



DEVELOPMENT APPLICATION

Community Development Department
 250 North 5th Street, Grand Junction, CO 81501
 (303) 244-1430

Receipt _____
 Date _____
 Rec'd By _____
 File No. RP-96-171

We, the undersigned, being the owners of property situated in Mesa County, State of Colorado, as described herein do hereby petition this:

| PETITION | PHASE | SIZE | LOCATION | ZONE | LAND USE |
|---|---|----------------|----------------------------|-----------|--|
| <input checked="" type="checkbox"/> Subdivision Plat/Plan | <input type="checkbox"/> Minor <input type="checkbox"/> Major <input checked="" type="checkbox"/> Resub | 34,145 sq. ft. | 573 South Commercial Drive | | |
| <input type="checkbox"/> Rezone | | | | From: To: | |
| <input type="checkbox"/> Planned Development | <input type="checkbox"/> ODP <input type="checkbox"/> Prelim <input type="checkbox"/> Final | | | | |
| <input type="checkbox"/> Conditional Use | | | | | |
| <input type="checkbox"/> Zone of Annex | | | | | |
| <input type="checkbox"/> Variance | | | | | |
| <input type="checkbox"/> Special Use | | | | | |
| <input type="checkbox"/> Vacation | | | | | <input type="checkbox"/> Right-of Way <input type="checkbox"/> Easement |
| <input type="checkbox"/> Revocable Permit | | | | | |

| <input checked="" type="checkbox"/> PROPERTY OWNER | <input checked="" type="checkbox"/> DEVELOPER | <input checked="" type="checkbox"/> REPRESENTATIVE |
|--|---|--|
| MCCALLUM FAMILY, LLC | SAME | TPI |
| Name 552 25 ROAD | Name | Name 552 25 ROAD |
| Address GRAND JUNCTION, CO 81505 | Address | Address GRAND JUNCTION, CO |
| City/State/Zip 243-4642 | City/State/Zip | City/State/Zip 243-4642 |
| Business Phone No. | Business Phone No. | Business Phone No. |

NOTE: Legal property owner is owner of record on date of submittal.

We hereby acknowledge that we have familiarized ourselves with the rules and regulations with respect to the preparation of this submittal, that the foregoing information is true and complete to the best of our knowledge, and that we assume the responsibility to monitor the status of the application and the review comments. We recognize that we or our representative(s) must be present at all required hearings. In the event that the petitioner is not represented, the item will be dropped from the agenda, and an additional fee charged to cover rescheduling expenses before it can again be placed on the agenda.

[Signature] _____ Date 7-26-96

MCCALLUM FAMILY, LLC
[Signature], MANAGER _____ Date 7-26-96

Signature of Property Owner(s) - attach additional sheets if necessary

SUBMITTAL CHECKLIST

RESUBDIVISION / SITE PLAN REVIEW

Location: 573 SOUTH COMMERCIAL DRIVE

Project Name: _____

| ITEMS | | DISTRIBUTION | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|---|----------------|------------------------------|------------------|---------------------|-----------------------|-------------------------|------------------------|-----------------|--------------------------|----------------------------|---------------|-------------------|----------------------|----------------|--------------------|-----------------------|---------------------|------------------------|------------------|-------------|------------------|--------|--------|----------------------|------------------------------|-----------------------|----------------|-------------|--------------|
| Date Received | SSID REFERENCE | ● City Community Development | ● City Dev. Eng. | ● City Utility Eng. | ● City Property Agent | ○ City Parks/Recreation | ● City Fire Department | ● City Attorney | ○ City G.J.P.C. (8 sets) | ○ City Downtown Dev. Auth. | ● City Police | ○ County Planning | ● County Bldg. Dept. | ○ Walker Field | ○ School Dist. #51 | ○ Irrigation District | ● Drainage District | ● Water District - Ute | ○ Sewer District | ● U.S. West | ● Public Service | ○ GVRP | ○ CDOT | ○ Corps of Engineers | ○ Colorado Geological Survey | ○ U.S. Postal Service | ○ Persigo WWTF | ○ TCI Cable | TOTAL REQ'D. |
| DESCRIPTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Application Fee \$160 | VII-1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Submittal Checklist* | VII-3 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Review Agency Cover Sheet* | VII-3 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| ● Application Form* | VII-1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 8 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| ● Reduction of Assessor's Map | VII-1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 8 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| ● Evidence of Title | VII-2 | 1 | | | 1 | | | 1 | | | | | | | | | | | | | | | | | | | | | |
| ○ Appraisal of Raw Land | VII-1 | 1 | | | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | |
| ● Names and Addresses* | VII-2 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Legal Description* | VII-2 | 1 | | | 1 | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Deeds | VII-1 | 1 | | | 1 | | | 1 | | | | | | | | | | | | | 1 | 1 | 1 | | | | | | |
| ○ Easements | VII-2 | 1 | 1 | 1 | 1 | | | 1 | | | | | | | | | | | | | 1 | 1 | 1 | | | | | | |
| ○ Avigation Easement | VII-1 | 1 | | | 1 | | | 1 | | | | | | 1 | | | | | | | | | | | | | | | |
| ○ ROW | VII-3 | 1 | 1 | 1 | 1 | | | 1 | | | | | | | | | | | | | 1 | 1 | 1 | | | | | | |
| ○ Covenants, Conditions, & Restrictions | VII-1 | 1 | 1 | | | | | 1 | | | | | | | | | | | | | | | | | | | | | |
| ○ Common Space Agreements | VII-1 | 1 | 1 | | | | | 1 | | | | | | | | | | | | | | | | | | | | | |
| ● County Treasurer's Tax Cert. | VII-1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Improvements Agreement/Guarantee* | VII-2 | 1 | 1 | 1 | | | | 1 | | | | | | | | | | | | | | | | | | | | | |
| ○ CDOT, 404, or Floodplain Permit | VII-3,4 | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● General Project Report | X-7 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 8 | 1 | 1 | 1 | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| ○ Location Map | IX-21 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Composite Plan (utility composite) | IX-10 | 1 | 2 | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ 11"x17" Reduction Composite Plan | IX-10 | 1 | | | 1 | 1 | 1 | 1 | 8 | 1 | 1 | 1 | 1 | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| ● Final Plat | IX-15 | 1 | 2 | 1 | 1 | 1 | 1 | 1 | 8 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 |
| ○ 11"x17" Reduction of Final Plat | IX-15 | 1 | | | | | | | 8 | 1 | 1 | 1 | | | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | | | | 1 | | | |
| ○ Cover Sheet | IX-11 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Grading & Stormwater Mgmt Plan | IX-17 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | 1 | | | | |
| ○ Storm Drainage Plan and Profile | IX-30 | 1 | 2 | | | | | | | | | | | | | | 1 | | | | 1 | 1 | 1 | | | | | | 1 |
| ○ Water and Sewer Plan and Profile | IX-34 | 1 | 2 | 1 | | | | | | | | | | | | | 1 | 1 | 1 | 1 | 1 | 1 | | | | | 1 | 1 | |
| ○ Roadway Plan and Profile | IX-28 | 1 | 2 | | | | | | | | | | | | | | 1 | | | | | | | | | | | | |
| ○ Road Cross-sections | IX-27 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Detail Sheet | IX-12 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Landscape Plan | IX-20 | 2 | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Geotechnical Report | X-8 | 1 | 1 | | | | | | | | | | | 1 | | | | | | | | | | | | | | | 1 |
| ○ Phase I & II Environmental Report | X-10,11 | 1 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Final Drainage Report | X-5,6 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Stormwater Management Plan | X-14 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | | 1 | | | |
| ○ Sewer System Design Report | X-13 | 1 | 2 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Water System Design Report | X-16 | 1 | 2 | 1 | | | | | | | | | | | | | | | | | | | | | | | | | |
| ○ Traffic Impact Study | X-15 | 1 | 2 | | | | | | | | | | | | | | | | | | | | | | | | | | |
| ● Site Plan | IX-29 | 1 | 2 | 1 | 1 | | 1 | | 8 | 1 | 1 | | | | | | 1 | 1 | | 1 | 1 | | | | | | | | |

TOTAL REQ'D. 13

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 5-30-96

Conference Attendance: D. Smuin; C. McCallum; M. Drollinger

Proposal: Resub./ Office - Warehouse Bldg.

Location: 513 S. Commercial Drive

Tax Parcel Number: 2945-102-23 - 001 to 006

Review Fee: \$160

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? -

Adjacent road improvements required? As per engineering

Area identified as a need in the Master Plan of Parks and Recreation? No

Parks and Open Space fees required? No

Estimated Amount: _____

Recording fees required? Yes, for plat

Estimated Amount: _____

Half street improvement fees/TCP required? TCP

Estimated Amount: _____

Revocable Permit required? No

State Highway Access Permit required? No

On-site detention/retention or Drainage fee required? Drainage Fee

Applicable Plans, Policies and Guidelines Devl. Code

Located in identified floodplain? FIRM panel # _____

Located in other geohazard area? No

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? No

Avigation Easement required? No

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking
- Screening/Buffering
- Land Use Compatibility
- Drainage
- Landscaping
- Traffic Generation
- Floodplain/Wetlands Mitigation
- Availability of Utilities
- Geologic Hazards/Soils
- Other _____

Related Files: NONE

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

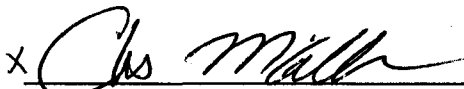
In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

X

Signature(s) of Petitioner(s)

X 

Signature(s) of Representative(s)

Bud Blaney
204 North 4th Street
Grand Junction, CO 81501

Lynn Thompson
936 Teller Aveneu
Grand Junction, CO 81501

Kent S. Kalvar
127 East Alcove Drive
Grand Junction, CO 81503

Howard Jensen
288 Cedar Street
Grand Junction, CO 81503

Lee F. Jensen
610 Wagon Trail Drive
Grand Junction, CO 81503

Carl A. Hardrick
1277 O 1/2 Road
Loma, CO 81524

Leroy Jensen
2313 I Road
Grand Junction, CO 81505

Andrew Peroulis
Box 683
Craig, CO 81626

Timothy R. Markley
2785 Monroe Court
Grand Junction, CO 81503

Glenn D. Pritchard
Box 2006
Grand Junction, CO 81502

Dennis H. Eschliman
2246 Lamplight Court
Grand Junction, CO 81503

Myrl Rumsey
1935 Broadway
Grand Junction, CO 81503

Dan F. Moore
2122 Monteagle Street
Colorado Springs, CO 80909

Calvin D. Roberts
1655 County Road 247
New Castle, CO 81647

McCallum Family LLC
552 25 Road
Grand Junction, CO 81505

Ute Water Conservancy
District
560 25 Road
Grand Junction, CO 81505

City of Grand Junction
Community Development Dept.
250 N 5th St.
Grand Junction, CO 81501

GENERAL PROJECT REPORT

PROJECT LOCATION: 573 SOUTH COMMERCIAL DRIVE
GRAND JUNCTION, CO 81505

PROJECT NAME: COMMONWEALTH BUSINESS PARK

DATE OF REPORT: JULY 24, 1996

THE PROJECT IS LOCATED IN MESA COUNTY, GRAND JUNCTION, COLORADO ON APPROXIMATELY .9 ACRES BETWEEN SOUTH COMMERCIAL DRIVE TO THE WEST, SOUTH WESTGATE DRIVE TO THE EAST AND NORTHGATE DRIVE ON THE NORTH.

THE PROPOSED USE OF THE PROJECT WILL BE FIVE COMMERCIAL RENTAL UNITS. THE ADDITIONAL SERVICE LOCATIONS WILL BENEFIT CONSUMERS IN THE WEST AREA OF THE VALLEY. ALL SURROUNDING PROPERTIES IN THE AREA ARE COMMERCIAL IN NATURE. THIS PROJECT WILL BE COMPATIBLE WITH THE EXISTING PROPERTIES AND SHALL BE IN COMPLIANCE WITH THE CITY OF GRAND JUNCTION ZONING STANDARDS.

THE SITE ACCESS WILL BE ON EXISTING ROADWAYS. ALL UTILITIES, INCLUDING ADEQUATE FIRE LINES, ARE PRESENTLY ON THE PROPERTY. SPECIAL DEMANDS ON UTILITIES OR LOCAL PUBLIC FACILITIES WILL NOT BE EXPECTED, NOR WILL THERE BE ANY NEGATIVE IMPACT ON SITE SOILS OR GEOLOGY.

THE HOURS OF OPERATION WILL BE DETERMINED BY THE TENANTS.

SIGNAGE PLANS ARE TO BE PERMITTED UPON APPROVAL BY CITY SIGN CODE COMPLIANCE.

CONSTRUCTION AND SITE IMPROVEMENT ARE TO BE COMPLETED IN ONE PHASE FROM AUGUST 15, 1996 TO NOVEMBER 15, 1996.



STEVE MCCALLUM
TPI
552 25 ROAD
GRAND JUNCTION, CO 81505
243-4642

David ~~Brown~~ Smith
242-4454

REVIEW COMMENTS

Page 1 of 3

Call Hank
Call Dave Slason
Teds Manual
screen sides only

FILE #RP-96-171

TITLE HEADING: Commonwealth Subdivision

LOCATION: 573 S Commercial Drive

PETITIONER: McCallum Family LLC

PETITIONER'S ADDRESS/TELEPHONE: 552 25 Road
Grand Junction, CO 81505
243-4642

PETITIONER'S REPRESENTATIVE: Chris McCallum

STAFF REPRESENTATIVE: Mike Pelletier

NOTE: PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

CITY COMMUNITY DEVELOPMENT

8/8/96

Mike Pelletier

244-1451

1. The site plan generally looks good. Be sure and call for clarification of the following.
2. Provide a percentage of how much office and how much warehouse you anticipate. This is necessary to make sure there is enough parking provided.
3. The parking lot dimensions do not appear to meet Code size requirements. The depth between the aisle way edge and the end of the parking stall needs to be 21 feet if the 45 degree parking is to be used. Currently, 17 feet is shown. *Verify w/ TEPs page 50*
4. The 12' asphalt "alley" between the proposed lot 1 and existing lots 7 & 8 creates a problem since it straddles the property line and there is common ownership of these lots. . An ingress/egress easement is necessary to safeguard the legal right to the full 12' "alley" for future property owners. According to Tim Woodmansee, City Property Agent, there is legal restrictions to separately dedicating an easement on lots 7 & 8 due to the ownership situation. Tim suggests adding lots 7 & 8 to this replat and dedicating an ingress/egress easement for present and future owners of the replatted lots for public service uses including police, fire, sanitation, and emergency vehicles.
5. Label on the site plan where the bicycle rack is being located.
6. The landscape plan looks very good as proposed. However, how will the landscape areas keep the bark and washed gravel from getting into the private and public roadways? What's going in the island on the southeast corner of the parking lot? Also, the landscape calculation box on the landscape plan is incorrect. The Development Code requires that the entire right-of-way area be landscaped. While the site plan does this, the landscape calculation box should reflect this requirement.

gravel situation is OK

CITY DEVELOPMENT ENGINEER

8/9/96

Jody Kliska

244-1591

1. The proposed alley appears to partially on the adjoining parcel. Perhaps the plat should include the parcels to the south as well.
2. There is no easement provided on the plat for the alley. It appears an ingress/egress easement should be provided to allow adjoining properties to use it.
3. Please provide the calculations for the drainage fee based on the proposed plan. The calculation is detailed in the SWMM manual and the Zoning and Development Code.
4. The parking appears to be too narrow. Section 5-5-1 of the Zoning and Development Code provides a table of dimensions for parking at various angles. Please dimension the parking so there is no mistake on the dimensions.

5. JCP = \$2,196.00

CITY UTILITY ENGINEER

8/9/96

Trent Prall

244-1590

Good submittal. No objections.

CITY PROPERTY AGENT

8/14/96

Steve Pace

256-4003

It appears, by looking at the site plan, that there needs to be dedicated right-of-way along the south line of Lot 1.

CITY FIRE DEPARTMENT

8/12/96

Hank Masterson

244-1414

In reference to Mike Pelletier's comments regarding the alley shared by proposed lot 1 and lots 7&8: this alley must be a minimum of 20' wide for emergency access to the south side of the proposed office/warehouse.

CITY POLICE DEPARTMENT

8/12/96

Dave Stassen

244-3587

The lighting appears to be well planned. I would strongly suggest that the chain link storage areas be left transparent with no screening.

UTE WATER

8/12/96

Gary Mathews

242-7491

1. Contact with Ute Water is needed to discuss backflow prevention, if a sprinkler system is required.
2. Construction plans required 48 hours before development begins.
3. Policies and fees in effect at the time of application will apply.

GRAND JUNCTION DRAINAGE DISTRICT

8/5/96

John Ballagh

242-4343

The nearest Grand Junction Drainage District facility is the open drain ditch known as the Buthorn Drain which is south of the Ute Water property which is directly south of Pinyon Avenue from this site. Surface runoff from the site does flow into the Buthorn Drain.

MESA COUNTY BUILDING DEPT.

8/5/96

Bob Lee

244-1656

No comments.

U S WEST

8/12/96

Max Ward

244-4721

For timely telephone service, as soon as you have a plat and power drawing for your development, please....

MAIL COPY TO:

U S West Communications

ATTN: Max Ward

P.O. Box 2688

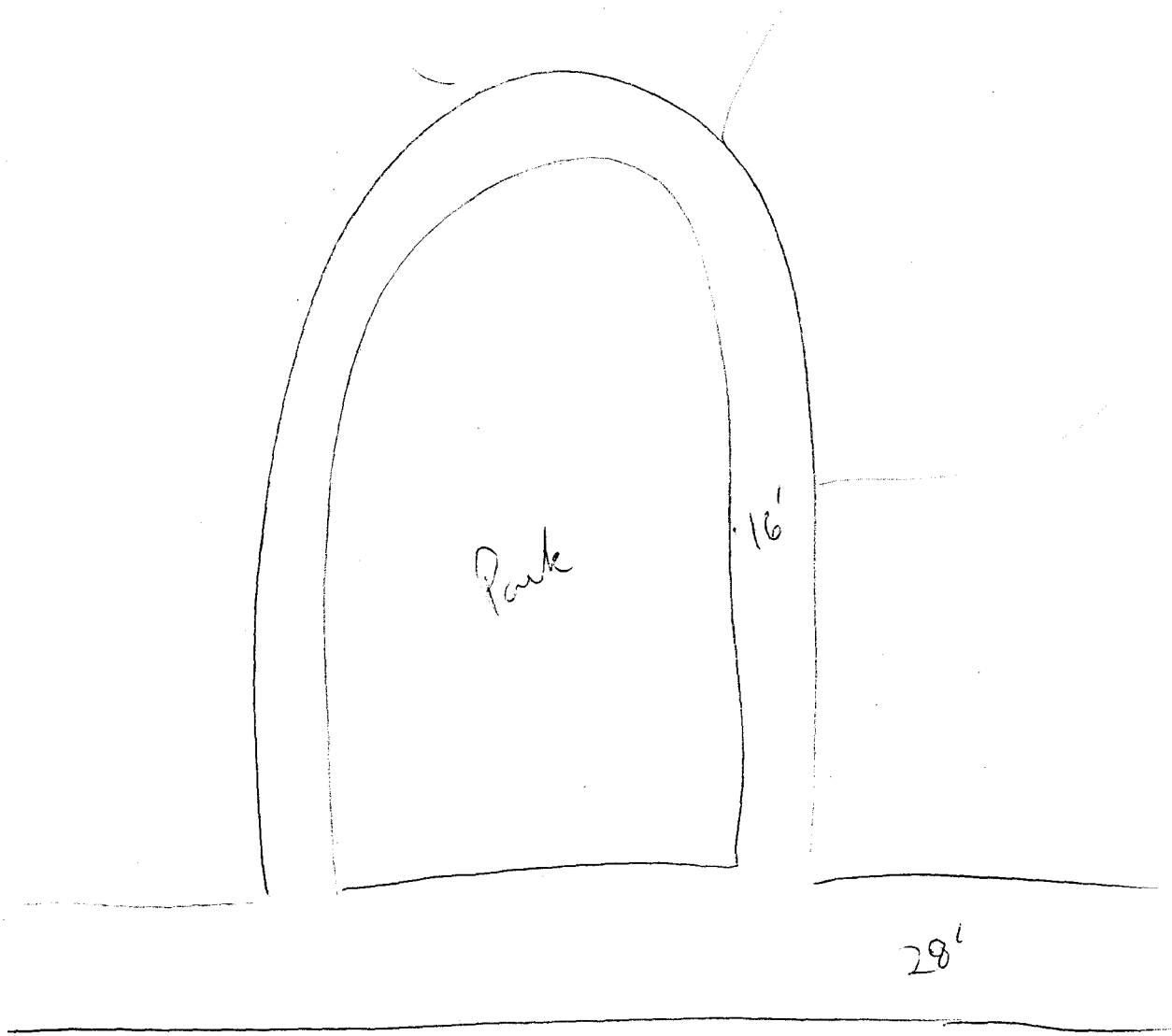
Grand Junction, CO 81505

We need to hear from you at least 60 days prior to trenching.

TO DATE, NO COMMENTS RECEIVED FROM:

City Attorney

Public Service Company



Pavle

16'

28'

Screen
only
east/west sides
not south
Tell David ✓
S.

Istle width
needs to be 21 ✓

Comment Response Letter

File #RP-96-171

August 28, 1996

Location: 573 South Commercial Drive

Petitioner: McCallum Family LLC
552 25 Road
Grand Jct. CO 81505
243-4642

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

SEP 11 1996

Petitioner's Representative: Chris McCallum

Staff Representative: Mike Pelletier, Community Development Dept.

Community Development Department
Mike Pelletier

Comment: The site plan generally looks good. Be sure and call for clarification of the following.
Response: A meeting was held with Mr. Pelletier to discuss the comments on August 26, 1996

Comment: Provide a percentage of how much office and how much warehouse you anticipate. This is necessary to make sure there is enough parking provided.

Response: The parking calculations on the parking and lighting plan have been amended to show the requested information. The office space will comprise about 17% of the building; however, as a worst case scenario, the parking was calculated based on 100% office space. This was done because until the building is actually leased, the number of employees in each warehouse unit will not be known.

OK

Comment: The parking lot dimensions do not appear to meet Code size requirements. The depth to wall should be 21 ft if the 45 degree parking is to be used. Currently, 17 feet is shown.

Response: The City Transportation Manual (TEDS) was used for the parking dimensions based on instructions to use TEDS for transportation related planning received upon purchase of the manual. However, because the Code apparently supersedes the TEDS manual, the parking dimensions were changed to Code. May I suggest that the City either revise TEDS or send out clarification to all owners of TEDS manuals stating that the Code supersedes TEDS.

OK

Comment: The 12' asphalt alley between the proposed lot 1 and existing lots 7&8 creates a problem since it straddles the property line and there is common ownership of these lots. An ingress/egress easement is necessary to safeguard the legal right to the full 12' alley for future property owners. According to Tim Woodmansee, City Property Agent, there are legal restrictions to separately dedicating an easements on lots 7&8 due to the ownership situation. Tim suggests adding lots 7&8 to the replat and dedicating an ingress/egress easement for present and future owners of the replatted lots for public service uses.

OK needs signature
have preprint agent review

Response: An ingress/egress easement will be dedicated as requested.

OK **Comment:** Label on the site plan where the bicycle rack is being located.
Response: The bicycle rack has been labeled as requested.

Comment: The landscape plan looks very good as proposed. However, how will the landscape areas keep the bark and washed gravel from getting into the private and public roadways? What's going in the island on the S.E. corner of the parking lot? Also, the landscape calculation box on the landscape plan is incorrect. The Development Code requires that the entire R.O.W. area be landscaped. While the plan does this, the landscape calculation box should reflect this requirement.

OK **Response:** A cross section has been added to the plan showing that the landscape bark and gravel will meet all edges of roadways on the level. This configuration will prevent landscape surface materials from washing into the roadways. The parking island was inadvertently left blank. It has now been filled in. The landscape calculation box has been changed to reflect the R.O.W. landscape requirement.

City Development Engineer
Jody Kliska

Comment: The proposed alley appears to partially on the adjoining parcel. Perhaps the plat should include the parcels to the south as well.

Response: The alley is to be shared access and will be dedicated as an ingress/egress easement.

Comment: There is no easement provided on the plat for the alley. It appears an ingress/egress easement should be provided to allow adjoining properties to use it.

Response: The alley will be dedicated as an ingress/egress easement

Comment: Please provide the calculations for the drainage fee based on the proposed plan. The calculation is detailed in the SWMM and the Zoning and Development Code.

Response: Drainage fee calculations have been added to the Drainage Plan.

Comment: The parking appears to be too narrow. Section 5-5-1 of the Zoning and Development Code provides a table of dimensions for parking at various angles. Please dimension the parking so there is no mistake on the dimensions.

Response: The parking dimensions have been changed per Section 5-5-1. See response to Pelletier Comment 3 above.

City Utility Engineer
Trent Prall

Comment: Good submittal. No objections.

Response: No response required.

City Property Agent
Steve Pace

Comment: It appears, by looking at the site plan, that there needs to be dedicated R.O.W. along

the south boundary of lot 1.
Response: An ingress/egress easement will be dedicated along this boundary.

City Fire Department
Hank Masterson

Comment: In reference t Mike Pelletier's comments regarding alley shared by lot 1 and lots 7&8; this alley must be a minimum of 20' wide for emergency access to the south side of the proposed office/warehouse.

Response: After conferring with Mr. Masterson, Mr. Pelletier has okayed the proposed 12' wide alley.

City Police Department
Dave Stassen

Comment: The lighting appears to be well planned. I would strongly suggest that the chain link storage areas be left transparent with no screening.

Response: The Code requires all storage areas greater than 150 sq.ft. to be screened; however, after conferring with other planners and Mr. Stassen, Mr. Pelletier has determined to screen only the ends of the storage, leaving the south side and the partitions transparent for security reasons. The plan has been changed accordingly.

Ute Water
Gary Mathews

Comment: Contact with Ute Water is needed to discuss backflow prevention, if a sprinkler system is required.

Response: Ute Water will be contacted to determine backflow prevention prior to installation of a sprinkler system, if one is installed.

Comment: Construction plans required 48 hours before development begins.

Response: Plans will be provided as requested.

Comment: Policies and fees in effect at the time of application will apply.

Response: No response required.

Grand Junction Drainage District
John Ballagh

Comment: The nearest Grand Junction Drainage District facility is the open drain known as the Buthorn Drain which is south of the Ute Water property which is directly south of Pinyon Ave from this site. Surface runoff from the site does flow into the Buthorn Drain.

Response: As shown on the existing drainage plan, drainage from the site flows north to Westgate Avenue and then west to 25 Road. This condition has been confirmed by field observations.

Mesa County Building Department
Bob Lee

Comment: No comments.
Response: No response required.

US West
Max Ward

Comment: For timely telephone service, as soon as you have a plat and power drawing for your development, please....
MAIL COPY TO:
U.S. West Communications
Attn: Max Ward
P.O. Box 2688
Grand Jct. CO 81505

We need to hear from you at least 60 days prior to trenching.

Response: The telephone company will be contacted as soon as site plan clearance is received.

CITY OF GRAND JUNCTION
DEPARTMENT OF PUBLIC WORKS & UTILITIES
250 NORTH 5TH STREET
GRAND JUNCTION, CO 81501
(970) 244-4003

TO THE MESA COUNTY CLERK & RECORDER:

THIS IS TO CERTIFY that the herein named Subdivision Plat,

Commonwealth Subdivision

Situated in the NW 1/4 of Section 10,

Township 1 South, Range 1 West,

of the UTE Meridian in the City of Grand Junction, County of Mesa, State of Colorado, has been reviewed under my direction and, to the best of my knowledge, satisfies the requirements pursuant to C.R.S. 38-51-106 and the Zoning and Development Code of the City of Grand Junction for the recording of subdivision plats in the office of the Mesa County Clerk and Recorder.

This certification makes no warranties to any person for any purpose. It is prepared to establish for the County Clerk and Recorder that City review has been obtained. This certification does not warrant: 1) title or legal ownership to the land hereby platted nor the title or legal ownership of adjoining; 2) errors and/or omissions, including, but not limited to, the omission(s) of rights-of-ways and/or easements, whether or not of record; 3) liens and encumbrances, whether or not of record; 4) the qualifications, licensing status and/or any statement(s) or representation(s) made by the surveyor who prepared the above-named subdivision plat.

Dated this 27 day of September, 1996.

City of Grand Junction,
Department of Public Works & Utilities

By: James L. Shanks
James L. Shanks, P.E., P.L.S.
Director of Public Works & Utilities

Recorded in Mesa County

Date: _____

Plat Book: _____ Page: _____

Drawer: _____

CERTIFICATE OF OCCUPANCY
CITY OF GRAND JUNCTION/MESA COUNTY, COLORADO
BUILDING DEPARTMENT

Permit Number: 61040

09/22/97

Units: 0 Permit Type: B Jurisdiction: GRAND JUNCTION

Permission is hereby granted to MCCALLUM FAMILY
to occupy the building situated at:
00573 00 S COMMERCIAL

Lot No.: 0 Block No.: 0 Filing No.: 0
Subdivision:
Tax Schedule No.:

for the following purpose: interior finish see #58852 for shell

This Certificate issued in conformity to Section 109, Uniform Building Code

Inspector

Bob Lunge
Mike Pelletier

TYPE LEGAL DESCRIPTION(S) BELOW, USING ADDITIONAL SHEETS AS NECESSARY. USE
SINGLE SPACING WITH A ONE INCH MARGIN ON EACH SIDE.

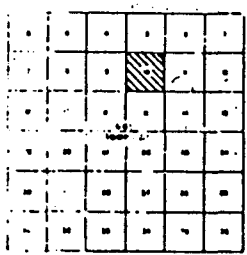
Lot ⁶ 4 in Block 5 of
WESTGATE PARK
Mesa, Colorado.

THIS MAP HAS BEEN PREPARED BY THE PLANNING DEPARTMENT OF THE COUNTY OF MESA IN ACCORDANCE WITH THE PROVISIONS OF SECTION 100 OF THE PLANNING ACT OF 1941 AS AMENDED.

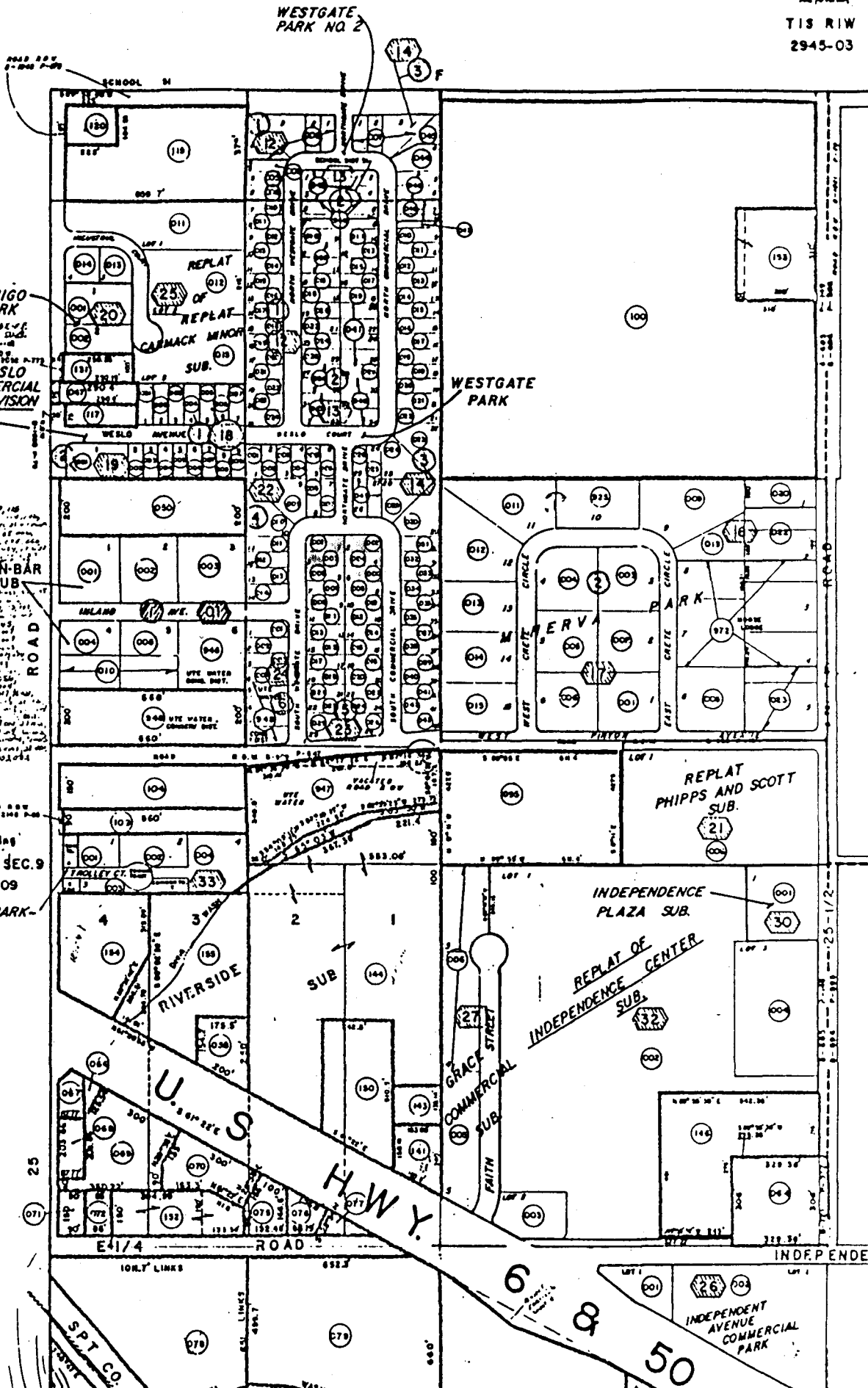
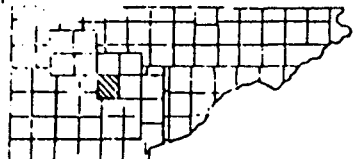
MESA COUNTY PLANNING DEPARTMENT
COUNTY ENGINEER: James B. Payne DATE: 8/14/56
REVISOR: [Name]

DATE: [Date]
BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]
SUBJECT: [Subject]
[Detailed notes and signatures]

Table with 2 columns: [Column 1], [Column 2]. Contains various numerical entries and possibly lot numbers.



SCALE - 1" = 200'



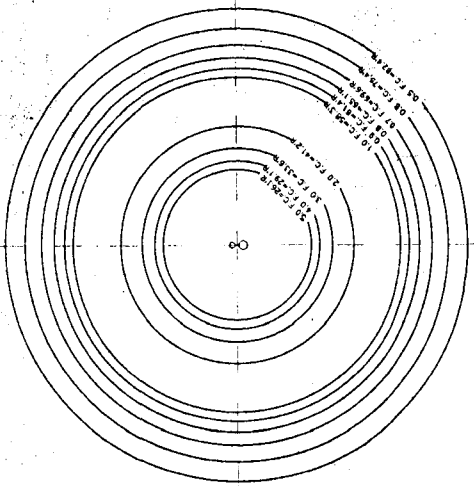
Adjoining
TIS RIW SEC. 9
2945-09
TROLLEY PARK-

REPLAT
PHIPPS AND SCOTT
SUB.
21

INDEPENDENCE
PLAZA SUB.

REPLAT OF
INDEPENDENCE CENTER
SUB.
32

INDEPENDENT
AVENUE
COMMERCIAL
PARK



**ISOFOOTCANDLE CHART
PARKING AND ROADWAY LIGHTING**

ISOFOOTCANDLE CALCULATION ASSUMPTIONS
COEFFICIENT OF UTILIZATION = 0.67 (PLASTIC LENS)
MAINTENANCE FACTOR = 1.0 (SINGLE LAMP/REPLACEMENT ON FAILURE)

LIGHTING SPECIFICATIONS

PARKING LIGHTING

TYPE - POLE MOUNT
MAX. HEIGHT - 25'
FIXTURE - G.E. MODEL NO. M2RR1551N2GMN3
LAMP - 150W HP-SODIUM, MOGUL BASE, NAED NO.-331835
INITIAL LUMENS - 16000

ROADWAY LIGHTING

TYPE - BUILDING MOUNT
MAX. HEIGHT - 12'
FIXTURE - HUBBELL MODEL NO. PVL-01505-118
LAMP - 150W HP-SODIUM, MOGUL BASE, NAED NO.-331835
INITIAL LUMENS - 16000

PARKING CALCULATIONS

REQUIRED PARKING (Offices 17%)(Warehouse 83%)

OFFICE/WAREHOUSE (Each unit to contain 1-300 sq.ft. office and remainder as warehouse.)

Office = 1 space/300 sq.ft. of office space plus 1 space for ea. office vehicle
5 offices X 1 space = 5 spaces
Warehouse = 1 space/employee plus 1 space for ea. business vehicle
5 warehouses X 5 employees = 25 spaces
Total = 30 spaces

PROPOSED PARKING

1 per 300 sq.ft. of building (Assumed 100% office space) 9000/300 = 30 spaces
plus 2 handicapped spaces = 32 spaces

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE

City of Grand Junction Engineering Division Representative Date

City of Grand Junction Engineering Division Representative Date

City of Grand Junction Engineering Division Representative Date

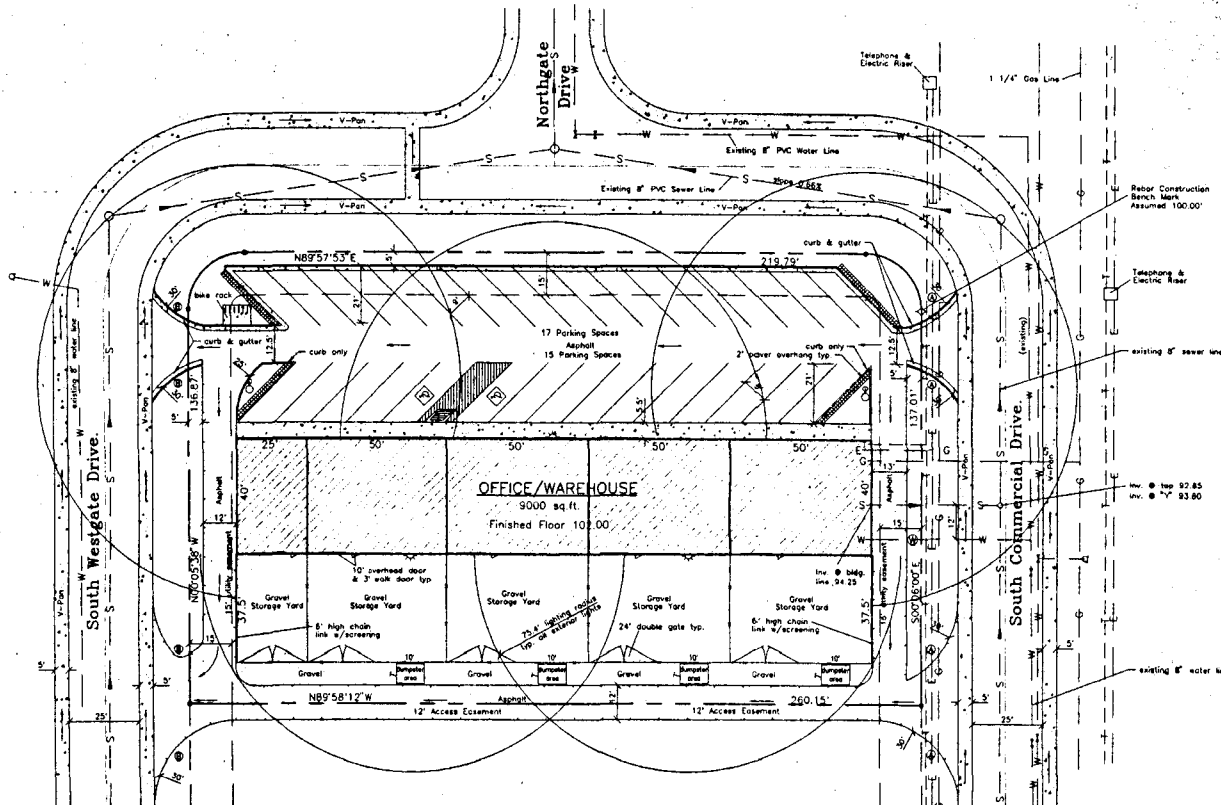
City of Grand Junction Engineering Division Representative Date

City of Grand Junction Engineering Division Representative Date

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City of Grand Junction Engineering Division Representative Date

City of Grand Junction Engineering Division Representative Date



SITE PLAN/UTILITY COMPOSITE

SCALE: 1"=20'-0"

0.9 Acres in Lots 1-6 Block 5 of Westgate Park Subdivision
Zoned C-2
Proposed Resubdivision to 1 Lot of Common Wealth Subdivision

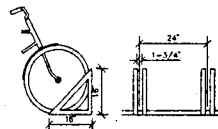
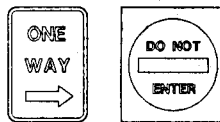
UTILITY VENDERS
Water - Ute Water
Sewer - City of Grand Junction
Gas - Public Service Co.
Electric - Public Service Co.
Telephone - U.S. West

LEGEND

- Water Valve
- Fire Hydrant
- Man Hole
- Rubber
- Bench Mark
- Bench Mark
- Sanitary Sewer Line
- Gas Line
- Water Line
- Electric Line
- Telephone Line
- Flare Light
- Wall Mount Light

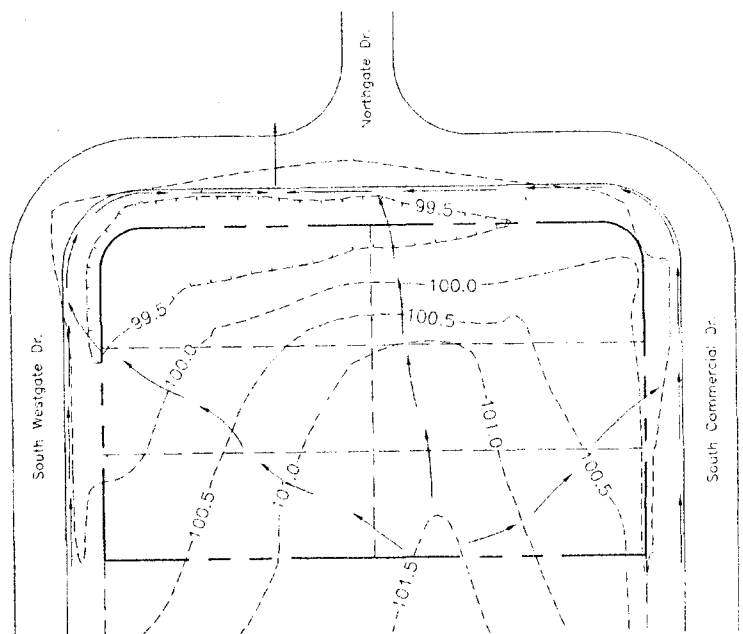
ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES

TRAFFIC SIGN LEGEND



SINGLE ROW RACK
BICYCLE RACK DETAIL

| | | |
|---|----------|----|
| REVISIONS | DATE | BY |
| | 9/4/98 | |
| WESTGATE PARK SUBDIVISION Lots 1-6 Block 5 Grand Junction, CO | | |
| T.P.I. 552 25 Road #D Grand Junction, CO (970) 243-4642 | | |
| HydroTerra Environmental Consulting 1107 1/2 Maple Street Grand Junction, CO 81509 (970) 248-2424 | | |
| JMK & Associates 1001 1/2 Pine Street Dr. Grand Junction, CO 81509 (970) 248-2424 | | |
| DATE | 7/11/96 | |
| SCALE | AS SHOWN | |
| DRAWN | JMK | |
| CHECKED | SP-1 | |



EXISTING DRAINAGE PLAN

SCALE: 1"=40'-0"

GENERAL NOTES

1. ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STREET CONSTRUCTION SPECIFICATIONS.
2. ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
3. ALL CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, DRAINAGE FANS AND OTHER CONCRETE WORK SHALL BE UNDERLAID WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF AASHTO T-180 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 6 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF AASHTO T-99 MAXIMUM DENSITY. ALL SATURATED OR UNSUITABLE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
4. ALL EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
5. ALL DRIVEWAY CONCRETE (APRON AND SIDEWALK CROSSING) SHALL BE 6 INCHES THICK (MIN) FOR RESIDENTIAL USES AND 8" THICK (MIN) FOR ALL OTHER USES.
6. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED IN ALL CURBS, GUTTERS, SIDEWALKS, V-PANS, ETC., AT ENDS OF HORIZONTAL CURVES, AT EDGES OF DRIVEWAY SECTIONS AND AT MAXIMUM SPACING OF 100'. TRANSVERSE CONTRACTION JOINTS SHALL BE PROVIDED AT 10' SPACING.
7. VEHICULAR TRAFFIC SHALL BE KEPT OFF NEW CONCRETE FOR A MINIMUM OF FIVE DAYS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
8. AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE IMMEDIATELY AFTER FINISHING.
9. ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
11. HANDICAP RAMPS SHALL BE INSTALLED AT EACH CORNER OF ALL STREET INTERSECTIONS. SEE EXHIBIT "G" FOR DETAILS.

CALCULATION for DRAINAGE FEE

Reference Section 5-6-1 of Development Code and Appendix B of SWMM

Rational Method composite runoff coefficient calculation

Historic

| Surface Type | S/S Group | Area | Runoff Coefficient C100 |
|--|-----------|------|-------------------------|
| Bare ground | D | 1.03 | .34 |
| Total Acreage 1.03 Weighted C100 = .34 | | | |

Developed

| Surface Type | S/S Group | Area | Runoff Coefficient C100 |
|--|-----------|------|-------------------------|
| Pave/Road | D | .59 | .95 |
| Traffic Area (soil & gravel) | D | .24 | .83 |
| Non-green & Gravel Landscape | D | .20 | .54 |
| Total Acreage 1.03 Weighted C100 = .84 | | | |

Drainage Fee (\$) = 10,000 (C100d - 100h) A²

= 10,000 (.84 - .34) A²

Drainage Fee = \$5104.00

All construction and materials shall comply with the City of Grand Junction Specifications and Standards details.

The Contractor shall have a signed copy of the plans and a copy of the City of Grand Junction Specifications and Standards on the job site.

NOTES:

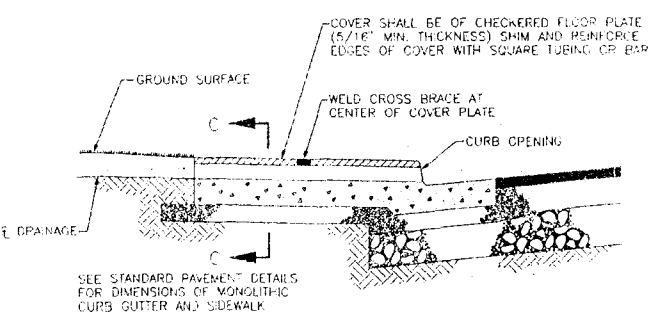
1. Do not change elevations of pavements, curbs, or sidewalks without approval of the engineer.
2. Storm runoff from roofs must be discharged to the drainage area the roof is part of.

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.

Acceptance of these plans does not release the developer, contractor, or the engineer from compliance with City of Grand Junction Standards Specifications for Road and Bridge Construction.

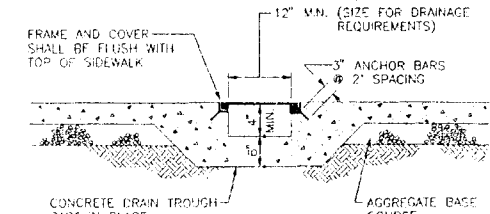
City of Grand Junction Engineering Division Representative _____ Date _____

"All details, construction, inspection, and testing shall conform to City of Grand Junction Standards Specifications for Road and Bridge Construction. The contractor shall have a copy of the accepted plans and the current City of Grand Junction Standard Specifications for Road and Bridge Construction on-site and available at all times."

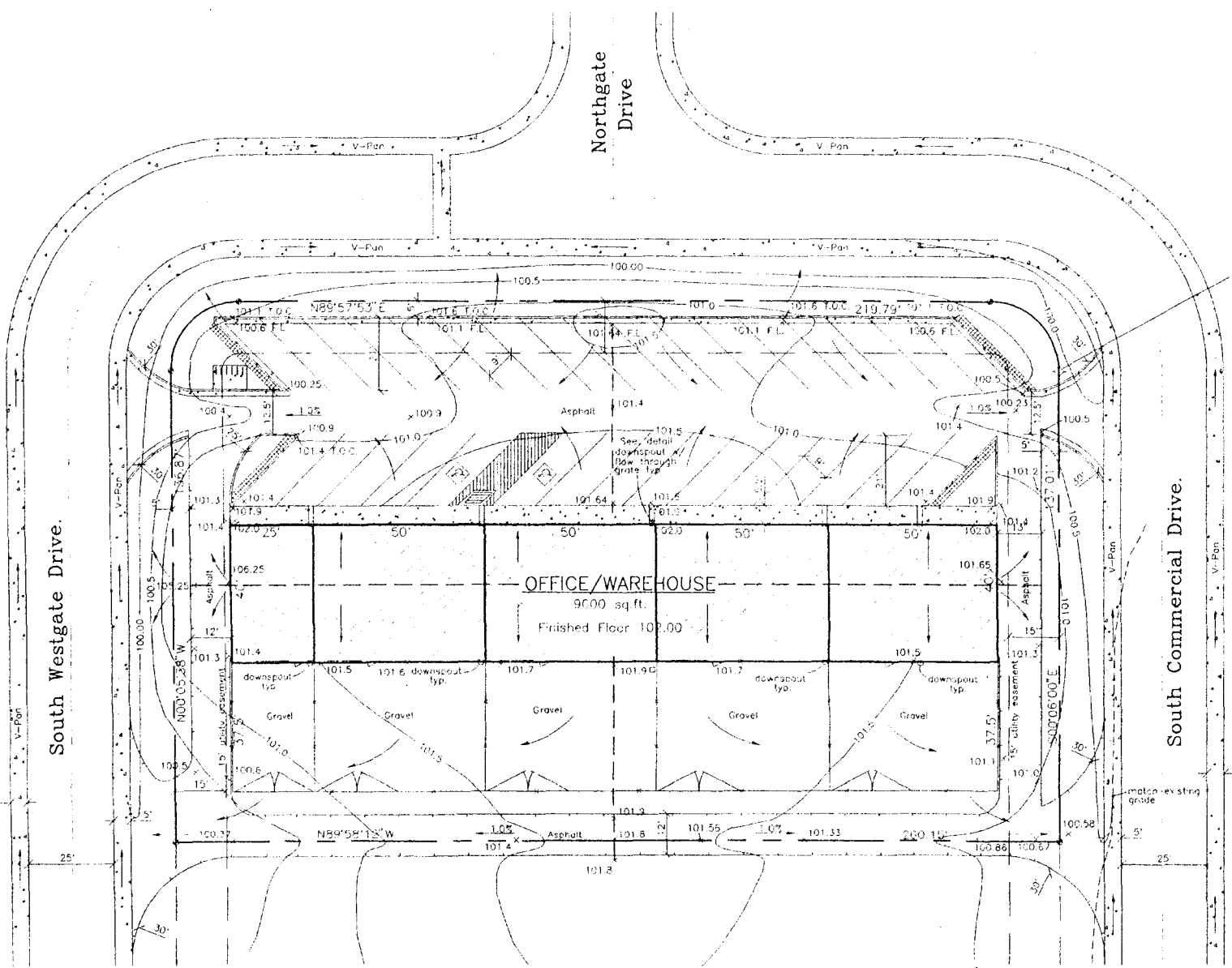


NOTE: BOTH FRAME AND COVER SHALL BE FABRICATED OF STEEL. ALL STEEL SURFACES SHALL BE GALVANIZED PER AASHTO M-111

DRAIN TROUGH FOR SIDEWALK CROSSING



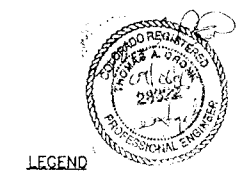
SECTION C-C



GRADING & DRAINAGE PLAN

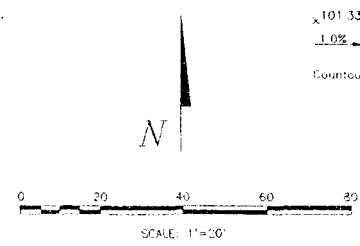
SCALE: 1"=20'-0"

0.9 Acres in Lots 1-6 Block 5 of Westgate Park Subdivision
Zoned C-2
Proposed Resubdivision to 1 Lot of Common Wealth Subdivision



LEGEND

- Rebar
- Bench Mark
- Existing Contours
- Proposed Contours
- Grade Break Lines
- Elevation Point
- Flow Direction & Grade
- Contour intervals = 0.5 ft.



ACCEPTED [Signature]

ANY CHANGE OF DETAILS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

| REVISIONS | BY |
|-----------|----|
| 9/4/96 | MK |

WESTGATE PARK SUBDIVISION
Lots 1-6 Block 5
Grand Junction, CO.

T.P.L.
552 25 Road #D
Grand Junction, CO,
(970) 243-4642

HydroTerra
Environmental Consulting
1179 Santa Clara Ave.
Grand Junction, CO 81503
(970) 242-4454

JMK & Associates
485 1/2 Fruitwood Dr.
Grand Junction, CO 81504
(970) 404-5818

Date 7/11/96
Scale As Shown
Drawn JMK
Sheet DP-1
of 1 Sheets

RP-1996-171