





PRE-APPLICATION CONFERENCE

Date: 2/4/96
Conference Attendance: M. Trollinger, Ronnie, Jerry
Proposal:
Location:

Tax Parcel Number: 2943-181-00-069
Review Fee: \$100
(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? No
Adjacent road improvements required? As per Engineering
Area identified as a need in the Master Plan of Parks and Recreation? No
Parks and Open Space fees required? NO Estimated Amount:
Recording fees required? NO Estimated Amount:
Half street improvement fees/TCP required? As per Engineering Estimated Amount:
Revocable Permit required? NO
State Highway Access Permit required? No
On-site detention/retention or Drainage fee required? Drainage Fee per Eng.
Applicable Plans, Policies and Guidelines Det. Code
Located in identified floodplain? FIRM panel # No
Located in other geohazard area? -
Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? -
Avigation Easement required? -

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Screening/Buffering, Land Use Compatibility, Drainage, Landscaping, Traffic Generation, Floodplain/Wetlands Mitigation, Availability of Utilities, Geologic Hazards/Soils, Other

Related Files:
It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signatures: X [Signature] Signature(s) of Petitioner(s) X [Signature] Signature(s) of Representative(s)

# Gordon Enterprises

Jerry L. Gordon  
266 1/2 East Parkview Dr.  
Grand Jct., CO 81503-2035

3

303-245-8604

3/20/96

To build a 2x4 frame structure on mono slab,  
masonite siding and metal roof. Structure to  
be for added storage at 474 28 1/2 Rd. Chuck's  
Marine Service.

Jerry L. Gordon

# REVIEW COMMENTS

Page 1 of 1

FILE #SPR-96-66

TITLE HEADING: Site Plan Review - Storage Addition

LOCATION: 474 28 ½ Road

PETITIONER: Jerry Gordon

PETITIONER'S ADDRESS/TELEPHONE: 266 ½ E. Parkview  
Grand Junction, CO 81503  
245-8604

STAFF REPRESENTATIVE: Bill Nebeker

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.**

**MESA COUNTY BUILDING DEPARTMENT**

3/26/96

**Bob Lee**

244-1656

No Comments. A building permit is required.

**CITY FIRE DEPARTMENT**

4/3/96

**Jim Bright/Duncan Brown**

244-1414

1. The fire department has no objections to this proposal. A complete set of plans should be submitted to the fire department before construction for review.

**CITY UTILITY ENGINEER**

4/3/96

**Trenton Prall**

244-1590

As long as the addition is not to have any water or sewer utilities extended to it, then the City of Grand Junction's Utility Division has no utility related objections to this site plan.

**CITY DEVELOPMENT ENGINEER**

4/3/96

**Jody Kliska**

244-1591

Is it possible to get a deed for the 28 ½ Road right-of-way?

**CITY COMMUNITY DEVELOPMENT**

4/2/96

**Bill Nebeker**

244-1447

1. Dedication should be made by deed. At your request I will instruct the City Property Agent to prepare a deed to be signed by owners of the property.
2. Site plan submitted did not show what the setback is for the new building to Gunnison Avenue. I assume it was meant to be 5' since that is the requirement.
3. Submit one more copy of the site plan unless changes are required by other review agencies. Then I will need 4 more copies.

**TO DATE, COMMENTS NOT RECEIVED FROM:**

City Attorney

Fruitvale Lateral & Waste



April 10, 1996

Grand Junction Community Development Department  
Planning • Zoning • Code Enforcement  
250 North Fifth Street  
Grand Junction, Colorado 81501-2668  
(970) 244-1430 FAX (970) 244-1599

Chuck Brumbaugh  
Chuck's Marine Service  
474 28 1/2 Road  
Grand Junction, CO 81506

Re: Site Plan Review #SPR-96-60

Dear Chuck:

As a condition approval for your storage building the City required the dedication of 28 1/2 Road, as noted on your submitted drawings. Enclosed is a warranty deed for the dedication of this right-of-way. Please obtain the appropriate signatures and have the deed notarized. Then return the deed to our office for recording. Ronnie Edwards in our office would be happy to notarize the deed if it is signed in her presence. The deed must be returned before a certificate of occupancy is approved for the storage building.

I will be out of town until April 22, 1996, but if you need additional you can call our office at 244-1430 before April 22 or 244-1447 after then. Thanks for your assistance.

Sincerely,

A handwritten signature in cursive script that reads "Bill Nebeker".

Bill Nebeker  
Senior Planner

CERTIFICATE OF OCCUPANCY

BUILDING DEPARTMENT  
CITY OF GRAND JUNCTION  
(OR MESA COUNTY)

# SPR-96-66

PERMIT # 55709

DATE 5-9-96

PERMISSION IS HEREBY GRANTED TO Gordon Enterprises TO OCCUPY THE

BUILDING SITUATED AT 474 28 1/2 Rd.

LOT \_\_\_\_\_ BLOCK \_\_\_\_\_ FILING \_\_\_\_\_ SUBDIVISION \_\_\_\_\_

TAX SCHEDULE NUMBER 2943-181-00-069

FOR THE FOLLOWING PURPOSE: addition for storage

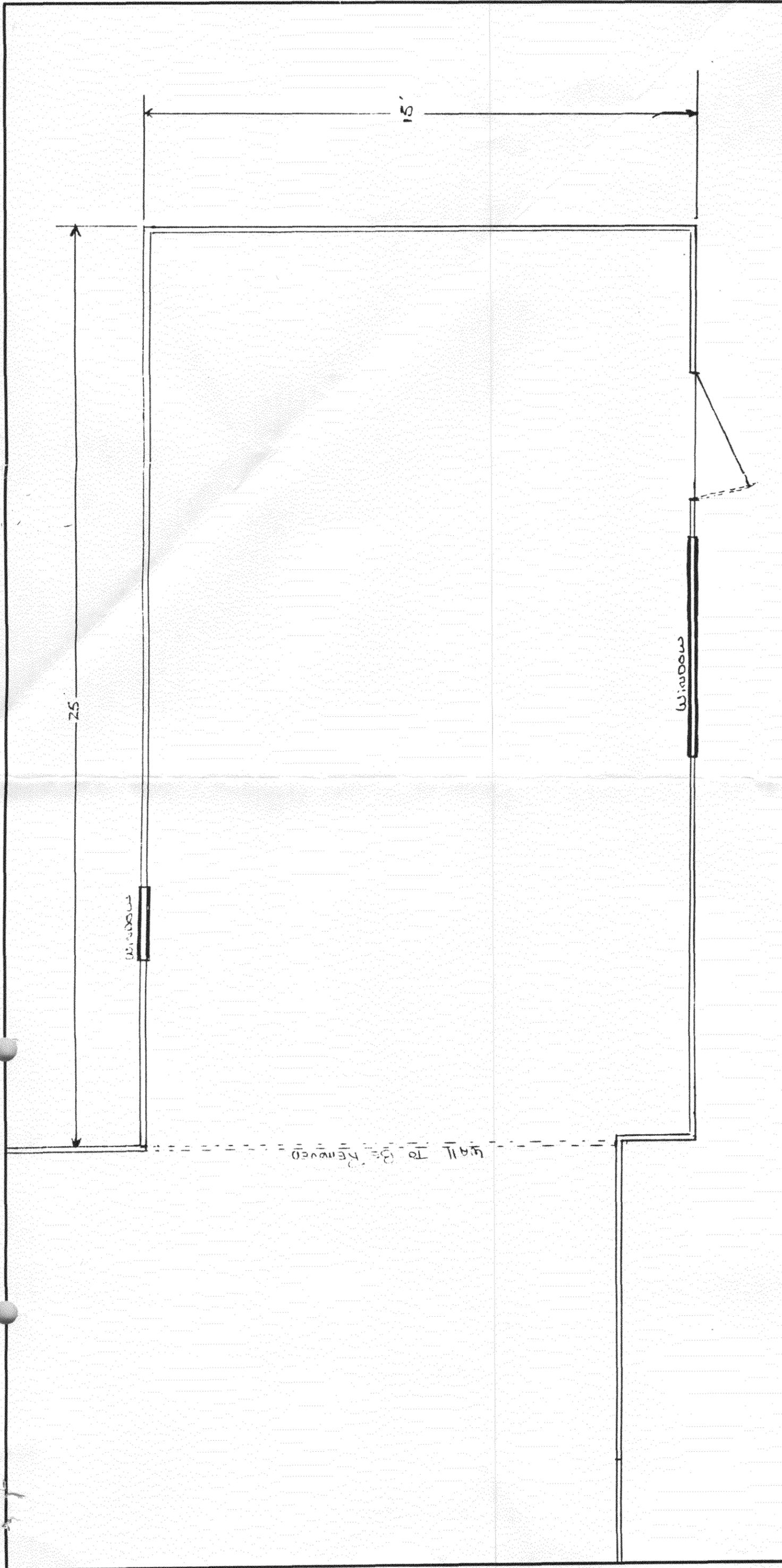
THIS CERTIFICATE ISSUED IN CONFORMITY TO SECTION 307, UNIFORM BUILDING CODE

INSPECTOR

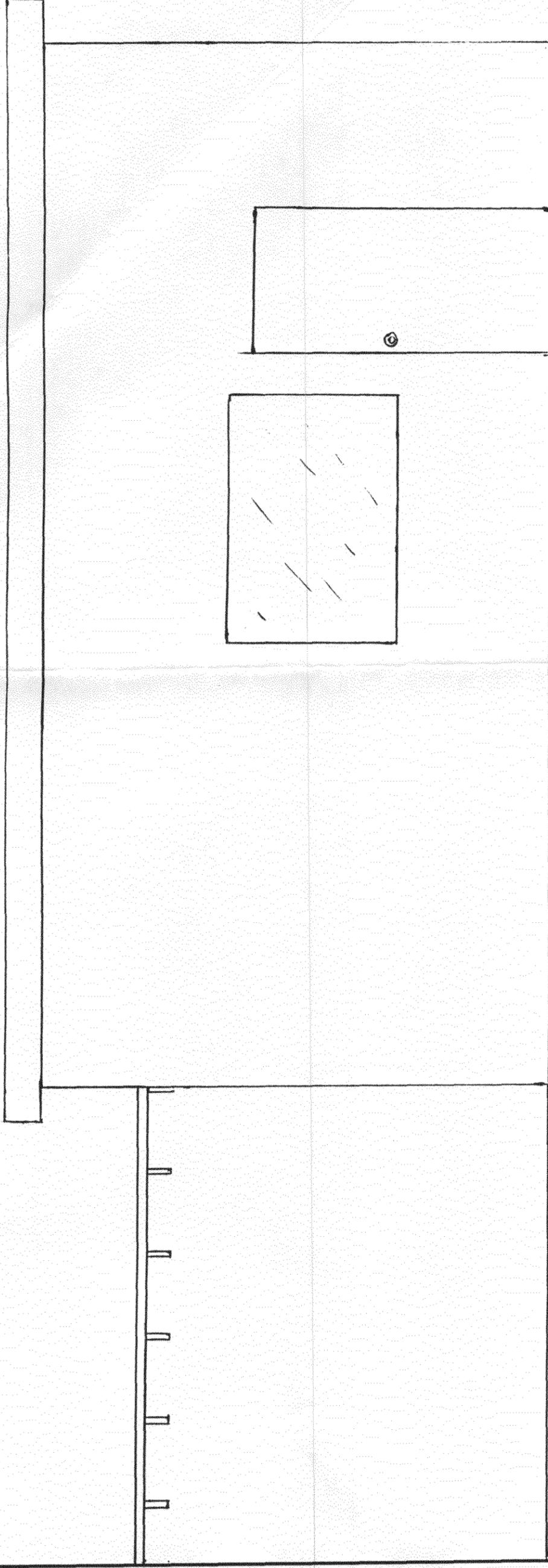
Donald J. Boy

City Planning

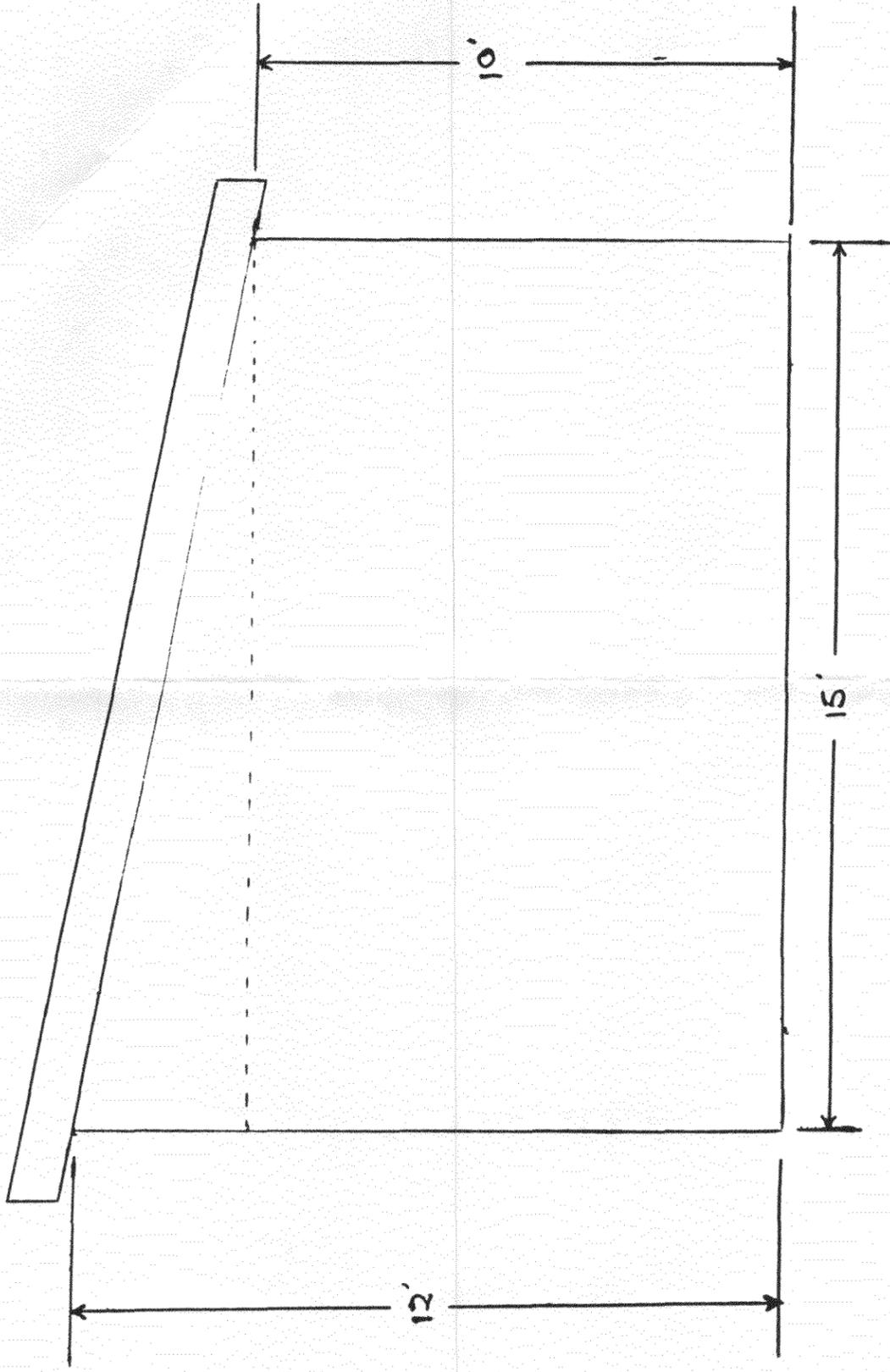
Bill Nohel



SCALE: 3/8	APPROVED BY:	DRAWN BY: CHUCK
DATE: 1-9-96		REVISED
474 28 1/2 ROAD		
CHUCK'S MARINE SERVICE		
		DRAWING NUMBER



SCALE: 3/8		DRAWN BY	
DATE:		REVISED	
APPROVED BY:			
DRAWING NUMBER			



SCALE:		APPROVED BY:		DRAWN BY:	
DATE:				REVISED	
				DRAWING NUMBER	

