

SUBMITTAL CHECKLIST

SITE PLAN REVIEW *Comments due 4/5/96*

Location: 555 25 Road

Project Name: All Sports Honda

ITEMS		DISTRIBUTION																				7 TOTAL REQ'D.						
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent Police	○ City Parks/Recreation	● City Fire Department	● City Attorney	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	● Drainage District / DJ	○ Water District	○ Sewer District	● U.S.-West	● Public Service	○ GVRP	○ CDOT	○ Corps of Engineers	○ Walker Field		○ Persigo WWT	○ Mesa County Health	○ State Environ. Health	○ City Sanitation	○ School Dist #51	
● Application Fee \$140 \$100	VII-1	1																										
● Submittal Checklist *	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																										
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1			X		1																					
○ Deeds	VII-1	1		1			1																					
○ Easements	VII-2	1	1	1	1		1																					
○ Avigation Easement	VII-1	1		1			1																					
○ ROW	VII-2	1	1	1	1		1																					
○ Improvements Agreement/Guarantee*	VII-2	1	1	1			1																					
○ CDOT Access Permit	VII-3	1	1																									
○ Industrial Pretreatment Sign-off	VII-4	1	1																									
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																									
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan Info (on SP)	IX-16	1	2										1						1									
○ Storm Drainage Plan and Profile	IX-30	1	2										1				1	1										
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1							1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2										1															
○ Road Cross-Sections	IX-27	1	2										1															
○ Detail Sheet	IX-12	1	2										1															
● Landscape Plan (on site plan)	IX-20	2	1	1																								
○ Geotechnical Report	X-8	1	1							1																		
○ Final Drainage Report	X-5,6	1	2										1															
○ Stormwater Management Plan	X-14	1	2										1						1									
○ Phase I and II Environmental Rerpot	X-10,11	1	1																									
○ Traffic Impact Study	X-15	1	2																1									

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

GENERAL PROJECT REPORT

Project Location: 555 25 Road
Grand Junction, CO 81505

Project Name: All Sports Honda

Date of Report: March 20, 1996

All Sports Honda is located on 2 acres, 1 block north of 25 Road and Highway 6 & 50.

Due to the nature of the business, many ATV's are stored in sight of 25 Road. In the past, All Sports Honda has been the victim of numerous thefts of motorcycles owned by the Business and customer units left for service. Mr. Guthrie has had conversations with the City Police Department to try and find a solution. He has installed security fencing, laser type perimeter detectors, access-restrictive structures and made every effort to enhance safety and security. These measures have not stopped the thefts.

The proposal is to install wall sheets only on the existing storage area. There will be no change in traffic or any impact to services in the area.

Steve McCallum
TPI
552 25 Road
Grand Junction, CO 81505
243-4642

REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-67

TITLE HEADING: Site Plan Review - All Sports
Honda

LOCATION: 555 25 Road

PETITIONER: Dwight Guthrie

PETITIONER'S ADDRESS/TELEPHONE: 555 25 Road
Grand Junction, CO 81505
243-4642

PETITIONER'S REPRESENTATIVE: Steve McCallum

STAFF REPRESENTATIVE: Kathy Portner

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

MESA COUNTY BUILDING DEPARTMENT

3/26/96

Bob Lee

244-1656

Need to obtain a building permit for the proposed work.

CITY FIRE DEPARTMENT

4/3/96

Duncan Brown

244-1414

The fire department finds the enclosure proposal acceptable. A complete set of plans should be submitted for review to determine the need for a one hour separation between existing enclosed area and proposed enclosed area.

CITY COMMUNITY DEVELOPMENT

4/3/96

Kathy Portner

244-1446

1. The parking, as it exists in front of the building, does not meet Code requirements because vehicles must back into the street to get out. However, since the proposed project is to only enclose an existing storage area the parking can remain as it is for now. Any future change in use of the area being enclosed from storage to some other use, such as retail, shop or office, will require further review of the parking. Future plans to widen 25 Road will necessitate the redesign of the parking.
2. Indicate the type of plantings proposed for the planters. The larger planter should contain one tree and have 40% shrub coverage. The smaller planter must meet the 40% shrub coverage requirement. Indicate how the plantings will be watered.

CITY DEVELOPMENT ENGINEER

4/3/96

Jody Kliska

244-1591

25 Road is scheduled for reconstruction in 2001. It is classified as a minor arterial, which requires a total right-of-way width of 80'. This will have an impact on the parking in the front at the time of construction. No right-of-way dedication is requested with this application - comments are meant to be informative.

CITY UTILITY ENGINEER

4/5/96

Trent Prall

244-1590

No objections to this site plan.

CITY POLICE DEPARTMENT

4/5/96

Dave Stassen

244-3587

No Comments.

TO DATE, COMMENTS NOT RECEIVED FROM:

City Attorney

RESPONSE TO REVIEW COMMENTS

FILE #SPR-96-67

Location: 555 25 Road
Petitioner: Dwight Guthrie/ All Sports Honda
Petitioner's Address/Telephone: C/O Steve McCallum
Grand Junction, CO 81505
243-4642
Petitioner's Representative: Steve McCallum
Staff Representative: Kathy Portner
Response Submitted: April 16, 1996

+++Mesa County Building Department, Bob Lee+++
A complete set of plans will be submitted to Bob Lee to obtain a building permit.

+++Fire Department, Duncan Brown+++
A complete set of plans have been submitted to Duncan Brown.

+++City Community Development, Kathy Portner+++
See attached revised plans for landscaping requirement.

+++City Development Engineer, Jody Kliska+++
Thank you for the information.

Sincerely,



Steve McCallum

RECEIVED GRAND JUNCTION
PLANNING DEPARTMENT

APR 16 1996



CITY OF GRAND JUNCTION
Code Enforcement Division
2549 River Road ~ Grand Junction, CO 81501
(970) 244-1593 ~ FAX (970) 256-4114

September 10, 2001

All Sports Honda
555 25 Road
Grand Junction CO 81505

Re: Landscaping

Dear Sir or Madam:

The Community Development Department has advised me that All Sports Honda will replant the landscape areas that were affected by the 25 Road improvements project. Please submit a plan for review and approval to the Community Development Department prior to planting. Please submit your plan by October 1, 2001.

If you have any questions please call me at 256-4103. Your attention to this letter is appreciated.

Sincerely

Nina McNally
Code Enforcement Officer

City of Grand Junction

Community Development Department
Planning • Zoning • Code Enforcement
250 North 5th Street
Grand Junction, CO 81501-2668

Phone: (970) 244-1430
FAX: (970) 256-4031



October 22, 2001

Dwight Guthrie
All Sports Honda
555 25 Road
Grand Junction, CO 81505

RE: File #SPR-96-67

Dear Mr. Guthrie:

Thank you for meeting with me today regarding the required landscaping at your business, All Sports Honda. As we discussed, the plan approved in 1996 included two planting areas with a total of two Pinyon Pines (*Pinus edulis*--minimum of 6' height at planting), 5 Rubber Rabbitbrush (*Chrysothamnus nauseosus*--minimum 5 gallon size), and 12 Juniper (*Juniperus horizontalis*--minimum 5 gallon size). We agreed that your landscaping requirement can be met by providing the two Pinyon Pines in the planting area to the north and the 17 shrubs within both of the planting areas. Other species of trees may be substituted, as may other species of shrubs with similar growth characteristics.

The landscaping must be completed by November 30, 2001 to avoid further action by Code Enforcement. I encourage you to check with a nursery as soon as possible as the planting season is fast drawing to a close. Thank you for your cooperation. If you have other questions, please call me at 244-1446.

Sincerely,

A handwritten signature in cursive script that reads "Katherine M. Portner".

Katherine M. Portner
Planning Manager

xc: Nina McNally, Code Enforcement



file #SPR-96-67

City of Grand Junction

Community Development Department
Planning • Zoning • Code Enforcement
250 North 5th Street
Grand Junction, CO 81501-2668

Phone: (970) 244-1430
FAX: (970) 256-4031



December 18, 2001

Dwight Guthrie
All Sports Honda
555 25 Road
Grand Junction, CO 81505

RE: File #SPR-96-67

Dear Mr. Guthrie:

Thank you for complying with the landscaping requirement of your 1996 expansion plan. It has been noted that the required plantings have been installed in the two planting areas in front of the building. I appreciate your quick response to this issue.

Happy Holidays!

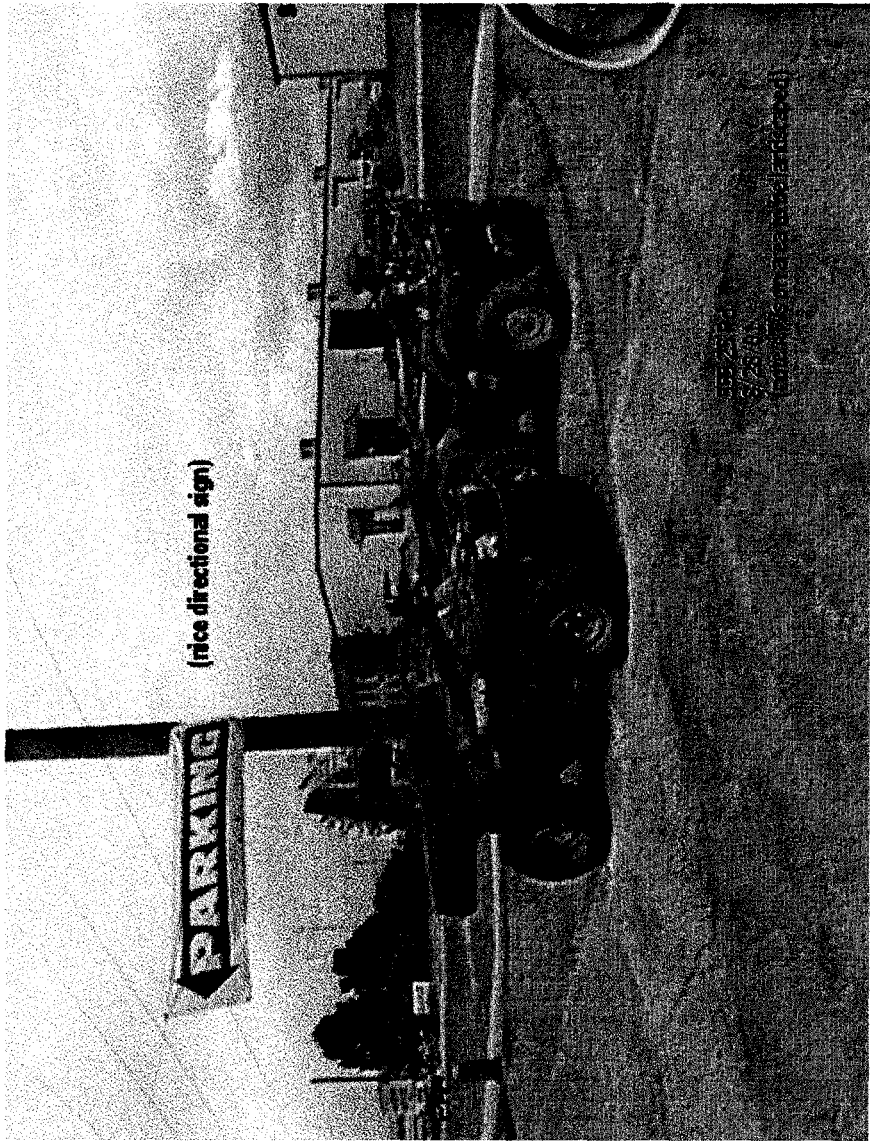
Sincerely,

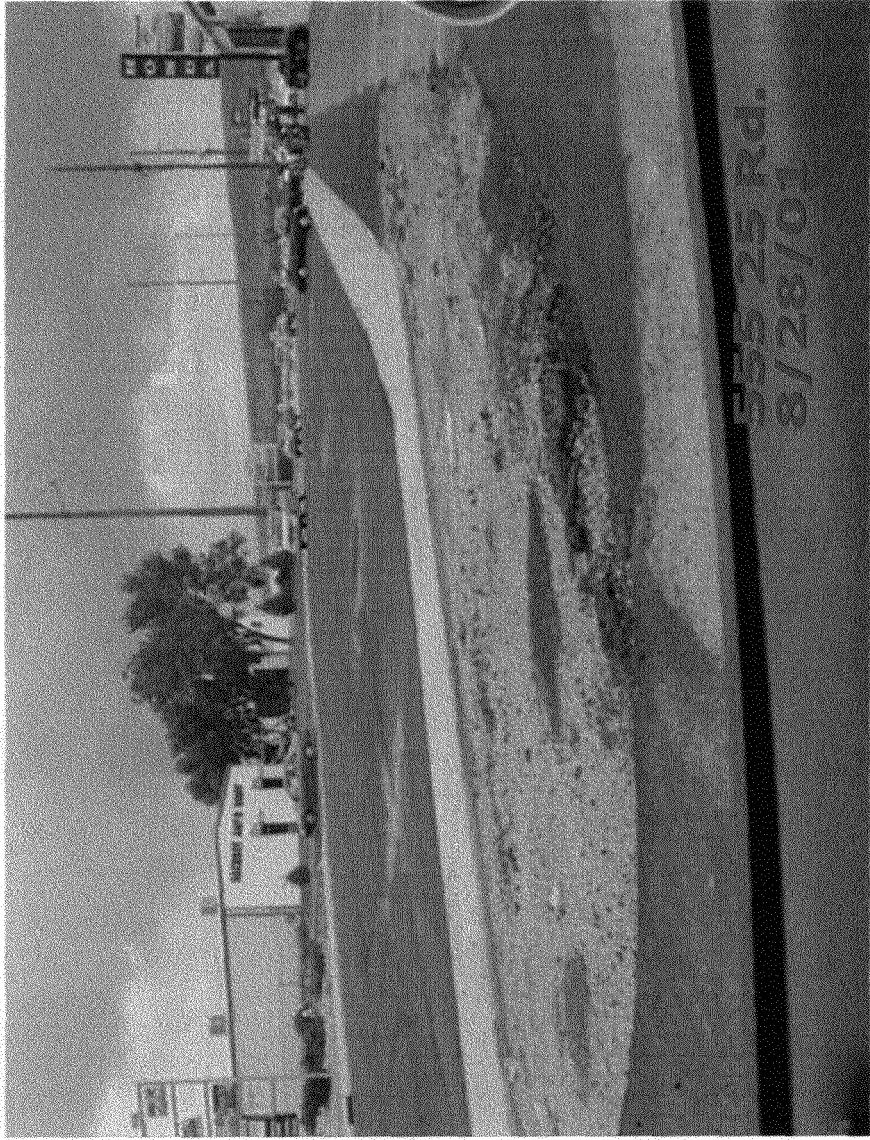
A handwritten signature in cursive script that reads "Katherine M. Portner".

Katherine M. Portner
Planning Manager

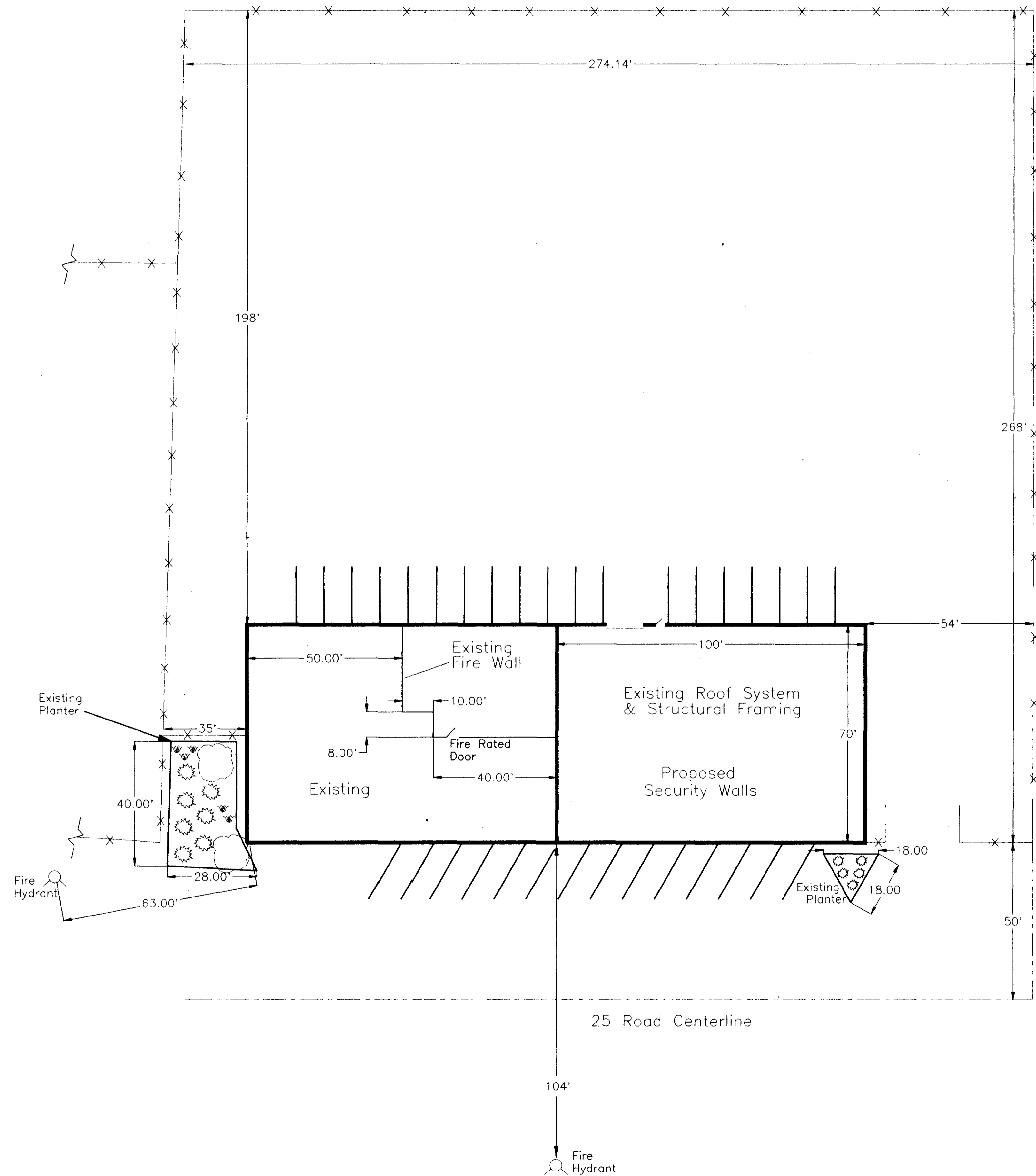
xc: Nina McNally, Code Enforcement










575 25 RD.
8/28/01



Landscape Legend

-  PINYON PINE (*Pinus edulis*) Quantity: 2
minimum caliper 1 1/2 in. (12 - 15 ft. at maturity)
-  RUBBER RABBITBRUSH (*Chrysothamnus nauseosus*) Quantity: 5
minimum 5 gallon size (4 - 6 ft. at maturity)
-  JUNIPER (*Juniperus horizontalis*) Quantity: 12
minimum 5 gallon size (1 - 2 ft. at maturity)

Note: Above plants are suitable for very low water zone and once established little irrigation will be required. Supplemental hand water will be used during the first growing season to establish plantings.

Site Plan



Scale: 1" = 20'

ACCEPTED RP 4/17/96
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

PROJECT: All Sports Honda
 555 25 Road
 Grand Junction, Colorado 81505

PREPARED FOR: TPI
 552 25 Road
 Grand Junction, Colorado 81505
 (970) 243 4642

JANICH LLP
 711 E. Cleveland Ave. * Fruita, Colorado 81521
 (970) 858 1454

SFR-1996-067

REVISIONS	DATE	DESCRIPTION

WILSON SUPPLY COMPANY
715 Arrowest Road
Grand Junction, CO

T.P.I.
552 25 Road #D
Grand Junction, CO 81505
(970) 241-1111

HydroTerra
Environmental Consulting

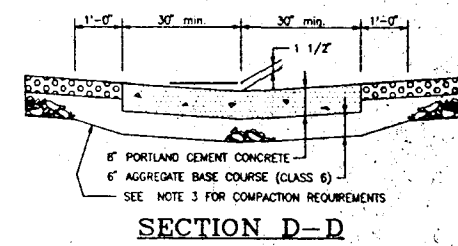
IMK & Associates

10/13/09
10/20/09

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
Acceptance of these plans does not release the developer, contractor, or the engineer from compliance with City of Grand Junction Standard Specifications for Road and Bridge Construction.

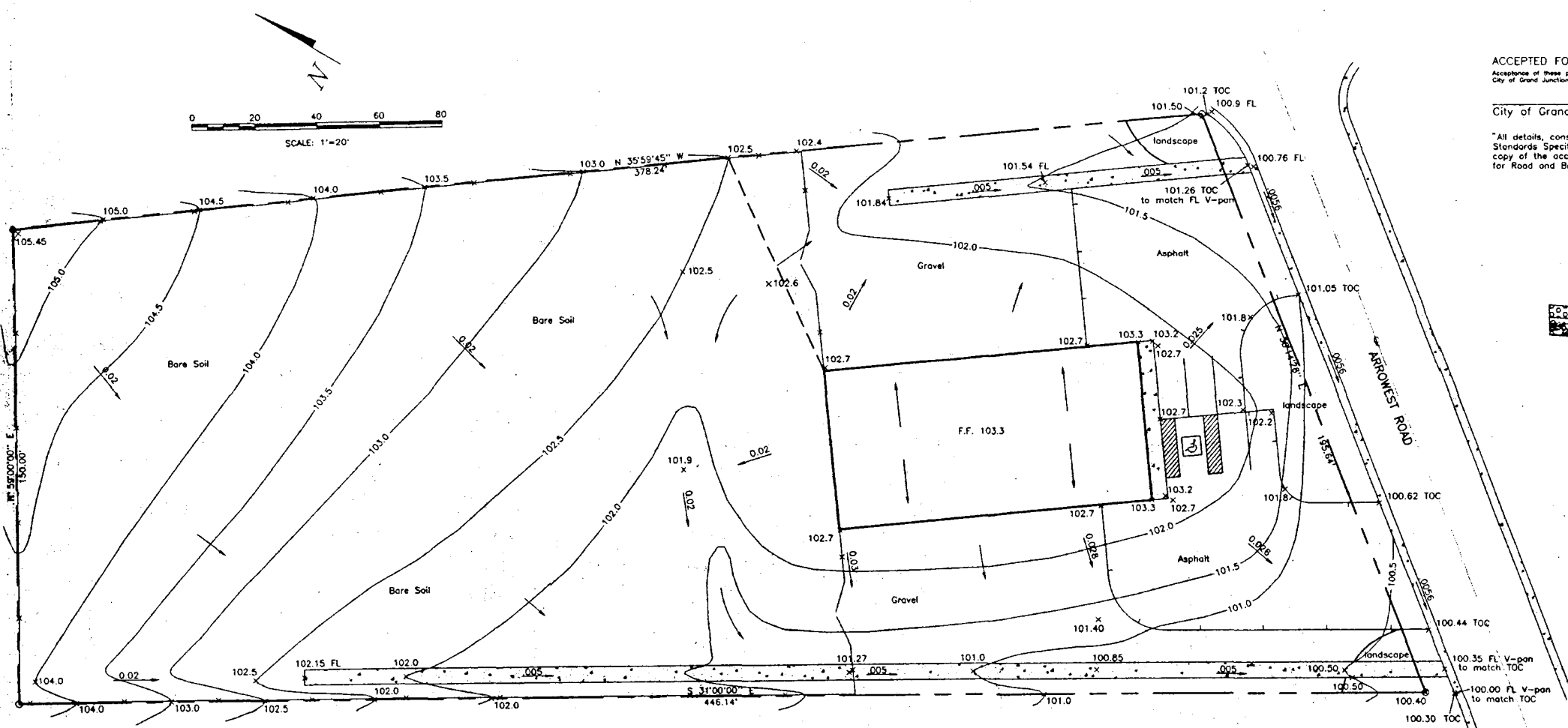
City of Grand Junction Engineering Division Representative Date

*All details, construction, inspection, and testing shall conform to City of Grand Junction Standard Specifications for Road and Bridge Construction. The contractor shall have a copy of the accepted plans and the current City of Grand Junction Standard Specifications for Road and Bridge Construction on-site and available at all times.



LEGEND

- Property Boundary
- Edge of Asphalt
- Concrete
- 0.02 Direction and Grade of Drainage
- Contour Line (contour interval=0.5')



GRADING and DRAINAGE PLAN

GENERAL NOTES

- ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STREET CONSTRUCTION SPECIFICATIONS.
- ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
- ALL CURBS, GUTTERS, SIDEWALKS, DRIVEWAYS, DRAINAGE PANS AND OTHER CONCRETE WORK SHALL BE UNDERLAIN WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF AASHTO T-180 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 6 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF AASHTO T-99 MAXIMUM DENSITY. ALL SATURATED OR UNSUITABLE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
- ALL EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
- ALL DRIVEWAY CONCRETE (APRON AND SIDEWALK CROSSING) SHALL BE 6 INCHES THICK (MIN.) FOR RESIDENTIAL USES AND 8" THICK (MIN.) FOR ALL OTHER USES.
- TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED IN ALL CURBS, GUTTERS, SIDEWALKS, V-PANS, ETC., AT ENDS OF HORIZONTAL CURVES, AT EDGES OF DRIVEWAY SECTIONS AND AT MAXIMUM SPACING OF 100'. TRANSVERSE CONTRACTION JOINTS SHALL BE PROVIDED AT 10' SPACING.
- VEHICULAR TRAFFIC SHALL BE KEPT OFF NEW CONCRETE FOR A MINIMUM OF FIVE DAYS UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.
- AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE IMMEDIATELY AFTER FINISHING.
- ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
- HANDICAP RAMPS SHALL BE INSTALLED AT EACH CORNER OF ALL STREET INTERSECTIONS. SEE EXHIBIT "G" FOR DETAILS.

CALCULATION for DRAINAGE FEE

Reference Section 5-6-1 of Development Code and Appendix B of SWMM

Rational Method composite runoff coefficient calculation

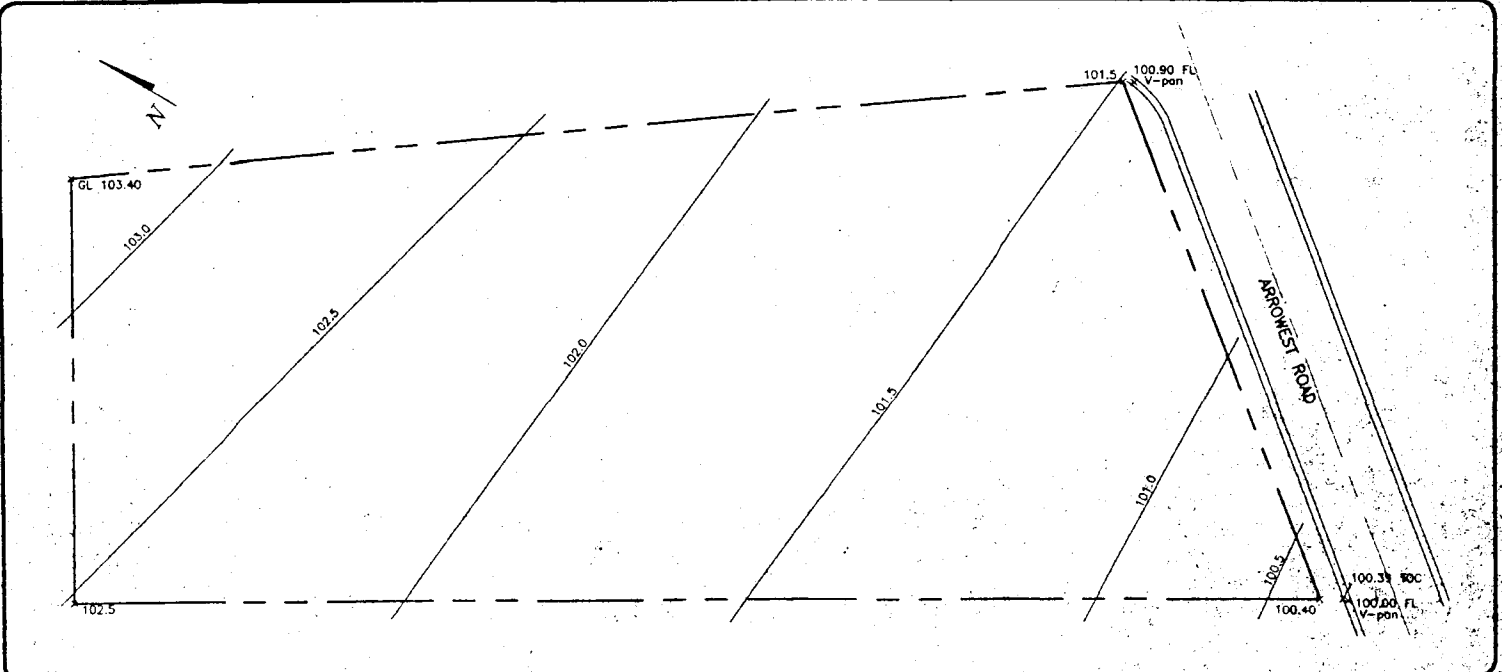
Surface Type	SCS Group	Area	Runoff Coefficient C100
Bare ground	D	1.59	.34
Total Acreage		1.59	Weighted C100 = .34
Surface Type	SCS Group	Area	Runoff Coefficient C100
Pave/Roof	D	.35	.95
Non-Green Landscape	D	.052	.54
Gravel Traffic Area	D	0.27	.83
Bare Ground	D	0.92	.34
Total Acreage		1.59	0.56

Drainage Fee (\$) = 10,000 (C100d-c100h) A²
= 10,000 (.56 - .34) 1.59²
Drainage Fee = \$3,043.69

All construction and materials shall comply with the City of Grand Junction Specifications and Standards details.

The Contractor shall have a signed copy of the plans and a copy of the City of Grand Junction Specifications and Standards on the job site.

- NOTES:
- Do not change elevations of pavements, curbs, or sidewalks without approval of the engineer.
 - Storm runoff from roofs must be discharged to the drainage area the roof is part of.



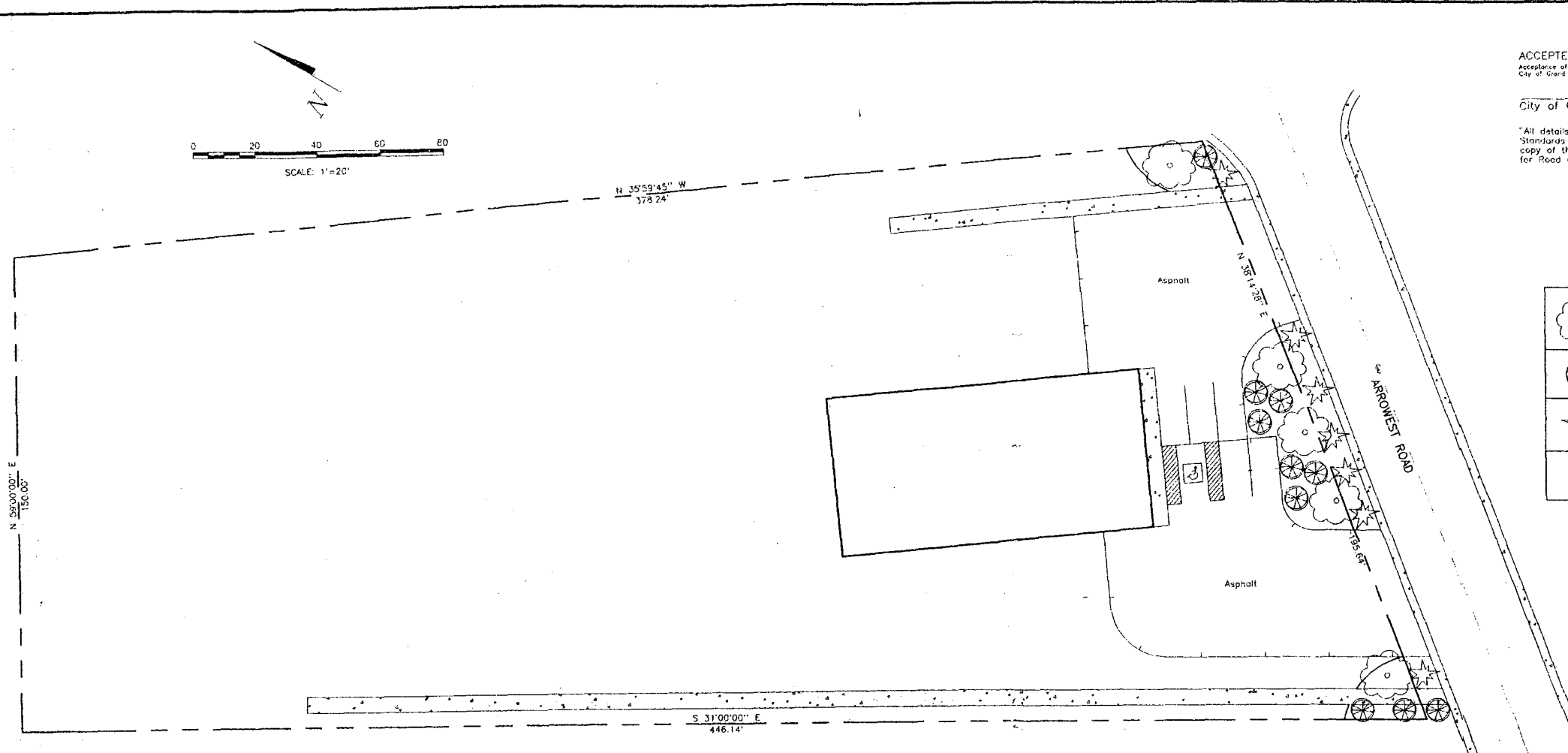
EXISTING DRAINAGE PLAN
N.T.S.

REVISIONS	BY

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
 Acceptance of these plans does not relieve the developer, contractor, or the engineer from performance with City of Grand Junction Standard Specifications for Road and Bridge Construction.

City of Grand Junction Engineering Division Representative Date

"All details, construction, inspection, and testing shall conform to City of Grand Junction Standard Specifications for Road and Bridge Construction. The contractor shall have a copy of the accepted plans and the current City of Grand Junction Standard Specifications for Road and Bridge Construction on-site and available at all times."

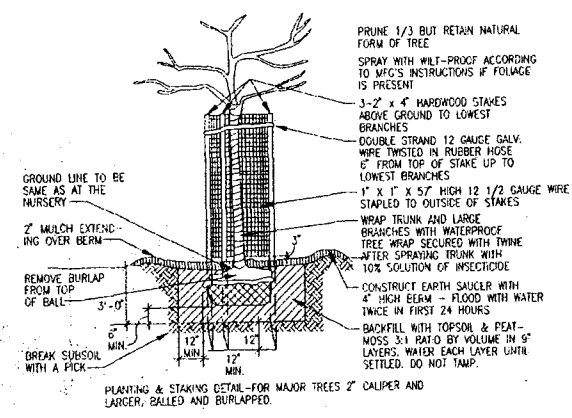


LANDSCAPE LEGEND

	Street Trees - Quantity 5 Goldenrain Tree (Koeleria Paniculata) Height at maturity: 20-30 ft. Spread: 25-35 ft. Minimum purchase size 1 1/2 caliper
	Shrubs Spreading Cotoneaster (Cotoneaster Divaricatus) - Quantity 10 Height at maturity: 3-5 ft. Spread: 5-8 ft. Minimum purchase size 5 gallons
	Blue Chip Juniper (Junipers Horizontalis) - Quantity 7 Height at maturity: 5-18 inches Spread: 5-8 ft. Minimum purchase size 5 gallons
	Ground covered with landscape fabric and shredded bark around trees and shrubs Open areas to be covered with landscape fabric and 1" to 2" washed, round gravel

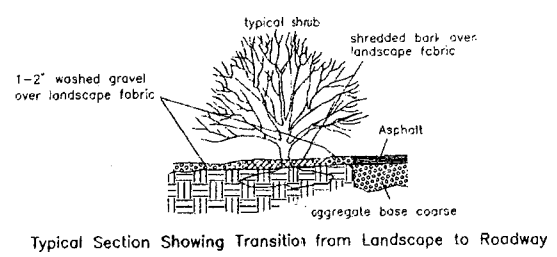
NOTE: An underground pressurized irrigation system will be provided.

LANDSCAPE PLAN



STANDARD SHADE TREES-BALLED AND BURLAPPED

*CALIPER	HEIGHT RANGE	MAXIMUM HEIGHTS	MINIMUM BALL DIAMETER	MINIMUM BALL DEPTH
1/2 to 3/4 in	5 to 6 ft.	8 ft.	12 inches	9 inches
3/4 to 1 in	6 to 8 ft.	10 ft.	14 inches	10 inches
1 to 1 1/4 in	7 to 9 ft.	11 ft.	16 inches	12 inches
1 1/4 to 1 1/2 in	8 to 10 ft.	12 ft.	18 inches	13 inches
1 1/2 to 1 3/4 in	10 to 12 ft.	14 ft.	20 inches	14 inches
1 3/4 to 2 in	10 to 12 ft.	14 ft.	22 inches	15 inches
2 to 2 1/2 in	12 to 14 ft.	16 ft.	24 inches	16 inches
2 1/2 to 3 in	12 to 14 ft.	16 ft.	26 inches	19 inches
3 to 3 1/2 in	14 to 16 ft.	18 ft.	32 inches	20 inches
3 1/2 to 4 in	14 to 16 ft.	18 ft.	36 inches	22 inches
4 to 5 in	16 to 18 ft.	22 ft.	44 inches	26 inches
5 to 6 in	18 and up	26 ft.	48 inches	28 inches

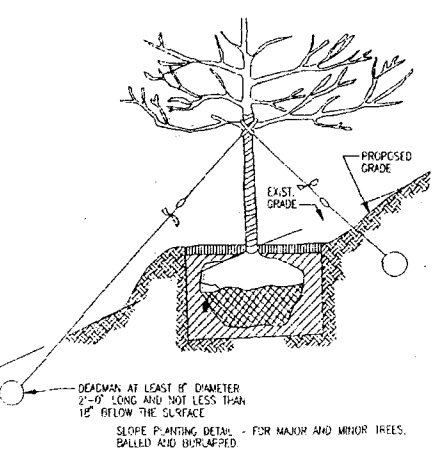
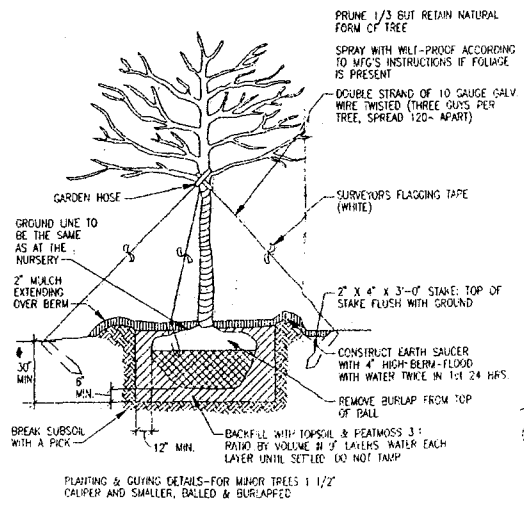
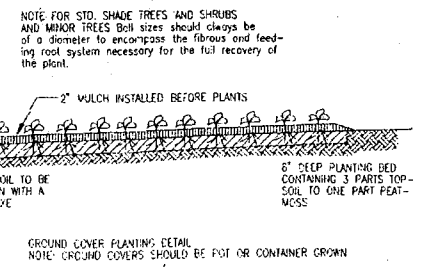
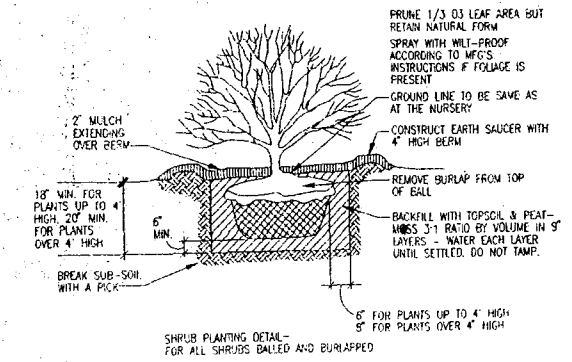


LANDSCAPE CALCULATIONS

REQUIRED	PROPOSED
75% of required front setback or 75% of first 5 ft. (5 x 195) 75 = 730 sq.ft.	100% of setback and R.O.W. minus access = 832 sq.ft.
5% of Parking Area (2550 x .05) = 127 sq.ft.	Parking Area Landscape = 1433 sq.ft.
Total Required = 857 sq.ft.	Total Proposed = 2265 sq.ft.

SHRUBS & MINOR TREES BALLED AND BURLAPPED

HEIGHT RANGE	MINIMUM BALL DIAMETER	MINIMUM BALL DEPTH
1 1/2 TO 2 FT.	10 inches	8 inches
2 TO 3 FT.	12 inches	9 inches
3 TO 4 FT.	13 inches	10 inches
4 TO 5 FT.	15 inches	11 inches
5 TO 6 FT.	16 inches	12 inches
6 TO 7 FT.	18 inches	13 inches
7 TO 8 FT.	20 inches	14 inches
8 TO 9 FT.	22 inches	15 inches
9 TO 10 FT.	24 inches	16 inches
10 TO 12 FT.	26 inches	17 inches



WILSON SUPPLY COMPANY
 715 Arrowst Road
 Grand Junction, CO

T.R.I.
 552 25 Road #D
 Grand Junction CO, 81505
 (970) 243 4642

HydroTerra
 Environmental Consulting
 1179 Santa Clara Ave.
 Grand Junction, CO 81505
 (970) 243 4454

JMK & Associates
 685 1/2 Phoenix Dr.
 Grand Junction, CO 81504
 (970) 434-9818

Date: 10/18/98
 Scale: 20 scale
 Drawn: JMK
 Sheet: S-1

REVISIONS	BY

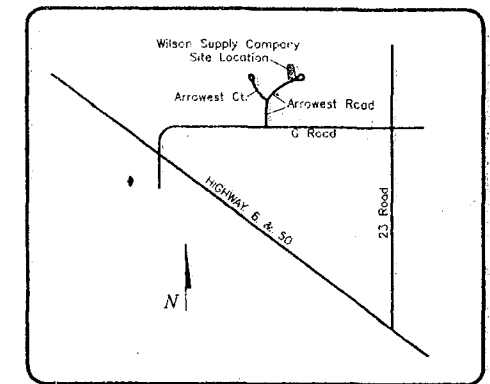
WILSON SUPPLY COMPANY
715 Arrowst Road
Grand Junction, CO.

T.P.I.
552 25 Road #D
Grand Junction, CO 81505
(970) 243-4642

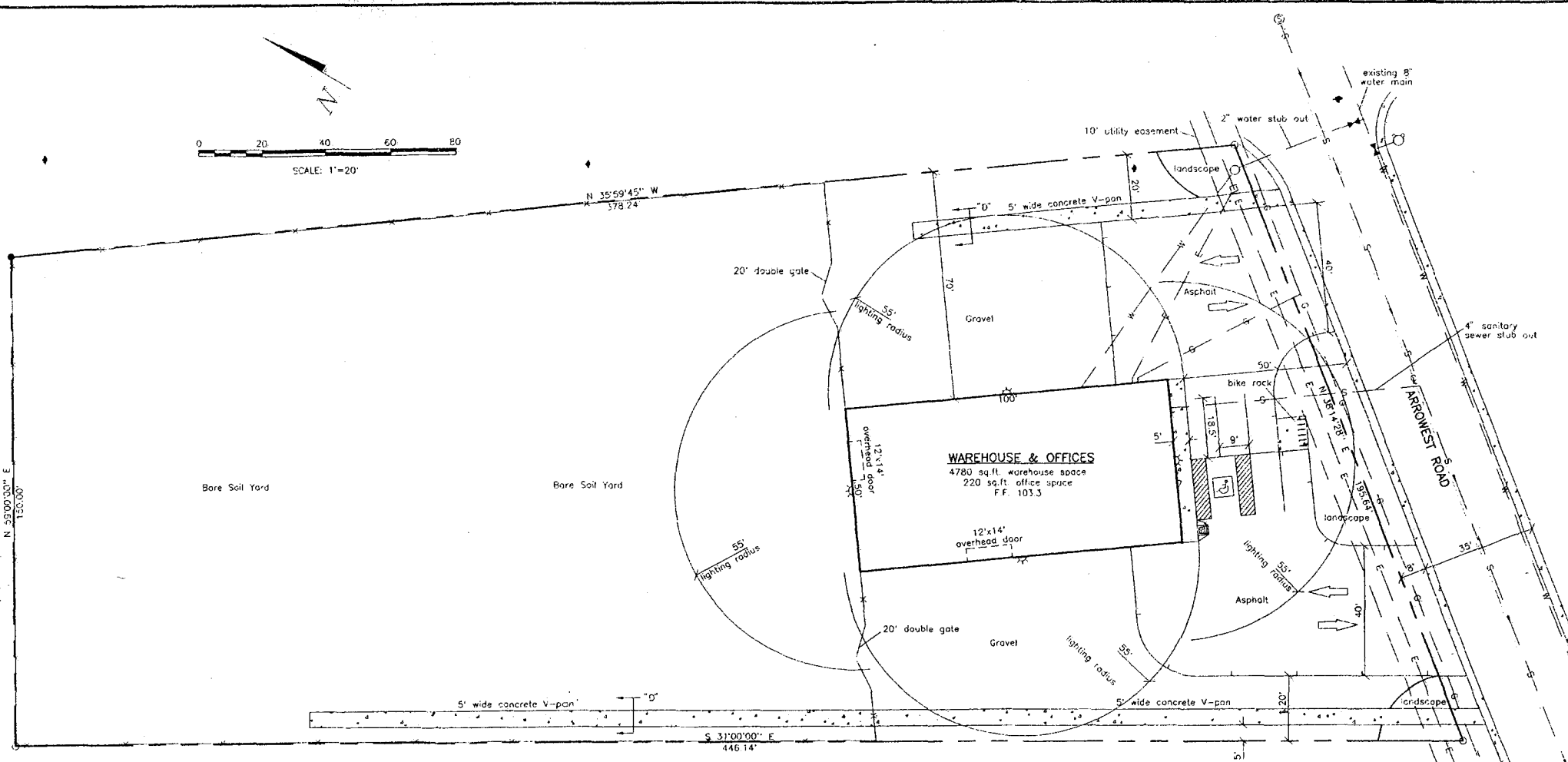
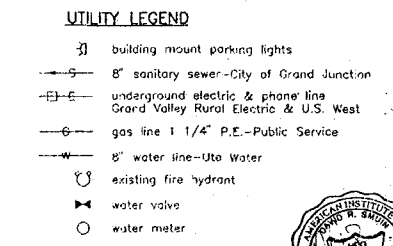
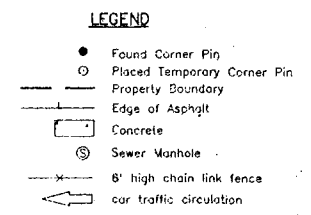
HydroTerra
Environmental Consulting
1179 Santa Clara Ave.
Grand Junction, CO 81503
(970) 242-4452

JMK & Associates
66 1/2 Fruitwood Dr.
Grand Junction, CO 81504
(970) 434-5818

Date: 10/18/98
Scale: 20' scale
Drawn: JMK
Sheet: SP-1

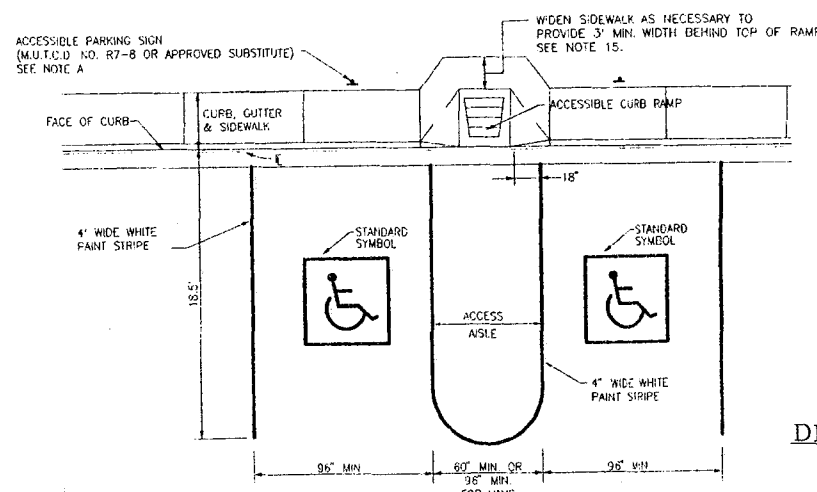


LOCATION MAP
N.T.S.



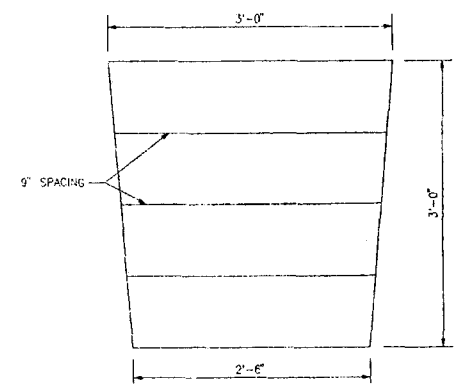
SITE PLAN/UTILITY COMPOSITE

1.59 Acres Zoned I-1 - Light Industrial
Lot 14 of Block 1 Arrowst Commercial Subdivision



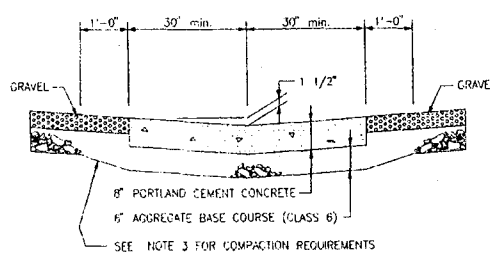
NOTES:
A. ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR THE DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY (SEE UFAS 4.30.5). SPACES COMPLYING WITH NOTE B SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL BE MOUNTED SO THEY CANNOT BE OBTSCURED BY A VEHICLE PARKED IN THE SPACE.
B. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 96" WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS SPECIFIED BY NOTE A.
C. PARKING ACCESS AISLES SHALL BE PART OF AN ACCESS ROUTE TO THE BUILDING OR FACILITY ENTRANCE. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.

STANDARD ACCESSIBLE PARKING STALL DETAIL



DETAIL FOR RAMP DETECTABLE WARNING

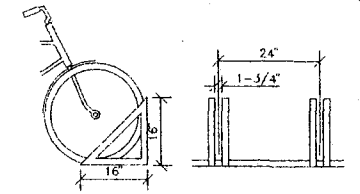
NOTE: GROOVES IN PATTERN ARE 1/4" MAX. DEPTH X 1/4" MAX. WIDTH



SECTION D-D

GENERAL NOTES

- ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STREET CONSTRUCTION SPECIFICATIONS.
- ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
- ALL CONCRETE RAMPS, SIDEWALKS, CURBS, GUTTERS AND OTHER CONCRETE WORK SHALL BE UNDERLAID WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF AASHTO T-180 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 6 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF AASHTO T-99 MAXIMUM DENSITY. ALL SATURATED OR UNSUITABLE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
- ANY EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
- DRAWING INDICATES TYPICAL SECTION ONLY. CONDITIONS AND/OR OBSTRUCTIONS MAY NECESSITATE VARIATIONS OR REPOSITIONING. ALL LOCATIONS SHALL BE APPROVED ON AN INDIVIDUAL BASIS BY THE CITY ENGINEER OR HIS REPRESENTATIVE.
- IN ALL CASES, ACCESSIBLE RAMPS SHALL BE ALIGNED WITH STREET CROSSWALKS.
- AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACE IMMEDIATELY AFTER FINISHING.
- ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- MINIMUM SPACING BETWEEN JOINTS IN CURB, GUTTER & SIDEWALK IS 5 FEET.
- MAXIMUM SPACING BETWEEN CONTRACTION JOINTS IS 10' IN ANY DIRECTION.
- WATER SHALL NOT BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
- THE MAXIMUM SLOPE ALLOWED ON ANY CURB RAMP OR SIDEWALK SHALL BE 1"/FT. (8.33%).
- THE SURFACE OF ALL ACCESSIBLE RAMPS AND FLARED SIDES SHALL BE FINISHED WITH A COURSE BROOMED TEXTURE PERPENDICULAR TO THE SLOPE OF THE RAMP.
- ALL HANDICAP RAMPS, PARKING STALLS, LANDINGS, ETC., SHALL CONFORM TO THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) LATEST EDITION.
- THE ADDITIONAL 3' SIDEWALK WIDTH SHOWN BEHIND RAMPS IN UNCONCRETE CURB, GUTTER AND SIDEWALK IS NOT REQUIRED WHERE RAMPS ARE INSTALLED ON EXISTING STREETS.



SINGLE ROW RACK BICYCLE RACK DETAIL

PARKING CALCULATIONS

REQUIRED	PROPOSED
1 space/300 sq.ft. office space	1 space/300 sq.ft. office space = 1
Total office area = 220 sq.ft.	1 space/warehouse employee
1 space/warehouse employee	Additional including 1 handicap accessible (bicycle parking) = 4
number of warehouse employee = 1	Total proposed = 6
1 handicap accessible	
Total required = 3	

SPR 1996
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ACCEPTED 10/13/98
ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.

ACCEPTED FOR CONSTRUCTION FOR ONE YEAR FROM THIS DATE.
Acceptance of these plans does not relieve the developer, contractor, or the engineer from conformance with City of Grand Junction Standard Specifications for Road and Bridge Construction.

City of Grand Junction Engineering Division Representative Date

All details, construction, inspection, and testing shall conform to City of Grand Junction Standard Specifications for Road and Bridge Construction. The contractor shall have a copy of the accepted plans and the current City of Grand Junction Standard Specifications for Road and Bridge Construction on-site and available at all times.