

PRE-APPLICATION CONFERENCE

Date: 3/26/96
Conference Attendance: Kathy P., Bill N., Jim Raff
Proposal: Parking lot
Location: Spruce & White
Tax Parcel Number: 2945-154-02-937
Review Fee: \$135.00

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required?
Adjacent road improvements required?
Area identified as a need in the Master Plan of Parks and Recreation?
Parks and Open Space fees required? Estimated Amount:
Recording fees required? Estimated Amount:
Half street improvement fees/TCP required? Estimated Amount:
Revocable Permit required?
State Highway Access Permit required?
On-site detention/retention or Drainage fee required?
Applicable Plans, Policies and Guidelines
Located in identified floodplain? FIRM panel #
Located in other geohazard area?
Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?
Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Screening/Buffering, Land Use Compatibility, Drainage, Landscaping, Traffic Generation, Floodplain/Wetlands Mitigation, Availability of Utilities, Geologic Hazards/Soils, Other

Related Files:

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signatures of Petitioner(s) and Representative(s)

SUBMITTAL CHECKLIST

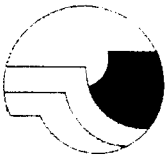
SITE PLAN REVIEW

Location: White & Spruce

Project Name: Mesa County Facilities Management

ITEMS	DISTRIBUTION																				TOTAL REQ'D.							
DESCRIPTION	SSID REFERENCE	<input checked="" type="checkbox"/> City Community Development	<input checked="" type="checkbox"/> City Dev. Eng.	<input type="checkbox"/> City Utility Eng.	<input type="checkbox"/> City Property Agent	<input type="checkbox"/> City Parks/Recreation	<input checked="" type="checkbox"/> City Fire Department	<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Downtown Dev. Auth.	<input type="checkbox"/> County Planning	<input checked="" type="checkbox"/> County Bldg. Dept.	<input type="checkbox"/> Irrigation District	<input type="checkbox"/> Drainage District	<input type="checkbox"/> Water District	<input type="checkbox"/> Sewer District	<input type="checkbox"/> U.S. West	<input type="checkbox"/> Public Service	<input type="checkbox"/> GVRP	<input type="checkbox"/> CDOT	<input type="checkbox"/> Corps of Engineers		<input type="checkbox"/> Walker Field	<input type="checkbox"/> Persigo WWT	<input type="checkbox"/> Mesa County Health	<input type="checkbox"/> State Environ. Health	<input type="checkbox"/> City Sanitation	<input type="checkbox"/> School Dist #51	
Date Received																												
Receipt #																												
File #																												
<u>3/28/96</u>																												
<u>3749</u>																												
<u>SPR-96-70</u>																												
● Application Fee	VII-1	1																										
<u>\$135.00</u>																												
● Submittal Checklist *	VII-3	1																										
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																										
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
<u>8 1/2" x 11"</u>																												
● Evidence of Title	VII-2	1		1			1																					
○ Deeds	VII-1	1		1			1																					
○ Easements	VII-2	1	1	1	1			1																				
○ Avigation Easement	VII-1	1		1			1																					
○ ROW	VII-2	1	1	1	1			1																				
○ Improvements Agreement/Guarantee*	VII-2	1	1	1			1																					
○ CDOT Access Permit	VII-3	1	1																									
○ Industrial Pretreatment Sign-off	VII-4	1		1																								
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																									
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan <u>on site plan</u>	IX-16	1	2									1								1								
○ Storm Drainage Plan and Profile	IX-30	1	2									1					1	1	1									
○ Water and Sewer Plan and Profile	IX-34	1	2	1			1						1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2									1																
○ Road Cross-Sections	IX-27	1	2																									
○ Detail Sheet	IX-12	1	2																									
● Landscape Plan <u>site plan - only prepared</u>	IX-20	2	1	1																								
○ Geotechnical Report	X-8	1	1								1																	
○ Final Drainage Report	X-5,6	1	2										1															
○ Stormwater Management Plan	X-14	1	2										1								1							
○ Phase I and II Environmental Rerpot	X-10,1	1	1																									
○ Traffic Impact Study	X-15	1	2																									

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.



Mesa County Facilities Management Department

P.O. Box 20,000 ● Grand Junction, Colorado 81502-5024 ● PH. (970) 244-3230 FAX (970) 244-3240

GENERAL PROJECT REPORT

March 27, 1996

TO: Community Development Department
City of Grand Junction

FROM: Mesa County Facilities Management

The intent of the proposed project is to overlay an existing parking lot with asphalt and add a curb cut on the west side. This site has historically been a parking lot for many years. The lot has had several covering on it including, pavement, concrete and road base. Several years ago Mesa County removed a connecting structure from between the two buildings and filled in with road base. In an attempt to clean up the area we are planning to overlay everything with asphalt and add a curb cut for better access. The result of the overlay will be dust and weed control plus giving the site a more professional appearance.

The parking lot will be used mainly by County employees that work in the north structure of the site. This parking will be between the two structures and on the west end of the south structure, as indicated on the plans. The balance of the lot will be used in the day to day operation of County Maintenance for unloading and loading of vehicles from their shop and storage, and the Sheriff's Office unloading, loading and staging of their emergency equipment and supplies.

We are not proposing any landscaping at this time for the following reasons. The entire city block does not have any at this time. The site is not very conducive to landscaping and would be very difficult to supply with water. Historically this parking lot has had none in the past and we propose the same for the future.

SINCERELY:

A handwritten signature in black ink, appearing to read "Jim Raff".

Jim Raff, Supervisor

Mesa County Facilities Management

REVIEW COMMENTS

Page 1 of 1

FILE #SPR-96-70

TITLE HEADING: Site Plan Review - Parking Lot

LOCATION: 315 Spruce St.

PETITIONER: Mesa County Facilities Management Dept.

PETITIONER'S ADDRESS/TELEPHONE: P.O. Box 20,000
Grand Junction, CO 81502
244-3230

PETITIONER'S REPRESENTATIVE: Jim Raff, Supervisor

STAFF REPRESENTATIVE: Kathy Portner

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

CITY DEVELOPMENT ENGINEER 3/29/96
Jody Kliska 244-1591

Permit for new curb cut is required from City Engineer's office.

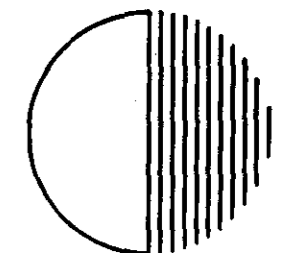
CITY COMMUNITY DEVELOPMENT 4/8/96
Kathy Portner 244-1446

1. The "existing driveway" located just west of the building on White Avenue is actually a continuous open curb to the corner. That driveway is not usable with the parking spaces shown along the building and is not needed for the internal circulation of the parking lot. The access must be closed off with curbing, fencing, landscaping or some other method to be approved by the City.
2. City code requires landscaping of a site for any new development. Because the area being proposed for a parking lot is small and has been used for parking in the past we will not require landscaping but recommend the County consider landscaping along any or all of the street frontages. The areas not needed for the parking lot should be left unpaved and preserved for future landscaping. You might want to also consider running irrigation pipes to those areas prior to paving the lot. The corner of Rice Street and White Avenue, and along those frontages, would greatly benefit from some landscape treatment.

TO DATE, NO COMMENTS RECEIVED FROM:

City Fire Department

*4/8/96 - Petitioner satisfactorily responded to comment comments.
See approved site plan.*

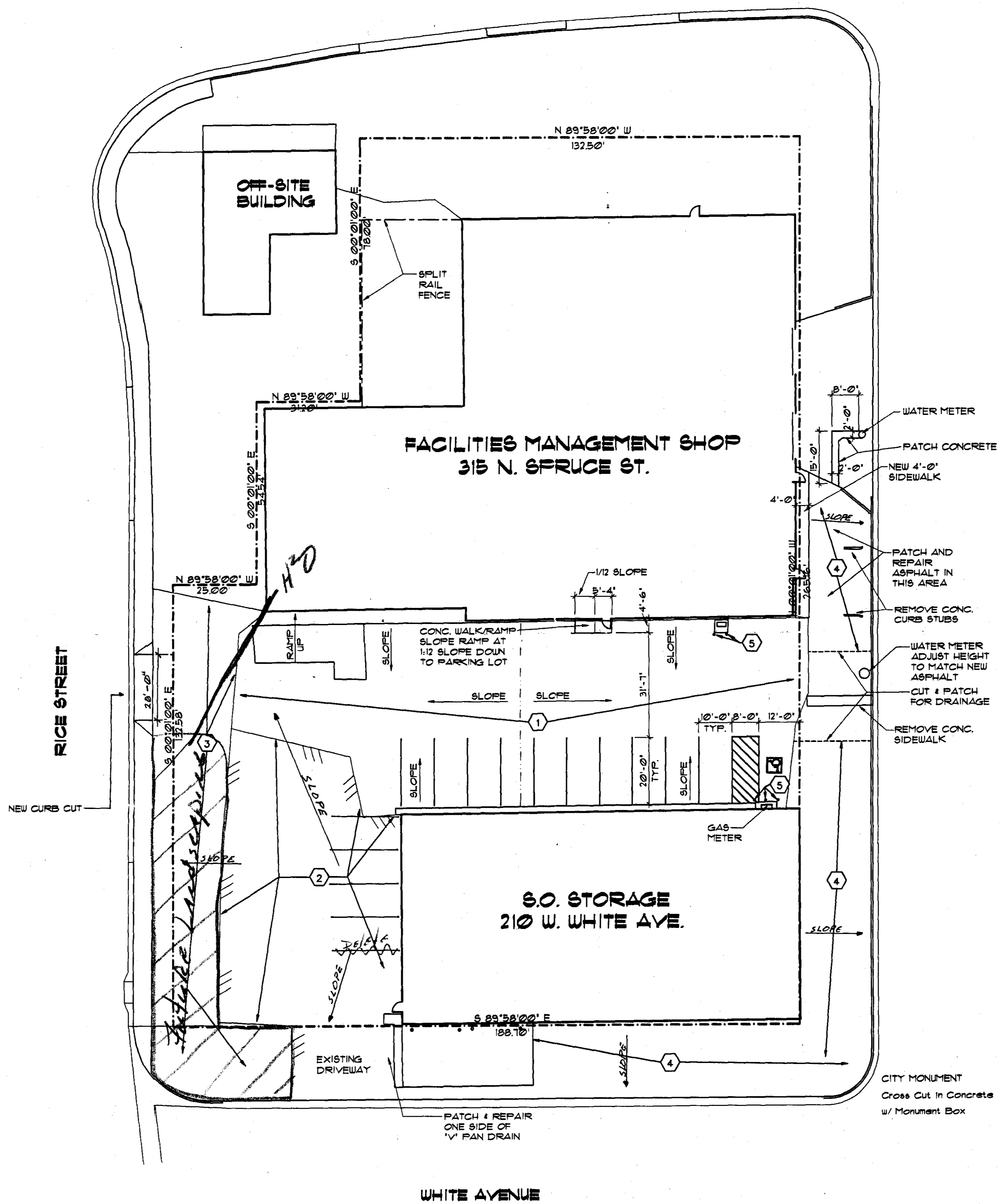


DILLON-HUNT P.C.

ARCHITECTURE AND FACILITY MANAGEMENT

804 GRAND AVENUE
GRAND JUNCTION,
CO 81501
(303) 245-7383
(303) 245-7437 (FAX)

SPR-1996-070



GENERAL NOTES

- ① 2" ASPHALT OVER EXIST. COMPACTED FILL
- ② 2" ASPHALT OVER EXIST. ASPHALT
- ③ 2" ASPHALT OVER 6" NEW COMPACTED FILL
- ④ SEAL COAT OVER EXIST. ASPHALT
- ⑤ NEW CONC. FILLED PIPE BALLARDS

PROJECT PHASE

APPROVED BY: _____

PROJECT NO: 9313
 DATE ISSUED: 12-06-94
 TIME ISSUED: 15:33
 DRAWN BY: DKH
 SCALE: 1" = 20'-0"
 SHEET SIZE: 36x24

MESA COUNTY FACILITIES
 MANAGEMENT SHOP
 315 SPRUCE STREET

SHEET NO.

SP1

OF

Permit required for curb cut

ACCEPTED *AP 4/8/96*
 ANY CHANGE OF SETBACKS MUST BE APPROVED BY THE CITY PLANNING DEPT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY LOCATE AND IDENTIFY EASEMENTS AND PROPERTY LINES.