



# SUBMITTAL CHECKLIST

Receipt # 3413

## SITE PLAN REVIEW

Location: 803 Ute (SE corner 8th & Ute)

Project Name: Muffler Shop

ITEMS		DISTRIBUTION																	TOTAL REQ'D.								
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVRP		CDOT	Corps of Engineers	Walker Field	Persigo WWT	Mesa County Health	State Environ. Health	City Sanitation	School Dist #51
● Application Fee #100.00	VII-1	1																									
● Submittal Checklist *	VII-3	1																									
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																									
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Evidence of Title <i>-lease</i>	VII-2	1			1			1																			
○ Deeds	VII-1	1			1			1																			
○ Easements	VII-2	1	1	1	1			1																			
○ Avigation Easement	VII-1	1			1			1																			
○ ROW	VII-2	1	1	1	1			1																			
○ Improvements Agreement/Guarantee*	VII-2	1	1	1				1																			
○ CDOT Access Permit	VII-3	1	1																								
○ Industrial Pretreatment Sign-off	VII-4	1		1																							
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Elevation Drawing	IX-13	1	1																								
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Grading and Drainage Plan	IX-16	1	2										1								1						
○ Storm Drainage Plan and Profile	IX-30	1	2										1			1	1	1									
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1								1	1	1	1	1									
○ Roadway Plan and Profile	IX-28	1	2										1														
○ Road Cross-Sections	IX-27	1	2																								
○ Detail Sheet	IX-12	1	2																								
● Landscape Plan <i>on site plan</i>	IX-20	2	1	1																							
○ Geotechnical Report	X-8	1	1							1																	
○ Final Drainage Report	X-5,6	1	2										1														
○ Stormwater Management Plan	X-14	1	2										1								1						
○ Phase I and II Environmental Rerpot	X-10,1	1	1																								
○ Traffic Impact Study	X-15	1	2																		1						

NOTES: \* An asterisk in the item description column indicates that a form is supplied by the City.

**PRE-APPLICATION CONFERENCE**

Date: 1/3/96  
 Conference Attendance: Kathy P. Craig Bowen  
 Proposal: SLR - Muffin Shop  
 Location: 803 Wte

Tax Parcel Number: 2945-144-33-020  
 Review Fee: \_\_\_\_\_  
 (Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? NO  
 Adjacent road improvements required? existing  
 Area identified as a need in the Master Plan of Parks and Recreation? \_\_\_\_\_  
 Parks and Open Space fees required? NO Estimated Amount: \_\_\_\_\_  
 Recording fees required? NO Estimated Amount: \_\_\_\_\_  
 Half street improvement fees/TCP required? Trans Capacity Payment Estimated Amount: \_\_\_\_\_  
 Revocable Permit required? for landscaping on ROW  
 State Highway Access Permit required? to be determined by CDO  
 On-site detention/retention or Drainage fee required? no - area completely developed  
 Applicable Plans, Policies and Guidelines Wte Dev. Guidelines  
 Located in identified floodplain? FIRM panel # NO  
 Located in other geohazard area? \_\_\_\_\_  
 Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? NO  
 Avigation Easement required? \_\_\_\_\_

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking 50' back 50' from E Wte  Screening/Buffering lot 100' x 125'  Land Use Compatibility
- Drainage  Landscaping  Traffic Generation
- Floodplain/Wetlands Mitigation  Availability of Utilities  Geologic Hazards/Soils
- Other landscaping - Wte required 750 S.E. & 8th required 409 S.E. in addition

Related Files: the area between curb & sidewalk must be landscaped - up to a 15% credit for required landscaping  
 It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

**PRE-APPLICATION CONFERENCE**

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

X Craig E. Bowen \_\_\_\_\_ X  
 Signature(s) of Petitioner(s) Signature(s) of Representative(s)

## GENERAL PROJECT REPORT

The location of the Meineke Discount Muffler project is 803 Ute Avenue. The property is less than .25 acres. The total square footage is 12,500. The frontage on Ute Avenue is 100 feet. The frontage on 8th street is 125 feet. There is a 2100 square foot block building on the property that will be demolished.

The new building will be a 3400 square foot shop. Approximately 1/6 of the building will be used as office space, customer waiting, bathrooms etc. Another 1/6 will be used for storage, some shop equipment and inventory. The remaining 2/3 will be four repair bays. Two of the bays will be drive through. The shop will be used to do minor automobile repairs such as mufflers, brakes, shocks, struts, lube oil filters, CV joints and boots.

The elevation drawing is similar to what the building will look like but at this time we are unsure if it will be block or metal. The cost of project will determine the type of materials used.

The Shop will benefit the public by offering a valued service at a reasonable price. The nation wide warranty will help locals with auto repair while traveling elsewhere as well as tourists traveling in Grand Junction.

There are several residences in the area as well as Auto Parts stores and other repair shops. The majority of the area of the proposed project is zoned C-2 (heavy commercial).

There are currently two accesses from Ute Avenue. I would like to use one of these accesses from Ute and would like to add one from 8th street.

The utilities on the property already exist and are currently being used. This shop will have four bays with drains (for the use of water only). The oil will be taken off the property by a local certified transporter.

The shop will be open six days a week Monday through Saturday from 8:00 am to 6:00 pm. The franchise and I would like to erect the largest face allowed for the frontage on Ute and the frontage on 8th.

We are looking forward to joining the community as well as starting a small business here. We hope to be an asset to the City of Grand Junction.

Community Development Comments

#SPR-96-14

Revised Landscaping Plan

Kathy Portner 2/16/96

1. "Rock" areas do not count toward the landscaping requirement. The 190 s.f. area and 160 s.f. area must be landscaped and meet the 40% shrub coverage. Irrigation is required to those areas.
2. The required landscaping in the ROW must contain the street trees, as shown on the plan, and the ground cover must be in grass or meet the 40% shrub coverage. Credit cannot be given for the required landscaping for areas in rock coverage.

*Above issues addressed with revised site plan*

SPR 96-14

CERTIFICATE OF OCCUPANCY

BUILDING DEPARTMENT  
CITY OF GRAND JUNCTION  
(OR MESA COUNTY)

PERMIT # 55712

DATE 8-14-96

PERMISSION IS HEREBY GRANTED TO Cooper Const. TO OCCUPY THE

BUILDING SITUATED AT 803 Ute Ave

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ FILING \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

TAX SCHEDULE NUMBER 2945-144-33-020

FOR THE FOLLOWING PURPOSE: Meineke Muffler - new commercial bldg.

THIS CERTIFICATE ISSUED IN CONFORMITY TO SECTION 307, UNIFORM BUILDING CODE

INSPECTOR Harold Ornel

City Planning Kathy Portman

January 23, 1996

To Whom It May Concern,

This letter will serve as authorization for Craig Bowen to act as agent for Michael B Limberg M.D. in the development of 803 Ute, Grand Junction, Colorado. Mr. Bowen is to be agent for the owner in working with all city, county and state agencies in preparing this property as a Meineke Muffler franchise.

Sincerely,

A handwritten signature in cursive script that reads "Michael B Limberg". The signature is written in dark ink and is positioned to the right of the word "Sincerely,".

Michael B Limberg M.D.

# REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-14

TITLE HEADING: Meineke Muffler Shop

LOCATION: 803 Ute Avenue

PETITIONER: Craig E. Bowen

PETITIONER'S ADDRESS/TELEPHONE: 228 Aspen Avenue  
Moab, UT  
801-259-4326 84532

PETITIONER'S REPRESENTATIVE: Robert Gregg

STAFF REPRESENTATIVE: Kathy Portner

---

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.**

---

**MESA COUNTY BUILDING DEPARTMENT** 1/26/96  
**Bob Lee** 244-1656

---

Two (2) sets of sealed plans are required for our plan review. East wall must be fire-rated as required by code. Please allow 10-15 days for plan review and permit issuance.

**GRAND JUNCTION FIRE DEPARTMENT** 1/31/96  
**Hank Masterson** 244-1414

---

The shop area of this business is classified as an H-4 occupancy. H-4 occupancies larger than 3,000 square feet are required to be protected by a fire sprinkler system. A one-hour occupancy separation between the storage room as shown and the shop area will reduce the H-4 area to less than 3,000 square feet, so that the fire sprinkler system is not required.

Complete building plans must be submitted to the Fire Department for our required plan review. Include in the building plans an inventory and Material Safety Data Sheets for any hazardous materials to be stored or used in the building.

Water supplies for fire protection are adequate for this proposal. Fire Department access is adequate as shown.

**CITY DEVELOPMENT ENGINEER** 2/6/96  
**Jody Kliska** 244-1591

---

1. No drainage fee.
2. No Transportation Capacity Payment.
3. A permit from City Engineering is required for concrete work in the right-of-way (new driveway, driveway closure).



**CITY UTILITY ENGINEER**

**2/8/96**

**Trent Prall**

**244-1591**

---

Please contact Utility Billing at 244-1580 for information regarding Water and Sewer Plant Investment Fees. All applicable fees must be paid prior to issuance of a building permit.

**COMMUNITY DEVELOPMENT DEPARTMENT**

**2/8/96**

**Kathy Portner**

**244-1446**

---

See attached comments.

**TO DATE, COMMENTS NOT RECEIVED FROM:**

State of Colorado - Department of Transportation  
Downtown Development Authority  
Persigo Waste Water Treatment Facility

File #SPR-96-14  
Meineke Muffler Shop  
803 Ute Avenue

Community Development Review Comments  
2/8/95

1. The parking requirement is 2 spaces per service bay plus one space per employee on the largest shift. The site plan shows 4 service bays, requiring 8 parking spaces. Please indicate the number of employees on the largest shift to confirm the required parking.
2. The required landscaping is as follows:  
Ute Avenue--100' x 10' x .75 = 750 s.f.  
8th Street--125' x 5' x .75 = 469 s.f.

The total required landscaping on the site is 1,219 s.f. The large area of ROW that must be landscaped provides a 15% credit toward the required landscaping, bringing the required on-site landscaping to 1,036. The required square footage must contain at least 3 trees and 40% of the area must be in shrub coverage.

In addition, all of the ROW between the sidewalk and curb area must be landscaped. Contact Mike Vendegna, City Forester, at 244-1549 to find out how many additional trees could be placed in the ROW and what other vegetation or ground cover he would recommend in the ROW.

The on-site landscaping shown on the plan totals 1,006 s.f. The additional square footage that is required can be waived if additional trees are provided or the trees that are provided are sized larger than the required minimum size of 1 1/2" caliper measured 1 foot above the ground level.

All landscaped areas must be served by a pressurized irrigation system.

A detailed landscape plan, as per SSID IX-20 must be submitted for review.

3. Which of the bays will have through traffic?
4. The lot should be striped with traffic circulation directions.
5. A Power of Attorney for future alley improvements is required (see attached).

WRITTEN RESPONSE TO  
REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-14

TITLE HEADING: Meineke Muffler Shop

LOCATION: 803 Ute Avenue

PETITIONER: Craig E. Bowen

PETITIONER'S ADDRESS/TELEPHONE: 228 Aspen Avenue  
Moab, UT  
801-259-4326

PETITIONER'S REPRESENTATIVE: Robert Gregg

STAFF REPRESENTATIVE: Kathy Portner

MESA COUNTY BUILDING DEPARTMENT

Bob Lee

Two sets of plans will be submitted for your plan review. The east wall will be fire-rated as required by code.

GRAND JUNCTION FIRE DEPARTMENT

Hank Masterson

The shop area of our business will be less than 3,000 square feet, so a fire sprinkler system will not be required. Building plans, and inventory and Material Safety Data Sheets will be submitted to the Fire Department for the required plan review.

CITY DEVELOPMENT ENGINEER

Jody Kliska

A permit from City Engineering will be obtained for concrete work in the right-of-way.

CITY UTILITY ENGINEER

Trent Prall

We will contact the Utility Billing for information regarding Water and Sewer Plant Investment Fees. They will be paid prior to issuance of a building permit.

COMMUNITY DEVELOPMENT DEPARTMENT

Kathy Portner

1. The number of employees on the largest shift will be four(4).
2. All landscaping requirements will be met. Robert Gregg has met with Mike Vendegna to discuss his recommendations. All of the landscaped areas will be served by pressurized irrigation systems. A detailed landscape plan will be submitted for review.

page 2 of 2

3. The two(2) east bays will have through traffic.
4. The lot will be striped with traffic circulation directions.
5. We will be contacting you soon in reference to A Power of Attorney for future alley improvements.

STATE OF COLORADO - DEPARTMENT OF TRANSPORTATION

We have received the State Highway access permit, # 396021.



Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

August 20, 1996

Craig E. Bowen  
Meineke Discount Mufflers  
803 Ute Avenue  
Grand Junction, CO 81501

Dear Craig:

I have signed off on the Certificate of Occupancy for Meineke Discount Mufflers, at 803 Ute Avenue, with the understanding that the parking lot will be striped, as per the approved site plan, by September 3, 1996. Please remember to properly size and sign the required handicap accessible space at the north-west corner of the building. The site plan also indicated that the east property line along the parking would include a fence or parking blocks. I would recommend parking blocks to keep your employees and customers from running into the existing fence.

The landscaping you provided looks very good. I noted that the trees at the corner of 8th Street and Ute Avenue appear to have been placed closer to the corner than the site plan showed. I don't think the placement poses a sight distance problem, but I'll have someone from our Engineering Department take a look to confirm it. The taller shrubs that were placed near the trees will need to be trimmed in the future if they block sight-distance from the corner.

Please contact the City Forestry Division at 244-1549 to obtain an additional street tree to be placed in the right-of-way along 8th Street between the alley and the existing tree.

Thank you for your cooperation through this process. The improvements you have made are a great asset to the Ute Avenue corridor. Good luck with your business.

Sincerely,

A handwritten signature in cursive script that reads "Katherine M. Portner".

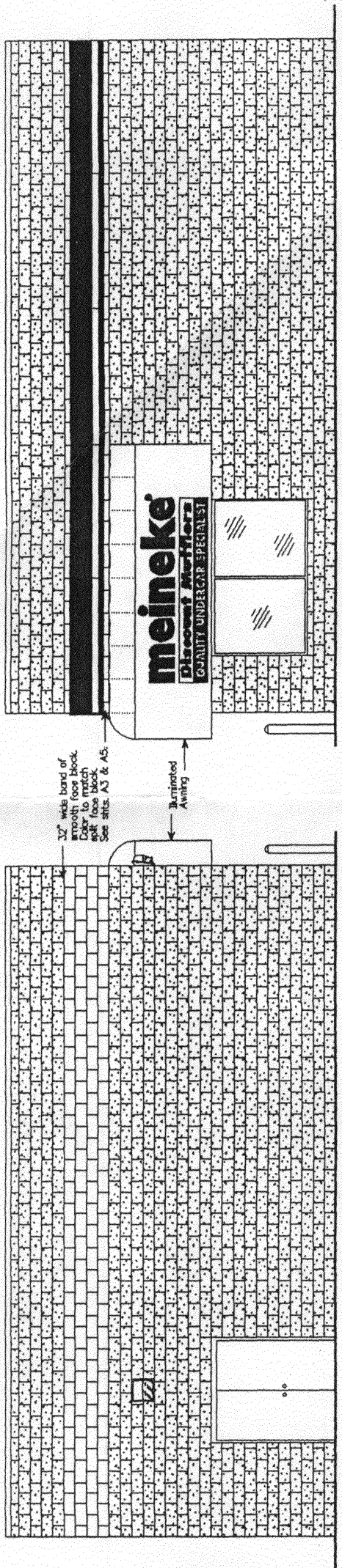
Katherine M. Portner  
Acting Community Development Director



MEINEKE DISCOUNT MUFFLER SHOPS, INC.  
128 SOUTH TRYON STREET, SUITE 900  
CHARLOTTE, NORTH CAROLINA 28202

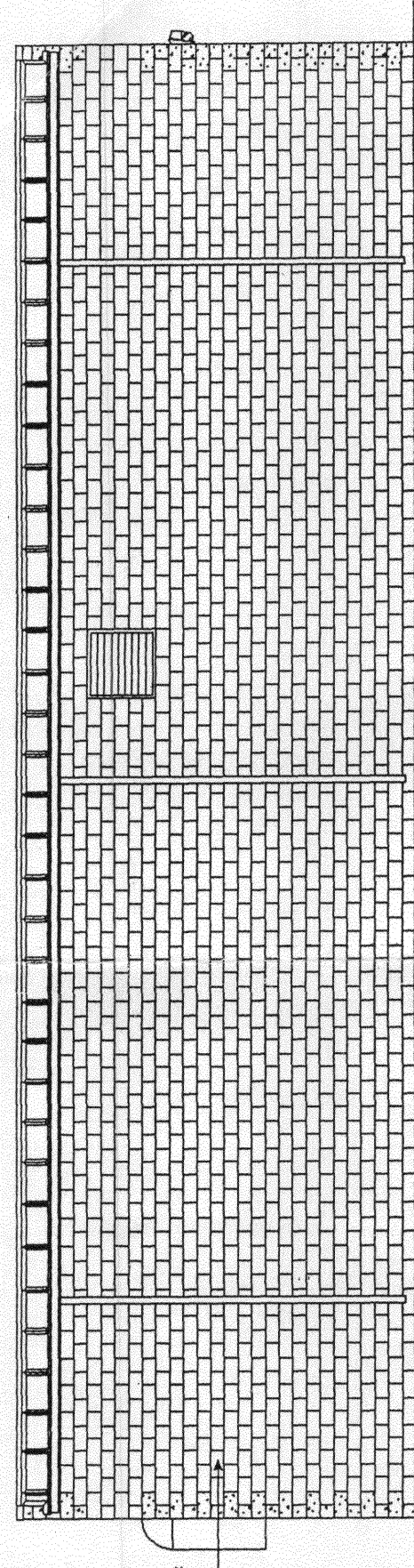
\*\*\* NOT FOR CONSTRUCTION \*\*\*  
These drawings and specifications are intended for use by a Meineke franchisee and/or his agent as a guide to the construction or improvement of his Meineke Discount Muffler shop. These drawings represent the basic store layout and the minimum requirements of the standard Meineke Discount Muffler shop. These drawings are only a guide and should not be used as construction drawings. The individual proprietor information of the greatest value to Meineke Discount Muffler Shops, Inc., and authorized Meineke Discount Muffler Shops that they shall be used for no other purpose than in the construction of or modifications to an authorized Meineke Discount Muffler Shop.

NO.	DATE	REVISIONS

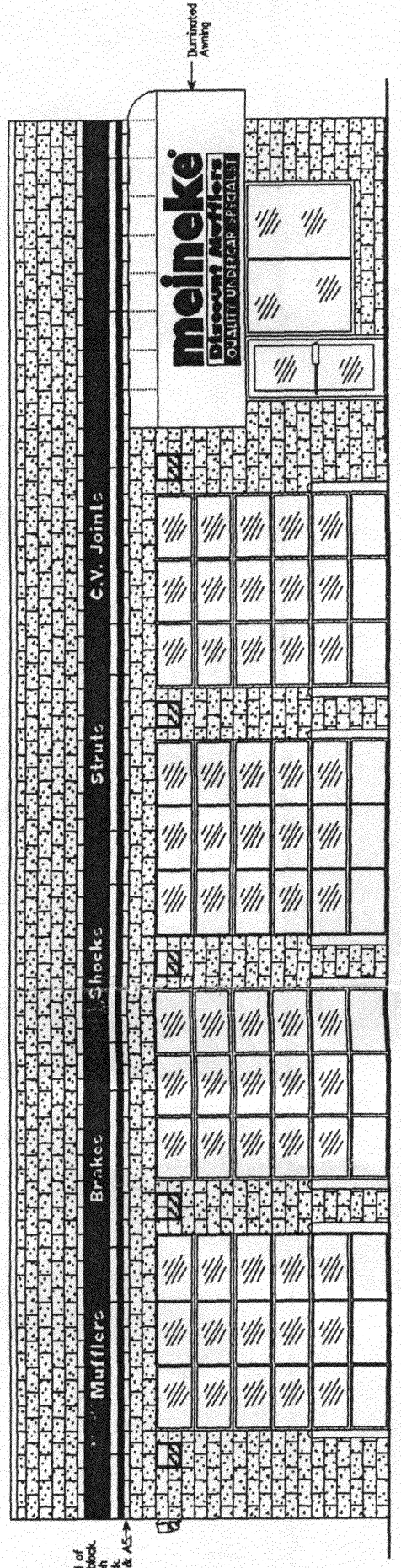


**RIGHT ELEVATION**  
SCALE: 1/4" = 1'-0"

**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

### EXTERIOR NOTES

- MASONRY** -- Use soft face concrete masonry units except where shown. Color to match Adams Products Company #606. For product match nationwide contact: Old Castle Company 800/899-8455.
- FLASHING** -- All flashing is to be 24 ga. galvanized steel. Paint all visible flashing to match Sherwin-Williams #1368, Cream.
- TIRM** -- All exterior surfaces requiring paint are to match Sherwin-Williams #1368, Cream.
- SIGNS** -- All signs are supplied and installed by the franchisee.
- PARKING** -- The parking lot should be designed to accommodate large semitrailer delivery trucks and dumpster trucks. There should be two (2) parking spaces per service bay and one (1) space per employee.
- PAVEMENT** -- The pavement should be designed based on vehicle type 352 (Highway Capacity Manual) making five (5) deliveries per week.  
A 12' 0" x 12' 0" concrete dumpster pad with a 12' 0" x 30' 0" dumpster truck pad should be provided.

32" wide band of smooth face block. Color to match sign face block. See shts. A3 & A5.

Smooth face block may be used on sides not exposed to public view.

# MEINEKE DISCOUNT MUFFLER 8th STREET & UTE AVENUE GRAND JUNCTION, CO

REVISIONS:

Copy

DATE:  
03-04-96

SHEET NUMBER

# L1

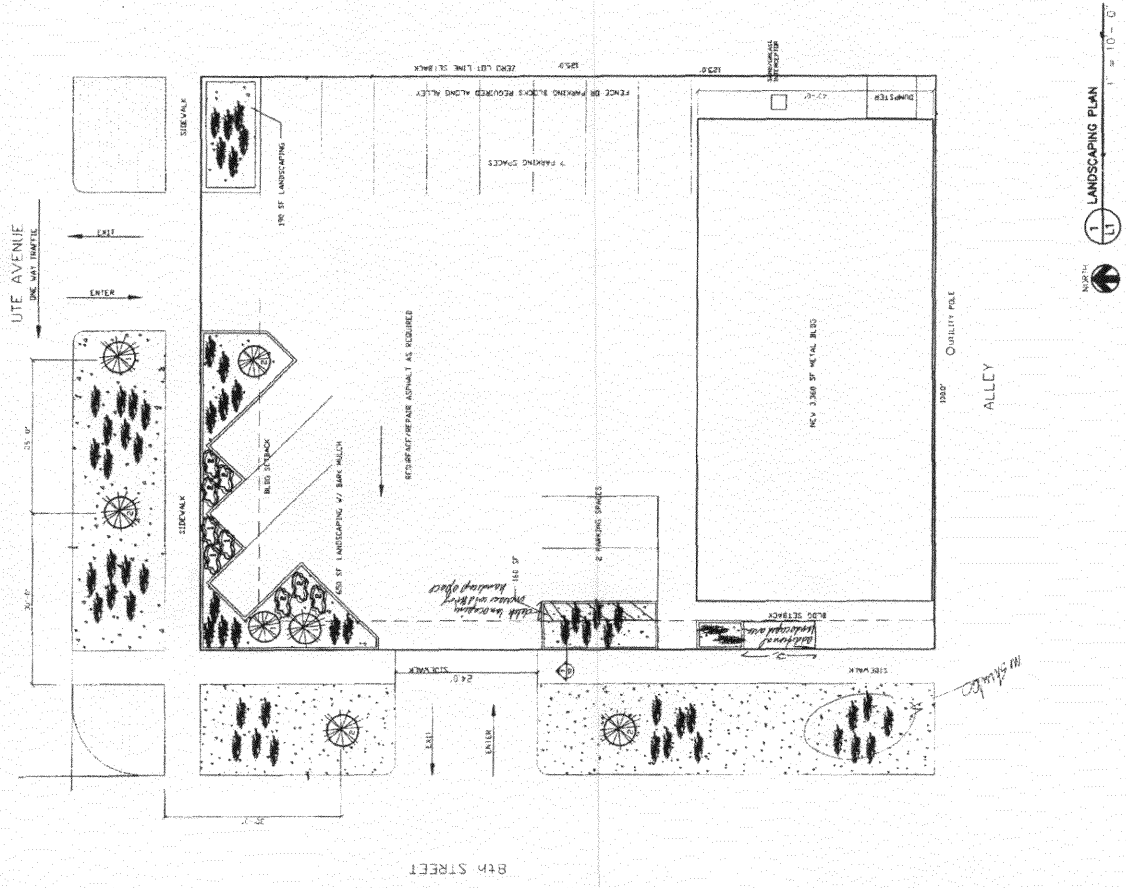
**LANDSCAPING LEGEND**

SYMBOL	COMMON NAME	BOTANICAL NAME	QUANTITY	LINE SIZE	MATURE HT.	SOIL TYPE	OTHER REMARKS
	Pinyon Asp	Pinus ponderosa	2	8 1/4"	4'		Prepare soil as required
	Sweet Ash	Fraxinus pennsylvanica	3	2 1/2"	4'		Prepare soil as required
	Silver Birch	Betula picea	1	2 1/2"	4'		Prepare soil as required
	Prairie Sunflower	Helianthus annuus	1	2 1/2"	4'		Prepare soil as required
	Forsythia	Forsythia sp.	3	10 gal	7'		Prepare soil as required
	Berberis	Berberis spp.	6	10 gal	7'		Prepare soil as required
	Juniperus	Juniperus sp.	58	5 gal	2'		Prepare soil as required
	Bark Mulch						Provide 4" of poly under mulch
	Grass						Provide 4" of poly under mulch
	Rock						Provide 4" of poly under mulch

**LANDSCAPING REQUIREMENTS**

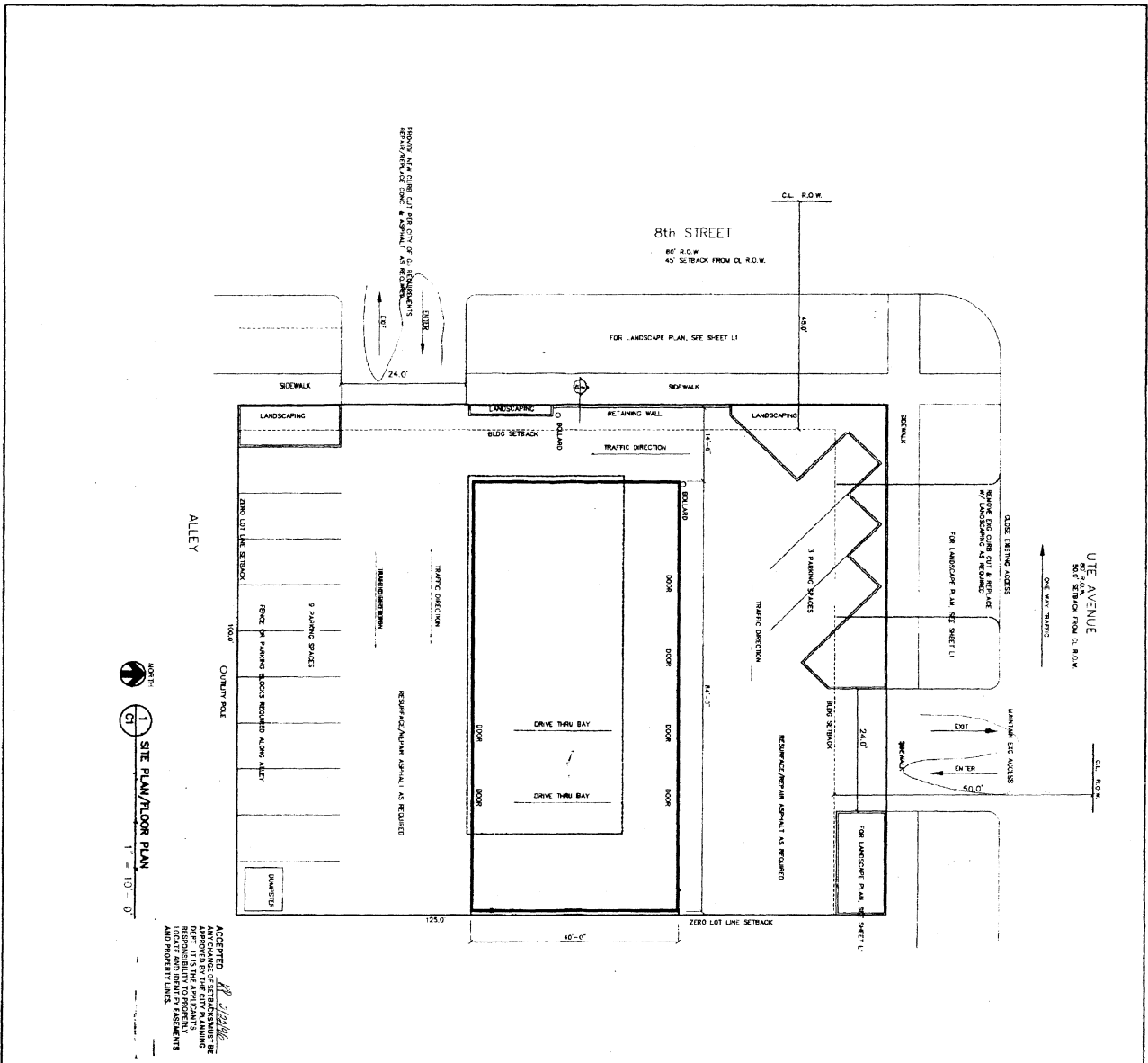
TOTAL REQUIRED LANDSCAPING ON LOT = 1043 SF  
 MINUS 25% UNCOVERED CEMENT WALK = 782 SF  
 TOTAL LANDSCAPING REQUIRED = 261 SF  
 DENSITY LANDSCAPING (NOT IN 40%) = 1000 SF  
 25% OF THE AREA MUST BE IN SHADY COVERAGE  
 MIN. 25% LANDSCAPING MUST COVER TABLE 23 TREES MIN  
 4' DIA. OF THE AREA MUST BE IN SHADY COVERAGE  
 ALL REVS. BETWEEN SIDEWALK & CURB MUST BE LANDSCAPED  
 WITH PERVIOUSLY APPROVED SPECIES  
 UNDERGROUND IRRIGATION SYSTEM SHALL BE PROVIDED

APPROVED: *[Signature]*  
 3/7/96  
 APPROVED BY COMMITTEE REPRESENTATIVE  
 WITH CHANGES AS NOTED ON PLAN  
 APPROVED BY COMMITTEE REPRESENTATIVE  
 3/7/96



1 LANDSCAPING PLAN  
1" = 10'-0"





ACCEPTED FOR THE CITY OF GRAND JUNCTION  
 APPROVED BY THE CITY PLANNING DEPARTMENT  
 DATE: 02-16-96  
 PROJECT: MEINEKE DISCOUNT MUFFLER

**1 SITE PLAN/FLOOR PLAN**  
 1" = 10'-0"

**NOTES:**

1. THE LOT AREA AND PERMITS ARE APPROXIMATE.
2. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
3. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
4. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
5. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
6. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
7. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
8. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
9. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.
10. THE LOT AREA IS APPROXIMATE AND NOT TO BE USED FOR CONSTRUCTION.

**REVISIONS:**

DATE: 02-16-96

SHEET NUMBER: C1

**MEINEKE DISCOUNT MUFFLER**  
 8th STREET & UTE AVENUE  
 GRAND JUNCTION, CO

**GREGG ARCHITECTS**  
 1181 WHITE AVENUE  
 TELEPHONE 303 245 9454

GRAND JUNCTION, COLORADO 81501  
 FAX 303 243 2280