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File PDR-1996-074

Name: Veale Insurance Agency – 1406 North 7th Street – Planned Development Review

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
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		*Review Sheet Summary
X	X	*Application form
X		Review Sheets
		Receipts for fees paid for anything
X	X	*Submittal checklist
		*General project report
		Reduced copy of final plans or drawings
		Reduction of assessor's map.
		Evidence of title, deeds, easements
X	X	*Mailing list to adjacent property owners
		Public notice cards
		Record of certified mail
X	X	Legal description
		Appraisal of raw land
		Reduction of any maps – final copy
		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
		Traffic studies
X	X	*Review Comments
X	X	*Petitioner's response to comments
X	X	*Staff Reports
		*Planning Commission staff report and exhibits
		*City Council staff report and exhibits
		*Summary sheet of final conditions

DOCUMENT DESCRIPTION:

X	X	Correspondence	X	X	Plot Plan
X		Commitment to Insure – Abstraact & Title Co. of Mesa Co.- 12/27/95	X	X	Site Plan
X	X	Posting of Public Notice Signs form – signed 4/25/96			
X	X	Accessible Parking Requirements Illustration			
X	X	Planning Commission Minutes – 8/6/96			
X	X	Power of Attorney - ** - 1/30/97			
X	X	Memorandum of Imp. Agreement–Bk 2301 / Pg 92/Release - Bk 2314/Pg 888-**			
X	X	Planning Clearance –issued 2/4/97 - **			
X	X	Grayscale Location Map			
X	X	Site /Landscape / Parking Plan			
X	X	Planning Commission Notice of Public Hearing – sent 4/26/96			
X		Notes to file			
X		Elevation Maps			



DEVELOPMENT APPLICATION

Community Development Department
250 North 5th Street, Grand Junction, CO 81501
(303) 244-1430

Receipt _____

Date _____

Rec'd By _____

File No. PDR-96-74

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

PETITION	PHASE	SIZE	LOCATION	ZONE	LAND USE
<input type="checkbox"/> Subdivision Plat/Plan	<input type="checkbox"/> Minor <input type="checkbox"/> Major <input type="checkbox"/> Resub				
<input type="checkbox"/> Rezone				From: To:	
<input checked="" type="checkbox"/> Planned Development	<input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input checked="" type="checkbox"/> Final		1406 N. 7th	PB	Office
<input type="checkbox"/> Conditional Use					
<input type="checkbox"/> Zone of Annex					
<input type="checkbox"/> Variance					
<input type="checkbox"/> Special Use					
<input type="checkbox"/> Vacation					<input type="checkbox"/> Right-of Way <input type="checkbox"/> Easement
<input type="checkbox"/> Revocable Permit					

<input checked="" type="checkbox"/> PROPERTY OWNER	<input checked="" type="checkbox"/> DEVELOPER	<input checked="" type="checkbox"/> REPRESENTATIVE
<u>Sidney J Veale</u> Name	<u>N/A</u> Name	<u>Sidney Veale</u> Name
<u>PO Box 1863</u> Address	<u></u> Address	<u>PO Box 1863</u> Address
<u>Grand Junction CO 81502</u> City/State/Zip	<u></u> City/State/Zip	<u>Grand Junction CO 81502</u> City/State/Zip
<u>243-9012</u> Business Phone No.	<u></u> Business Phone No.	<u>243-9012</u> Business Phone No.

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

X [Signature] Signature of Person Completing Application 3-18-96 Date

X [Signature] Signature of Property Owner(s) - attach additional sheets if necessary 3-18-96 Date

PDR-96-74

Thomas & Patricia Graves 745 Elm Ave. Grand Junction, CO 81501	Tony Kovacic Jr. 761 Elm Avenue Grand Junction, CO 81501	Greg & Janet Cope 79 Elm Ave. Grand Junction, CO 81501
Paul Quam c/o Cynthia Quam-Patterson 12508 NE 163rd St. Woodinville, WA 98072	Tonya Sharp & R & DW Warren 1410 N 7th St. Grand junction, CO 81501	Donald Veale 1406 N 7th St. Grand junction, CO 81501
Einar & Justina Nelson 780 Kennedy Ave. Grand Junction, CO 81501	Paul Quam 4855 NE 45th St. Seattle, WA 98105	Bill & Linda Clevenger 532 Grand Valley Dr. Grand Junction, CO 81504
Bonita Reece 820 Kennedy Ave. Grand Junction, CO 81501	Arvis Duck 800 Kennedy Ave. Grand Junction, CO 81501	Jose & Maria Gonzalez 810 Kennedy Ave. Grand Junction, CO 81501
Colleen Warner 850 Kennedy Ave. Grand Junction, CO 81501	Allen & Jack Lundy 721 Mesa Ave. Grand Junction, CO 81501	Royleen Blosser 840 Kennedy Ave. Grand Junction, CO 81501
Edward Donatelli 44201 W Sundown Crest Dr. La Quinta, CA 92253	Leonard Collins 860 Kennedy Ave. Grand Junction, CO 81501	Mark & Karen Peterson 1430 Cannell Ave. Grand Junction, CO 81501
Marc & Mary Wendland 730 Elm Ave. Grand Junction, CO 81501	Norma Frohock 1416 N 7th St. Grand Junction, CO 81501	Douglas Skelton 706 Ivy Pl. Grand Junction, CO 81506
Roland Raso c/o Carol Newton 3525 Senna Way Grand Junction, CO 81506	Donald & Verna Brown 740 Elm Ave. Grand Junction, CO 81501	Linda & Theodore Koeman 769 Elm Ave. Grand Junction, CO 81501
Chris & Caryn Otto 1930 N 9th St. Grand Junction, Co 81501	Dorothy Jackson & Donna Aubrey 961 Lakeside Dr., #211 Grand Junction, CO 81506	Edward & Wilma Ress 750 Bunting Ave. Grand Junction, CO 81501
	American Lutheran Church 1350 N 7th St. Grand Junction, CO 81501	Grand Junction High School Mesa County School District #51 2115 Grand Ave. Grand Junction, CO 81501

Jerry Ligrani
2640 W 133rd Circle
Broomfield, CO 80020

Robert, Celesta & Kevin Mullen
147 Darius Ave.
Rangely, CO 81648

Burke & Tammy Martin
1421 N 7th St.
Grand Junction, CO 81501

Pamela Perri
1337 N 7th St.
Grand Junction, CO 81501

Kelly & Lestella Allen
1317 N 7th St.
Grand Junction, CO 81501

Etta Sickenberger
710 Ouray Ave.
Grand Junction, CO 81501

Margaret Enterprises
1445 N 7th St.
Grand Junction, CO 81501

Sidney Veale
Veale Insurance
P.O. Box 1863
Grand Junction, CO 81502

City of Grand Junction
Community Development Dept.
250 N 5th Street
Grand Junction, CO 81501

SUBMITTAL CHECKLIST

PLANNED DEVELOPMENT

Location: 1406 N. 7th

Project Name: Insurance Office Expansion

ITEMS	DISTRIBUTION																				TOTAL REQ'D.				
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent	○ City Parks/Recreation	● City Fire Department	● City Attorney	● City G.J.P.C. (8 sets)	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	○ Drainage District	○ Water District	○ Sewer District	○ U.S. West	○ Public Service	○ GVRP	○ CDOT		○ Corps of Engineers	○ Walker Field	○ Persigo	○ TCI Cable
<p><i>Submittal deadline - 1st working day of month</i></p> <p><i>Hearing - 1st Tues. of following month</i></p> <p>Date Received _____</p> <p>Receipt # <u>#3177</u></p> <p>File # <u>for \$350⁰⁰ PDR-96-74</u></p>																									
● Application Fee <u>\$350</u>	VII-1	1																							
● Submittal Checklist *	VII-3	1																							
● Review Agency Cover Sheet *	VII-3	1	1	1	1	1	1	1		1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Application Form *	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Reduction of Assessor's Map <u>OK</u>	VII-1	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Evidence of Title	VII-2	1		1			1																		
○ Appraisal of Raw Land	VII-1	1			1	1																			
● Names and Addresses *	VII-2	1																							
● Legal Description *	VII-2	1			1																				
○ Deeds	VII-1	1			1		1																		
○ Easements	VII-2	1	1	1	1		1										1	1	1					1	
○ Avigation Easement	VII-1	1			1		1															1			
○ ROW	VII-3	1	1	1	1		1										1	1	1					1	
○ Improvements Agreement/Guarantee *	VII-2	1	1	1			1																		
○ CDOT	VII-3	1	1																						
○ Industrial Pretreatment Sign-off	VII-4	1		1																					
● General Project Report	X-7	1	1	1	1	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Elevation Drawing	IX-13	1	1																						
● Site Plan ← <u>8</u>	IX-29	2	2	1	1	●	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
● 11"x17" Reduction of Site Plan <u>13</u>	IX-29	1			●	1	1	1	8	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
● Grading and Drainage Plan	IX-16	1	2											1							1				
○ Storm Drainage Plan and Profile	IX-30	1	2											1			1	1	1				1		
○ Water and Sewer Plan and Profile	IX-34	1	2	1			1							1	1	1	1	1					1		
○ Roadway Plan and Profile	IX-28	1	2											1											
○ Road Cross-Sections	IX-27	1	2																						
○ Detail Sheet	IX-12	1	2																						
● Landscape Plan	IX-20	2	1	1					8																
○ Geotechnical Report	X-8	1										1													
○ Final Drainage Report	X-5,6	1	2											1											
○ Stormwater Management Plan	X-14	1	2											1							1				
○ Phase I and II Environmental Report	X-10,11	1	1																						
○ Traffic Impact Study	X-15	1	2																		1				

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.



General Project Report

As the Grand Valley has grown in recent year, our business has grown accordingly. Currently the growth of our business is limited to the size of our existing structure. In order to continue to grow and to add additional employees, it has become necessary to expand our office.

We propose to add a 756 square feet open concept room to the west side of our existing structure. The new addition will enhance the appearance of our office and will be built in such a way as to maintain the residential appearance of the building. This proposed expansion will enable us to hire 2 additional employees adding an additional \$50,000 of payroll to the local economy.


Sid Veale

REVIEW COMMENTS

Page 1 of 1

FILE #PDR-96-74

TITLE HEADING: Revision of a Planned Business Zone

LOCATION: 1406 N. 7th Street

PETITIONER: Sidney Veale

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 1863
Grand Junction, CO 81502
243-9012

PETITIONER'S REPRESENTATIVE: Sidney Veale

STAFF REPRESENTATIVE: Kathy Portner

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS ON OR BEFORE 5:00 P.M., APRIL 25, 1996.

MESA COUNTY BUILDING DEPARTMENT

4/3/96

Bob Lee

244-1656

One additional handicapped accessible restroom must be added to provide for men's and women's facilities. Handicap access must be provided for the building. North exterior wall might need fire-protection. A City licensed General Contractor is required for the construction. Need two sets of plans for our review and allow 10 to 14 days for such review.

CITY FIRE DEPARTMENT

4/10/96

Hank Masterson

244-1414

The Fire Department has no problem with this proposal. A Fire Department plan review and building permit clearance form is required. Submit complete building plans to the Fire Department for this purpose.

CITY COMMUNITY DEVELOPMENT

4/12/96

Kathy Portner

244-1446

See attached comments.

CITY DEVELOPMENT ENGINEER

4/16/96

Jody Kliska

244-1591

1. Parking as shown does not appear to meet the code requirements of aisle widths and maneuvering area.

CITY UTILITY ENGINEER

4/11/96

Trent Prall

244-1590

The City of Grand Junction Utility Division has no objections to this proposal.

PDR-96-74 Veale Insurance Expansion
Community Development Review Comments
4/12/96 Kathy Portner

1. Please show property lines on the site plan.
2. The plan must indicate the mature trees or shrubs that are to be removed. All landscaping shown on the plan must indicate whether it's existing or proposed. If proposed, the planting size and species must be indicated. A minimum of 3 trees should be provided in front of the building along 7th Street.
3. The proposed addition might meet the minimum setback requirement of 20' from property line (show on plan); however, the other homes along 7th Street have setbacks consistent with the existing Veale building. Staff is not completely comfortable approving a revision to the plan that is so out of scale with the setbacks of the rest of the block.
4. Is a new sign being proposed or just a new sign location? Please indicate the size of the existing sign and proposed sign, if different.
5. Provide the breakdown of the use of all square footage of the existing building and the proposed addition. The required number of parking spaces is based on one space per 300 gross square feet.
6. The parking area existing varies drastically from what was approved with the original plan in 1987. The rear yard was not be used for parking at all. The area that has been paved since the original approval did not leave any perimeter areas for landscaping. The original parking was designed so that backing movements occurred on-site and access was confined to 2 access points. The additional work that has been done on-site since the original approval has drastically changed the "residential" look of the property.
7. The site plan must show driveway locations and dimensions of the parking area. Required parking and maneuvering areas must be located on the property, not in the ROW.
8. Parking areas must be screened from adjacent residential uses with a minimum 4' high screen fence and/or landscaping screening.

POSTING OF PUBLIC NOTICE SIGNS

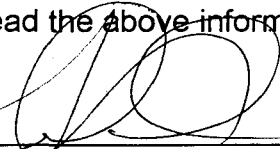
The posting of the Public Notice Sign is to make the public aware of development proposals. The requirement and procedure for public notice sign posting are required by the City of Grand Junction Zoning and Development Code.

To expedite the posting of public notice signs the following procedure list has been prepared to help the petitioner in posting the required signs on their properties.

1. All petitioners/representatives will receive a copy of the Development Review Schedule for the month advising them of the date by which the sign needs to be posted. **IF THE SIGN HAS NOT BEEN PICKED UP AND POSTED BY THE REQUIRED DATE, THE PROJECT WILL NOT BE SCHEDULED FOR THE PUBLIC HEARING.**
2. A deposit of \$50.00 per sign is required at the time the sign is picked up.
3. You must call for utility locates before posting the sign. Mark the location where you wish to place the sign and call 1-800-922-1987. You must allow two (2) full working days after the call is placed for the locates to be performed.
4. Sign(s) shall be posted in a location, position and direction so that:
 - a. It is accessible and readable, and
 - b. It may be easily seen by passing motorists and pedestrians.
5. Sign(s) MUST be posted at least **10 days** before the Planning Commission hearing date and, if applicable, shall stay posted until after the City Council Hearing(s).
6. **After the Public Hearing(s) the sign(s) must be taken down and returned to the Community Development Department within FIVE (5) working days to receive a full refund of the sign deposit.** For each working day thereafter the petitioner will be charged a \$5.00 late fee. After eight working days Community Development Department staff will retrieve the sign and the sign deposit will be forfeited in its' entirety.

The Community Development Department staff will field check the property to ensure proper posting of the sign. If the sign is not posted, or is not in an appropriate place, the item will be pulled from the public hearing agenda.

I have read the above information and agree to its terms and conditions.



SIGNATURE

4/25/96

DATE

FILE #/NAME PDR-96-74 RECEIPT # 3903

PETITIONER/REPRESENTATIVE: Sid Deale PHONE # 243-9012

DATE OF HEARING: 5-7-96 POST SIGN(S) BY: 4-26-96

DATE SIGN(S) PICKED-UP 4-25-96 RETURN SIGN(S) BY: 5-14-96

DATE SIGN(S) RETURNED 8-9-96 RECEIVED BY: MMR

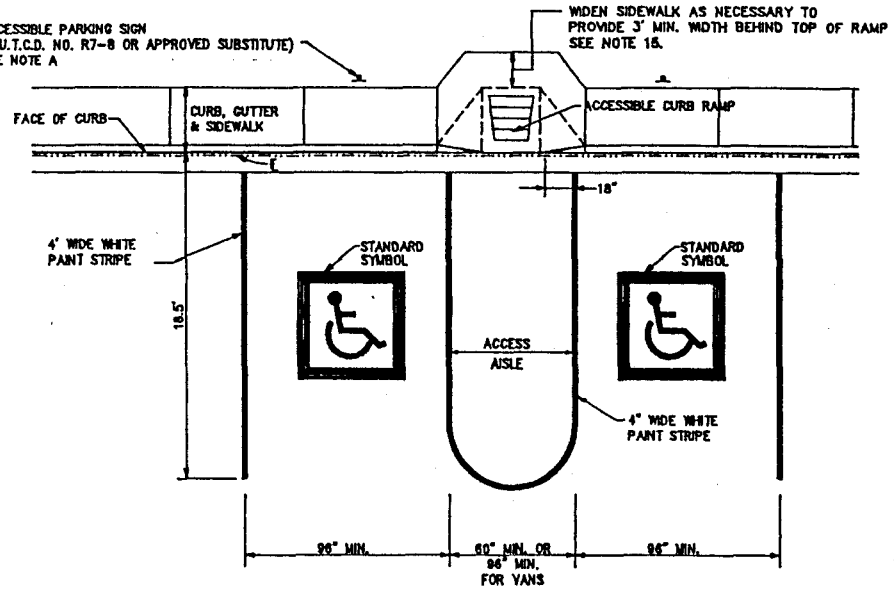
✓ # 40006668

TOTAL PARKING IN LOT	REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	8
501 to 1000	8
1001 AND OVER	2 PERCENT OF TOTAL PLUS 1 FOR EACH 100 OVER 1000

ACCESSIBLE PARKING REQUIREMENTS

PER ADA 4.1.2(5)(c)

ACCESSIBLE PARKING SIGN (M.U.T.C.D. NO. R7-8 OR APPROVED SUBSTITUTE) SEE NOTE A



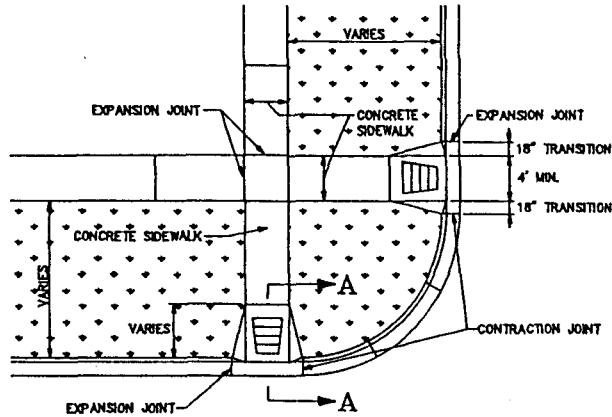
NOTES:

- ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR THE DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY (SEE UFAS 4.30.5). SPACES COMPLYING WITH NOTE B SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL BE MOUNTED SO THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.
- ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 96" WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS SPECIFIED BY NOTE A.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESS ROUTE TO THE BUILDING OR FACILITY ENTRANCE. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.

GENERAL NOTES

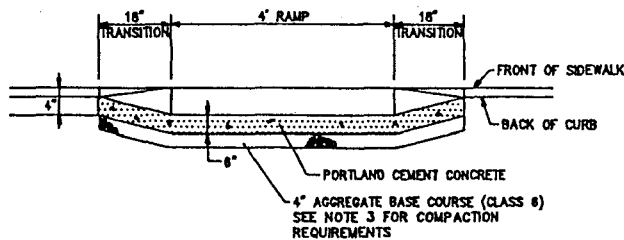
- ALL PORTLAND CEMENT CONCRETE SHALL BE CLASS "B". ALL CONCRETE SHALL BE ACCORDANCE WITH CITY OF GRAND RAPIDS SPECIFICATIONS.
- ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CITY OF GRAND RAPIDS SPECIFICATIONS FOR CURB, GUTTER & SIDEWALKS AT EACH LOCATION WHERE CONCRETE IS PLACED.
- ALL CONCRETE RAMPS, SIDEWALKS, AND CURBS SHALL BE UNDERLAID WITH AGGREGATE AT LEAST 90% OF AASHTO T-119 THICKNESS. THE TOP 6 INCHES SHALL BE COMPACTED TO AT LEAST 90% OR UNSUITABLE SUBGRADE MATERIAL.
- ANY EXISTING PAVEMENT NOT TO BE REMOVED BY CONSTRUCTION SHALL BE REPAIRED TO MATCH ADJACENT PAVEMENT.
- DRAWING INDICATES TYPICAL SECTION. VARIATIONS MAY BE NECESSARY. VARIATIONS MUST BE APPROVED ON AN INDIVIDUAL BASIS.
- IN ALL CASES, ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- ALL CONCRETE SHALL BE PROTECTED WITH CURING/SEALING COMPOUND IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- ALL CONCRETE SHALL BE PROTECTED WITH CURING/SEALING COMPOUND IMMEDIATELY UPON COMPLETION OF CONSTRUCTION.
- MINIMUM SPACING BETWEEN JOINTS SHALL BE 10 FEET.
- MAXIMUM SPACING BETWEEN JOINTS SHALL BE 20 FEET.
- WATER SHALL NOT BE ADDED TO CONCRETE.
- THE MAXIMUM SLOPE ALLOWED ON CONCRETE SHALL BE 1:50.
- THE SURFACE OF ALL ACCESSIBLE PAVEMENT SHALL BE BROOMED TEXTURE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- ALL HANDICAP RAMPS, PARKING SPACES, AND ACCESS AISLES SHALL BE CONSTRUCTED TO MEET FEDERAL ACCESSIBILITY STANDARDS.
- THE ADDITIONAL 3' SIDEWALK WITH GUTTER AND SIDEWALK IS NOT TO BE CONSTRUCTED AT EXISTING STREETS.

ARNING

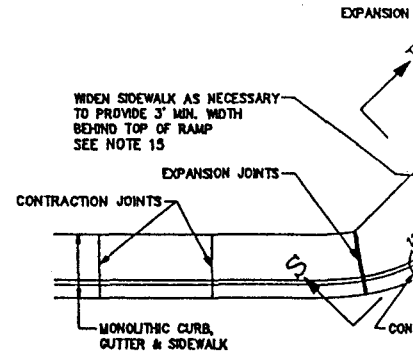


CURB RAMP(S) AT INTERSECTING SIDEWALK

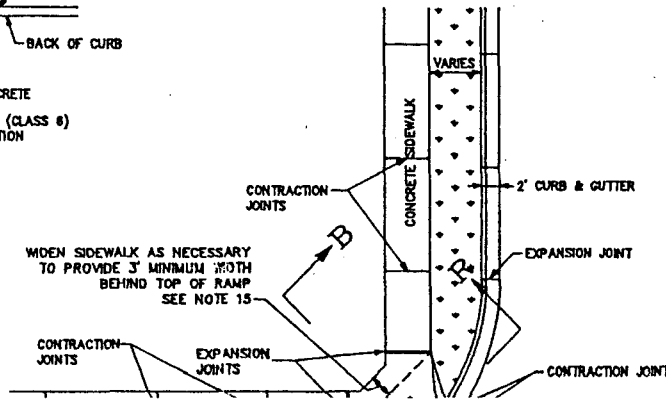
STANDARD ACCESSIBLE PARKING STALL DETAIL



SECTION R-R

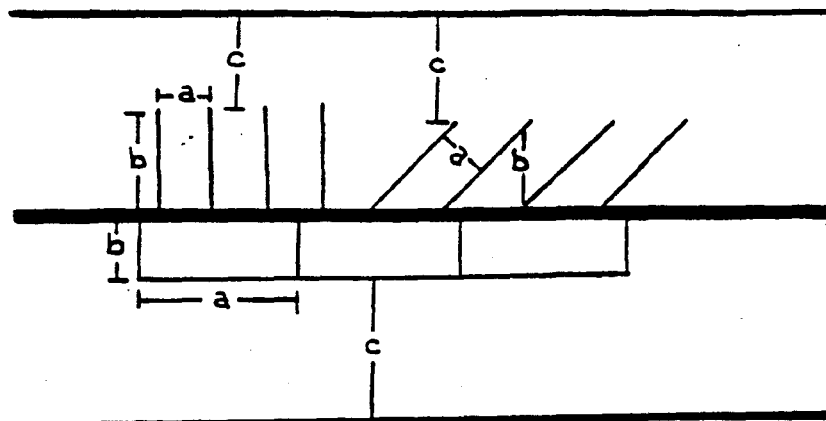


RAMP IN MONOLITHIC CURB, GUTTER & SIDEWALK

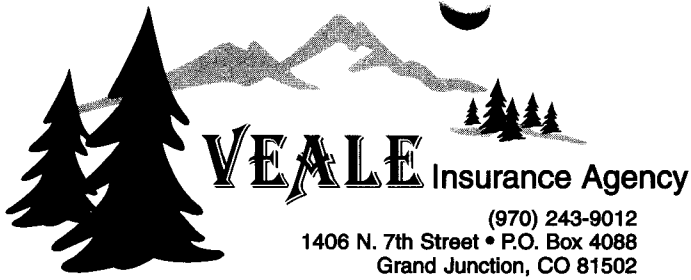


WIDEN SIDEWALK AS NECESSARY TO PROVIDE 3' MIN. WIDTH BEHIND TOP OF RAMP SEE NOTE 15

<u>PARKING ANGLE</u>	A	B	C
	<u>STALL WIDTH IN FEET</u>	<u>STALL LENGTH IN FEET</u>	<u>AISLE WIDTH IN FEET</u>
0°	22.0	9.0	12.0
	22.0	9.5	12.0
	22.0	10.0	12.0
30°	9.0	18.0	11.0
	9.5	18.0	11.0
	10.0	20.0	11.0
45°	8.5	21.0	13.0
	9.0	21.0	12.0
	9.5	21.0	11.0
60°	8.5	21.0	18.0
	9.0	21.0	16.0
	9.5	21.0	15.0
75°	8.5	19.5	25.0
	9.0	19.5	23.0
	9.5	19.5	22.0
90°	8.5	18.5	28.0
	9.0	18.5	25.0
	9.5	18.5	24.0



(Figure F5-5-1K) PARKING STALL AND AISLE DIMENSIONS



RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT.

APR 25 1996

Review Comments Response

City Community Development
Kathy Portner

1. See revised drawing.
2. An additional tree in front of the office and ivy on the north parking lot perimeter are proposed, see revised drawing. No existing trees or bushes will be removed. It would be difficult to have more than two trees in front of the building.
3. In the 7th Street corridor between Glenwood Ave (South) and Orchard Ave (North), there are 10 commercial properties excluding residential rentals. Out of these 10 properties, 7 have setbacks from the property line similar or less than what we are proposing. Our proposed addition would have the same setback as the American Lutheran Church, our neighbor to the south.
4. See revised drawing.
5. See revised drawing.
6. We feel our parking lot paving project of 1995 enhanced the overall appearance of the property and the landscaping impact was minimal. We removed a 20'x33' section of lawn and also removed an older single car garage. This allowed us to get rid of the existing gravel and dirt. We have redrawn the parking plan on the revised drawing to more effectively satisfy the parking requirements. Our intent is to maintain the overall residential appearance of the property.
7. See above
8. See revised drawing.



City Development Engineer
Jody Kliska

1. See revised drawing.

DRAFT

STAFF REVIEW

FILE: PDR-96-74
DATE: April 29, 1996
STAFF: Kathy Portner
REQUEST: Revision to Final Plan--Veale Insurance
LOCATION: 1406 N. 7th Street
APPLICANT: Sidney Veale

EXISTING LAND USE: Insurance office

PROPOSED LAND USE: Expanded insurance office

SURROUNDING LAND USE:

NORTH: Single Family Residential
SOUTH: Church
EAST: Duplex and Single Family Residential
WEST: Single Family Residential

EXISTING ZONING: PB (Planned Business)

PROPOSED ZONING: No Change

SURROUNDING ZONING:

NORTH: RMF-32
SOUTH: RMF-32
EAST: RMF-32
WEST: RMF-32

RELATIONSHIP TO COMPREHENSIVE PLAN:

No Comprehensive Plan exists for this area. The 7th Street Corridor Guideline indicates the area along 7th Street between Orchard and Bunting Avenue is appropriate for cultural and educational facilities and professional offices, retaining the single family residential scale for all new development.

STAFF ANALYSIS:

DRAFT

In 1987 the property at 1406 N. 7th Street was rezoned from RMF-32 to PB (File #23-87) to allow for the insurance office use. The original plan that was approved included approximately 1100 s.f. of office area and the required 4 parking spaces. The plan retained the footprint of the existing house and the backyard area. The driveway was to be narrowed to 24' wide.

The current proposal is for a 720 s.f. addition to the front of the building along 7th Street. Sometime within the last one or two years the owner paved the parking area, including a large portion of the backyard. The pavement extends to the gravel alley and the curb along Kennedy Avenue.

Setbacks

The required setbacks for homes in the RMF-32 zone are 20' from property line along street frontages, 10' from side property line and 20' from rear property line. The proposed addition scales to be 18' to 19' from the 7th Street property line, 15' from the Kennedy Avenue property line and 6' from the side property line, none of which meet the requirements of the surrounding zoning. In addition to the addition not meeting the frontyard setback along 7th Street, all of the homes along this block of 7th Street are set back much more than the required 20'. More typically, the actual setback is that of the existing building on this site, which is over 40' from property line. Although setbacks were not specified with the original PB zoning, staff suggests it is appropriate to apply the surrounding zoning setbacks as a minimum to maintain the character of the neighborhood.

Parking

The proposed addition would require 3 additional parking spaces, for a total of 7 parking spaces. The aisle width along the alley does not meet the minimum standard and cars are not allowed to back directly into the alley. Space #1 has no maneuvering room to back out and a guy wire appears to be in the middle of the proposed space #5 which would prevent the use of that space and prevent other vehicle circulation. The two proposed parallel spaces would require the adjacent travel lane to be located entirely within the ROW. If sidewalk was ever extended along Kennedy, it would eliminate access to those spaces. The existing driveway has not been narrowed to the required 24'.

Landscaping and Screening

The surrounding RMF-32 zoning requires 20% of the land area to be landscaped. With the landscaping that was eliminated to the rear of the building since the original proposal it's unlikely that this project meets the standard that all the adjoining properties are required to meet. The large expanse of asphalt along Kennedy and to the rear also does not meet the minimum 5% landscaping requirement in parking lots.

STAFF RECOMMENDATION:

Staff finds the proposal to be out of character with the existing residential neighborhood and that it does not conform with the basic setback, landscaping and parking requirements. Staff,

DRAFT

therefore, recommends denial.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on item #PDR-96-74, I move we approve the proposal for a revised final plan with the following conditions:

NOTE: Staff recommendation is to deny the motion.



Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(970) 244-1430 FAX (970) 244-1599

May 23, 1996

Sidney Veale
P.O. Box 1863
Grand Junction, CO 81502

RE: File #PDR-96-74, Veale Insurance Agency Expansion

Dear Mr. Veale:

The proposed expansion of your office at 1406 N. 7th Street was pulled from the May Planning Commission hearing agenda at your request to allow you time to consider alternative designs. Any proposed revisions must be received in our office by 9:00 a.m. on May 28, 1996 for the project to be scheduled for the June 4th Planning Commission hearing. If you need more time and would like to delay until the July 2nd hearing, revised plans must be received in our office no later than 5:00 p.m., June 21st. A \$50.00 re-advertising fee must also be paid at the time you resubmit.

If you have any questions, please call me at 244-1446.

Sincerely,

A handwritten signature in cursive script that reads "Katherine M. Portner".

Katherine M. Portner
Planning Supervisor



Grand Junction Community Development Department
Planning • Zoning • Code Enforcement
250 North Fifth Street
Grand Junction, Colorado 81501-2668
(970) 244-1430 FAX (970) 244-1599

June 24, 1996

Sidney Veale
P.O. Box 1863
Grand Junction, CO 81502

RE: File #PDR-96-74, Veale Insurance Agency Expansion

Dear Mr. Veale:

The proposed expansion of your office at 1406 N. 7th Street was pulled from the May Planning Commission hearing agenda at your request to allow you time to consider alternative designs. In my letter dated May 23, 1996 I outlined deadlines for resubmittal to get on the June or July Planning Commission agenda, with the latter being June 21st. To date we have not received revised plans. We can keep the file active for one more month. If you choose not to have your request heard by Planning Commission at their August, 1996 hearing, the file will be closed and further action will require a complete resubmittal. To be heard by Planning Commission in August, a response to the original comments must be received in our office no later than 5:00 p.m. July 24, 1996. A \$50.00 re-advertising fee must also be paid at the time you resubmit.

If you have any questions, please call me at 244-1446.

Sincerely,

A handwritten signature in cursive script that reads "Katherine M. Portner".

Katherine M. Portner
Planning Supervisor

STAFF REVIEW

FILE: PDR-96-74
DATE: July 31, 1996
STAFF: Kathy Portner
REQUEST: Revision to Final Plan--Veale Insurance
LOCATION: 1406 N. 7th Street
APPLICANT: Sidney Veale

EXISTING LAND USE: Insurance office

PROPOSED LAND USE: Expanded insurance office

SURROUNDING LAND USE:

NORTH: Single Family Residential
SOUTH: Church
EAST: Duplex and Single Family Residential
WEST: Single Family Residential

EXISTING ZONING: PB (Planned Business)

PROPOSED ZONING: No Change

SURROUNDING ZONING:

NORTH: RMF-32
SOUTH: RMF-32
EAST: RMF-32
WEST: RMF-32

RELATIONSHIP TO COMPREHENSIVE PLAN:

No Comprehensive Plan exists for this area. The 7th Street Corridor Guideline indicates the area along 7th Street between Orchard and Bunting Avenue is appropriate for cultural and educational facilities and professional offices, retaining the single family residential scale for all new development.

The draft Growth Plan show this portion of the 7th Street corridor to be residential medium density of 4 to 7.9 units per acre.

STAFF ANALYSIS:

In 1987 the property at 1406 N. 7th Street was rezoned from RMF-32 to PB (File #23-87) to allow for the insurance office use. The original plan that was approved included approximately 1100 s.f. of office area and the required 4 parking spaces. The plan retained the footprint of the existing house and the backyard area. The driveway was to be narrowed to 24' wide.

The current proposal is for a 720 s.f. addition to the front of the building along 7th Street. Sometime within the last one or two years the owner paved the parking area, including a large portion of the backyard. The pavement extends to the gravel alley and the curb along Kennedy Avenue.

Setbacks

The required setbacks for homes in the RMF-32 zone are 20' from property line along street frontages, 10' from side property line and 20' from rear property line. The proposed addition is 19' from the 7th Street property line, 19' from the Kennedy Avenue property line and 7'1" from the side property line, none of which meet the requirements of the surrounding zoning. The City's B-1 zoning, the most equivalent straight zone for office use, also requires a 10' side and rear yard setback if abutting a residential zone or existing residential use. In addition to not meeting the frontyard setback along 7th Street, all of the homes along this block of 7th Street are set back much more than the required 20'. More typically, the actual setback is that of the existing building on this site, which is over 40' from property line. Although setbacks were not specified with the original PB zoning, staff suggests it is appropriate to apply the surrounding zoning setbacks as a minimum to maintain the character of the neighborhood.

Parking

The proposed addition would require 3 additional parking spaces, for a total of 7 parking spaces. The revised plan shows 9 spaces provided behind the building. The layout of the parking lot functions much better than what currently exists on site. However, additional area for landscaping could be provided by deleting the two additional spaces and narrowing the aisle width to the required 25'. Landscaping could then be added along the west line of parking spaces and the width of the landscaping along the north property line could be increased, providing for additional backing room for the last parking spaces. Also, by eliminating two spaces, additional landscaping could be provided on the property, rather than just in the ROW, along the front of the parking lot adjacent to Kennedy Avenue.

The bike rack cannot be located in the ROW. It could be moved to an area next to the building. Landscaping in the ROW where sidewalk might be extended should be limited to sod. The proposed shrubs should be moved back and must be of a variety that will not exceed 30" in height within the sight distance triangle. The parking lot must include a 4' screen fence and/or landscaping along the north and east property lines.

Landscaping and Screening

The surrounding RMF-32 zoning requires 20% of the land area to be landscaped. With the landscaping that was eliminated to the rear of the building since the original proposal it's unlikely that this project meets the standard that all the adjoining properties are required to meet. The large expanse of asphalt existing along Kennedy and to the rear also does not meet the minimum 5% landscaping requirement in parking lots.

The revised plan greatly enhances the front view of the site by eliminating the asphalt beside the building on Kennedy Avenue and providing landscaping. The additional landscaping suggested above for the parking lot would further enhance the site.

STAFF RECOMMENDATION:

In considering whether to approve the revised plan we have to consider whether it is compatible with the surrounding area. The business use has already been allowed and now the consideration is design and traffic impact related. Staff feels the additional traffic impacts are insignificant given the small increase and the corner location of the property. Design-wise, many of the revisions are an enhancement to the property, with the additional recommendations made by staff. The final consideration is whether the addition should be allowed with lesser setbacks than what would be allowed in the surrounding zoning.

The sideyard setback of the building was established long ago and has apparently not been a concern to the neighboring property owner. The proposed addition is being pulled back an additional 2' from the property line. However, staff feels the required 20' setback from property line along 7th Street should be maintained.

Staff recommends approval of the revised final plan with the following conditions:

1. The front yard setback along 7th Street be maintained at 20'. The setback from the north property line and south property line shall be as proposed at 7'1" and 19' respectively.
2. Sidewalk, if required by City Engineering, shall be provided along Kennedy Avenue. If required, the cost of the sidewalk shall be a credit to the required Transportation Capacity Payment.
3. The bike rack shall be moved out of the ROW to a location near the building to be approved by staff.
4. A total of 7 parking spaces shall be provided and the aisle width shall be reduced to the required 25'. The additional area shall be landscaped to be approved by staff.
5. All landscaping shall meet the sight distance triangle requirements.

6. A 4' fence and/or landscaping shall be provided along the east and north sides of the parking lot.
7. A Power of Attorney for future alley improvements shall be required.

RECOMMENDED PLANNING COMMISSION MOTION:

Mr. Chairman, on item #PDR-96-74, I move we approve the proposal for a revised final plan subject to the staff conditions.

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE
SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

Lots 31 and 32 in
Block 1
ELM AVENUE SUBDIVISION
MESA COUNTY, COLORADO

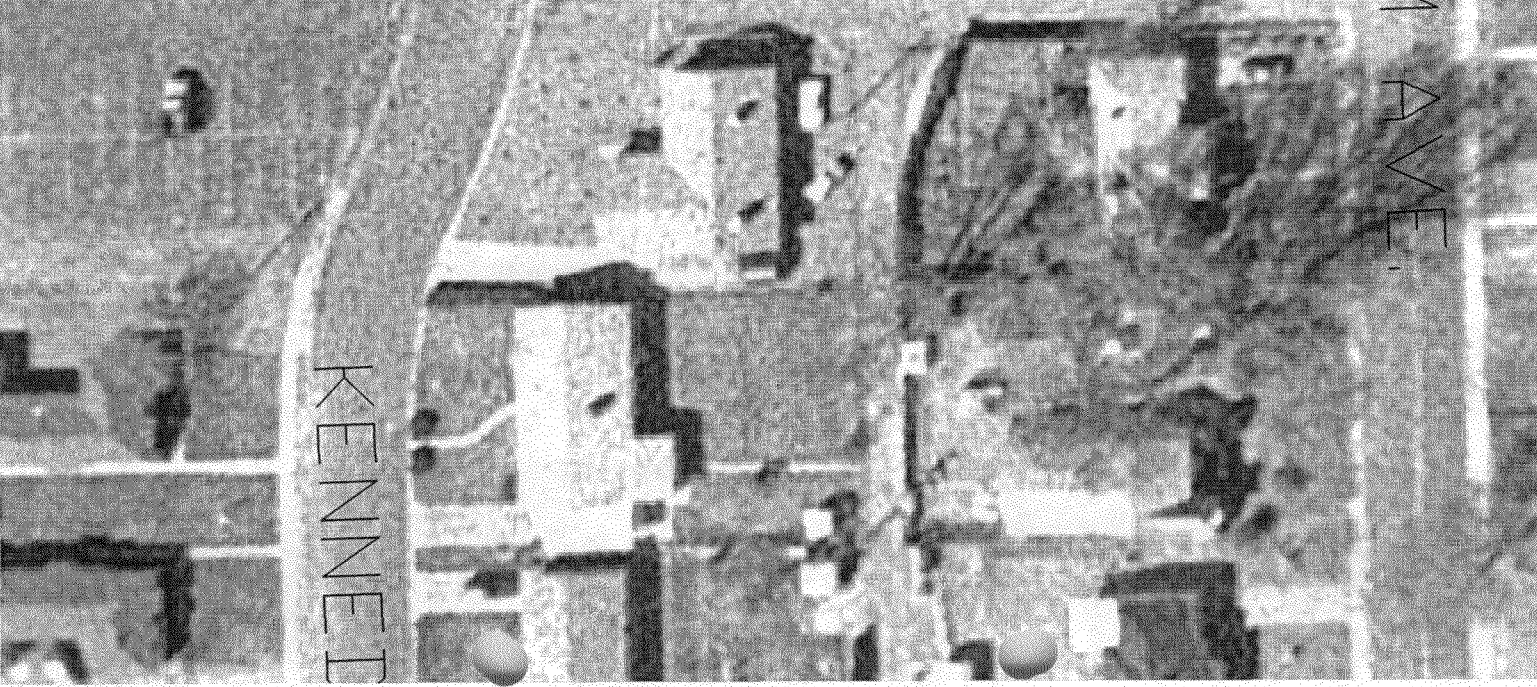
PDR-96-74



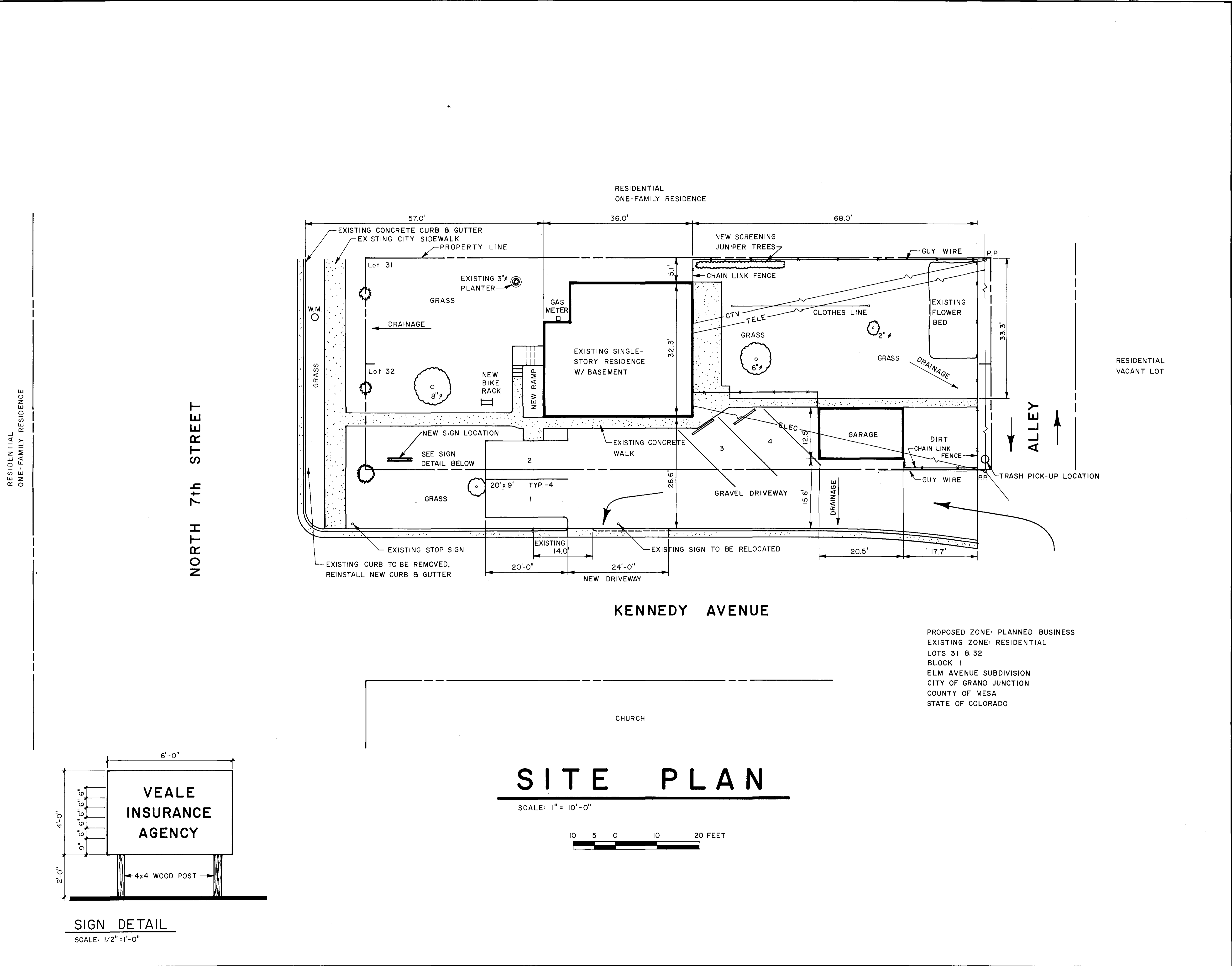
7th STREET



ELM AVE.



KENNEDY



RESIDENTIAL ONE-FAMILY RESIDENCE

NORTH 7th STREET

RESIDENTIAL ONE-FAMILY RESIDENCE

RESIDENTIAL VACANT LOT

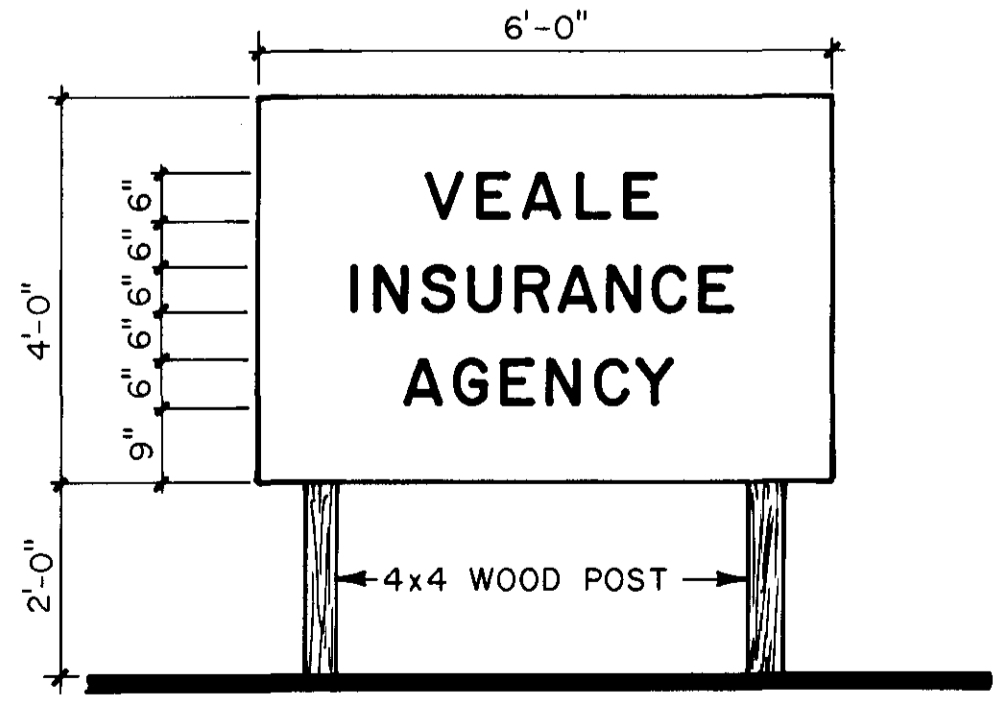
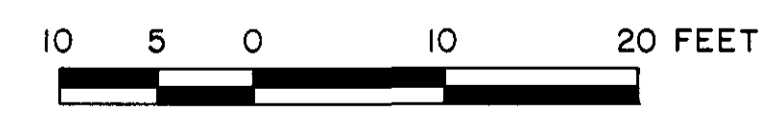
KENNEDY AVENUE

CHURCH

PROPOSED ZONE: PLANNED BUSINESS
 EXISTING ZONE: RESIDENTIAL
 LOTS 31 & 32
 BLOCK 1
 ELM AVENUE SUBDIVISION
 CITY OF GRAND JUNCTION
 COUNTY OF MESA
 STATE OF COLORADO

SITE PLAN

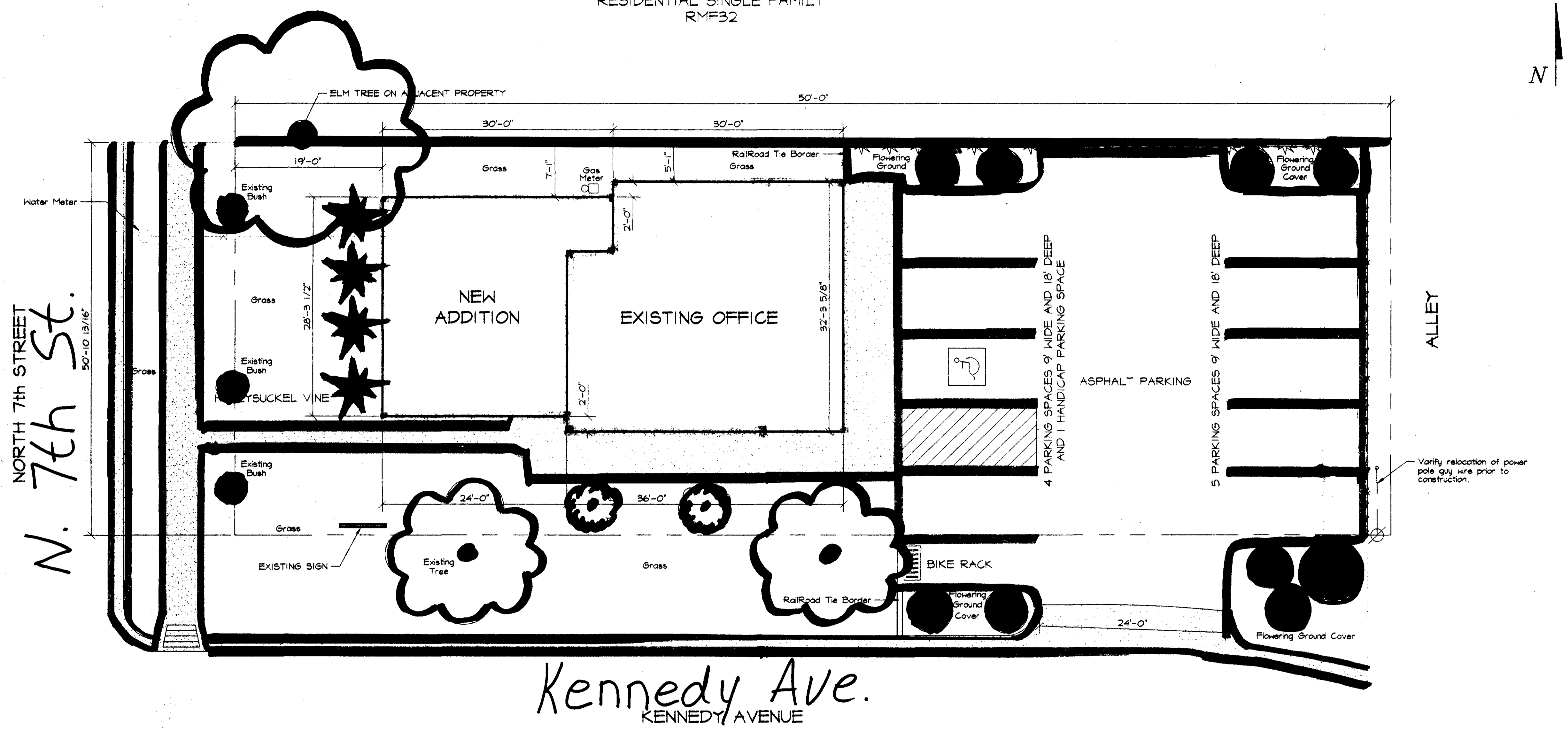
SCALE: 1" = 10'-0"



SIGN DETAIL
 SCALE: 1/2" = 1'-0"

PDR-96-74

RESIDENTIAL SINGLE FAMILY
RMF32



RESIDENTIAL SINGLE FAMILY
RMF32

NORTH 7th STREET
N. 7th St.
50'-10 13/16"

Kennedy Ave.
KENNEDY AVENUE

CHURCH
RMF32

SITE/LANDSCAPE/PARKING PLAN
SCALE: 1"=10'-0"

LANDSCAPING LEGEND

	HONEYSUCKEL VINE (Located along fence @ parking lot)	32
	TAM JUNIPER	4
	FORSYTHIA	2
	PURPLE AND/OR WHITE LILAC	9
	NEW MEXICAN LOCUST TREE	2

EXISTING BUSHES AND TREES ARE SO NOTED.

REVISIONS	BY

VEALE INSURANCE AGENCY
1406 No. 7th Street
Grand Junction, CO. 81502

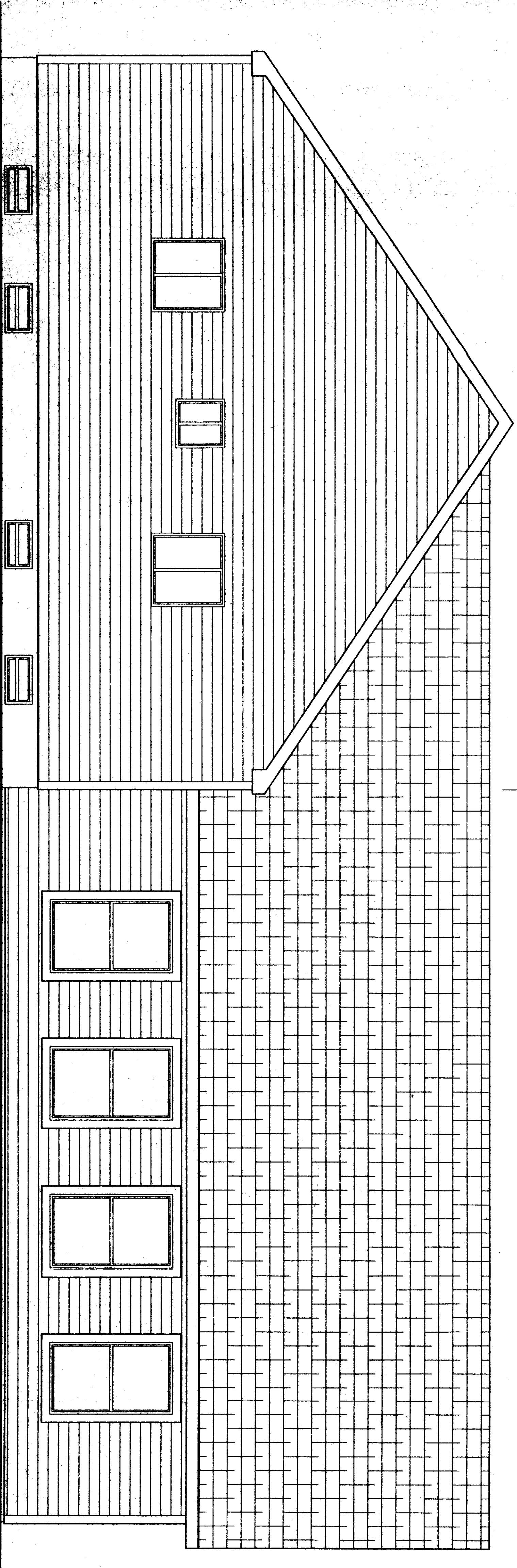
Sid Veale
1406 No. 7th Street
Grand Junction, CO. 81502
(970) 243-9012

JMK & Associates
485 1/2 Fruitwood Dr.
Grand Junction, CO. 81504
(970) 434-5818

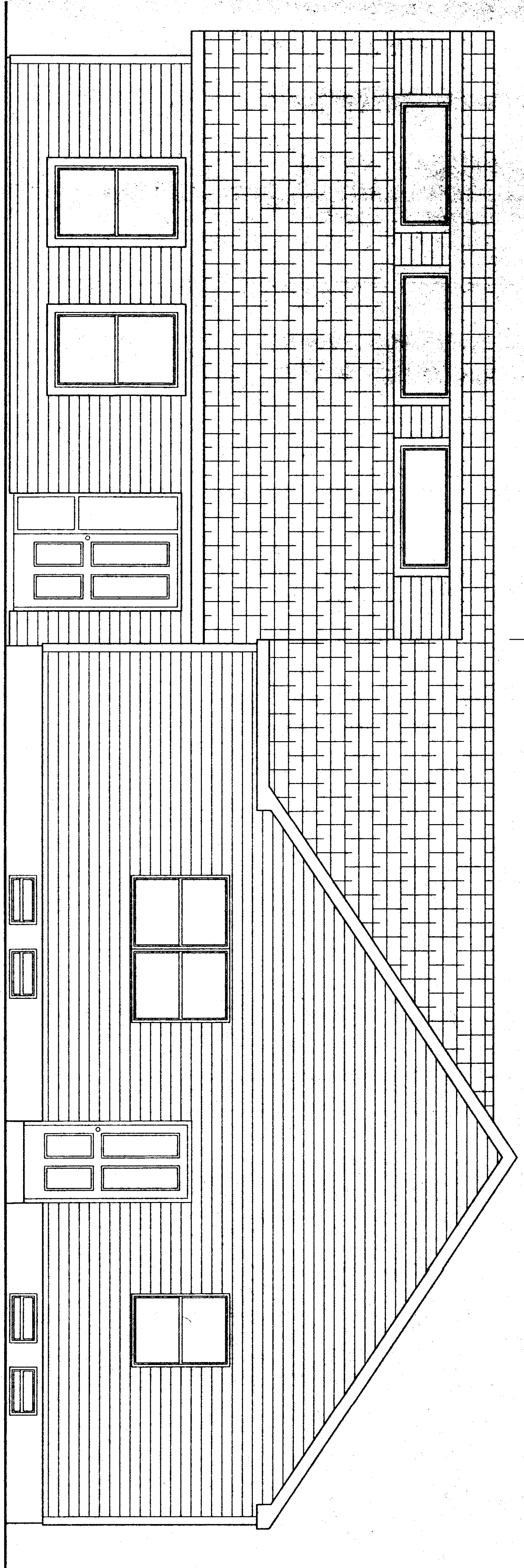
Date: 7/5/96
Scale: 10 scale
Drawn: JMK
Sheet: P-1
Of: 1

PDR-1996-074

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



NORTH ELEVATION
SCALE: 3/8"=1'-0"



SOUTH ELEVATION
SCALE: 3/8"=1'-0"

Drawn	JMK
Scale	3/8"=1'
Date	7/24/96
Sheet	A-2

JMK & Associates
485 1/2 Fruitwood Dr.
Grand Junction, CO. 81504
(970) 434-5818

Sid Veale
1406 No. 7th Street
Grand Junction, CO. 81502
(970) 243-9012

VEALE INSURANCE AGENCY
1406 No. 7th Street
Grand Junction, CO. 81502

REVISIONS	BY

PDR-1996-074