VERIFICATIONS HAVE BEEN MADE.
- 2) THE CONTRACTORS SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY LOCATOR SERVICE 48 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES. ALL EXISTING UTILITIES SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO ANY DIGGING AFFECTING THEM, AND THE CONTRACTORS SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES DURING CONSTRUCTION. THE UTILITY LOCATOR SERVICE NUMBER IS 1-800-922-1987.

UTILITY PROVIDERS

WATER: CITY WATER
ELECTRIC: PUBLIC SERVICE
GAS: PUBLIC SERVICE
TELEPHONE: USWEST
SEWER: CITY SEWER
CABLE: TCI
IRRIGATION: ORCHARD MESA IRR. DIST.

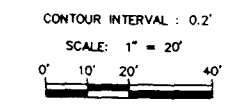
APPROVED FOR CONSTRUCTION

CITY UTILITY ENGINEER _____ DATE _____

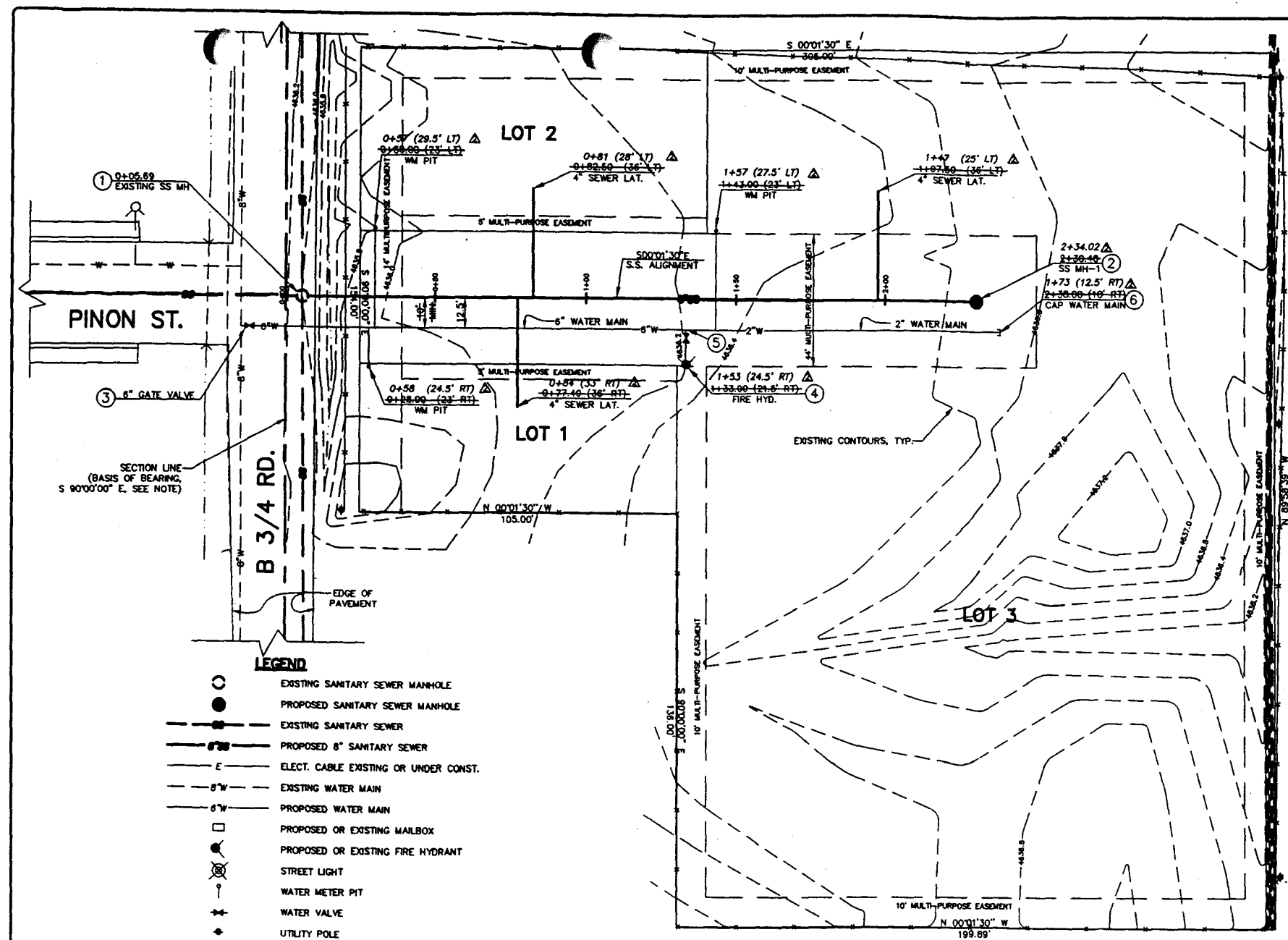
ACCEPTED AS CONSTRUCTED

CITY UTILITY ENGINEER _____ DATE _____

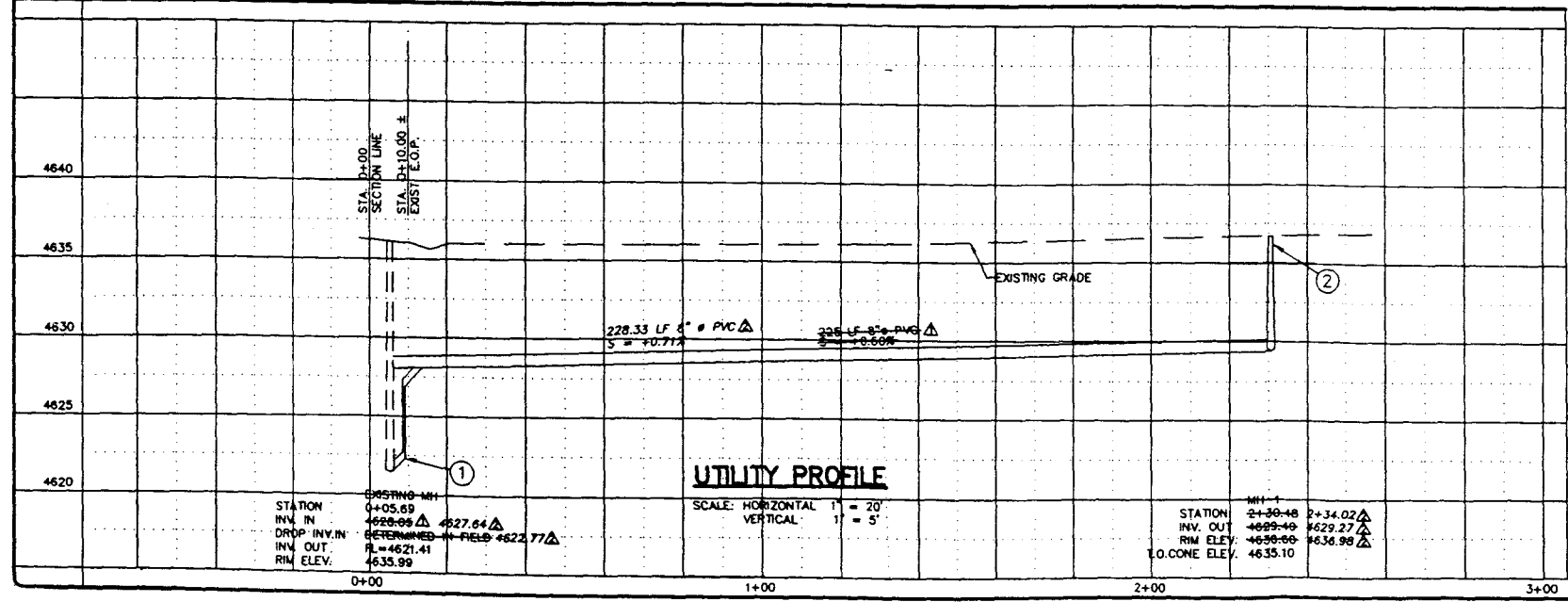
AS-BUILT DRAWING



BENCHMARK
BENCHMARK is the rim of the existing sanitary sewer manhole that is located in the intersection of 3/4 Rd. and Pinon St. Elevation equals 4635.99 Above Sea Level.



- LEGEND**
- EXISTING SANITARY SEWER MANHOLE
 - PROPOSED SANITARY SEWER MANHOLE
 - EXISTING SANITARY SEWER
 - PROPOSED 8" SANITARY SEWER
 - ELECT. CABLE EXISTING OR UNDER CONST.
 - EXISTING WATER MAIN
 - PROPOSED WATER MAIN
 - PROPOSED OR EXISTING MAILBOX
 - PROPOSED OR EXISTING FIRE HYDRANT
 - ⊗ STREET LIGHT
 - ↑ WATER METER PIT
 - ↑ WATER VALVE
 - UTILITY POLE



CITY OF GRAND JUNCTION
DEPARTMENT OF PUBLIC WORKS & UTILITIES
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501
(970) 244-4003

TO THE MESA COUNTY CLERK & RECORDER:

THIS IS TO CERTIFY that the herein named Subdivision Plat,

DAUGHTERS COVE MINOR SUBDIVISION

Situated in the NW 1/4 of Section 25,

Township 1 SOUTH, Range 1 WEST,

of the UTE Meridian in the City of Grand Junction, County of Mesa, State of Colorado, has been reviewed under my direction and, to the best of my knowledge, satisfies the requirements pursuant to C.R.S. 38-51-106 and the Zoning and Development Code of the City of Grand Junction for the recording of subdivision plats in the office of the Mesa County Clerk and Recorder.

This certification makes no warranties to any person for any purpose. It is prepared to establish for the County Clerk and Recorder that City review has been obtained. This certification does not warrant: 1) title or legal ownership to the land hereby platted nor the title or legal ownership of adjoining; 2) errors and/or omissions, including, but not limited to, the omission(s) of rights-of-ways and/or easements, whether or not of record; 3) liens and encumbrances, whether or not of record; 4) the qualifications, licensing status and/or any statement(s) or representation(s) made by the surveyor who prepared the above-named subdivision plat.

Dated this 15 day of April, 1997.

City of Grand Junction,
Department of Public Works & Utilities

By: James L. Shanks
James L. Shanks, P.E., P.L.S.
Director of Public Works & Utilities

Recorded in Mesa County
Date: _____

Plat Book: 15 Page: 311

Drawer: DD49

g:\special\platcert.doc

Fee \$10⁰⁰ 1⁰⁰

1798772 0324PM 05/14/97
MONIKA TODD CLK&REC MESA COUNTY CO

STAFF REVIEW - PLANNING COMMISSION REPORT - OCTOBER 1, 1996 HEARING

FILE: MS-96-196
DATE: September 25, 1996
STAFF: Bill Nebeker
REQUEST: Daughters Cove Minor Subdivision - Three Lot Residential Subdivision
LOCATION: 2709 B 3/4 Road; Tax Parcel #2945-252-00-121.
APPLICANT: Richard I. Bishop

EXECUTIVE SUMMARY: Staff recommends approval of this three lot minor residential subdivision. All three lots have access to paved B 3/4 Road, where utilities are located. The site is configured for future expansion with the potential of a street being extended over lot 3 with additional lots to the south. No street improvements are required for B 3/4 Road. The applicant will pay a drainage fee for off-site discharge of water which is acceptable to the City.

EXISTING LAND USE: Vacant, undeveloped

PROPOSED LAND USE: residential single family homes

SURROUNDING LAND USE:

NORTH: single family
SOUTH: single family
EAST: single family
WEST: single family & commercial

EXISTING ZONING: RSF-8

SURROUNDING ZONING: RSF-8

RELATIONSHIP TO COMPREHENSIVE PLAN: The Planning Commission adopted Growth Plan recommends that this area develop as Residential Medium Density 4-7.9 dwelling units per acre. The density of the proposed development is approximately 0.56 dwellings per acre.

STAFF ANALYSIS: The applicant proposes to subdivide a 74,160.83 square foot parcel (1.70 acres) into three lots for residential use. The lots are respectively 5250, 6900 and 62,010 square feet in size. This variety in lot sizes is determined by the location of Pinon Street to the north and the design of the subdivision for future expansion. The applicant had originally proposed a five lot minor subdivision on this site with four lots having long flagpoles out to B 3/4 Road. This design was revised to the current proposal when staff expressed concerns that future expansion of the large lots in the rear would be limited due to the lot configuration.

Lot 3 in the current proposal is wide enough to accommodate a street extension if further subdivision of this parcel is proposed. As designed, a future street would have a two foot off-set from the centerline of Pinon Street to the north. A preferable design would have the centerline of the street match with the center of lot 3. This can be easily accommodated by increasing the lot frontage of lot 1 to approximately 52 feet and decreasing the frontage of lot 2 to approximately 58 feet. The resulting lots would be 5460 and 6670 square feet in size. A five foot wide multi-purpose easement must be dedicated along the west boundary of lot 2 and the east boundary of lot 1 to provide room for future utility extensions, if necessary. These easements would be located in the required setback and would therefore not encumber the lots further.

The minimum lot size in the RSF-8 zone is 4000 square feet. Lot 1, the smallest of the three lots exceeds this minimum by at least 1250 square feet. A drainage fee will be paid in lieu of on-site retention. Some minor corrections to the plat are required before it may be recorded.

STAFF RECOMMENDATION: Approval of this subdivision with the following conditions:

1. Revise plat to show the frontage of lot 3 centered on the centerline of Pinon Street.
2. Add a 5 foot wide multi-purpose easement along the sides of lot 1 and lot 2 for future utility extension, if necessary.
3. Remove the dedication language for the ingress-egress easement. Replace “aligns” with “assigns” in dedication language, last paragraph.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on item 96-196 I move that we approve the Daughter’s Cove Minor Subdivision based upon staff’s recommendation.

**CITY OF GRAND JUNCTION PLANNING COMMISSION
GRAND JUNCTION, COLORADO**

)	PLANNING COMMISSION
FOR)	DECISION
)	
Richard I. Bishop)	MS-96-196
3192 Kennedy Avenue)	
Grand Junction, CO 81504)	

An application by Richard I. Bishop, requesting a three lot subdivision known as Daughter's Cove Minor Subdivision in an RSF-8 zone, located at 2709 B3/4 Road, was considered by the Planning Commission of the City of Grand Junction on October 1, 1996.

After considering all the pertinent testimony and reviewing various data, the Planning Commission approved the final plat with the following conditions:

1. Revise plat to show the frontage of lot 3 centered on the centerline of Pinon Street.
2. Add a 5 foot wide multi-purpose easement along the sides of lot 1 and lot 2 for future utility extension, if necessary.
3. Remove the dedication language for the ingress-egress easement. Replace "aligns" with "assigns" in dedication language, last paragraph.
4. Place the following note on the plat to advise future property owners of the possibility for the extension of Pinion Street: "Lot 3 has been configured to allow possible extension of Pinon Street in the future to serve additional lots."

The undersigned does hereby declare that the said Planning Commission reached its decision as heretofore noted.



Bill Nebeker
Senior Planner

c: Mark Young
Monument Surveying

Date: 8/5/99

Draw Request No. 3

Banking Officer: Thomas R. Benton

Current Request: \$ 7,177

Borrower: Casas Del Tierra, Inc.

Number: 0038714-9001
Account Number: 6068030083

Contractor: Casas Del Tierra, Inc.

Project Name: Daughter's Cove II Subdivision

In accordance with the terms of the Construction Loan Agreement, the borrower hereby requests an advance of funds and certifies that the amounts shown on the attached invoices and other supporting documentation for labor, materials, and services for the construction of the project are accurate and correct. The undersigned hereby certifies and represents that:

- (i) the labor, services, and/or materials covered hereby have been performed upon or furnished to the Project;
- (ii) all construction to date has been performed in accordance with the plans and specifications for the improvements approved by the bank, and there have been no changes in those plans and specifications except as may be expressly permitted by the Construction Loan Agreement or approved by the bank in writing;
- (iii) all conditions to the disbursement of the funds requested herein as set forth in the Construction Loan Agreement have been fulfilled, and, to the knowledge of the undersigned, no Event of Default under the Construction Loan Agreement has occurred and is continuing.

Budget Item No.	Budget Item	Check No.	Payable To	Current Draw Amount
11.	Domestic Water		Stanley Const.	\$ 1,890
1.	Sewer		Stanley Construction	\$ 5287
TOTAL (Subtotal)				

*The bank should receive draw request five business days prior to funding.
The borrower, in signing this request, acknowledges consideration and directs the bank, without liability, to pay the invoices attached.

By: Kenneth Hecht
(Borrower)

Alvin A. Aes, Stanley Construction, Inc.
(Contractor)

Page ____ of ____

[Signature]
AIC

[Signature]
City of Grand Junction

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

Book 2226 Page 411

Beginning at the Northwest Corner of the Northwest Quarter of the Southwest Quarter of the Northwest Quarter of Section 25, in Township 1 South, Range 1 West of the Ute Meridian, whose North line bears South 90°00'00" East and all bearings contained herein to be relative thereto;
thence South 90°00'00" East 238.00 feet,
thence South 00°01'30" East 20.00 feet,
thence South 90°00'00" East 136.00 feet,
thence South 00°01'30" East 5.00 feet to the True Point of Beginning,
thence South 90°00'00" East 154.00 feet,
thence South 00°01'30" East 305.00 feet,
thence North 89°58'39" West 290.00 feet,
thence North 00°01'30" West 199.89 feet,
thence South 90°00'00" East 136.00 feet,
thence North 00°01'30" West 105.00 feet to the True Point of Beginning,

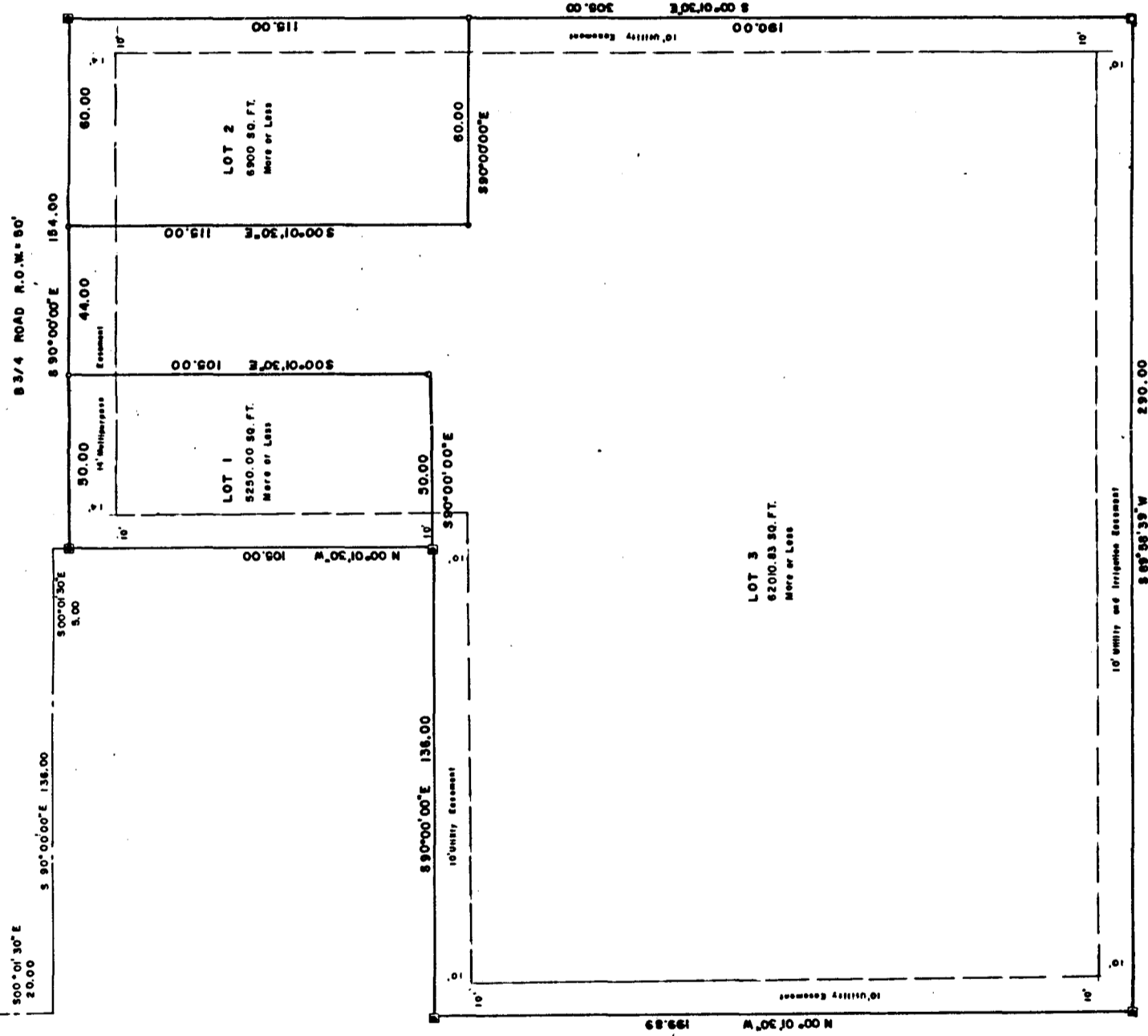
MESA COUNTY, COLORADO.



DAUGHTER'S COVE MINOR SUBDIVISION
MS-96-196

DAUGHTERS COVE MINOR SUBDIVISION

NW Cor. Sec. 23
 Mesa County Survey Marker
 Basis of Bearing Book 2226 Page 411
 S 90°00'00" E 238.00
 NW 1/4 NW 1/4 SW 1/4 NW 1/4
 Sec. 23 T. 15. N. R. 10. W. M. 8
 Mesa County Survey Marker



AREA SUMMARY
 Lots 74160.83 Sq. Ft. 1066
 Streets -0- 00
 Total 74160.83

SURVEYOR'S CERTIFICATE

I, Cecil D. Carter, do hereby certify that the accompanying plat of DAUGHTERS COVE MINOR SUBDIVISION, a subdivision of a part of Mesa County, Colorado, has been prepared under my direct supervision and accurately represents a field survey of the same and conforms to all City of Grand Junction Development Codes.

Cecil D. Carter
 Registered Professional Land Surveyor
 P.L.S. Number 24943

Date _____

DEDICATION:
 KNOW ALL MEN THESE PRESENTS

That Richard I. Bishop is the owner of that real property as shown on the plat hereunto attached and all in the Mesa County Clerk and Recorder's Office and being located in the Northwest Quarter of the Northwest Quarter of Section 25, in Township 1 South, Range 1 West of the 7th Meridian, whose North line bears S90°00'00" E and all bearings contained herein to be 500'01'30" E 115.00 feet to the true point of beginning; thence S90°00'00" E 238.00 feet; thence S90°01'30" E 5.00 feet to the true point of beginning; thence S90°00'00" E 154.00 feet; thence S00°01'30" E 305.00 feet; thence S89°59'35" W 250.00 feet; thence S00°01'30" W 199.89 feet; thence S90°00'00" E 136.00 feet; thence S00°01'30" W 105.00 feet to the true point of beginning, Mesa County, Colorado.

That said owner has caused that real property to laid out and surveyed as DAUGHTERS COVE MINOR SUBDIVISION.
 That said owner do hereby dedicate and set apart all streets and roads to the City of Grand Junction and to the use of the public forever and hereby dedicate all utility easements to the City of Grand Junction for the installation, operation, maintenance, repair of utilities and appurtenances thereof including, but not limited to electric lines, cable TV lines, natural gas pipelines, sanitary sewer lines, water lines and telephone lines. All ingress/egress easements to the owners of lots or tracts specifically identified on the plat for perpetual easements for the ingress and egress of persons, animals, vehicles, boats, aircraft, and other items, but not limited to, postal service trash collection, fire, police, emergency vehicles.

All easements include the right of ingress and egress on, along, under, through and across by beneficiaries, their successors, assigns, heirs, assigns, agents, or assigns, interfering trees and brush and in drainage and detention/retention easements, the right to dredge, provided however, that the beneficiaries of said easements shall utilize the same in a reasonable and prudent manner. Furthermore, the owners of lots or tracts hereby platted shall not burden or encumber the same by erecting or placing any improvements thereon which may prevent reasonable ingress and egress to and from the easement.

IN WITNESS said owner has caused his name to be hereunto subscribed this _____ day of _____ AD 19 _____

Richard I. Bishop
 STATE OF COLORADO
 COUNTY OF MEHA)

The foregoing instrument was acknowledged before me this _____ day of _____ AD 19 _____
 My commission expires _____

Notary Public.

CLERK AND RECORDER'S CERTIFICATE
 STATE OF COLORADO)
 COUNTY OF MEHA)

I hereby certify that this instrument was filed in my office of _____ at _____ o'clock _____ day of _____ AD 19 _____ and is duly recorded as Reception Number _____ in Plat Book _____ at Page _____ Drawer _____

CITY OF GRAND JUNCTION APPROVAL

City Manager _____ President City Council

LIENHOLDER APPROVAL

Lienholder Representative _____

DAUGHTERS COVE MINOR SUBDIVISION
 Located in the NW 1/4 of Sec. 25, T. 15, R. 10, W. 8

NOTICE: According to Colorado law you must acknowledge any legal action based upon any matter in the survey within three years after the date of recording of this instrument. Any action based upon this instrument must be filed in the County Clerk's Office for the County of Mesa, Colorado, within the three year period.

Monument Surveying Co.
 751 Food Avenue
 Grand Junction, CO 81501
 (970) 242-1118 FAX (970) 242-4874

DESIGNED - CDC
 DRAWN - BKH
 CHECKED - CDC
 APPROVED - _____
 PREPARED FOR Richard Bishop
 JOB NO 96-37