

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: _____

Project Name: _____

ITEMS	DISTRIBUTION																				TOTAL REQ'D.							
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	○ City Utility Eng.	○ City Property Agent	○ City Parks/Recreation	● City Fire Department	● City Attorney	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	○ Drainage District	○ Water District	○ Sewer District	○ U.S. West	○ Public Service	○ GVRP	○ CDOT	○ Corps of Engineers	○ Walker Field	○ Persigo WWT	○ Mesa County Health	○ State Environ. Health	○ City Sanitation	○ School Dist #51		
Date Received <u>1-5-96</u>																												
Receipt # <u>3328</u>																												
File # <u>SPP-96-10</u>																												
● Application Fee <u>\$100 + 15/Ac + 3</u>	VII-1	1																										
● Submittal Checklist *	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Planning Clearance*	VII-3	1																										
● 11"x17" Reduction of Assessor's Map	VII-1	X	X	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Evidence of Title <u>Per Kathy</u>	VII-2	1		1			1																					
○ Deeds	VII-1	1		1			1																					
○ Easements	VII-2	1	1	1	1		1																					
○ Avigation Easement	VII-1	1		1			1																					
○ ROW	VII-2	1	1	1	1		1																					
○ Improvements Agreement/Guarantee*	VII-2	1	1	1			1																					
○ CDOT Access Permit	VII-3	1	1																									
○ Industrial Pretreatment Sign-off	VII-4	1		1																								
● General Project Report	X-7	X	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
○ Elevation Drawing	IX-13	1	1																									
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
○ Grading and Drainage Plan	IX-16	1	2										1							1								
○ Storm Drainage Plan and Profile	IX-30	1	2									1				1	1	1										
○ Water and Sewer Plan and Profile	IX-34	1	2	1			1						1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2										1															
○ Road Cross-Sections	IX-27	1	2																									
○ Detail Sheet	IX-12	1	2																									
● Landscape Plan <u>(INCLUDE ON SITE PLAN)</u>	IX-20	1	1																									
○ Geotechnical Report	X-8	1	1								1																	
○ Final Drainage Report	X-5,6	1	2										1															
○ Stormwater Management Plan	X-14	1	2										1								1							
○ Phase I and II Environmental Rerpot	X-10,11	1	1																									
○ Traffic Impact Study	X-15	1	2																		1							

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 12.27.95

I-1 ZONING

Conference Attendance: BILL NEBEKER, MARK HANESSKE

Proposal: _____

Location: _____

Tax Parcel Number: 2745-052-03-001/002

Review Fee: _____

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? _____

Adjacent road improvements required? _____

Area identified as a need in the Master Plan of Parks and Recreation? _____

Parks and Open Space fees required? _____ Estimated Amount: _____

Recording fees required? _____ Estimated Amount: _____

Half street improvement fees/TCP required? _____ Estimated Amount: _____

Revocable Permit required? _____

State Highway Access Permit required? _____

On-site detention/retention or Drainage fee required? _____

Applicable Plans, Policies and Guidelines _____

Located in identified floodplain? FIRM panel # _____

Located in other geohazard area? _____

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? _____

Avigation Easement required? _____

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking
- Drainage
- Floodplain/Wetlands Mitigation
- Other _____
- Screening/Buffering
- Landscaping
- Availability of Utilities
- Land Use Compatibility
- Traffic Generation
- Geologic Hazards/Soils

Related Files: _____

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s)

Signature(s) of Representative(s)



CONSTRUCTION
Residential & Commercial

General Project Report

Project to 1300 square foot addition with five offices and one conference room.

Exterior walls to be split face masonry with metal roofing to match existing.

REVIEW COMMENTS

Page 1 of 1

FILE # SPR-96-10

TITLE HEADING: Site Plan Review - Expansion of
Western Slope Iron & Supply

LOCATION: 670 23 Road

PETITIONER: MTH Corp.

PETITIONER'S ADDRESS/TELEPHONE: 735 4th Avenue
Grand Junction, CO 81501
244-2988

PETITIONER'S REPRESENTATIVE: Mark Hennessey

STAFF REPRESENTATIVE: Bill Nebeker

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

CITY ATTORNEY 1/7/96
John Shaver 244-1501

Incomplete - narrative and project report was not included in review packet.

MESA COUNTY BUILDING DEPARTMENT 1/8/96
Bob Lee 244-1656

No comments.

CITY FIRE DEPARTMENT 1/10/96
Hank Masterson 244-1414

A fire hydrant is required for this addition. There is an existing 8" water line running along the west side of 23 Road. Locate the fire hydrant along the west side of 23 Road and across from the driveway located just south of the new office addition.

CITY DEVELOPMENT ENGINEER 1/15/96
Jody Kliska 244-1591

1. Transportation Capacity Payment is \$520.00.
2. New parking and maneuvering area needs to be paved.
3. Will additional stormwater runoff be contained on-site?

COMMUNITY DEVELOPMENT DEPARTMENT 1/17/96
Bill Nebeker 244-1447

1. Landscaping in the new planter shall be comparable to the landscaping in the other planter area (with the sign), including 2 trees, but twice the amount of shrubs (at least 4).
2. The new parking area and driveway leading to this area shall be paved if required by the City Development Engineer. As a minimum, the new parking area shall be graveled.



670 - 23 ROAD • GRAND JUNCTION, COLORADO 81505 • TELEPHONE (303) 243-9770 • FAX (303) 241-9770

January 18, 1996

Bill Nebeker
City of Grand Junction
250 N 5th
Grand Junction, CO 81501

RE: File #SPR-96-10

Dear Bill:

My written response to your review comments regarding our office expansions as follows:

CITY ATTORNEY - JOHN SHAVER

My understanding is that his concerns have been taken care of by our petitioner, MTH Corp.

CITY FIRE DEPARTMENT - HANK MASTERSON

If you want to install a fire hydrant, that is fine, but we are not going to bear the cost of it. We pay our fire insurance, you don't, and the only one to benefit from the hydrant would be us.

CITY DEVELOPMENT ENGINEER - JODY KLISKA

We will not pay a Transportation Capacity Payment.
We will not pave anything.
There will not be any additional stormwater runoff.

COMMUNITY DEVELOPMENT - BILL NEBEKER

We will landscape as you have requested.
We will not gravel the parking area.

Western Slope Iron has been in business at this location since 1974. Over the years we have expanded our operation many times. To date, every one of these has been funded by ourselves in a very prudent manner. Requiring us to increase the cost of this addition by upwards of 20% is not fair, not right, and I am not going to pay for it. If that means not proceeding with the project, then I won't, but I will not let it die without my objections being heard by those who need to hear them.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Jeff Over', is written over the typed name.

Jeff Over
President

cc



City of Grand Junction, Colorado
250 North Fifth Street
81501-2600
FAX: (303) 244-1500

January 23, 1996

Jeff Over
Western Slope Iron & Supply, Inc.
670 23 Road
Grand Junction, CO 81505

Re: Office Addition #SPR-96-10

Dear Jeff:

Your response to the City's review comments for the proposed office addition referenced above have been received. City staff has some flexibility at times with varying these conditions, however my assumption from reading your letter is that you are not willing to comply with any of them, except for the landscaping. If this is your intent, your application will be denied.

If you wish to reconsider your responses, I would be happy to work with you. The information listed below references the applicable code section for each condition required for your office expansion. Please review this information and call me at 244-1447 if you wish to change any of your responses. If I don't hear from you within 60 days I will assume that you no longer wish to pursue this application.

If you have any questions concerning this letter please call me at 244-1447.

Sincerely,

A handwritten signature in cursive script that reads "Bill Nebeker".

Bill Nebeker
Senior Planner

c: Larry Timm
John Shaver
MARK HENNESSEY

Western Slope Iron & Supply, Inc.
Site Plan Review - Office Addition
#SPR-96-10

1. Fire Hydrant Requirement:

The Fire Department requires fire hydrants for building additions similar to this, when existing fire protection is inadequate. In this case there is no existing hydrant nearby, even though there is an adequately sized fire line in the public right-of-way.

"An approved water supply capable of supplying the required fire flows for fire protection shall be provided to all premises upon which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction." Section 903.2 Uniform Fire Code (UFC)

The location, number and type of fire hydrants connected to a water supply capable of delivering the required fire flow shall be provided on the public street or on the site of the premises or both to be protected as required and approved by the chief." Section 903.4.2 UFC

"Hydrants shall be placed in the public right-of-way and shall not be spaced more than 300 feet from each other." Other language provides for minimum fire line sizes and minimum fire flow requirements. City Ordinance #2627

2. Transportation Capacity Payment:

The Transportation Capacity Payment is a fee collected to help finance the cost of street improvements necessitated by growth. The fee is calculated by a formula that measures the increase in traffic generated by new construction.

"The developer of all development which the Director of Public Works estimates will generate additional traffic shall be required to pay a Transportation Capacity Payment (TCP) in the manner and amount set forth in this Ordinance. No building permit for any use or activity required payment of the TCP pursuant to this Ordinance shall be issued until the TCP has been paid, or, in circumstances where improvements are required, until adequate security has been approved and received by the City." Zoning and Development Code, Section 5-4-1H.1-2

3. Paved Parking:

"All required parking and vehicular traffic surfaces shall be properly graded for drainage and surfaced with concrete or bituminous pavement. The City Engineer may permit a gravel or similar surface to be used in overflow parking areas, low-

traffic storage yards, ... if the applicant establishes that undue amounts of dust will not be generated." Zoning and Development Code Section 5-1-4.A.1.

Your proposed office addition requires additional parking and maneuvering area which must be paved. Also the current parking at this location is concrete, but is proposed to be moved to a dirt surface in violation of this section.

4. Storm Drainage:

"All proposed development must provide for on-site runoff collection and conveyance in accordance with City adopted policies." Zoning and Development Code Section 5-6-1.



Grand Junction Community Development Department
 Planning • Zoning • Code Enforcement
 250 North Fifth Street
 Grand Junction, Colorado 81501-2668
 (970) 244-1430 FAX (970) 244-1599

April 3, 1996

Jeff Over
 Western Slope Iron & Supply, Inc.
 670 23 Road
 Grand Junction, CO 81505

Re: Office Addition #SPR-96-10

Dear Jeff:

The Site Plan Review for a 1300 square foot office addition for Western Slope Iron and Supply at 670 23 Road is denied.

This denial is based upon the following Criteria in Section 4-14-4E of the Grand Junction Zoning and Development Code.

The proposal did not sufficiently address and satisfy issues discussed at the pre-application conference and in the review comments and does not adhere to city planning principles.

If you wish to appeal you must do so within 10 days of the date of this letter by notifying our office in writing. If you have any questions concerning this letter please call me at 244-1447.

Sincerely,

Bill Nebeker

Bill Nebeker
 Senior Planner

PS Form 3800, June 1985

Postage	\$
Certified Fee	
Special Delivery Fee	
Registered Delivery Fee	
Return Receipt Showing to whom Date and Address of Delivery	
TOTAL Postage and Fees	\$
Postmark or Date	4/3/96

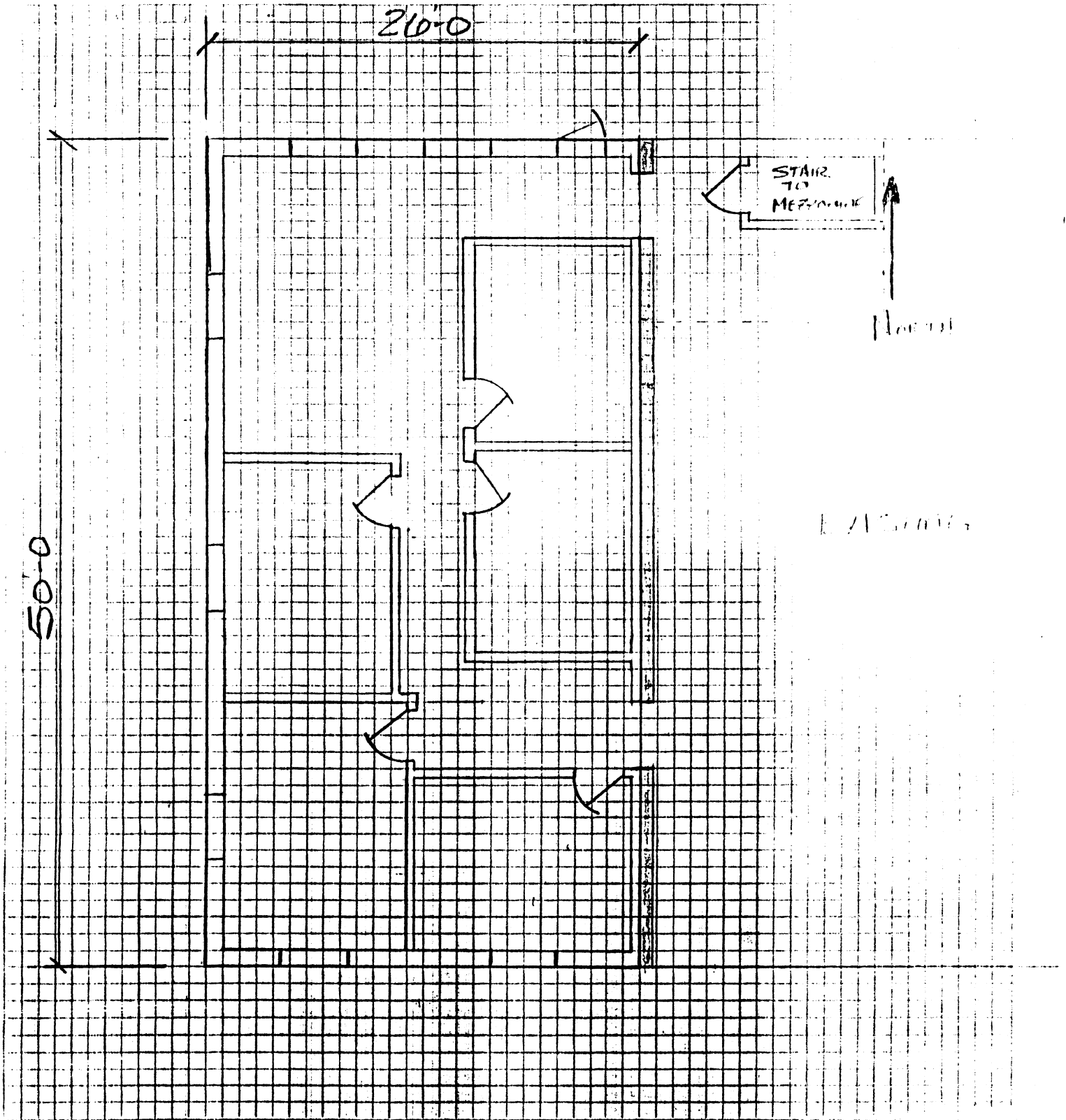
SPR-96-10

Send to: Jeff Over
 Western Slope Iron & Supply
 670 23 Rd
 Grand Jct, CO 81505

P-103 691 729

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