

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: 1126 S. 9th STREET

Project Name: Steven Chudahl

ITEMS		DISTRIBUTION																				TOTAL REQ'D.						
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers	Walker Field		Persigo WWT	Mesa County Health	State Environ. Health	City Sanitation	School Dist #51	
● Application Fee \$ 100 + 1000	VII-1	1																										
● Submittal Checklist *	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																										
● Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1			1			1																				
○ Deeds	VII-1	1			1			1																				
○ Easements	VII-2	1	1	1	1			1																				
○ Avigation Easement	VII-1	1			1			1																				
○ ROW	VII-2	1	1	1	1			1																				
○ Improvements Agreement/Guarantee*	VII-2	1	1	1				1																				
○ CDOT Access Permit	VII-3	1	1																									
○ Industrial Pretreatment Sign-off	VII-4	1		1																								
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																									
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Grading and Drainage Plan	IX-16	1	2										1								1							
○ Storm Drainage Plan and Profile	IX-30	1	2										1				1	1	1									
○ Water and Sewer Plan and Profile	IX-34	1	2	1			1							1	1	1	1	1										
○ Roadway Plan and Profile	IX-28	1	2										1															
○ Road Cross-Sections	IX-27	1	2																									
○ Detail Sheet	IX-12	1	2																									
● Landscape Plan - <i>may be on Site Plan</i>	IX-20	2	1	1																								
○ Geotechnical Report	X-8	1	1								1																	
○ Final Drainage Report	X-5,6	1	2										1															
○ Stormwater Management Plan	X-14	1	2										1								1							
○ Phase I and II Environmental Rerpot	X-10,11	1	1																									
○ Traffic Impact Study	X-15	1	2																		1							

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 9/29/95

STEVE 241-1014 wk
243-6576 hm

Conference Attendance: _____
Proposal: Commercial Metal Building

Location: 1126 S. 9th Street

Tax Parcel Number: 2945-231-13-005

Review Fee: \$100

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? _____

Adjacent road improvements required? _____

Area identified as a need in the Master Plan of Parks and Recreation? _____

Parks and Open Space fees required? _____ Estimated Amount: _____

Recording fees required? _____ Estimated Amount: _____

Half street improvement fees/TCP required? _____ Estimated Amount: _____

Revocable Permit required? _____

State Highway Access Permit required? _____

On-site detention/retention or Drainage fee required? _____

Applicable Plans, Policies and Guidelines _____

Located in identified floodplain? FIRM panel # _____

Located in other geohazard area? _____

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? _____

Avigation Easement required? _____

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking
- Screening/Buffering
- Land Use Compatibility
- Drainage
- Landscaping
- Traffic Generation
- Floodplain/Wetlands Mitigation
- Availability of Utilities
- Geologic Hazards/Soils
- Other _____

Related Files: _____

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

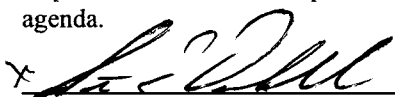
PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

X 
Signature(s) of Petitioner(s)

X _____
Signature(s) of Representative(s)

General Project Report

Owner: Steven Ordahl

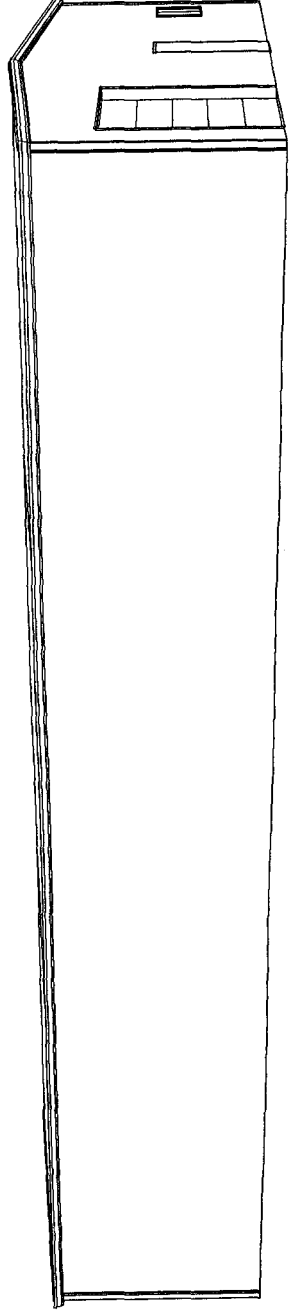
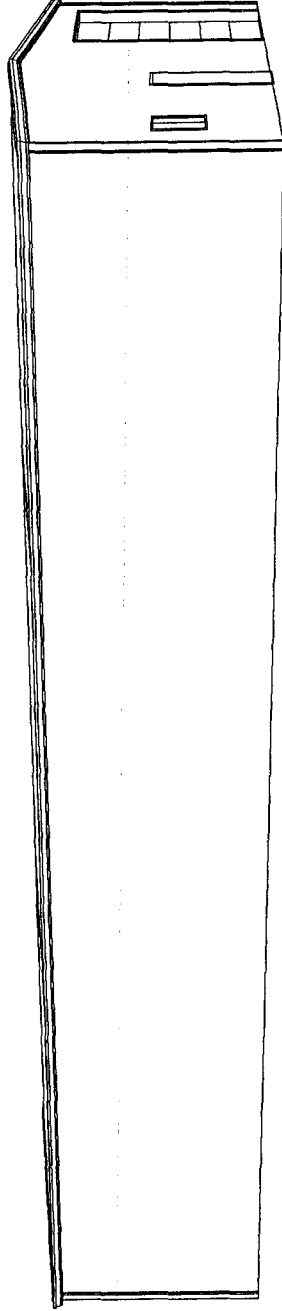
Address: 1126 South 9th Street, Grand Junction CO

Construction of commercial metal building, 40 feet by 84 feet, for office and shop work.

Shop work to consist of repairing restaurant, heating and refrigeration equipment.

STEVEN EXCHAKI
1126 So 9TH ST
CJ Co

40' x 84' METAL PEAK BUILDING



REVIEW COMMENTS

Page 1 of

FILE # SPR-96-65

TITLE HEADING: Site Plan Review - New Commercial Building

LOCATION: 1126 South 9th Street

PETITIONER: Steven Ordahl

PETITIONER'S ADDRESS/TELEPHONE: 2834-A Lexington Lane
Grand Junction, CO 81503
970-243-6576/970-241-1014

PETITIONER'S REPRESENTATIVE: Steven Ordahl

STAFF REPRESENTATIVE: Michael Drollinger

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

MESA COUNTY BUILDING DEPARTMENT

3/21/96

Bob Lee

244-1656

Provide two sets of scaled plans for our plan review and allow 10 to 15 days for review. North wall of structure must be one-hour fire-resistive.

CITY DEVELOPMENT ENGINEER

3/29/96

Jody Kliska

244-1591

1. Drainage fee \$1224.72.
2. Transportation Capacity Payment \$819.84.

CITY UTILITY ENGINEER

4/1/96

Trent Prall

244-1590

Please resubmit after addressing ALL items on page IX-29 of the City of Grand Junction's SSID manual.

Water and Sewer: City

Please call Utility Billing at 244-1580 for details regarding plant investment fees for this proposal. All applicable fees must be paid prior to issuance of a building permit.

Please contact Dan Tonello with the Industrial Pretreatment section (244-1589) at the Persigo Sewer Treatment Plant for industrial waste review.

STAFF REVIEW

FILE: #SPR-96-065
DATE: April 1, 1996
STAFF: Michael T. Drollinger
REQUEST: Site Plan Review - Right Way Refrigeration
LOCATION: 1126 S. 9th Street
ZONING: I-2

STAFF COMMENTS:

1. SITE PLAN AND LANDSCAPE PLAN ARE INCOMPLETE. Please see the attached checklists for deficient items. We highly recommend that you schedule a meeting with your staff planner to review the deficiencies. A complete review of the project will take place when a complete set of plans is submitted.
2. Will 9.5 ft. space on south side of building be used for ingress/egress to rear of site?
3. Is fencing of the rear portion of the site proposed. If so, please indicate on Site Plan.
4. How will landscaped area be protected from vehicular encroachment.
5. Please indicate the location of garage doors and other means of ingress to building on the site plan.

PLEASE TAKE NOTE OF THE FOLLOWING:

1. ALL SIGNS TO BE ERECTED ON THE SITE WILL REQUIRE A SIGN PERMIT PRIOR TO INSTALLATION OF THE SIGN.
2. SITE IMPROVEMENTS (INCLUDING LANDSCAPING) MUST BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY MODIFICATIONS MUST BE APPROVED, IN WRITING AND/OR WITH REVISED PLANS, BY THE COMMUNITY DEVELOPMENT DEPARTMENT. FAILURE TO INSTALL SITE IMPROVEMENTS AS PER THE APPROVED PLANS MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. SITE IMPROVEMENTS (E.G. LANDSCAPING, SIDEWALK, ETC.) NOT COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE GUARANTEED.

You are urged to contact the Community Development Department if you require clarification or further explanation of any items.

h:\cityfil\1995\96-065.rvc

DRAWING STANDARDS CHECKLIST

SITE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA
SECTION VIII	A Scale: 1" = 20', 30', 40', or 50'		
	B Sheet size: 24" x 36"		
	C Primary features consist only of proposed facilities except those related to drainage		
	D Notation: All non-construction text, and also construction notation for all primary features		
	E Line weights of existing and proposed (secondary and primary) features per City standards		
	F Location: All primary facilities are fully located horizontally (See Comment 1)		
	I Orientation and north arrow		
	J Stamped and sealed drawings by registered professional competent in the work		
	K Title block with names, titles, preparation and revision dates		
	L Reference to City Standard Drawings and Specifications		
	M Legend of symbols used		
	N List of abbreviations used		
	P Multiple sheets provided with overall graphical key and match lines		
	R Neatness and legibility		

ITEM	FEATURES	OK	NA
1	Site boundary, and adjacent property lines, land use, and zoning		
2	Total site acreage and proposed land use breakdown		
3	All existing and proposed easements, streets, and ROWs		
4	Identify utility vendors to the site		
5	Identify existing and proposed utilities, including fire hydrants, meters, and service taps		
6	Show existing and proposed drainage inlets, pipes, channels, and manholes		
7	Top and toe of slopes for retention/detention basins or other embankments		
8	Traffic ingress, egress, traffic flow patterns, and traffic control features		
9	All paving and concrete walks, pads, ramps, wheel chocks		
10	Building footprint, roof line, exterior doorways, and roof drain location		
11	Parking areas, striping, stalls, lighting		
12	Areas to receive gravel		
13	Signage, trash collection areas, bike racks and paths, crosswalks, fire lanes		
14	Miscellaneous structures, fences, walls		
15	Other non-landscaping surface facilities		
16	Do not show existing or proposed contours		
17	For perimeter streets, show roadway width from curb to curb or edge of pavement to edge of pavement, ROW width, and the monument or section line.		
18	When applicable, identify the maximum delivery or service truck size and turning radius, hours of anticipated deliveries, and show truck turning radii on the plan to show adequacy of entry/exit and on-site design.		
19	Identify trash dumpster type, anticipated pick-up time, and accessibility		
20	Space for signature approval by City Engineering with date and title		
21	Space for signature of County Clerk and Recorder (when required)		

COMMENTS

1. All angle, curvature, tangency, grade break and change, and other primary features must be fully located horizontally. However, these may be identified on the Grading and Drainage Plan, or may be put on a separate "Staking Plan".
2. If the scale is 1" = 10' or 20', instead of preparing a separate Landscaping Plan, that information may be provided hereon. It will not be too cluttered and confusing. Also, add space for signature approval by Community Development with date and title.

DRAWING STANDARDS CHECKLIST

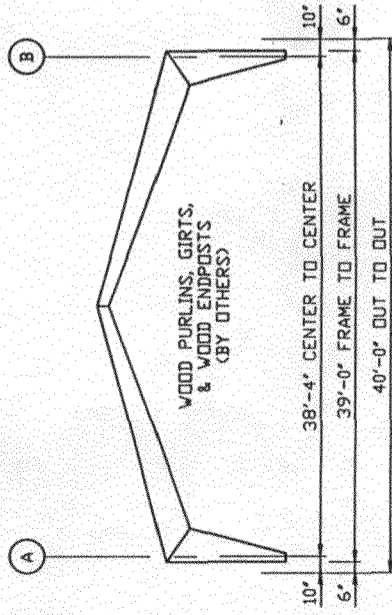
LANDSCAPE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA	
SECTION VIII	A	Scale: 1" = 10' or 20'		
	B	Sheet size: 24"x36"		
	C	Primary features consist only of landscape features		
	D	Notation: All non-construction text, and also construction notation for all primary features		
	E	Line weights of existing and proposed (secondary and primary) features per City standards		
	H	Vertical control: Benchmarks on U.S.G.S. datum if public facilities other than SW are proposed		
	I	Orientation and north arrow		
	K	Title block with names, titles, preparation and revision dates		
	M	Legend of symbols used		
	N	List of abbreviations used		
	P	Multiple sheets provided with overall graphical key and match lines		
	Q	Contouring interval and extent		
	R	Neatness and legibility		

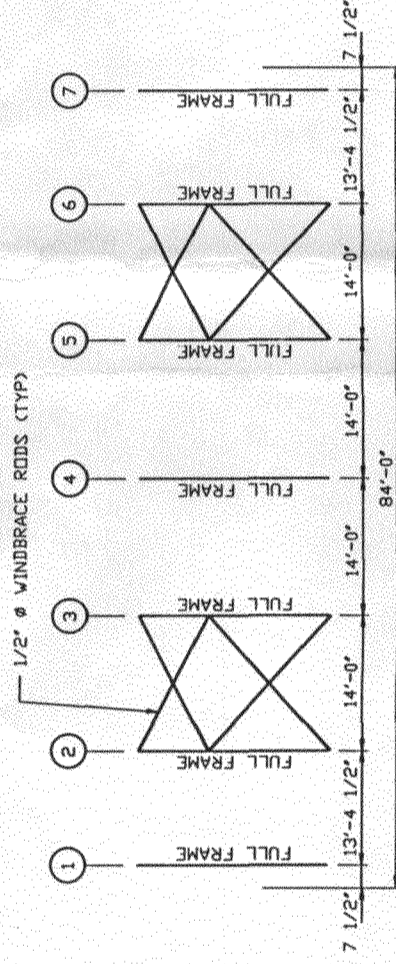
ITEM	FEATURES	OK	NA
1	Use the Site Plan as a base map		
2	Identify areas to be covered with specific landscaping materials		
3	Boulders, mounds, swales, water courses, rock outcroppings		
4	Planting Material Legend includes common and botanical names, quantities, minimum purchase sizes, mature height, groundcover/perennial spacing, types of soil, and other remarks		
5	Specification of soil type and preparation		
6	Landscape irrigation layout, design, materials, and details (if requested by City staff)		
7	Planting/staking and other details as required		
8	Required note on Plan: "An underground, pressurized irrigation system will be provided"		
9	Space for approval signature by Community Development with date and title		

COMMENTS

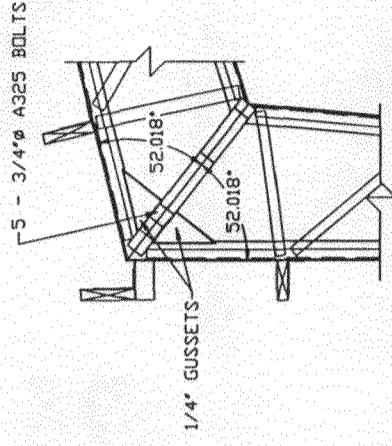
1. This drawing may be eliminated if information may be put on the Site Plan. See Note (2) on the Site Plan Checklist.



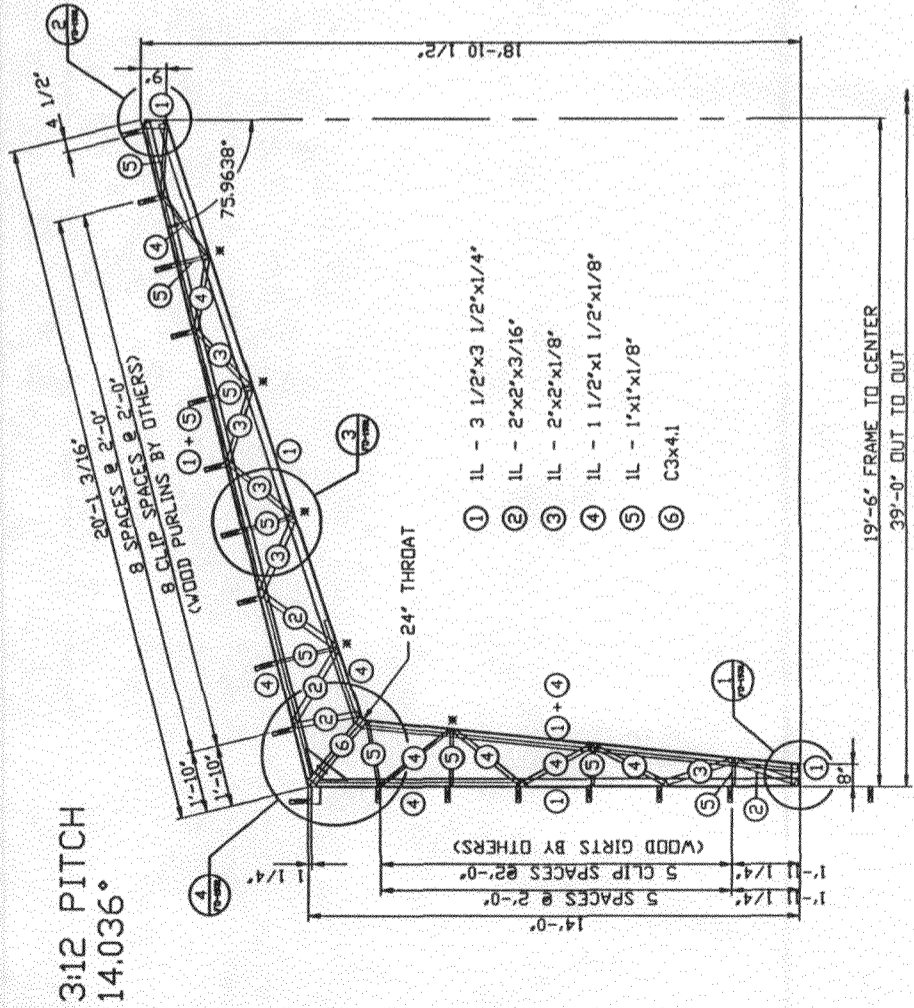
ENDWALL ELEVATION
(TYPICAL BOTH ENDS)



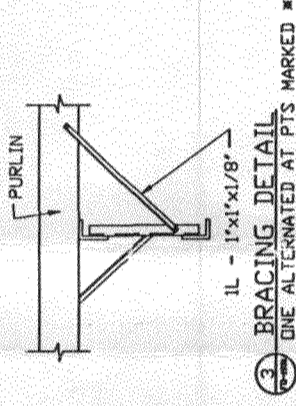
SIDEWALL ELEVATION
(TYPICAL BOTH SIDES)



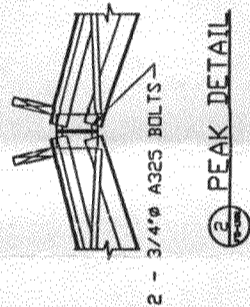
4 HAUNCH DETAIL



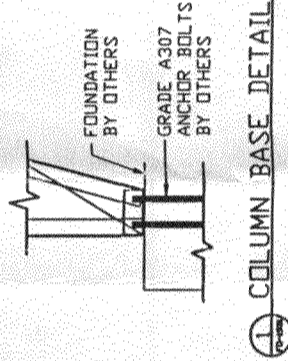
FRAME DETAIL



3 BRACING DETAIL
ONE ALTERNATED AT PTS MARKED *



2 PEAK DETAIL



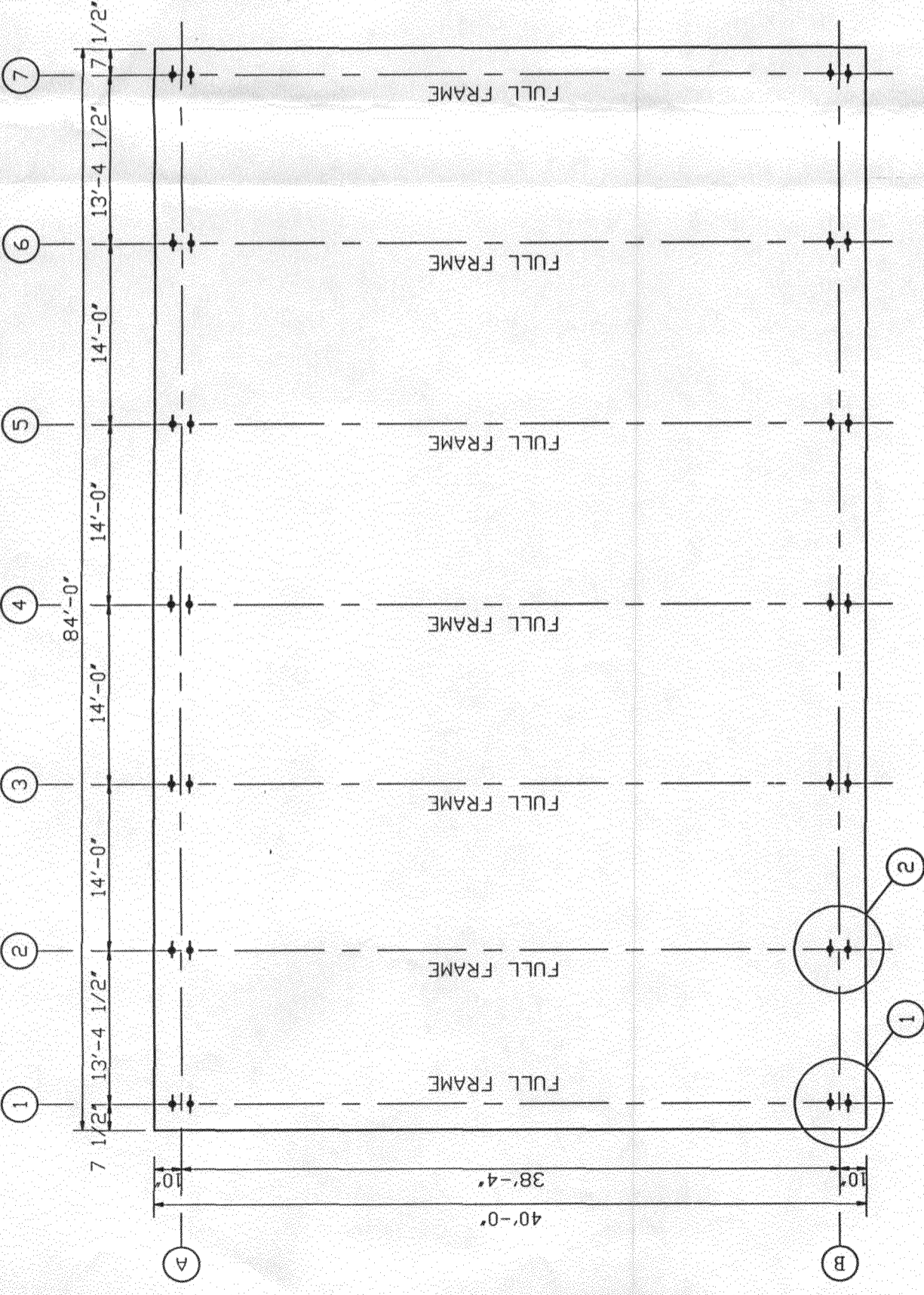
1 COLUMN BASE DETAIL

- GENERAL NOTES:**
- 1) STRUCTURAL STEEL SHAPES AND PLATES SHALL BE ASTM-A36.
 - 2) ALL BOLTS TO BE GRADE A325 AND SHALL BE TIGHTENED IN ACCORDANCE WITH THE SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS - TURN OF NUT TIGHTENING.
 - 3) ALL WELDS TO BE IN ACCORDANCE WITH AWS D11-88.
 - 4) FOUNDATION AND EMBEDDED ITEMS (BY OTHERS) MUST BE LEVEL, SQUARE, AND ACCURATE TO ASSURE PROPER STEEL FRAME ASSEMBLY.
 - 5) WIND AND BOTTOM CHORD BRACING ARE PART OF THE STRUCTURAL SYSTEM AND MUST NOT BE REMOVED OR ALTERED IN ANY WAY.
 - 6) THE ERECTOR SHALL BE RESPONSIBLE FOR BUILDING IN CONFORMANCE TO THESE DRAWINGS, DETAILS, AND ASSEMBLY GUIDE.
 - 7) FRAME OR FRAMES DESIGNED FOR BAY SPACING AS NOTED IN DETAILS ABOVE.
 - 8) DESIGN DATA: LIVE LOAD = 30 psf.
WIND SPEED/EXP. = 90 mph/'B'
DEAD LOAD = 4 psf. + steel



STEVE ORDAHL
GRAND JUNCTION, COLORADO
ENGINEERING DRAWING
SCALE: NTS
DATE: 2/7/96
M4000
DRAWN BY: MTS
REVIEWED:
PROJECT NUMBER: FO-1931.DWG
PROJECT NAME: FO-1931



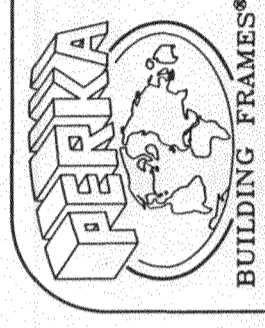
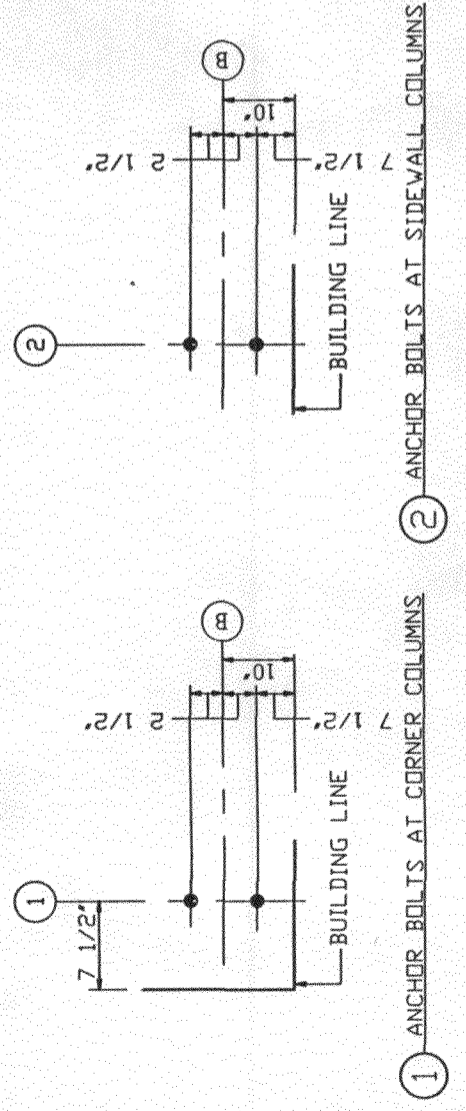


COLUMN REACTIONS (KIPS)			
REACTIONS LOCATION	DEAD LOAD	LIVE LOAD	WIND LOAD
TRUSS	VER. 1.697	8.820	± 3.527
	HDR. 0.646	3.844	± 3.273

GENERAL NOTES:

- 1) THIS IS AN ANCHOR BOLT LAYOUT ONLY.
- 2) THE OWNER IS RESPONSIBLE FOR THE FOUNDATION TO COMPLY WITH LOCAL BUILDING CODES.
- 3) FOUNDATION DESIGN SHALL BE BASED ON THE COLUMN REACTIONS INDICATED AND THE SOIL BEARING CAPACITY.
- 4) ANCHOR BOLTS (BY OTHERS) TO BE 5/8" DIA. GRADE A307 UNLESS OTHERWISE NOTED.
- 5) DESIGN DATA: LIVE LOAD = 30 psf.
WIND SPEED/EXP. = 90 mph/'B'
DEAD LOAD = 4 psf. + steel

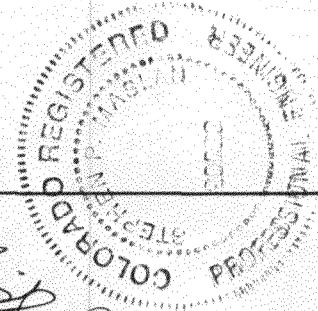
NOTE:
WINDBRACE RODS TO BE LOCATED IN BAYS BETWEEN COLUMN LINES ② & ③, ⑤ & ⑥.



STEVE ORDAHL
GRAND JUNCTION, COLORADO

ANCHOR BOLT LAYOUT

SCALE: NTS	APPROVED BY	DRAWN BY: JBL	REVISED
DATE: 2/7/96			
M4000			
40'-x14'-x84'	e30 LL e14'-BAYS		
CAD DRAWING NUMBER	PROJECT NUMBER		
1931-AB.DWG	FD-1931		



Handwritten signature

FEB 03 1996