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File SPR-1996-072

Name: 709 Horizon Drive – Alpine Bank – Site Plan Review

P r e s e n t	S c a n n e d	<p>A few items are denoted with an asterisk (*), which means they are to be scanned for permanent record on the ISYS retrieval system. In some instances, items are found on the list but are not present in the scanned electronic development file because they are already scanned elsewhere on the system. These scanned documents are denoted with (**) and will be found on the ISYS query system in their designated categories.</p> <p>Documents specific to certain files, not found in the standard checklist materials, are listed at the bottom of the page. Remaining items, (not selected for scanning), will be listed and marked present. This index can serve as a quick guide for the contents of each file.</p>
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X	X	Table of Contents
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		Reduction of assessor's map.
		Evidence of title, deeds, easements
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		*Final reports for drainage and soils (geotechnical reports)
		Other bound or non-bound reports
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X	X	*Staff Reports
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		*City Council staff report and exhibits
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DOCUMENT DESCRIPTION:

X	X	Correspondence			
X	X	DIA - ** - and request to release funds – original to City Clerk			
X		Direct Pay Invoice Worksheet – Header Data			
X	X	Environmental Site Assessment – 1/31/95			
X		Owner's Policy of Title Ins. - Meridian Land Title Inc.-12/23/95			
X	X	Traffic Study			
X	X	Planning Clearance – 4/17/96 - **			
X	X	Avigation Easement - Bk 2226 / Pg 361- original to Airport			
X	X	Preliminary Drainage Report – 6/95			
X		Fax Transmittals			
X	X	Site and Utility Plan – to be scanned			
X		Lighting – foot candle diagram			
X	X	Landscape Plan			
X		Elevation Maps			

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: 709 HORIZON DRIVE

Project Name: ALPINE BANK

ITEMS		DISTRIBUTION																		TOTAL REQ'D.									
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	○ City Property Agent	○ City Parks/Recreation	● City Fire Department	● City Attorney	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	● Drainage District - GVDU	● Water District - UTE	○ Sewer District	● U.S. West	● Public Service	○ GVRP	○ CDOT		○ Corps of Engineers	● Walker Field	○ Persigo WWT	○ Mesa County Health	○ State Environ. Health	○ City Sanitation	○ School Dist #51		
● Application Fee	VII-1	1																										1	
● Submittal Checklist *	VII-3	1																										1	
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	11	
● Planning Clearance*	VII-3	1																										1	
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	11	
● Evidence of Title	VII-2	1					1																					2	
○ Deeds	VII-1	1				1		1																					
○ Easements	VII-2	1	1	1	1				1																				
○ Avigation Easement	VII-1	1						1																					
○ ROW	VII-2	1	1	1	1			1																					
○ Improvements Agreement/Guarantee*	VII-2	1	1	1				1																					
○ CDOT Access Permit	VII-3	1	1																										
○ Industrial Pretreatment Sign-off	VII-4	1		1																									
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	11
● Elevation Drawing	IX-13	1	1																									2	
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	13	
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1		
● Grading and Drainage Plan	IX-16	1	2										1							1								4	
○ Storm Drainage Plan and Profile	IX-30	1	2										1				1	1	1										
○ Water and Sewer Plan and Profile	IX-34	1	2	1			1							1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2										1																
○ Road Cross-Sections	IX-27	1	2																										
○ Detail Sheet	IX-12	1	2																										
● Landscape Plan	IX-20	2	1	1																								4	
○ Geotechnical Report	X-8	1	1								1																		
● Final Drainage Report	X-5,6	1	2										1															4	
○ Stormwater Management Plan	X-14	1	2										1							1									
● Phase I and II Environmental Rerpot	X-10,1	1	1																									2	
○ Traffic Impact Study	X-15	1	2																	1									

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

GENERAL PROJECT REPORT

FOR THE CITY OF GRAND JUNCTION, COLORADO

A. PROJECT DESCRIPTION

1. LOCATION:
Lot 2 of Applebee's Subdivision - Grand Junction, Co.
709 Horizon Drive
Grand Junction, Colorado
2. ACREAGE:
Lot Area - 1.01 acres
3. PROPOSED USE:
Bank building with five drive-up lanes, related parking, and driveways.

B. PUBLIC BENEFIT

1. CONVENIENCE:
Alpine Banks of Colorado feels there is a need for a "convenience banking" facility in the Horizon Drive area. The facility will be used primarily by people working in the vicinity and by nearby businesses.

C. PROJECT COMPLIANCE, COMPATIBILITY, AND IMPACT

1. ADOPTED PLANS AND/OR POLICIES:
Normal banking activities. Low noise and visual impact on community.
2. LAND USE IN THE SURROUNDING AREA:
Retail and service businesses - commercial uses, service stations, and motels.

3. **SITE ACCESS AND TRAFFIC PATTERNS:**

The site will be served by two 2-way driveways. One driveway will be located at an existing approved curbcut with its centerline on the south property line. This driveway and parking will be shared with the future purchaser of lot 3 to the south by means of a permanent agreement to share driveway and parking facilities.

The north driveway is now in existence on lot one and is presently being used by Applebee's Restaurant. The majority of bank drive-up traffic will use this entrance driveway by a permanent agreement to share driveway and parking facilities. The majority of site traffic will exit the property by the southerly driveway.
4. **AVAILABILITY OF UTILITIES:**

All utilities presently exist at the site or in the street and have been approved by prior city review. A fire hydrant exists on the south side of the Applebee's Restaurant entrance driveway and will be 85 feet from the proposed bank building.
5. **SPECIAL OR UNUSUAL DEMANDS ON UTILITIES:**

There are no special or unusual demands.
6. **EFFECTS ON PUBLIC FACILITIES:**

There will be no additional effects on public facilities.
7. **SITE SOILS AND GEOLOGY:**

Soils and geology aspects were researched and professional reports were filed with the Applebee's Subdivision application. Required site clean-up has been accomplished. See attached Storage Tank Technology report dated January 31, 1995.
8. **IMPACT ON SITE GEOLOGY:**

No adverse geologic conditions exist on the site or are adjacent that would effect the site. However, the site has been graded with the Applebee's construction and remains in a raw unvegetated state with surface erosion potential. The proposed project will correct this condition.
9. **HOURS OF OPERATION:**

8:00 a.m. until 6:00 p.m., Monday through Friday.
9:00 a.m. until noon on Saturday.

10. NUMBER OF EMPLOYEES:
3-7.

11. SIGNAGE PLANS:
Sign permit applications will be submitted during construction. A free-standing or monument sign will be located near the northeast property corner and a logo-type graphics will be part of the building face. Other small informational signs will be located to direct traffic.

D. DEVELOPMENT SCHEDULE AND PHASING:
Utilities, curbs, gutters, sidewalk, and partial parking already exist. Building construction anticipated to begin April 1996.



STORAGE TANK TECHNOLOGY, INC.

1048 Independent Avenue, A-106, Grand Junction, CO 81505

(303) 243-1642 • FAX (303) 243-1959

PHASE I ENVIRONMENTAL SITE ASSESSMENT

AT

707, 709, AND 709½ HORIZON DRIVE
GRAND JUNCTION, MESA COUNTY, COLORADO 81506

FOR

MR. LARRY LAHUSEN
C/O MR. ROGER WILCOX
LENNON, SMITH & WILCOX
551 GRAND AVENUE, SUITE A
GRAND JUNCTION, COLORADO 81501

January 31, 1995

By: Lori Apperson-Weinberg

Phase I Environmental Site Assessment
At
707, 709, and 709½ Horizon Drive
Grand Junction, Mesa County, Colorado 81506
For
Mr. Larry Lahusen
c/o Mr. Roger Wilcox
Lennon, Smith & Wilcox
551 Grand Avenue, Suite A
Grand Junction, Colorado 81501

INTRODUCTION

Storage Tank Technology, Inc. (STTI) was retained by Mr. Larry Lahusen to perform a Phase I Environmental Site Assessment at 707, 709, and 709½ Horizon Drive (project site), Grand Junction, Mesa County, Colorado 81506. STTI performed a Transaction Screen for the project site, the details of which were discussed in a report dated April 1, 1994, previously submitted to Mr. Lahusen.

The project site was investigated in accordance with approved Standards of Practice for Phase I Environmental Assessments of Commercial Real Estate, set forth by the American Society for Testing and Materials (ASTM). These standards are intended to help qualify for "innocent landowner" protection under the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (CERCLA). CERCLA is considered when there has been a release or there is a substantial threat of a release of a hazardous substance into the environment.

This Phase I included a resurvey of the project site on January 24, 1995. The Transaction Screen was revised and updated with additional review of State and Federal information. Environmental concerns investigated included the past and present use of the site, occurrence of storage tanks onsite and in the surrounding vicinity, and the possibility of hazardous substances, stained soils, and uranium mill tailings within the project site boundaries. No soil, ground water, or asbestos sampling, radon testing, or laboratory analyses were performed for this report.

Sources of information included Mesa County Assessor (Assessor), United States Geological Survey (U.S.G.S.), Colorado Department of Public Health and Environment (CDPHE), Grand Junction City Directories (Polk), United States Soil Conservation Service (SCS), Air Photo Surveys, Inc., STTI files (STTI), Mr. Roger Wilcox (Wilcox) realtor, and an environmental database search by the Environmental Risk Information I Imaging Services (ERIIS) of Herndon, Virginia. STTI's Phase I Commercial Property Environmental Checklist is included in Appendix I.

SITE LOCATION

The project site is situated in the SW 1/4 of the SE 1/4, Section 36, Township 1 North, Range 1 West. Figure 1 is a U.S.G.S. map of the project site area. More specifically, the project site, consisting of three independent parcels, is located within Block 27 of the Northside Park Subdivision, near the intersection of G Road and Horizon Drive. Figure 2 is a detailed street map of the site and surrounding area.

SITE DESCRIPTION

The Mesa County Commercial Property Appraisal Records list the property owner as G. Larry Lahusen and identify the three lots as Tax Numbers 2701-363-27-002, 2701-363-27-003, 2701-363-27-004. The County's Commercial Property Appraisal Records and a parcel map are contained in Appendix II, and photographs of the project site as it appeared on January 24, 1995 are contained in Appendix III.

The three parcels, totaling 1.82 acres, are currently vacant of structural improvements. However, an approximately 60-foot wide strip along the southern portion of Lot 002 has been paved for parking and is leased to the existing Pizza Hut restaurant located on Lot 001 to the south (Appendices II and III).

The three lots have curb cuts, allowing future access from Horizon Drive. An existing dirt driveway has been graded along the northern portion of Lot 004, and provides access through the center of Lot 003. Lots 003 and 004 are characterized by large piles of dirt fill material, broken asphalt pavement, concrete blocks, rusted piping, household paper trash, and broken bottles (Appendix III). A 3/4-section of a 55-gallon drum filled with concrete is located on the east side of Lot 004.

In general, vegetation on the project site is sparse due to previous grading activities and dumping, but weeds are located throughout the parcels. No leaking pipes, equipment, containers, transformers, or drums containing hazardous substances were found during the resurvey. There were no significant stains or abnormal indications of dead or stressed vegetation.

SURROUNDING LAND USES

The project site is located on Horizon Drive, a major commercial corridor with freeway access to I-70. As such, much of the surrounding land uses include lodging, restaurant, gasoline stations, offices, commercial, residential, and recreation.

Land uses immediately surrounding the project site include the Bookcliff Country Club and Golf Course to the northwest, a previous gasoline service station north of Lot 004 (i.e., 711 Horizon Drive), Pizza Hut restaurant south of Lot 002, and lodging and

restaurant uses to the east. An unnamed drainage, and possible wetlands, traverse the western border of the project site.

PAST USES OF THE SITE AND SURROUNDING AREA

The historic uses of the project site were assessed through the evaluation of 1937 (SCS) and 1966 (Air Photo Surveys, Inc.) aerial photographs, and a review of Grand Junction City Directories (Polk). The 1937 and 1966 aerial photographs are included in Figures 3 and 4, respectively.

The 1937 aerial photograph indicates that much of the area was used for agriculture. In 1937, the unnamed drainage bordering the west side of the subject parcels covered a larger area, and appeared to encompass the Bookcliff Country Club property. The swampland had also encroached onto the project site. The wet area is probably the result of canal water leaking from the Government Highline Canal, which crosses Horizon Drive approximately 0.75 mile northeast of the project site.

By 1966, Horizon Drive had been constructed, and a building was located north of the project site, which is the old gasoline station located north of Lot 004. Reportedly, this adjacent site was operated by Chevron Oil Company and as a car rental service office from 1965 to 1992 (STTI).

In addition, the 1966 map shows several other buildings along Horizon Drive, residential uses further to the east (i.e., Partee Heights Subdivision), and agriculture to the south. Reclamation of the swamp/wetlands for the Bookcliff Country Club appears to have taken place subsequent to 1937.

Although City Directories from 1968 to 1993 were reviewed, the project site addresses were not listed. In addition, a street listing for Horizon Drive in general was not included until 1970. The directories confirmed the existence of the Chevron gasoline station and car rental agency at 711 Horizon Drive.

ENVIRONMENTAL CONCERNS

Environmental Liens

A personal interview with Mr. Roger Wilcox was conducted on January 25, 1995. As of this date, no known environmental liens exist against the project site.

Uranium Mill Tailings

Uranium mill tailings reports were obtained from CDPHE for the three parcels, all of which were surveyed on March 17, 1994 (Appendix IV). According to the reports for Lots 002 and 003 "No indication of tailings were found on date of survey."

However, CDPHE found a small area of tailings onsite, originally believed to be on Lot 004. A map illustrating the location of the tailings, included in Appendix IV, indicates that the material is located in the southwestern portion of Lot 004. There appears to be some discrepancy in the attached map and that of the comments section included in the CDPHE report, which states that the tailings are in the northwest area of Lot 004.

According to Mr. Wilcox, representatives from the Department of Energy surveyed the property and determined that the tailings are actually within the northwest corner of Lot 003. Orange spray paint, encompassing what is believed to be the extent of the tailings, was noted during both visits to the project site by STTI personnel.

Furthermore, a previous conversation with Mr. Bill Cheney at the City of Grand Junction, revealed that the sewer line located along the east side of Horizon Drive has been backfilled with soil containing mill tailings. The tailings in this right-of-way are known to extend to the intersection of Twelfth Street and Horizon Drive (STTI).

Drums or Containers of Potentially Hazardous Materials

No drums or containers of hazardous materials were noted on the project site during the resurvey. A 3/4-section of a 55-gallon drum remains within the southeast portion of Lot 004. However, the drum is full of concrete and there is no obvious staining of the surrounding ground surface.

Potential Hazards Associated with Surrounding Land Uses

Delta Environmental is currently performing remediation of underground contamination at the former Chevron gasoline station (711 Horizon Drive). In 1992, STTI investigated the soil near the former tank pit at the southeast side and found gasoline contamination. In November of 1993, STTI removed a 560-gallon waste oil underground storage tank from the Chevron property. The soil beneath the waste oil tank was sampled and tested for Oil and Grease, and Benzene, Toluene, Ethylbenzene and Xylene (BTEX). A visual inspection of the soil and laboratory results confirmed that the contents of the tank had not leaked (STTI). STTI concluded that no underground contamination occurred and, therefore, no further remediation at the waste oil tank site would be necessary. One 55-gallon drum of waste oil sludge was removed from the site and properly disposed by Chemical Waste Management of Henderson, Colorado (STTI).

Additionally, on August 19, 1994, STTI drilled one hole within Lot 004 to determine if contamination had migrated onto the project site from the Chevron property. The soil showed no visual or instrument indications of petroleum contamination during the

drilling activities, and the laboratory results for the soil indicated that hydrocarbons occurred below detection levels. Furthermore, a temporary well casing was installed on August 22, 1994 to permit ground-water sampling. However, gasoline constituents in the ground water were below the Colorado Water Quality Standards. The well casing was removed from the project site on August 29, 1994.

Review of Environmental Database Search

Information from the United States Environmental Protection Agency (EPA) and State of Colorado environmental databases was furnished in a report prepared by ERIIS, dated January 27, 1995 (included under separate cover). According to the State and Federal databases, there are no National Priorities List (NPL or Superfund), CERCLA, or Resource Conservation and Recovery Act (RCRA) sites, leaking underground storage tanks (LUST), or solid waste disposal facilities within one mile of the project site.

In addition, ERIIS performed a "Secondary Search" to further locate sites that may have been characterized by hazardous incidents, but were not listed within the State and Federal databases. However, many of the facilities identified under the Secondary Search are further than one mile from the project site area, and information about the sites is frequently insufficient to determine the likelihood of environmental effects.

ERIIS' "Secondary Search"

ERIIS' Secondary Search identifies five facilities within the project area as having LUSTs, including:

- 1) Texaco Gasoline Station at 736 Horizon Drive,
- 2) Stop N Save #3 at 723 Horizon Drive
- 3) Burger King at 739 Horizon Drive,
- 4) Acorn Food Store (previously Gas-Rite #2320) at 745 Horizon Drive, and
- 5) Amoco Oil Service Station at 750 Horizon Drive.

In addition, the Secondary Search lists West Star Aviation, Inc. at 2837 H Road, and Zarlingo's Automotive at 748 Horizon Drive as RCRA small quantity generators (RCRA SG). RCRA small quantity generators are labeled as such if a facility generates between 100 kilograms (kg and 1,000 kg of hazardous waste per month or meets other requirements of the RCRA. However, both facilities are too far away to pose a significant environmental threat to the project site. A potential hazardous waste spill at these locations would likely be limited in quantity, and cleanup would probably occur prior to offsite migration.

STTI's In-house Review

STTI reviewed project files for the surrounding area, and CDPHE's LUST Lists from 1988 to 1994 for facilities identified as having leaking underground storage tanks (i.e., open sites). These sources are historically significant since the State and Federal databases are updated and do not typically include many of the past spills or leaks. Each of the above listed facilities were noted in the LUST lists, along with the Holiday Inn at 755 Horizon Drive.

According to CDPHE's list of "closed sites," remediation has been completed at the Texaco station at 736 Horizon Drive. The remaining five sites are currently under remediation or have been cleaned up and, therefore, are not expected to impact the project site.

SUMMARY AND CONCLUSIONS

STTI has performed a Phase I Environmental Site Assessment in conformance with the scope and limitations of ASTM Practice E 1527 of the three parcels addressed as 707, 709, and 709½ Horizon Drive. No significant environmental hazards were found during STTI's resurvey on January 24, 1995, with the exception of uranium mill tailings on Lot 003 (709 Horizon Drive). CDPHE identified the mill tailings within the project site on March 17, 1994, and originally believed the tailings were within Lot 004 (709½ Horizon Drive).

According to Mr. Roger Wilcox, the property owner is in the process of making arrangements for the removal of the mill tailings. The DOE has scheduled the site remediation (i.e., removal and backfill activities) for the first part of April, 1995 (Wilcox).

REFERENCES

Air Photo Surveys, Inc., of Fruita, Colorado, provided 1966 aerial photograph of the project area.

Assessor, Mesa County Tax Assessment records and parcel map.

ASTM, American Society for Testing and Materials, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, Designation: E 1527 - 93.

CDPHE, Colorado Department of Public Health and Environment, Mill Tailings information, LUST lists extending from 1988 to October 17, 1994, and the list of "Closed Sites" dated October 17, 1994.

ERIIS, Environmental Risk Information & Imaging Services. Environmental database search for 707 709 & 709 1/2 Horizon Drive Grand Junction, CO 81506, dated January 27, 1995.

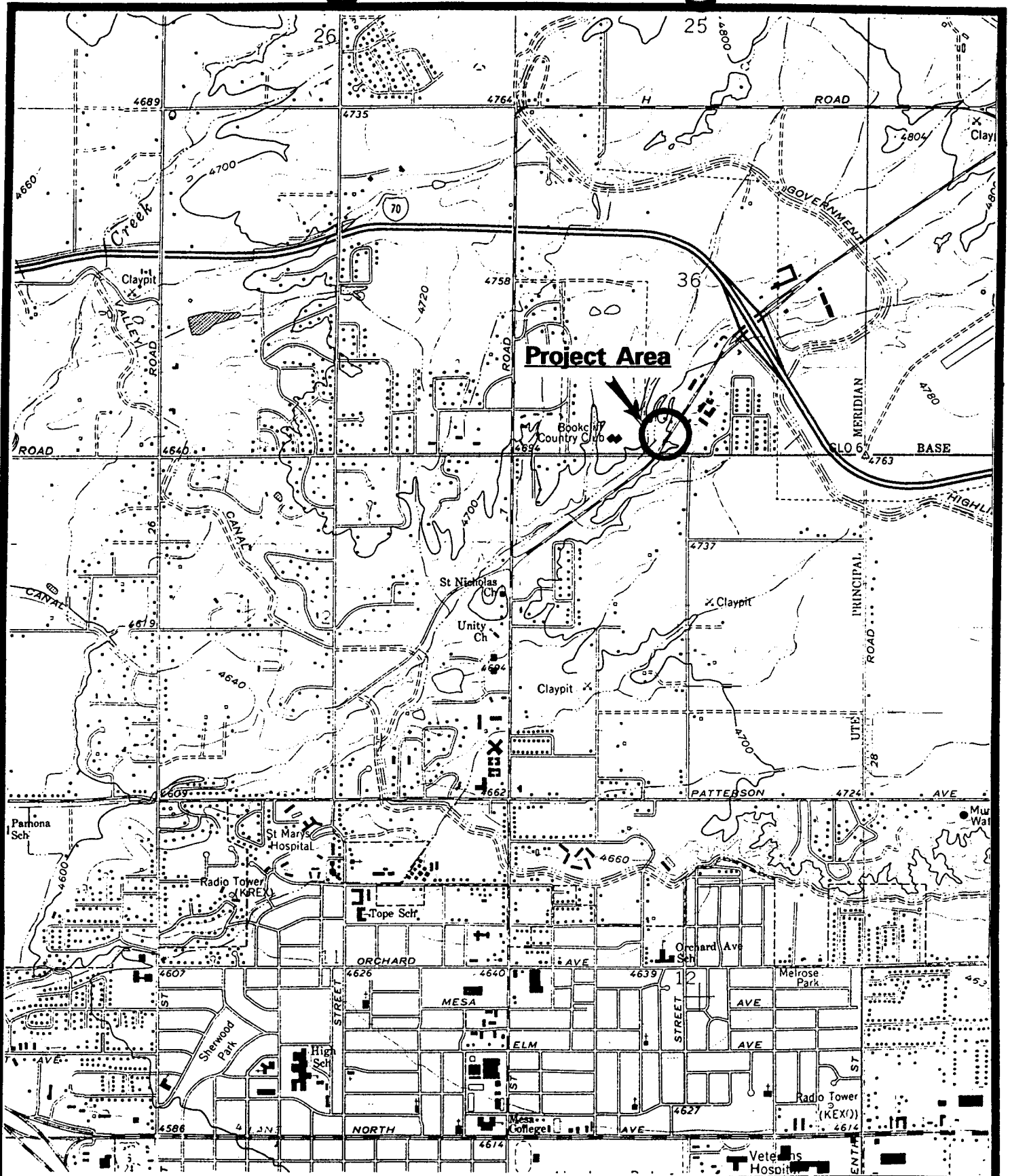
Polk, R.L., Grand Junction City Directories, Mesa County Public Library.

SCS, United States Soil Conservation Service, 1937 aerial photograph of Grand Junction, Colorado.

STTI, files of previous site assessments conducted within the project vicinity.

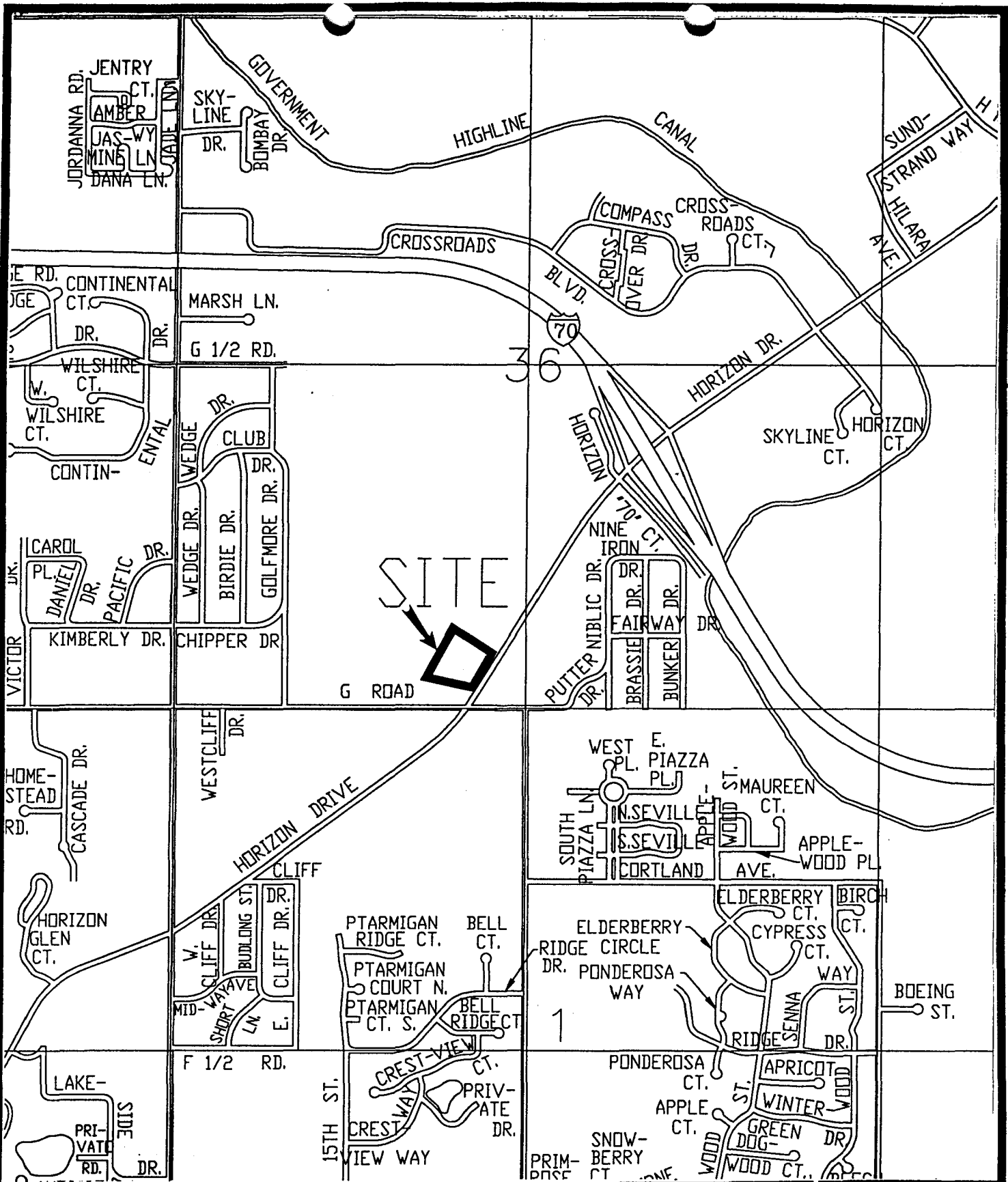
U.S.G.S. (United States Geological Survey), Grand Junction, Colorado, 7.5 minute topographic map, dated 1962, photorevised in 1973.

Wilcox, Roger, Real Estate Broker, Lennon, Smith & Wilcox. Telephone conversations on January 25 and 31, 1995.



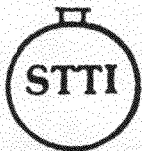
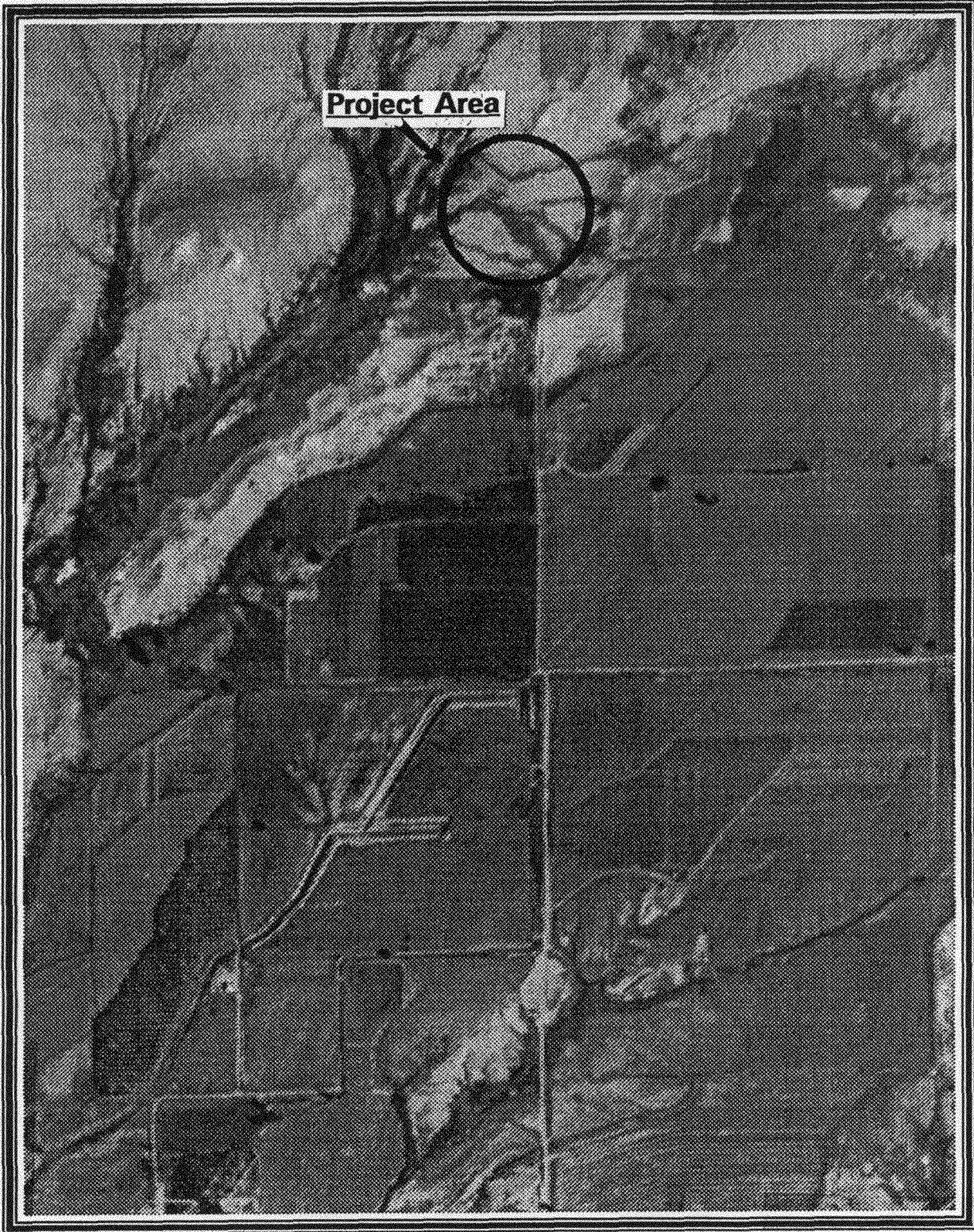
**U.S.G.S Map of Site Location
707, 709, and 709½ Horizon Drive
Grand Junction, Mesa County, Colorado**

**Figure
1**



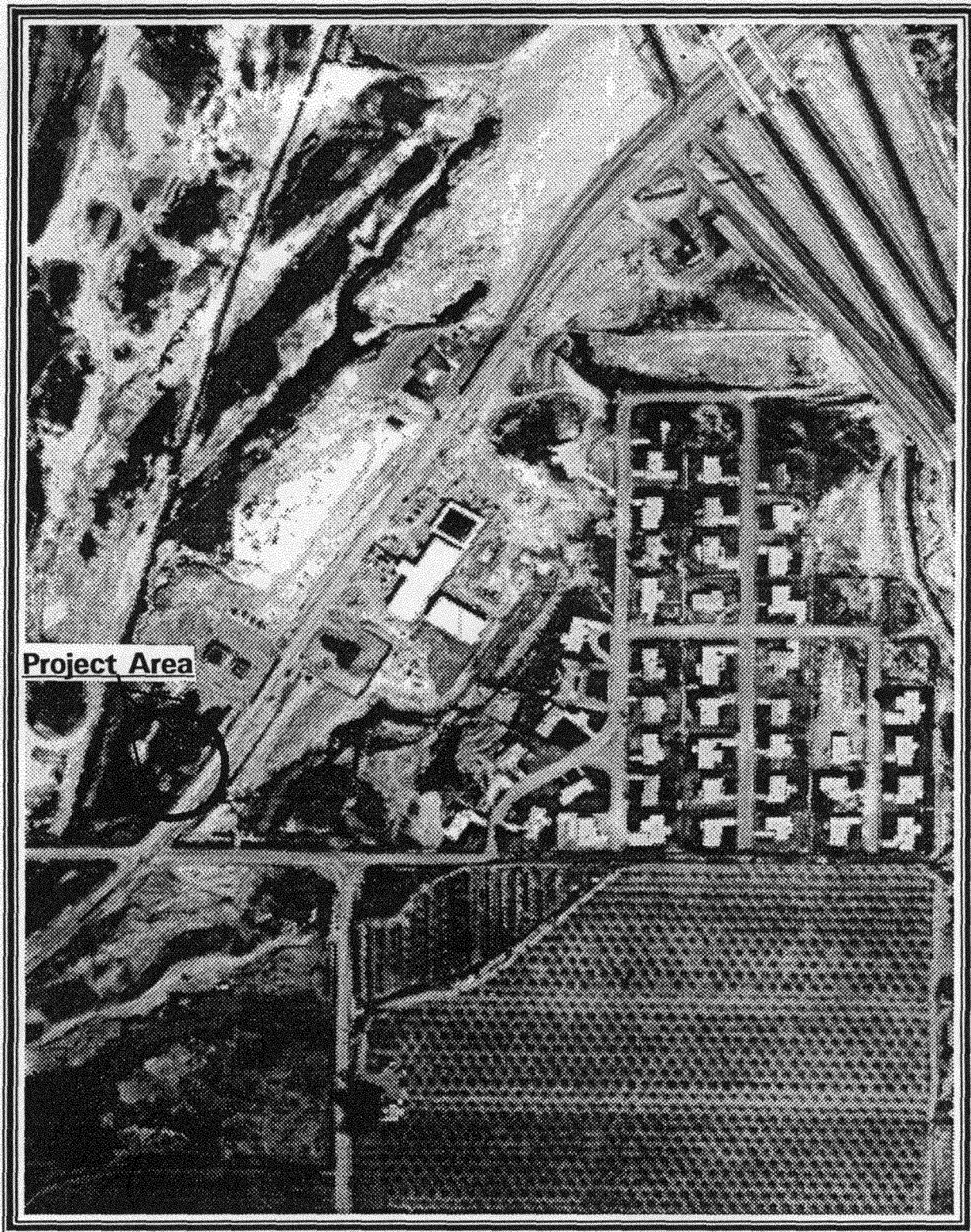
Detailed Street Map of the Project Area

Figure 2

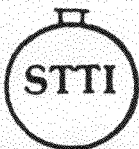


1937 Aerial Photograph
707, 709, and 709½ Horizon Drive
Grand Junction, Mesa County, Colorado

Figure
3



Project Area



**1966 Aerial Photograph
707, 709, and 709½ Horizon Drive
Grand Junction, Mesa County, Colorado**

**Figure
4**

APPENDIX I

STTI PHASE I
COMMERCIAL PROPERTY ENVIRONMENTAL CHECKLIST

STTI'S PHASE I
COMMERCIAL PROPERTY ENVIRONMENTAL CHECKLIST

Date 1-24-95

1. LOCATION

- A. Name: Larry Lahusen property
- B. Street: 707, 709, 709½ Horizon Drive City: Grand Junction
County/State: Mesa/Colorado Zip: 81506
- C. Phone: (303)245-5180/Wilcox Tax Nos: 2701-363-27-002, 003, and 004
- D. Site acreage: 1.82 Size of buildings: N/A
- E. Date of construction of oldest building: N/A
- F. Years of current operation: N/A Elevation: 4,700 MSL

2. NATURE OF BUSINESS

- A. Brief Description: Vacant land.
- B. Is the site a suspected industry or was the property operated by a suspect industry: No
If yes, are suspected hazardous materials or petroleum products used _____, stored _____, manufactured _____, transported _____, or disposed of _____.

Materials	Disposal		Nature of Disposal
	On Site	Off Site	
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

- C. Is the use or disposal of waste monitored by any governmental agency: N/A
If yes, which agency: N/A
last inspection: N/A, findings: _____
Was documentation available for review: N/A

Comments: _____

3. FINDINGS FROM SITE SURVEY

- A. Evidence of asbestos: No
- B. Piles of trash or waste: Yes, paper trash, broken bottles, concrete blocks, broken asphalt paving, portion of 55-gallon drum.
- C. Leaking pipes, equipment, containers, transformers: No
- D. Evidence of spills, discolored soils: No
- E. Dead or stressed vegetation: No
- F. Evidence of sumps or drains: No
- G. Septic system: No
- H. Monitoring or domestic wells: No, monitoring well was removed on August 24, 1994.
- I. Evidence of storage tanks: No
- J. Areas containing drums: Yes, southeast corner of Lot 004.
- K. Surface impoundments (pits, ponds, and lagoons): No
- L. Odors: No
- M. Old batteries stored on site: No
- N. Evidence of different past use: No
- O. Uranium Mill Tailings: Yes, southwest portion of Lot 004.
- P. Wetlands: Not onsite, but possibly along western border.
- Q. Other: N/A

4. ADJACENT PROPERTIES

North Bookcliff Country Club, Chevron station north of Lot 004.
South Pizza Hut restaurant (south of Lot 002).
East Horizon Drive, hotel and restaurant uses.
West Bookcliff Country Club and Golf Course.

5. POSSIBLE SOURCES OF CONTAMINATION FROM ADJACENT PROPERTIES

N/A

Inspector: Lon Apperson-Wentley Date: 1-24-95

APPENDIX II

MESA COUNTY ASSESSOR'S RECORDS AND PARCEL MAP

(VAA) CITY OR TOWN 707 Horizon Dr.

(AA) PARCEL NO. (AB) SCHEDULE NO. (DAF) TAX AREA

2701-363-27-003

TAC: 14100 19700

ACRES: .61

DEMOS GEORGE S
P.O. BOX 1342
GLENWOOD SPGS COLO 81601

(DAB) SEC. 4 (DAI) SEC. MAP NO.

DIST.

(HAF) PAGE (HAI) TYPE INSTR. (HAB) DOC. FEE

Handwritten calculations:
4/15/81 = 1307 SD
4/24/81 = 13A SD
4/15/83 = 1424 NF
8-9-85 = 1550-155 = WD = NF

Large investment
Larson, G. W. Larson

PHOTOGRAPH

LAND ATTRIBUTES		DATE OF IMPS:		Combination		Hotel		APPRaiser's INTERVIEW					INCOME APPROACH		
SUBJECT PROPERTY		Percent Built Up %		Apartment		Auto Agency		(WAA) DATE	(WAB) APPRAISER	CONFIRMED SALE PRICE	(IAA) OCCUPANCY OWNER/TENANT	(IAC) FURNISHED UNFURNISHED	DATE	DATA REFERENCE	INDICATED VALUE
(DAH) ZONING	TREND	LOCATION IN BLOCK		Offices	Medical Clinic	Store	Nursing Home								
(JAA) USE	Improving			Rstrnt-Tavern		Motel									
IMPROVEMENTS	Static			Motor Motel											
JBA Paved Street	Declining														
JBB Graveled Street	Blighted														
JBC Unimproved															
JBD Sidewalk															
JBE Curb & Gutter															
JBF Street Lights															
JBG Alley															
UTILITIES															
JCA Public Water															
JCB Well Water															
JCC Public Sewer															
JCD Septic System															
JCE Natural Gas															
JCF Electricity															
TOPOGRAPHY															
JDA Level															
JDB High															
JDC Steep															
JDD Low															
JDE Sloping															
JDF Hilly															
JDG Rock															
JDH Retaining Wall															
JDI SHAPE, ETC.															
JEA Representative															
JEB Irregular															
JEC Cul-De-Sac															
JED Corner															
JEE View															
JEF Non-St. Front															

APPROACH USED (Correlation) FOR ACTUAL VALUE DETERMINATION				ACTUAL VALUE				ASSESSED VALUE			
(WBA) DATE	(WBB) APPROACH USED	(WBF) ACTUAL VALUE	LAND/IMPS. RATIO	(FAC) YEAR	(GAB) LAND	(FAB) IMPS.	TOTAL	LAND	IMPS.	TOTAL	ENTERED BY
89 =	.61 AC =	26572	@ 2.50	1977	26572	-0-	26572	7970	-0-	7970	(83)
				1977	21270		119574	34680	-	34680	
				1978	26572			7970			
				1983	26572	-0-	26572	7970	-0-	7970	(83)
				1987	119574	-	119574	34680	-	34680	
				1989	66430	-0-	66430				
				1991	50487						

Reviewed by: Date:

2701-363-27-002

DEMOS GEORGE S

(DAB) SEC. 2 (DAI) SEC. MAP NO.

(141150)

HD ✓

TAC: 14100
ACRES: 13700
ACRES: .52

Johnsen, G. Larry
BOX 1342
GLENWOOD SPGS COLO 81601

DIST.

DE

(HAF) (HAI) (HAB)
PAGE TYPE DOC.
INSTR. FEE

4/15/81=1307-523 WD=412500
4/24/81=1309-281 WD NE 1/833. One
4/15/85-140 7-219-22CD NR 203

LOT 2 NORTHSIDE PARK SEC 36 1N 1W

Larger Investments LTD.
Johnsen, G. Larry

8-8-85=1550-155=WD=NF

PHOTOGRAPH

LAND ATTRIBUTES SUBJECT PROPERTY		DATE OF IMPS:		Combination		Hotel		APPRAISER'S INTERVIEW					INCOME APPROACH					
(DAH) ZONING		Percent Built Up %		Apartment		Auto Agency		(WAA) DATE	(WAB) APPRAISER	CONFIRMED SALE PRICE	(IAA) OCCUPANCY OWNER/TENANT	(IAC) FURNISHED UNFURNISHED	DATE	DATA REFERENCE	INDICATED VALUE			
(JAA) USE		TREND		Offices		Medical Clinic												
IMPROVEMENTS		Improving		Store		Nursing Home												
JBA Paved Street		Static		Rstrnt-Tavern														
JBB Graveled Street		Declining		Motel														
JBC Unimproved		Blighted		Motor Motel														
JBD Sidewalk		(JAB) LAND CLASS 0110 LAND VALUE CALCULATION																
JBE Curb & Gutter		JBW DATE	(GAC) CODE	(GAD) SIZE	BASE UNIT	ADJUSTMENT FACTORS				BASE UNIT VALUE	TOTAL LAND VALUE	APPROACH USED (Correlation) FOR ACTUAL VALUE DETERMINATION						
JBF Street Lights				.52 ⁴ (ac)	=	SIZE	SHAPE	LOC.	OTHER	CMPST.	100	22651	(WBA) DATE	(WBB) APPROACH USED	(WBF) ACTUAL VALUE	LAND/IMPS. RATIO	(WBC) DETERMINED BY	
JBG Alley													89	.52 = 22651 @ 2.50 = 56630				
UTILITIES		1987 .52 AC = 22651 @ 4.50 = 101,930																
JCA Public Water		COST APPROACH																
JCB Well Water		TOTAL R.C.N.L.D.		COST FACTORS		ADJUSTED R.C.N.L.D.		ADD LAND	INDICATED VALUE		ACTUAL VALUE				ASSESSED VALUE			
JCC Public Sewer		DATE		AREA	TIME						(FAC) YEAR	(GAB) LAND	(FAB) IMPS.	TOTAL	LAND	IMPS.	TOTAL	ENTERED BY
JCD Septic System		1991	22,651	0	190	%	43,037				1977	22651	-0-		6800	-0-		
JCE Natural Gas		MARKET APPROACH (Comparable Sales)																
JCF Electricity		SALES REFERENCE		DATE OF SALE	PRICE PD. (R.E. ONLY)	TIME ADJ.	LOC. ADJ.	PHYSICAL CHARACTERISTICS (Other Adjustments)		INDICATED VALUE	1977	22651	-0-	22,651	6570	-0-	6570	(83)
JDA Level		SHAPE, ETC.																
JDB High		1987 101930 - 101930 29560 - 29560 (87)																
JDC Steep		1989 56630 - 56630																
JDD Low		1991 43,037																
JDE Sloping		Reviewed by:																
JDF Hilly		Date:																
JDG Rock																		
JDH Retaining Wall																		
JEA Representative																		
JEB Irregular																		
JEC Cul-De-Sac																		
JED Corner																		
JEE View																		
JEF Non-St. Front																		

(VAA) CITY OR TOWN 7074 Drivon (AA) PARCEL NO. _____ (AB) SCHEDULE NO. _____ (DAF) TAX AREA _____

2701-363-27-004
14100
TAC: 13700
ACRES: .69

~~DEMOS GEORGE S~~
~~G. Hansen, G. Hansen~~
BOX 1342
GLENWOOD SPGS COLO 81601

(DAB) SEC. 7	(DA1) SEC. MAP NO.	
DIST.		
E		
(IAF) AGE	(HAI) TYPE INSTR.	(HAB) DOC. FEE

(141152)

HP ✓

LOT 4 NORTHSIDE PARK SEC 36 1N 1W
Layis Investments -
Larson, G. Barry & *Senior Investments*
4/15/81 = 1307-53 = WD 4/25/88
4/21/81 = 1309-39 = WD N.F.
4/15/83 = 142-2-29-010-N (003)
8-8-85 = 1550-155 = WD = NF

PHOTOGRAPH

LAND ATTRIBUTES		DATE OF IMPS:			Combination		Hotel		APPRaiser's INTERVIEW						INCOME APPROACH		
SUBJECT PROPERTY		Percent Built Up %			Apartment		Auto Agency		(WAA) DATE	(WAB) APPRAISER	CONFIRMED SALE PRICE	(IAA) OCCUPANCY OWNER/TENANT	(IAC) FURNISHED UNFURNISHED	DATE	DATA REFERENCE	INDICATED VALUE	
(DAH) ZONING		TREND			Offices		Medical Clinic										
(JAA) USE		Improving			Store		Nursing Home										
IMPROVEMENTS		LOCATION IN BLOCK			Rstrnt-Tavern		Motel										
JBA Paved Street	Static				Motor Motel												
JBB Groveled Street	Declining																
JBC Unimproved	Blighted																
JBD Sidewalk																	
JBE Curb & Gutter																	
JBF Street Lights																	
JBG Alley																	
UTILITIES																	
JCA Public Water																	
JCB Well Water																	
JCC Public Sewer																	
JCD Septic System																	
JCE Natural Gas																	
JCF Electricity																	
TOPOGRAPHY																	
JDA Level																	
JDB High																	
JDC Steep																	
JDD Low																	
JDE Sloping																	
JDF Hilly																	
JDG Rock																	
JDH Retaining Wall																	
SHAPE, ETC.																	
JEA Representative																	
JEB Irregular																	
JEC Cul-De-Sac																	
JED Corner																	
JEE View																	
JEF Non-St. Front																	

APPROACH USED (Correlation) FOR ACTUAL VALUE DETERMINATION									
(WBA) DATE	(WBB) APPROACH USED	(WBF) ACTUAL VALUE	LAND/IMPS. RATIO	(WBC) DETERMINED BY					
89-	.69 = 30056 C	2.50 = 75140							

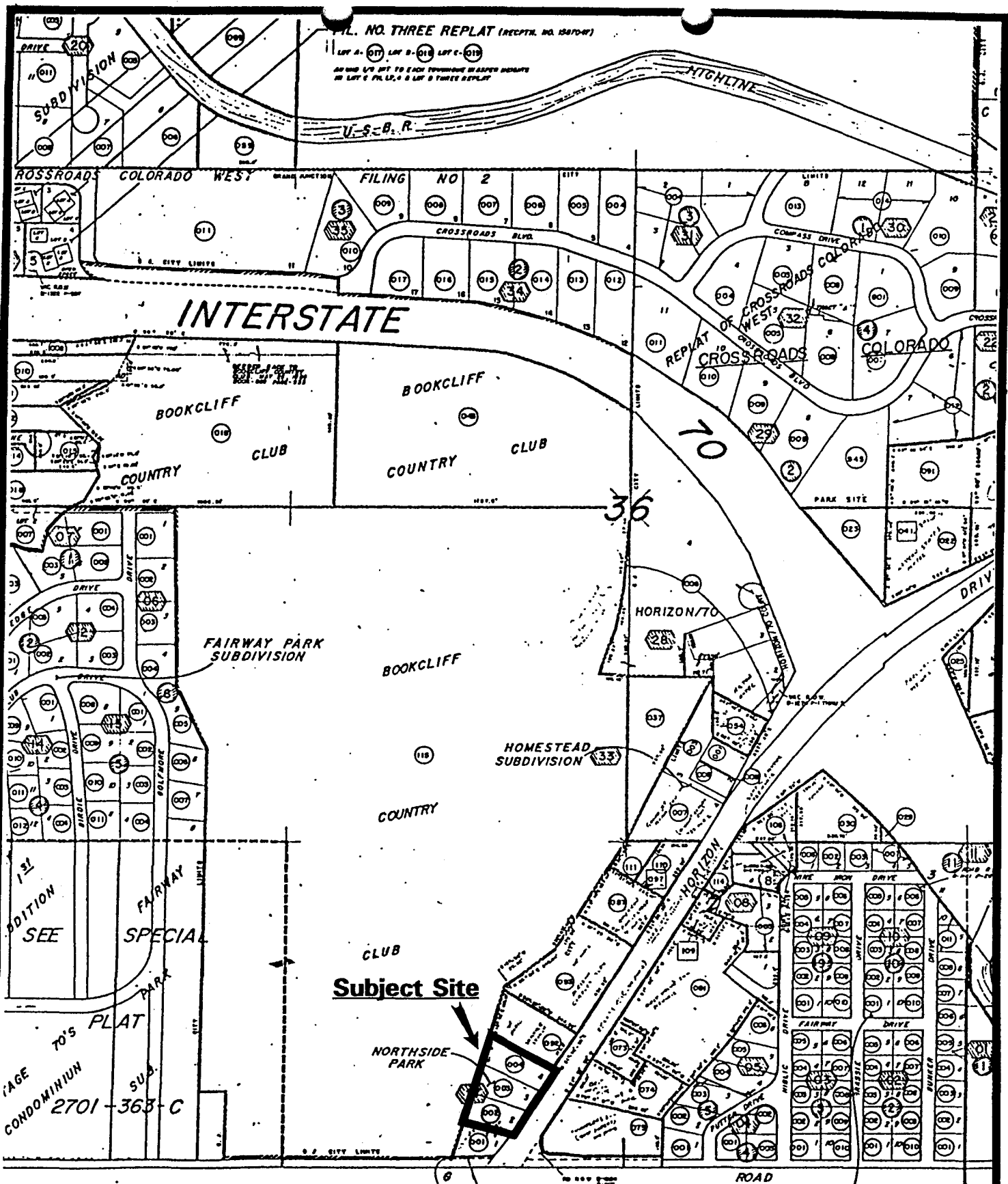
COST APPROACH									
DATE	TOTAL R.C.N.L.D.	COST FACTORS		ADJUSTED R.C.N.L.D.	ADD LAND	INDICATED VALUE			
1991	30056	AREA	TIME			57,106			

MARKET APPROACH (Comparable Sales)									
SALES REFERENCE	DATE OF SALE	PRICE PD. (R.E. ONLY)	TIME ADJ.	LOC. ADJ.	PHYSICAL CHARACTERISTICS (Other Adjustments)	INDICATED VALUE			
1977						30056			
1977						24070			
1978						30056			
1983						30056			
1987						135252			
1989						75140			
1991						57,106			

PL. NO. THREE REPLAT (RECPT. NO. 15470-47)

LOT A-017 LOT B-018 LOT C-019

AS SHOWN ON EACH PLAT AND AS SHOWN IN PLAT NO. THREE REPLAT



**Mesa County Parcel Map
707, 709, and 709½ Horizon Drive
Grand Junction, Mesa County, Colorado**

**Appendix
II**

APPENDIX III

PHOTOGRAPHS



Southwesterly view of the project site

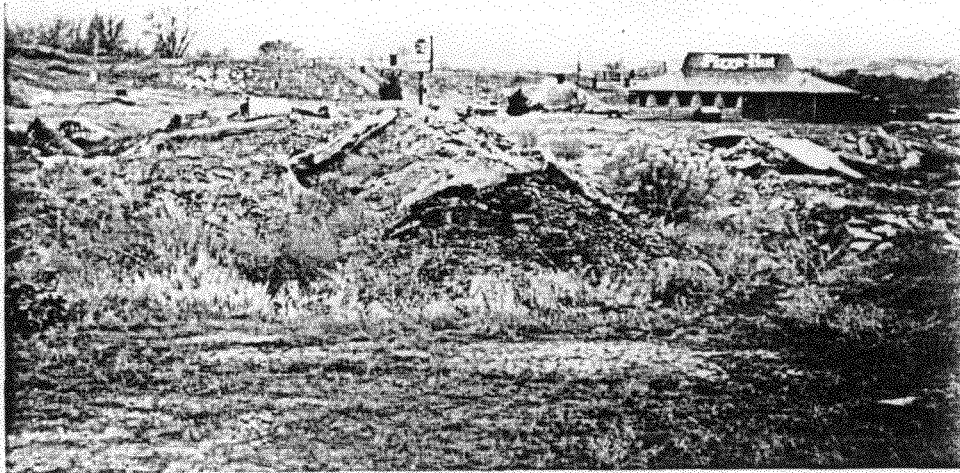


Northeasterly view of the subject property



PHOTOGRAPHS OF THE PROJECT SITE
707, 709, & 709½ Horizon Drive
Grand Junction, Mesa County, Colorado

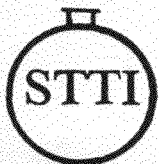
**Appendix
III**



Piles of dirt fill with asphalt, concrete, and rusted piping



Dirt with uranium mill tailings within Lot 003



PHOTOGRAPHS OF THE PROJECT SITE
707, 709, & 709½ Horizon Drive
Grand Junction, Mesa County, Colorado

Appendix
III

APPENDIX IV
MILL TAILINGS INFORMATION

COLORADO DEPARTMENT OF HEALTH
HAZARDOUS MATERIALS AND WASTE MANAGEMENT DIVISION
222 S. 6TH STREET, ROOM 232, GRAND JUNCTION CO 81501 248-7164

03/21/94

REQUESTOR: WEINBERG LORI
STORAGE TANK TECH

PLEASE PROVIDE THIS REPORT TO THE OWNER.
OWNER, PLEASE RETAIN THIS REPORT WITH YOUR PROPERTY RECORDS.

R A D I A T I O N R E P O R T
THIS IS NOT A REPORT ON 'RADON'--

ADDRESS: 00707 HORIZON DR LOCATION NO.: 48318
SURVEY DATE: 03/17/94 Tax Sch: 270136327002

TAILINGS USE: NO INDICATION OF TAILINGS WERE FOUND
ON DATE OF SURVEY

COMMENTS: CODE3 L2 NO CONTAMINATION FOUND

COLORADO DEPARTMENT OF HEALTH
HAZARDOUS MATERIALS AND WASTE MANAGEMENT DIVISION
222 S. 6TH STREET, ROOM 232, GRAND JUNCTION CO 81501 248-7164

03/21/94

REQUESTOR: WEINBERG LORI
STORAGE TANK TECH

PLEASE PROVIDE THIS REPORT TO THE OWNER.
OWNER, PLEASE RETAIN THIS REPORT WITH YOUR PROPERTY RECORDS.

R A D I A T I O N R E P O R T
THIS IS NOT A REPORT ON 'RADON'--

ADDRESS: 00709 HORIZON DR LOCATION NO.: 48319
SURVEY DATE: 03/17/94 Tax Sch: 270136327003

TAILINGS USE: NO INDICATION OF TAILINGS WERE FOUND
ON DATE OF SURVEY

COMMENTS: CODE3 L3 NO CONTAMINATION FOUND

COLORADO DEPARTMENT OF HEALTH
HAZARDOUS MATERIALS AND WASTE MANAGEMENT DIVISION
222 S. 6TH STREET, ROOM 232, GRAND JUNCTION CO 81501 248-7164

03/21/94

REQUESTOR: WEINBERG LORI
STORAGE TANK TECH

PLEASE PROVIDE THIS REPORT TO THE OWNER.
OWNER, PLEASE RETAIN THIS REPORT WITH YOUR PROPERTY RECORDS.

R A D I A T I O N R E P O R T
THIS IS NOT A REPORT ON 'RADON'--

ADDRESS: 00709.5 HORIZON DR LOCATION NO.: 48320
SURVEY DATE: 03/17/94 Tax Sch: 270136327004

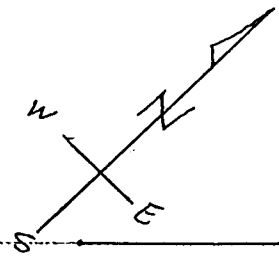
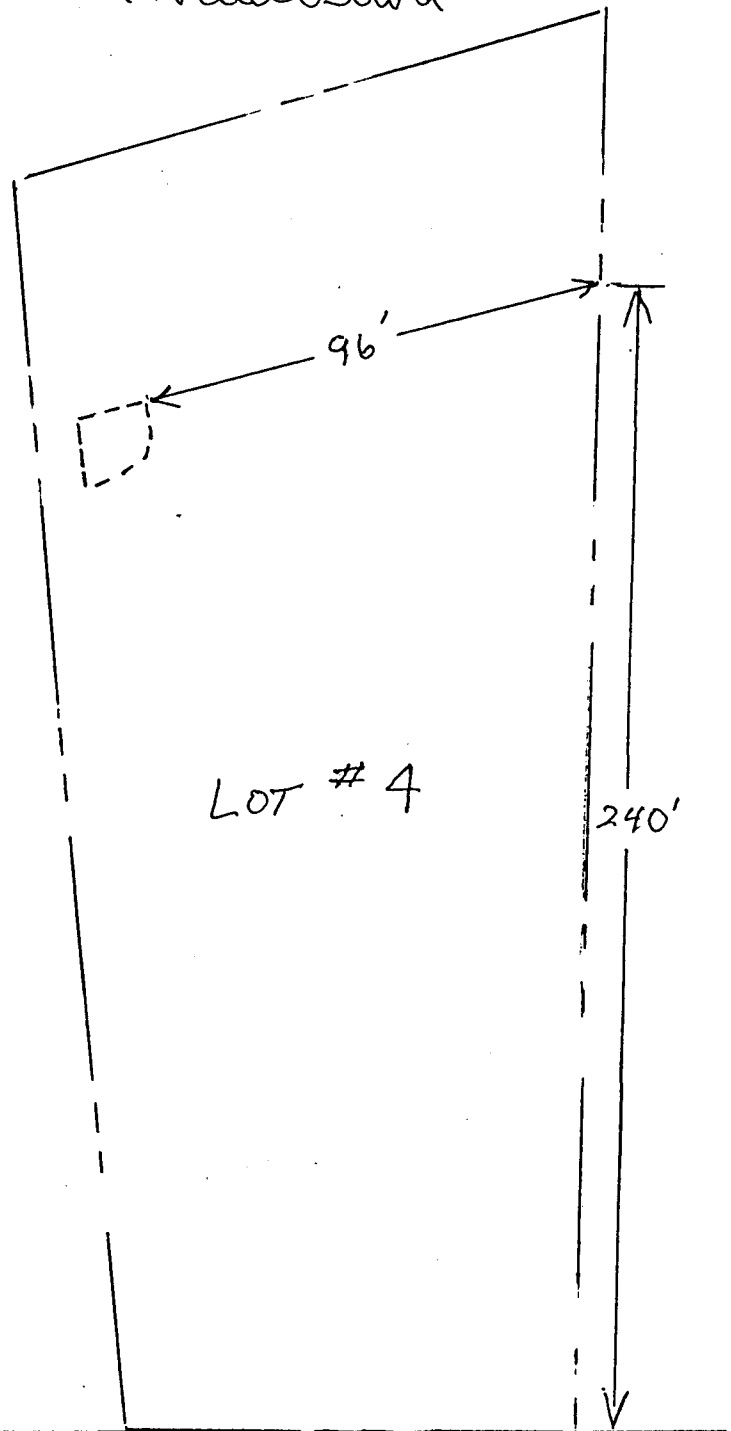
TAILINGS USE: GREATER THAN 10 FT AWAY FROM THE STRUCTURE

COMMENTS: CODE3 L4 T IN NW AREA OF LOT

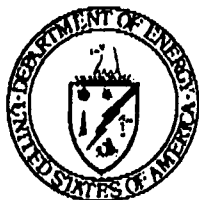
HIGH OUTSIDE GAMMA READING: 70
LOW OUTSIDE GAMMA READING: 12
HIGH INSIDE GAMMA READING: 0

UMTRAP PROGRAM: FOR INFORMATION ON THE STATUS OF THIS LOCATION,
CONTACT JOHN ELMER AT THE DEPARTMENT OF ENERGY, 248-6356.

Loc. # 48320
709 1/2 Horizon Dr.
March 17, 1994
R. Paul Oliver



HORIZON Drive



Department of Energy
Grand Junction Projects Office
Post Office Box 2567
Grand Junction, Colorado 81502-2567

NOV 17 1994

Location No.: GJ-48319

Address: 709 Horizon Drive
Grand Junction, CO

G. Larry Lahusen
c/o Roger Wilcox
551 Grand Avenue, Suite A
Grand Junction, CO 81501

Dear Mr. Lahusen:

Under the Uranium Mill Tailings Radiation Control Act of 1978, Public Law 95-604, the Department of Energy (DOE) is authorized to conduct remedial action at properties contaminated with residual radioactive material from the inactive uranium mill site in Grand Junction, Colorado.

Evaluation of your property identified above has revealed the presence of residual radioactive material in excess of standards established by the Environmental Protection Agency (EPA). Therefore, your property has been formally included by DOE for remedial action in the Uranium Mill Tailings Remedial Action Project. The objective of the remedial action is to reduce radiation levels to below EPA standards. Generally, this will be done by removing the residual radioactive material from the property. It is DOE policy to restore the property to as near its original condition as possible. The remedial action will be done at no expense to you.

Representatives of RUST Geotech, contractor to the DOE, will be contacting you to discuss planning of future activities including detailed data gathering, engineering, and remedial action construction. They will also give you information on the general location of tailings on your property. Although we cannot, at this time, give you specific schedules for future activities, your discussion with the Geotech personnel should provide a general idea of when additional work will be performed.

Should you have any questions on the Remedial Action Project, please write to me at the above address, or call me or Joseph Virgona, at 303/248-6014. Your cooperation in assisting us in the successful accomplishment of this work will be greatly appreciated.

Very truly yours,

R. Eldon Bray
R. Eldon Bray
Project Officer

cc: Property File - Geotech
State Representative

6006

ALPINE BANK HORIZON DRIVE

<u>OLD CODE</u>	<u>NEW CODE</u>	<u>PROVIDED</u>
H.O.	C-1	
Allowed Use	CUP	
Traffic Study Per TEDS	Traffic Study Per TEDS	No Traffic Study
15' front yard setback 15' ft side & rear	15 ft front yard setback 0' side, 10' rear	15 feet 15' side, 100' rear
40' max bldg ht	65' max bldg ht	32 feet
No max lot coverage	FAR = 1.0	FAR = .09
10 Parking Spaces	10 Parking Spaces	38 parking Spaces
3315 sf landscaping + ROW 75% of 15-ft setback 7 trees 40% shrubs, appx 89 No perimeter req	8799 sf (20%) pervious + ROW 75% of 15-ft setback 18 shade trees 150 shrubs 8-ft perimeter strip trees & shrubs w/ trees & shrubs	4200 sf (9.55%) + ROW 86% 28 trees, 16 shade 206 shrubs 5-ft perimeter w/ strip cobble/trees
No requirement	Sidewalk to ROW	Provided 2



Galloway, Romero & Associates

Design Engineering Planning

**Preliminary Drainage Report
for
Applebee's**

**Lot 1, Applebee's Subdivision
711 Horizon Drive
Grand Junction, Colorado**

June 1995

Prepared for:

R.C.I. West , Inc.
400 Interstate No. Parkway, Suite 970
Atlanta, Georgia 30339
(404) 951-0586

Attn: Steve Grove

Prepared by:

Galloway, Romero & Associates
14202 East Evans Avenue
Aurora, CO 80014
(303) 745-7448

Attn: Carl T. Schmidlein



Table of Contents

<u>Title</u>	<u>Page</u>
Introduction	1
I. General Location and Description	
A. Site and Major Basin Location	1
B. Site and Major Basin Description	1
II. Existing Drainage Conditions	
A. Major Basin	1
B. Site	1
III. Proposed Drainage Conditions	
A. Changes in Drainage Patterns	2
IV. Design Criteria & Approach	
A. On-Site Stormwater Facilities	2
B. Drainage Fee	2
Conclusions	3

Appendix A

Vicinity Map	A.1
Drainage Fee Calculations	A.2
Rational Method Runoff Coefficients	A.3
Hydrologic Soil Group	A.4

Introduction

This report is being prepared for R.C.I. West, Inc., the owner/developer of the site, to fulfill the drainage requirements of Grand Junction, Colorado. This report analyzes onsite and offsite flows, and safely routes these flows through the site. Specific details are contained within the report and are shown on the grading and drainage plan.

I. General Location and Description

A. Site and Major Basin Location

The Applebee's Subdivision is located in the S 1/4, Section 36, Township 1 North, Range 1 West of the Ute Meridian, Mesa County, Colorado. The site is bounded by Horizon Drive to the east, developed property to the north and south and a drainage ditch to the west. The developed property to the north consists of an office building and to the south a Pizza Hut restaurant.

B. Site and Major Basin Description

The 3.170 acre site currently is mostly undeveloped and covered with native grasses and weeds. An abandoned gasoline service station currently exists on the easterly half of the site which will be demolished prior to development. The hydrologic soil type based on the Hydrologic Soil Group, as determined from information obtained in a soils report prepared by Lambert and Associates, is defined as Soil Group D, a sandy clay.

II. Existing Drainage Conditions

A. Major Basin

The majority of the site slopes downward from the easterly property line toward the drainage ditch located adjacent to the westerly property line with the majority of the runoff draining in that direction. The average grade is approximately 2.8 percent for the overall development area with runoff converging into two different basin areas that channel into the drainage ditch. The parcels described within this development area do not lie within flood hazard areas in accordance with the document entitled "Department of Housing and Urban Development, Federal Insurance Administration - Special Flood Hazard Map."

B. Site

Historically, the drainage patterns for the site head toward the drainage ditch located adjacent to the westerly property line. The adjacent properties to the north and south, particularly the office building and Pizza Hut properties, also drain toward the common drainage ditch.

III. Proposed Drainage Conditions

A. Changes in Drainage Patterns

- The intent of the drainage design used in preparing the development was not to alter the historical flows of the site. The proposed development site has been divided into two different major basins in which both converge into concrete drainage channels that discharge into the drainage ditch. Although the impervious value increased from a value of 0.565 to 0.791, the overall average percent grade was decreased from 2.8 percent to 1.8 percent. All runoff from these two major basins is safely conveyed from all building structures toward the proposed concrete drainage channels.

Two proposed access points will be added to the development area. At each of these access points, a small area of runoff will be released into the Horizon Drive right-of-way. This is caused in effect by creating a ridge line at the access points to provide sufficient grade for all site runoff to properly flow toward the drainage ditch and to prevent any runoff water flowing in the Horizon Drive right-of-way from entering the development area.

IV. Design Criteria & Approach

A. On-Site Stormwater Facilities

Applebee's has requested an alternative to providing on-site detention by paying a drainage fee as described in the City of Grand Junction Stormwater Management Manual which is in turn used to partially fund construction of larger public drainage facilities. Since at this time the public drainage facility that is provided is the drainage ditch located to the west that the site historically drains into, this would be the logical alternative.

With the implementation of the drainage fee and the release of runoff from the property into the public drainage facility, no site runoff will be released into private properties due to the development. The public drainage facility, the drainage ditch located to the west, is indeed adequate to receive runoff from the proposed development since historically the 3.170 acre site drains into the above mentioned drainage ditch.

B. Drainage Fee

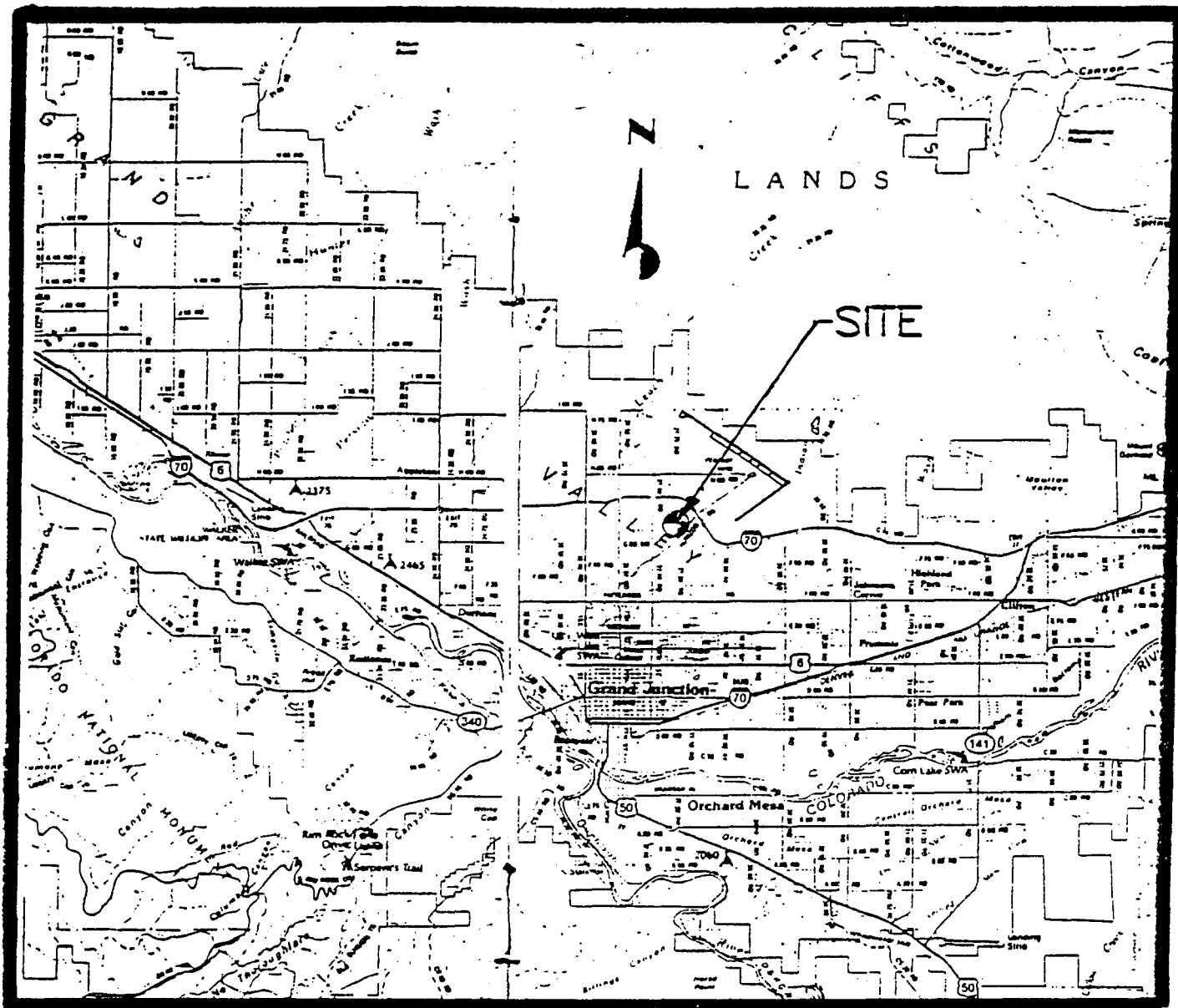
The drainage fee amount, \$5064.00, has been determined per the formula provided in the Stormwater Management Manual. A copy of the calculations, land use numbers, and rational method runoff coefficients used in determining the drainage fee amount are attached to this drainage report. SCS Hydrologic Soil Group D was used based on the soil type, sandy clay, which was determined in a soils report prepared by Lambert & Associates on May 15, 1995. A copy of this soils report is available upon request.

Conclusion

This report has been prepared by using the criteria and methods as described in the

"Stormwater Management Manual (SWMM)" manual for the City of Grand Junction, Colorado. Runoff from the proposed development is safely routed through the site and is discharged in an orderly fashion. This runoff is directed away from the traveled areas and will not inundate the proposed structures.

Appendix A



VICINITY MAP
NOT TO SCALE

PROJECT: **APPLEBEE'S DEVELOPMENT**
 LOCATION: **707 & 711 HORIZON DRIVE**
GRAND JUNCTION, CO

DATE: JUNE 1995

FILE: F:\USER\CTS\RAINAGE\APPLEBEE\A012\OVALLFEE

CALCULATIONS FOR DETERMINING COST OF DRAINAGE FEES FOR LOTS 1, 2 AND 3

LOT	PROPOSED USE
1	APPLEBEE'S NEIGHBORHOOD GRILL & BAR
2	FUTURE RESTAURANT #1
3	FUTURE RESTAURANT #2

EXISTING LAND USE AREAS FOR DETERMINING 100 YEAR HISTORIC COMPOSITE RATIONAL METHOD RUNOFF COEFFICIENT

LOT DESIGNATION	OVERALL AREA (SF)	APPROXIMATE PERCENT GRADE	LANDSCAPE AREA (SF)	RUNOFF COEFFICIENT	PAVING AREA (SF)	RUNOFF COEFFICIENT	ROOF AREA (SF)	RUNOFF COEFFICIENT	COMPOSITE COEFFICIENT
1	56213	3.4	32265	0.428	21462	0.96	2486	0.96	0.655
2	43991	2.0	43991	0.400	0	0.96	0	0.96	0.400
3	37902	2.9	23482	0.418	14420	0.96	0	0.96	0.624
TOTALS	138106	2.8	99738	0.413	35882	0.96	2486	0.96	0.565

PROPOSED LAND USE AREAS FOR DETERMINING 100 YEAR DEVELOPED COMPOSITE RATIONAL METHOD RUNOFF COEFFICIENT

LOT DESIGNATION	OVERALL AREA (SF)	APPROXIMATE PERCENT GRADE	LANDSCAPE AREA (SF)	RUNOFF COEFFICIENT	PAVING AREA (SF)	RUNOFF COEFFICIENT	ROOF AREA (SF)	RUNOFF COEFFICIENT	COMPOSITE COEFFICIENT
1	56213	2.0	12316	0.4004	38898	0.96	4999	0.96	0.837
2	43991	1.7	14031	0.367	26010	0.96	3950	0.96	0.771
3	37902	1.8	13806	0.371	23172	0.96	924	0.96	0.745
TOTALS	138106	1.8	40153	0.379	88080	0.96	9873	0.96	0.791

DRAINAGE FEE CALCULATIONS

DRAINAGE FEE FORMULA

$$FEE (\$) = 10,000(C_{100d} - C_{100h})A^{0.7}$$

C_{100d} = 0.79
 C_{100h} = 0.57
 A = 3.170

LEGEND

C_{100d} = 100 YEAR DEVELOPED COMPOSITE RUNOFF COEFFICIENT
 C_{100h} = 100 YEAR HISTORIC COMPOSITE RUNOFF COEFFICIENT
 A = AREA TO BE DEVELOPED IN ACRES

OVERALL DEVELOPMENT = \$ 5064.00

NOTE: SCS HYDROLOGIC SOIL GROUP D WAS USED BASED ON THE SOIL TYPE, SANDY CLAY, WHICH WAS DETERMINED IN A SOILS REPORT PREPARED BY LAMBERT AND ASSOCIATES ON MAY 15, 1995.

LAND USE OR SURFACE CHARACTERISTICS	SCS HYDROLOGIC SOIL GROUP (SEE APPENDIX "C" FOR DESCRIPTIONS)											
	A			B			C			D*		
	0-2%	2-6%	6%+	0-2%	2-6%	6%+	0-2%	2-6%	6%+	0-2%	2-6%	6%+
UNDEVELOPED AREAS												
Bare ground	.10-.20 .14-.24	.16-.26 .22-.32	.25-.35 .30-.40	.14-.22 .20-.28	.22-.30 .28-.36	.30-.38 .37-.45	.20-.28 .26-.34	.28-.36 .35-.43	.36-.44 .40-.48	.24-.32 .30-.38	.30-.38 .40-.48	.40-.48 .50-.58
Cultivated/Agricultural	.08-.18 .14-.24	.13-.23 .18-.28	.16-.26 .22-.32	.11-.19 .16-.24	.15-.23 .21-.29	.21-.29 .28-.36	.14-.22 .20-.28	.19-.27 .25-.33	.26-.34 .34-.42	.18-.26 .24-.32	.23-.31 .29-.37	.31-.39 .41-.49
Pasture	.12-.22 .15-.25	.20-.30 .25-.35	.30-.40 .37-.47	.18-.26 .23-.31	.28-.36 .34-.42	.37-.45 .45-.53	.24-.32 .30-.38	.34-.42 .42-.50	.44-.52 .52-.60	.30-.38 .37-.45	.40-.48 .50-.58	.50-.58 .62-.70
Meadow	.10-.20 .14-.24	.16-.26 .22-.32	.25-.35 .30-.40	.14-.22 .20-.28	.22-.30 .28-.36	.30-.38 .37-.45	.20-.28 .26-.34	.28-.36 .35-.43	.36-.44 .44-.52	.24-.32 .30-.38	.30-.38 .40-.48	.40-.48 .50-.58
Forest	.05-.15 .08-.18	.08-.18 .11-.21	.11-.21 .14-.24	.08-.16 .10-.18	.11-.19 .14-.22	.14-.22 .18-.26	.10-.18 .12-.20	.13-.21 .16-.24	.16-.24 .20-.28	.12-.20 .15-.23	.16-.24 .20-.28	.20-.28 .25-.33
RESIDENTIAL AREAS												
1/8 acre per unit	.40-.50 .48-.58	.43-.53 .52-.62	.46-.56 .55-.65	.42-.50 .50-.58	.45-.53 .54-.62	.50-.58 .59-.67	.45-.53 .53-.61	.48-.56 .57-.65	.53-.61 .64-.72	.48-.56 .56-.64	.51-.59 .60-.68	.57-.65 .69-.77
1/4 acre per unit	.27-.37 .35-.45	.31-.41 .39-.49	.34-.44 .42-.52	.29-.37 .38-.46	.34-.42 .42-.50	.38-.46 .47-.55	.32-.40 .41-.49	.36-.44 .45-.53	.41-.49 .52-.60	.35-.43 .43-.51	.39-.47 .47-.55	.45-.53 .57-.65
1/3 acre per unit	.22-.32 .31-.41	.26-.36 .35-.45	.29-.39 .38-.48	.25-.33 .33-.41	.29-.37 .38-.46	.33-.41 .42-.50	.28-.36 .36-.44	.32-.40 .41-.49	.37-.45 .48-.56	.31-.39 .39-.47	.35-.43 .43-.51	.42-.50 .53-.61
1/2 acre per unit	.16-.26 .25-.35	.20-.30 .29-.39	.24-.34 .32-.42	.19-.27 .28-.36	.23-.31 .32-.40	.28-.36 .36-.44	.22-.30 .31-.39	.27-.35 .35-.43	.32-.40 .42-.50	.26-.34 .34-.42	.30-.38 .38-.46	.37-.45 .48-.56
1 acre per unit	.14-.24 .22-.32	.19-.29 .26-.36	.22-.32 .29-.39	.17-.25 .24-.32	.21-.29 .28-.36	.26-.34 .34-.42	.20-.28 .28-.36	.25-.33 .32-.40	.31-.39 .40-.48	.24-.32 .31-.39	.29-.37 .35-.43	.35-.43 .46-.54
MISC. SURFACES												
Pavement and roofs	.93 .95	.94 .96	.95 .97	.93 .95	.94 .96	.95 .97	.93 .95	.94 .96	.95 .97	.93 .95	.94 .96	.95 .97
Traffic areas (soil and gravel)	.55-.65 .65-.70	.60-.70 .70-.75	.64-.74 .74-.79	.60-.68 .68-.76	.64-.72 .72-.80	.67-.75 .75-.83	.64-.72 .72-.80	.67-.75 .75-.83	.69-.77 .77-.85	.72-.80 .79-.87	.75-.83 .82-.90	.77-.85 .84-.92
Green landscaping (lawns, parks)	.10-.20 .14-.24	.16-.26 .22-.32	.25-.35 .30-.40	.14-.22 .20-.28	.22-.30 .28-.36	.30-.38 .37-.45	.20-.28 .26-.34	.28-.36 .35-.43	.36-.44 .42-.52	.24-.32 .30-.38	.30-.38 .40-.48	.40-.48 .50-.58
Non-green and gravel landscaping	.30-.40 .34-.44	.36-.46 .42-.52	.45-.55 .50-.60	.45-.55 .50-.60	.42-.50 .48-.56	.50-.58 .57-.65	.40-.48 .46-.54	.48-.56 .55-.63	.56-.64 .64-.72	.44-.52 .50-.58	.50-.58 .60-.68	.60-.68 .70-.78
Cemeteries, playgrounds	.20-.30 .24-.34	.26-.36 .32-.42	.35-.45 .40-.50	.35-.45 .40-.50	.32-.40 .38-.46	.40-.48 .47-.55	.30-.38 .36-.44	.38-.44 .45-.53	.46-.54 .54-.62	.34-.42 .40-.48	.40-.48 .50-.58	.50-.58 .60-.68

NOTES: 1. Values above and below pertain to the 2-year and 100-year storms, respectively.
 2. The range of values provided allows for engineering judgement of site conditions such as basic shape, homogeneity of surface type, surface depression storage, and storm duration. In general, during shorter duration storms ($T_c \leq 10$ minutes), infiltration capacity is higher, allowing use of a "C" value in the low range. Conversely, for longer duration storms ($T_c > 30$ minutes), use a "C" value in the higher range.
 3. For residential development at less than 1/8 acre per unit or greater than 1 acre per unit, and also for commercial and industrial areas, use values under MISC SURFACES to estimate "C" value ranges for use.

RATIONAL METHOD RUNOFF COEFFICIENTS
 (Modified from Table 4, UC-Davis, which appears to be a modification of work done by Rawls)

TABLE "B-1"

5. **Hydrologic Soil Group** In addition to values being listed by ARC classification, they are also listed according to a hydrologic soil group (HSG). Infiltration varies considerably with soil type, and the difference is accounted for by selecting a CN value under the appropriate soil type. The four HSGs are defined by SCS TR-55 as follows:

Group A soils have low runoff potential and high infiltration rates even when thoroughly wetted. They consist chiefly of deep, well to excessively drained sands or gravels and have a high rate of water transmission (greater than 0.30 in/hr).

Group B soils have moderate infiltration rates when thoroughly wetted and consist chiefly of moderately deep to deep, moderately well to well drained soils with moderately fine to moderately coarse textures. These soils have a moderate rate of water transmission (0.15-0.30 in/hr).

Group C soils have low infiltration rates when thoroughly wetted and consist chiefly of soils with a layer that impedes downward movement of water and soils with moderately fine to fine texture. These soils have a low rate of water transmission (0.05-0.15 in/hr).

Group D soils have high runoff potential. They have low infiltration rates when thoroughly wetted and consist chiefly of clay soils with a permanent high water table, soils with a claypan or clay layer at or near the surface, and shallow soils over nearly impervious material. These soils have a very low rate of water transmission (0.-0.05 in/hr).

The SCS has published Soil Surveys for most areas, which map out soil "names" along with hydraulic properties allowing one to classify the HSG. Most soil surveys already contain a listing of the HSG, however. Another source that classifies the HSG once the soil "name" is known is the SCS TR-55 or NEH-4 (SCS 1972 & 1986).

In initial selection of the Hydrologic Soil Group (A, B, C, or D), care should be taken in matching soil profile conditions. Hydrologic Soil Groups (HSGs) taken from SCS Soil Surveys generally consider the profile to a depth to 60 inches, which is adequate. But they only reflect information found at the time of the survey. Earthwork in the area may have changed conditions, and there may have been changes in groundwater levels as well. These should be considered.

Some areas may not be mapped by an SCS Soil Survey. HSG must be selected by other general descriptions such as those summarized below.

HSG Soil textures

- A Sand, loamy sand, or sandy loam
- B Silt loam or loam
- C Sandy clay loam
- D Clay loam, silty clay loam, sandy clay, silty clay, or clay

REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-72

TITLE HEADING: Alpine Bank Building

LOCATION: 709 Horizon Drive

PETITIONER: Alpine Bank

PETITIONER'S ADDRESS/TELEPHONE: 225 North 5th Street
Grand Junction, CO 81501
243-5600

PETITIONER'S REPRESENTATIVE: Sundesigns Architects

STAFF REPRESENTATIVE: Michael Drollinger

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

GRAND VALLEY WATER USERS 4/3/96

Richard Proctor

Grand Valley Water Users Association has no irrigation facilities located within this project area. Therefore, we have no comments to offer.

MESA COUNTY BUILDING DEPARTMENT 4/2/96

Bob Lee 244-1656

Two sets of sealed plans are required for plan review. Need to allow 10 to 14 days for review. A City licensed General Contractor is required to perform work. No other comments.

CITY FIRE DEPARTMENT 4/10/96

Hank Masterson 244-1414

1. The Fire Department has no problems with this proposal.
2. Submit complete sealed building plans to the Fire Department for our review and approval. Upon completion of our plan review a Building Permit Clearance form will be issued.

PUBLIC SERVICE COMPANY 4/10/96

John Salazar 244-2781

GAS & ELECTRIC: No objections.

WALKER FIELD AIRPORT 4/9/96

Dennis Wiss 244-9100

1. The proposed building site is located within the Airport's Area of Influence (AOI). Since this property does lie within the Airport's AOI it may be subjected to overflight of aircraft and the noise associated with these overflights.
2. An Avigation Easement is required to be recorded at or before the final zoning approval. Please ensure that a copy of the executed Avigation Easement is forwarded to the Walker Field Airport Authority.

3. This property falls under the category of compatible land-use with regard to the Airport by virtue of the fact that it is a non-residential structure. The Airport Authority has no objections to this site.

CITY DEVELOPMENT ENGINEER

4/12/96

Jody Kliska

244-1591

1. Drainage Fee - \$3,222.36.
2. Transportation Capacity Payment - \$10,955.82.
3. Please provide a detail for the outlet to the Horizon Channel showing the size, length, type of pipe and erosion control at the outlet.
4. Water service is Ute Water, not the City of Grand Junction.

UTE WATER

4/12/96

Gary R. Mathews

242-7491

No objections. Ute Water will supply the water needs and not the City of Grand Junction. Policies and fees in effect at the time of application will apply.

CITY COMMUNITY DEVELOPMENT

4/15/96

Michael Drollinger

244-1439

See attached comments.

CITY UTILITY ENGINEER

4/16/96

Trent Prall

244-1590

SEWER - CITY

1. The Applebee's site plan (SPR-95-119 / August 1995) nor City records identify any existing sewer taps extending to the proposed Alpine Bank site as noted on the plans. Petitioner should verify prior to receiving bids.
2. Please contact Utility Billing at 244-1580 for information regarding plant investment fees for this proposal. Utility Billing will need to know the number of employees proposed for this site. All applicable fees must be paid prior to issuance of a building permit.

TO DATE, COMMENTS NOT RECEIVED FROM:

City Attorney

U.S. West

April 16, 1996

City of Grand Junction
Community Development Department
250 North Fifth Street
Grand Junction, Colorado 81501

ATTN: Michael T. Drollinger, AICP

REF: Alpine Bank #SPR-96-072
709 Horizon Drive

Dear Mr. Drollinger:

RESPONSE TO DEPARTMENT COMMENTS RECEIVED

-	April 12, 1996	4:05 PM
-	April 15, 1996	4:25 PM
-	April 16, 1996	1:20 PM

4/12/96

1. WALKER FIELD AIRPORT

A draft Avigation Easement has been requested from the planning department. It will be executed upon receipt.

2. CITY DEVELOPMENT ENGINEER

Drainage Outlet Detail - See Sheet A-1A.

4/15/96

3. REQUIRED PARKING CALCULATION

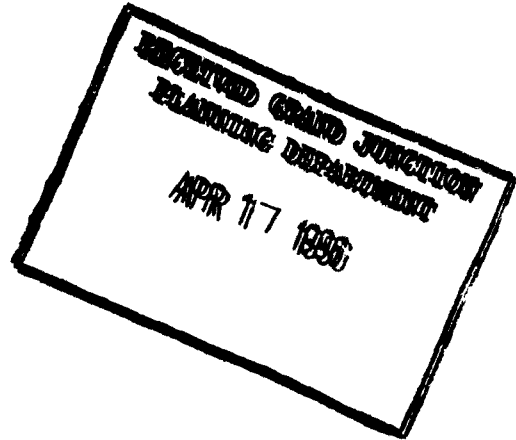
The 15 required spaces were calculated at one space per 200 square feet of building area.

4. BICYCLE RACK - See Sheet A-1A.

5. LIMITS OF CONSTRUCTION - See Sheet A-1A.

6. TRASH DUMPSTER - The Bank will have very little trash. Most of the paper refuse must be stored in a locked room for a certain number of days. It will be collected from a regular 35 gallon plastic container once a week.

7. HANDICAPPED PARKING SPACE - See Sheet A-1A.



8. LANDSCAPE PROTECTION - See Sheet A-1A.

9. LIGHT POLE DETAIL - See Sheet A-1B.

4/16/96

10. SEWER TAP

Our information that there is an existing sewer tap to the property came from:

Department of Public Works
Engineering Division
City of Grand Junction
Horizon Drive - G Road to 1-70
"As Constructed" Plan
Last Revision Date 10/6/83

11. REVISED LANDSCAPE PLAN

Under separate cover to planning department 4/17/96.

Sincerely,

SUNDESIGNS ARCHITECTS



Dean K. Moffatt, AIA

DKM/cap

xc: Norm Franke
Greg Motz

STAFF REVIEW

FILE: #SPR-96-072
DATE: April 15, 1996
STAFF: Michael Drollinger
REQUEST: Site Plan Review - Alpine Bank
LOCATION: 709 Horizon Drive
ZONING: HO (Highway-Oriented)

STAFF COMMENTS:

Site and Utility Plan

1. Please provide details as to how the required parking was calculated.
2. Remove "City Clerk and Recorder" signature block; not required.
3. A detail of the bicycle rack is required. At a minimum, the rack must be designed to accommodate three bicycles to meet Code requirements. A sample bicycle rack detail is provided for your use if desired.
4. Please clearly indicate limits of construction, particularly on the south side of the project site.
5. The row of parking stalls adjacent to the north side of the building contains 12 parking spaces, not 10 as indicated on the plans; please correct.
6. A trash dumpster enclosure detail is required.
7. Please include detail of handicapped parking stalls on plan (Accessible Parking Stall Detail attached).

Landscape Plan

1. The standards of Section 5-5-1F2c(2) regarding the protection of landscape areas from vehicular encroachment have not been adequately addressed. Please see the attached detail from the Applebee's project which illustrates an acceptable design. Both the Landscape Plan and Site Plan must be modified to meet the Code requirement.

Lighting Plan

1. A light pole detail is required; please provide on plan.

Miscellaneous

REVISED PLANS ARE REQUIRED which address the items in the review comments. Please submit four sets of **stamped** drawings for review.

PLEASE TAKE NOTE OF THE FOLLOWING:

1. ALL SIGNS TO BE ERECTED ON THE SITE WILL REQUIRE A SIGN PERMIT PRIOR TO INSTALLATION OF THE SIGN.

2. SITE IMPROVEMENTS (INCLUDING LANDSCAPING) MUST BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY MODIFICATIONS MUST BE APPROVED, IN WRITING AND/OR WITH REVISED PLANS, BY THE COMMUNITY DEVELOPMENT DEPARTMENT. FAILURE TO INSTALL SITE IMPROVEMENTS AS PER THE APPROVED PLANS MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

3. SITE IMPROVEMENTS (E.G. LANDSCAPING, SIDEWALK, ETC.) NOT COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE GUARANTEED.

You are urged to contact the Community Development Department if you require clarification or further explanation of any items.

REQUIRED
MINIMUM NUMBER
OF ACCESSIBLE SPACES

1
2
3
4
5
6
7
8
9

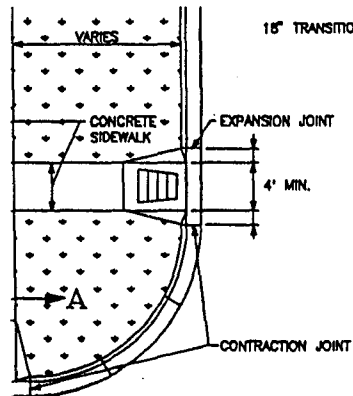
2 PERCENT OF TOTAL
20 PLUS 1 FOR EACH
100 OVER 1000

G REQUIREMENTS

(5)(a)

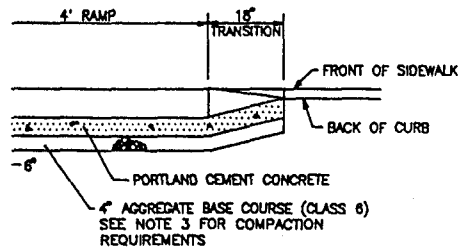
18" TRANSITION

18" TRANSITION



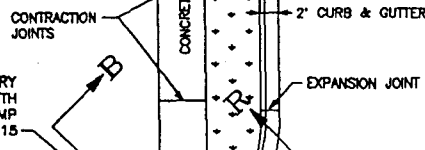
→ A

TERSECTING SIDEWALK

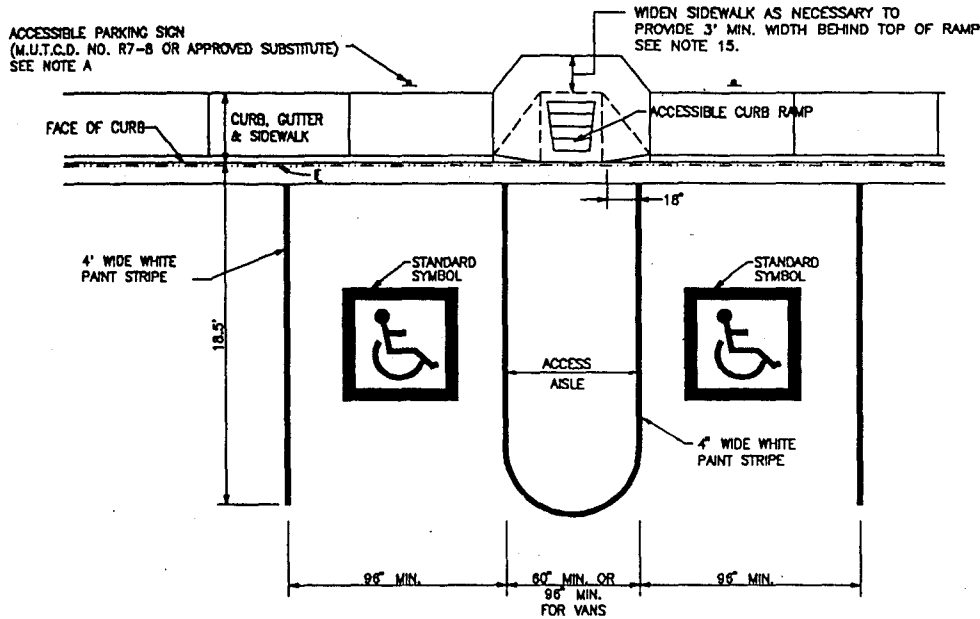


SECTION R-R

WIDEN SIDEWALK AS NECESSARY
TO PROVIDE 3' MINIMUM WIDTH
BEHIND TOP OF RAMP
SEE NOTE 15



STANDARD ACCESSIBLE PARKING STALL DETAIL

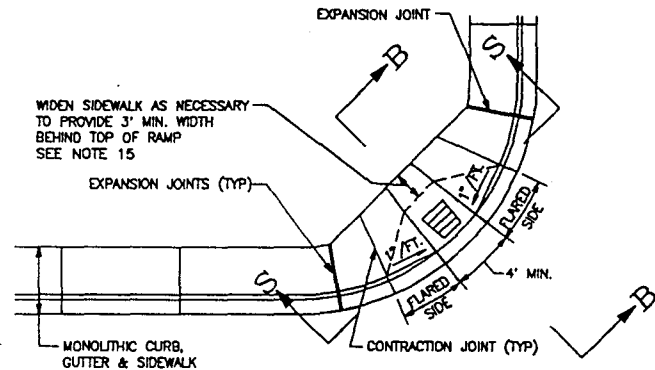


NOTES:

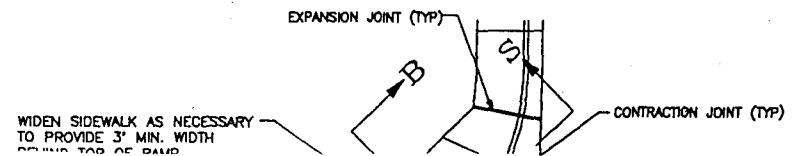
- ACCESSIBLE PARKING SPACES SHALL BE DESIGNATED AS RESERVED FOR THE DISABLED BY A SIGN SHOWING THE SYMBOL OF ACCESSIBILITY (SEE UFAS 4.30.5). SPACES COMPLYING WITH NOTE B SHALL HAVE AN ADDITIONAL SIGN "VAN ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SUCH SIGNS SHALL BE MOUNTED SO THEY CANNOT BE OBTSCURED BY A VEHICLE PARKED IN THE SPACE.
- ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 9'6" WIDE AND SHALL BE DESIGNATED "VAN ACCESSIBLE" AS SPECIFIED BY NOTE A.
- PARKING ACCESS AISLES SHALL BE PART OF AN ACCESS ROUTE TO THE BUILDING OR FACILITY ENTRANCE. TWO ACCESSIBLE PARKING SPACES MAY SHARE A COMMON ACCESS AISLE. PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS.

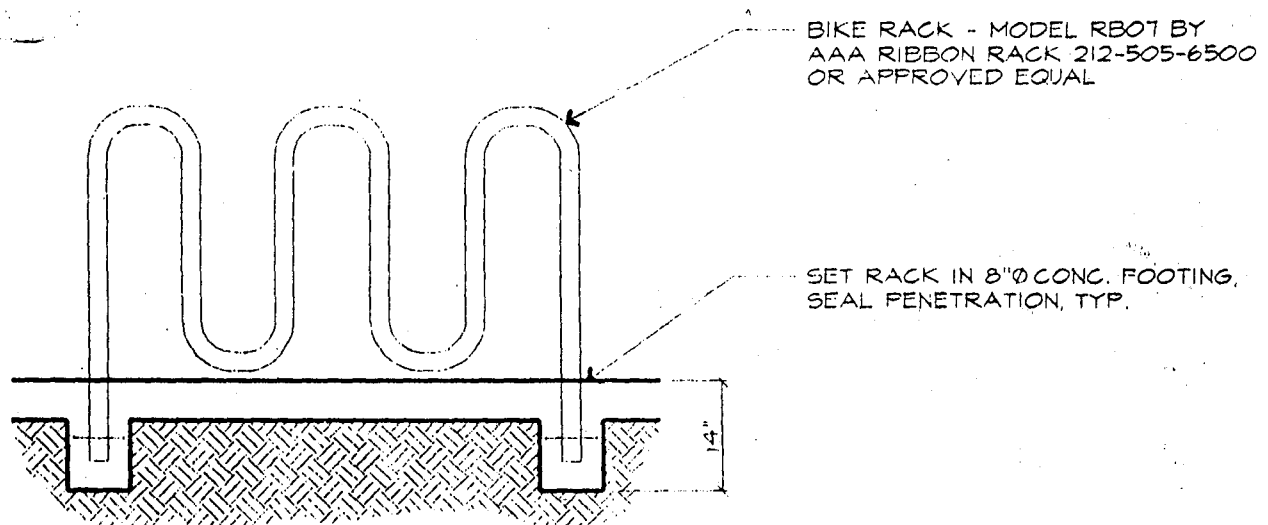
GENERAL NOTES

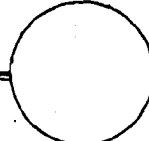
- ALL PORTLAND CEMENT CONCRETE SHALL BE COLORADO DIVISION OF HIGHWAYS CLASS "B". ALL CONCRETE SHALL BE MIXED, PLACED, CURED AND TESTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION STREET CONSTRUCTION SPECIFICATIONS.
- ALL CONCRETE WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED CURB, GUTTER & SIDEWALK CONTRACTOR. A PERMIT IS REQUIRED AT EACH LOCATION WHERE CONCRETE IS REMOVED, ALTERED OR PLACED.
- ALL CONCRETE RAMPS, SIDEWALKS, CURBS, GUTTERS AND OTHER CONCRETE WORK SHALL BE UNDERLAID WITH AGGREGATE BASE COURSE (CLASS 6) COMPACTED TO AT LEAST 90% OF AASHTO T-180 MAXIMUM DENSITY. SEE DETAILS FOR BASE THICKNESS. THE TOP 6 INCHES OF SUBGRADE UNDER ALL CONCRETE SHALL BE COMPACTED TO AT LEAST 90% OF AASHTO T-99 MAXIMUM DENSITY. ALL SATURATED OR UNSUITABLE SUBGRADE MATERIAL SHALL BE REMOVED AND REPLACED.
- ANY EXISTING PAVEMENT NOT DESIGNATED FOR REMOVAL WHICH IS DAMAGED BY CONSTRUCTION SHALL BE REPLACED IN-KIND BY CONTRACTOR.
- DRAWING INDICATES TYPICAL SECTION ONLY. CONDITIONS AND/OR OBSTRUCTIONS MAY NECESSITATE VARIATIONS OR REPOSITIONING. ALL LOCATIONS SHALL BE APPROVED ON AN INDIVIDUAL BASIS BY THE CITY ENGINEER OR HIS REPRESENTATIVE.
- IN ALL CASES, ACCESSIBLE RAMPS SHALL BE ALIGNED WITH STREET CROSSWALKS.
- AN APPROVED CURING/SEALING COMPOUND SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACE IMMEDIATELY AFTER FINISHING.
- ALL CONCRETE SHALL BE PROTECTED FROM FREEZING FOR 5 DAYS AFTER BEING PLACED. NO CONCRETE SHALL BE PLACED ON FROZEN GROUND.
- MINIMUM SPACING BETWEEN JOINTS IN CURB, GUTTER & SIDEWALK IS 5 FEET.
- MAXIMUM SPACING BETWEEN CONTRACTION JOINTS IS 10' IN ANY DIRECTION.
- WATER SHALL NOT BE ADDED TO CONCRETE SURFACES DURING FINISHING OPERATIONS.
- THE MAXIMUM SLOPE ALLOWED ON ANY CURB RAMP OR SIDEWALK SHALL BE 1"/FT. (8.33%).
- THE SURFACE OF ALL ACCESSIBLE RAMPS AND FLARED SIDES SHALL BE FINISHED WITH A COURSE BROOMED TEXTURE PERPENDICULAR TO THE SLOPE OF THE RAMP.
- ALL HANDICAP RAMPS, PARKING STALLS, LANDINGS, ETC., SHALL CONFORM TO THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) LATEST EDITION.
- THE ADDITIONAL 3' SIDEWALK WIDTH SHOWN BEHIND RAMPS IN MONOLITHIC CURB, GUTTER AND SIDEWALK IS NOT REQUIRED WHERE RAMPS ARE INSTALLED ON EXISTING STREETS.



RAMP IN MONOLITHIC CURB, GUTTER AND SIDEWALK





 **BIKE RACK**

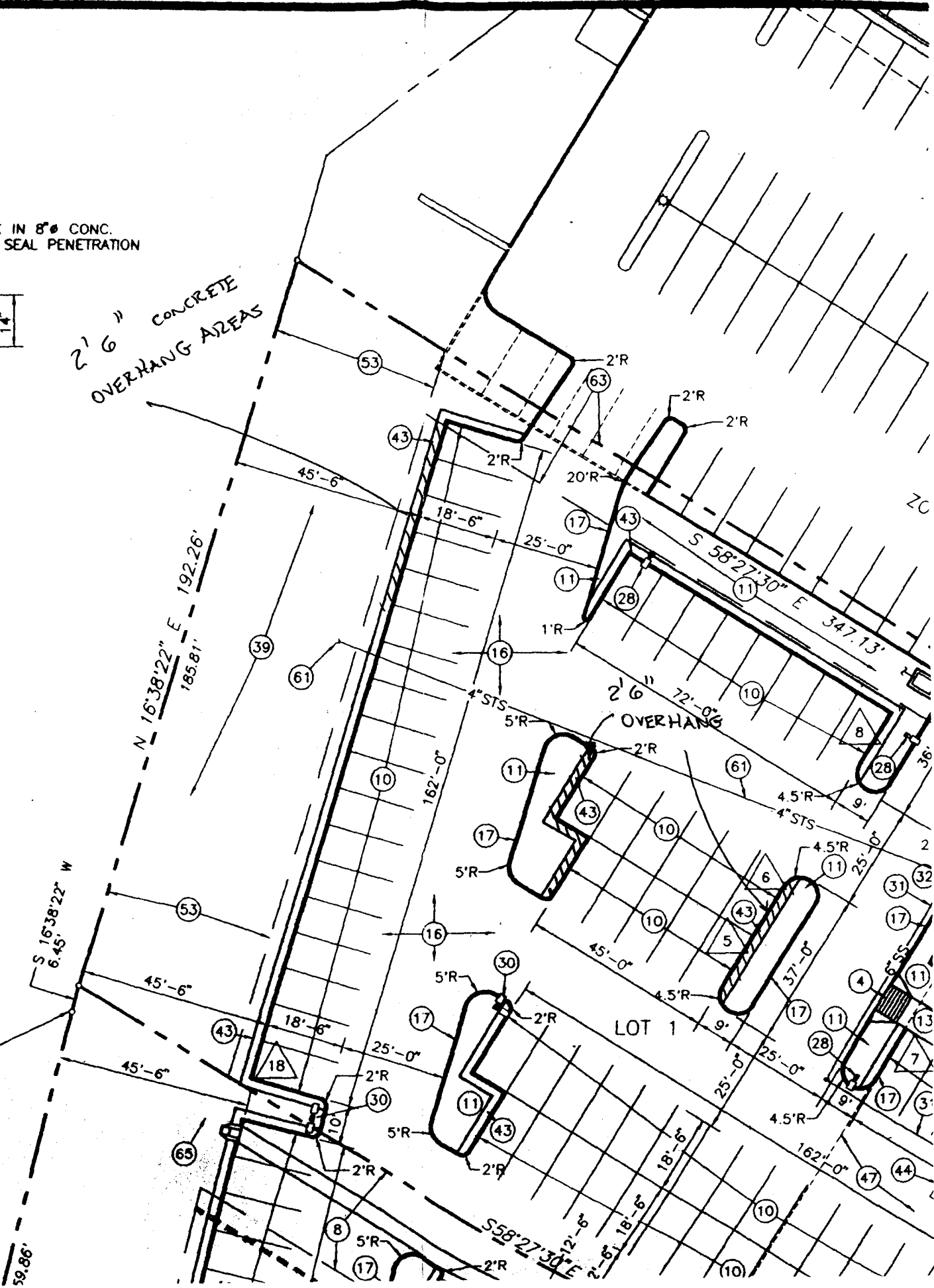
1/2" = 1'-0"

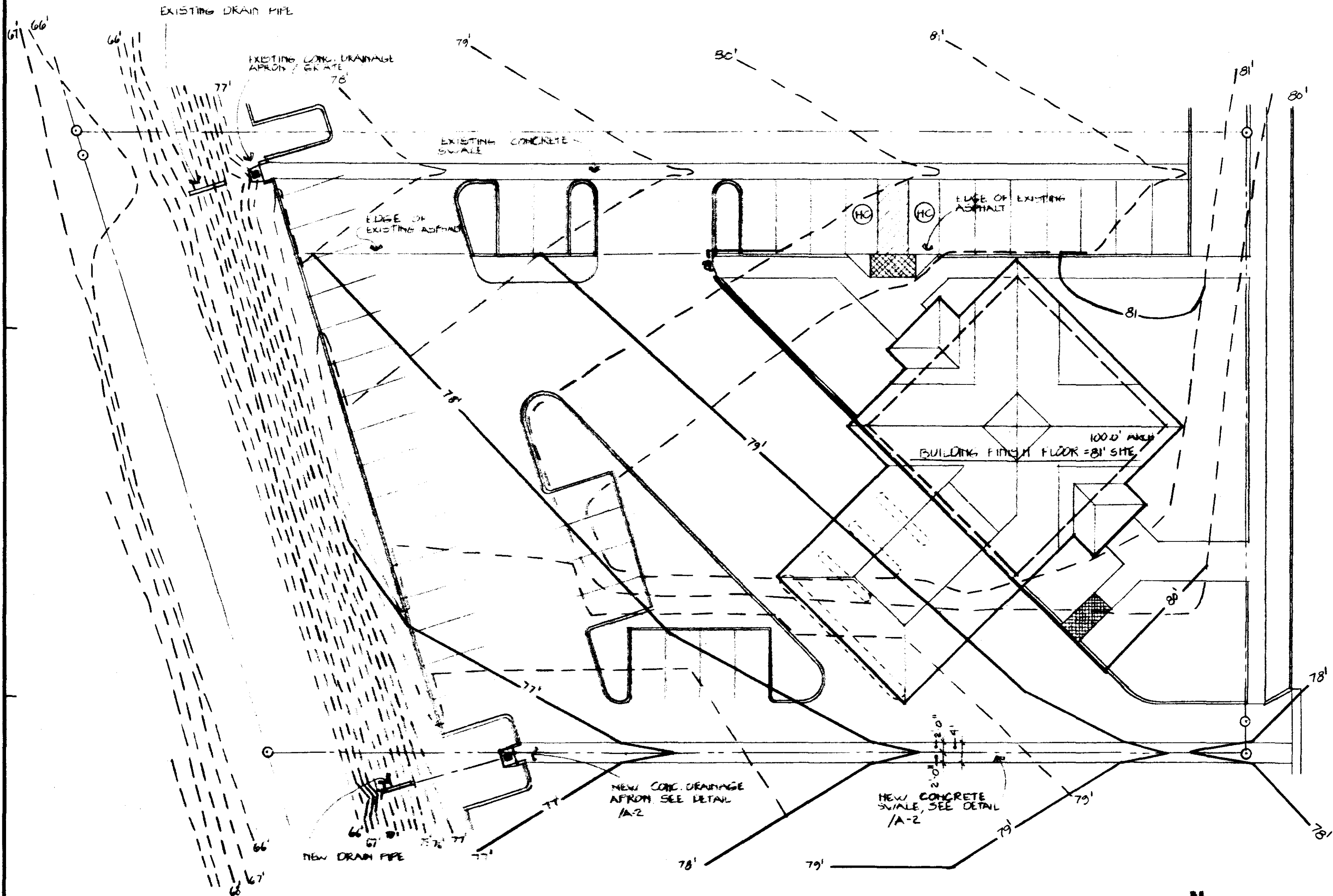
SET RACK IN 8" CONC. FOOTING, SEAL PENETRATION (TYPICAL)

2" 6" CONCRETE OVERHANG AREAS

0 30
= 30'

NW CORNER LOT 4 NORTHSIDE PARK





GRADING AND DRAINAGE PLAN

1" = 20'

NOTES

- = EXISTING CONTOURS
- = NEW CONTOURS
- = SPOT ELEVATIONS
- ▲ = SLOPE DIRECTION & PERCENTAGE

CONTOURS & SPOT ELEVATIONS ARE CONTROLS ONLY. ADJUST FOR ACTUAL SITE CONDITIONS AS NECESSARY.

SUNDESIGNS ARCHITECTS
 GLENWOOD SPRINGS, COLORADO
 970-945-2201

ALPINE BANK - HORIZON DRIVE
 709 HORIZON DRIVE
 GRAND JUNCTION, COLORADO 81506

GENERAL CONTRACTOR - SUN KING MANAGEMENT CORP. 970-245-9173

BRUNING 44-132 60044-1

SPR. 1996-072

UTILITY LEGEND

---	X	---	VALVE
---	W	---	EXISTING WATER LINE
---	W	---	PROPOSED WATER LINE
---	SS	---	EXISTING SANITARY SEWER
---	SS	---	PROPOSED SANITARY SEWER
---	G	---	EXISTING GAS LINE
---	G	---	PROPOSED GAS LINE
---	UE	---	EXISTING UNDERGROUND ELECTRICAL
---	UE	---	PROPOSED UNDERGROUND ELECTRICAL
---	UT	---	EXISTING UNDERGROUND TELEPHONE
---	UT	---	PROPOSED UNDERGROUND TELEPHONE
---	C	---	EXISTING UNDERGROUND CABLE
---	C	---	PROPOSED UNDERGROUND CABLE

SITE DATA

FACILITIES TO BE CONSTRUCTED IN ACCORDANCE WITH CITY OF GRAND JUNCTION AGENCY SPECIFICATIONS AND STANDARD DETAILS.

UTILITIES VENDORS:

- WATER - UTE WATER
- GAS - PUBLIC SERVICE
- ELECTRIC - PUBLIC SERVICE
- TELEPHONE - U.S. WEST
- SEWER - CITY OF GRAND JUNCTION

ZONING - H-0 (HIGHWAY ORIENTED)

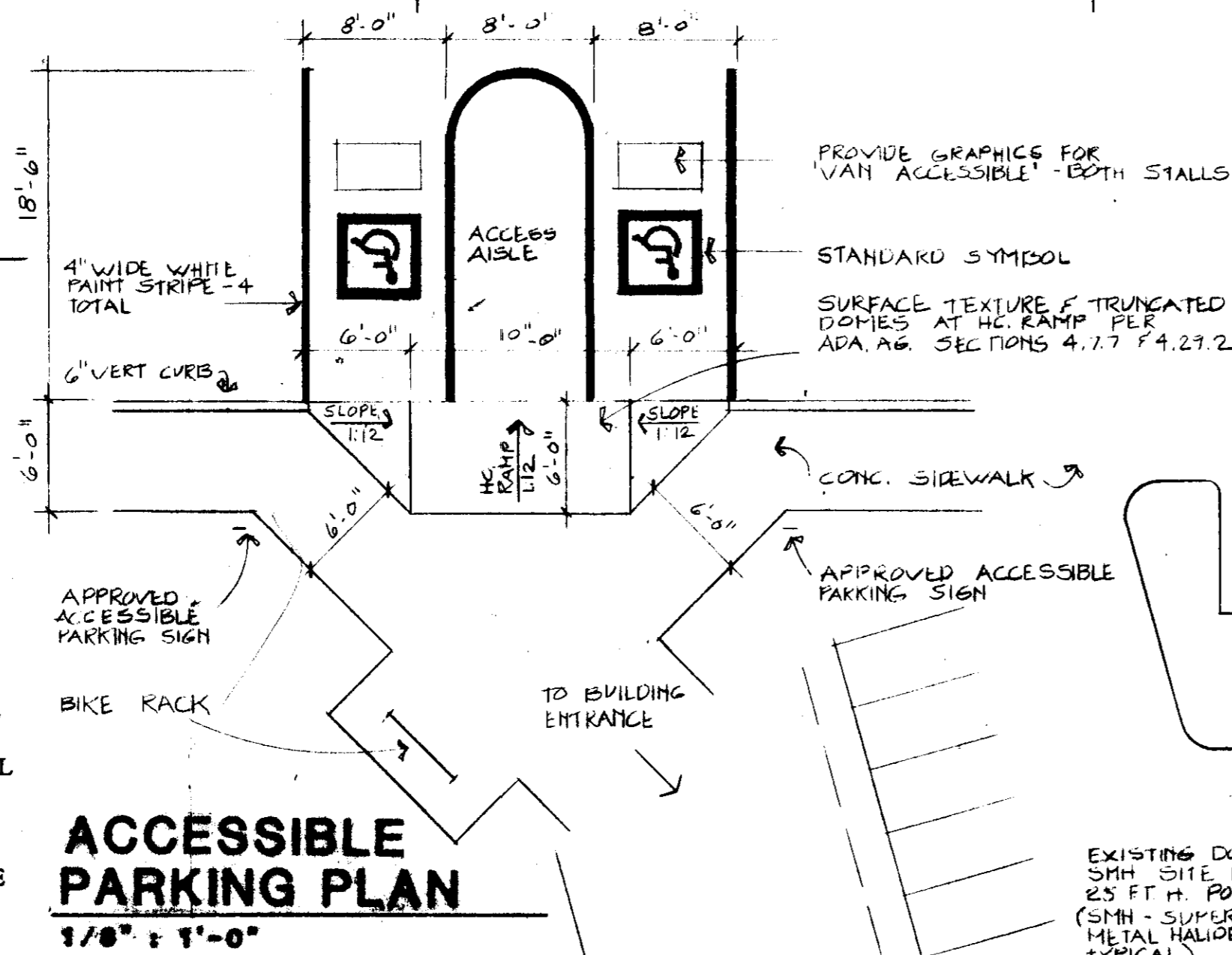
LAND USE - BANK

ACREAGE:

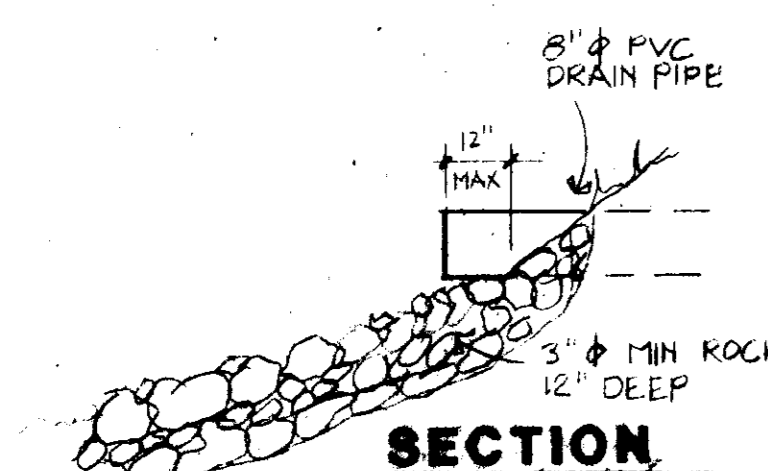
- SITE - 1.01 ac. - 43,491 SF.
- BUILDING - .07 ac. - 2,916 SF. (6.63%)
- COVERED DRIVE-UP - .05 ac. - 2,000 SF. (4.55%)
- PARKING & DRIVEWAYS - .77 ac. - 33,675 SF. (76.55%)
- WALKS - .03 ac. - 1,200 SF. (2.73%)
- LANDSCAPING - .10 ac. - 4,200 SF. (9.55%)

PARKING SPACES REQUIRED - 14
 PARKING REQUIREMENTS OFFICE - 1 PER 300 GROSS SF
 BUILDING GROSS SF = 4077 SF = 300 = 14 PARKING SPACES
 NO COMPANY OWNED VEHICLES

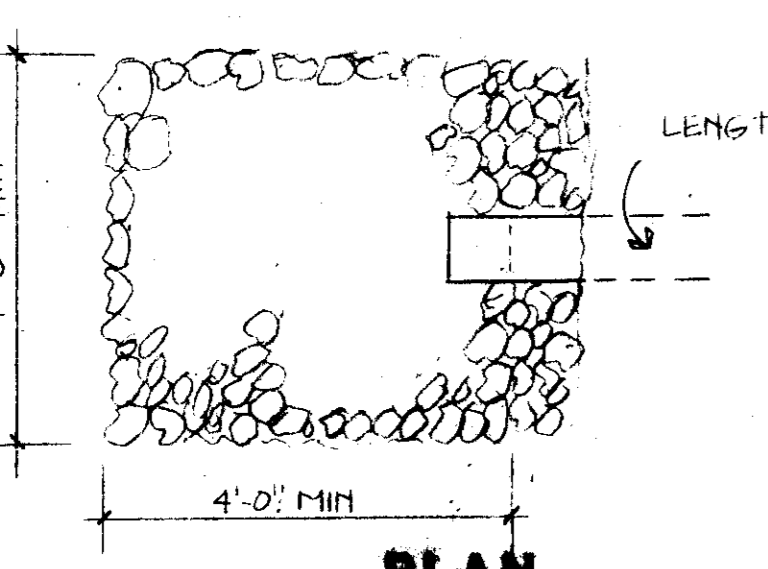
BUILDING HEIGHT - 32'



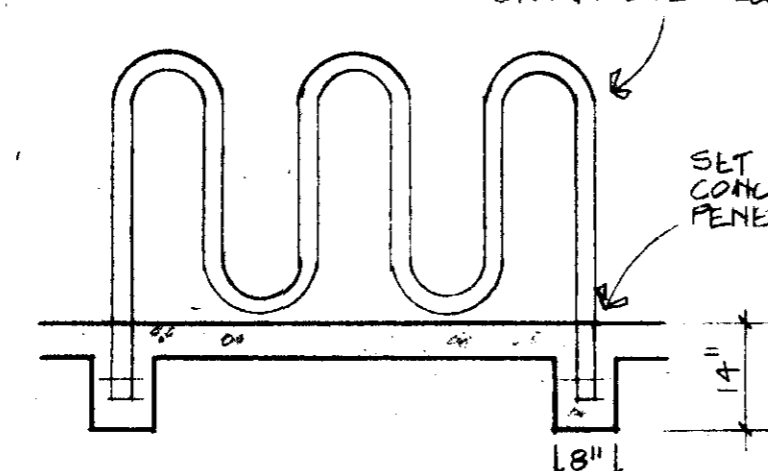
ACCESSIBLE PARKING PLAN
 1/8" = 1'-0"



SECTION

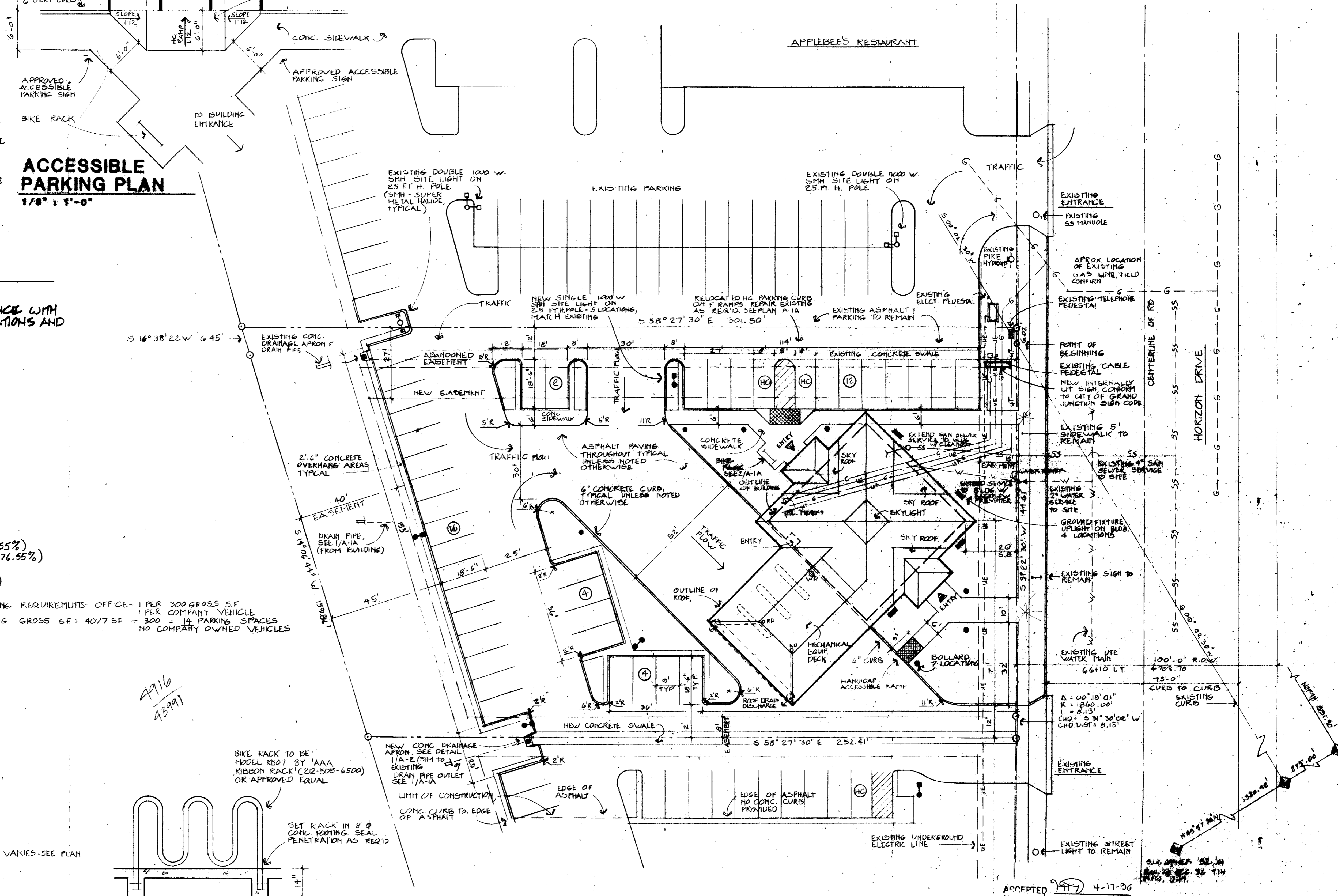


PLAN

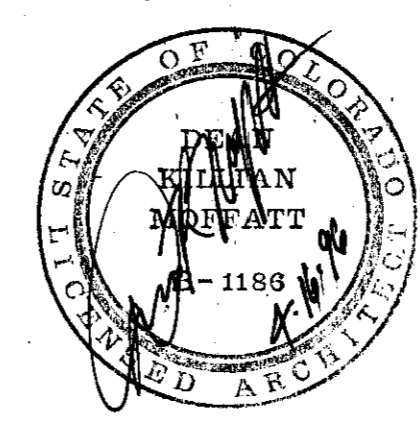


BICYCLE RACK
 A-1A 1/2" = 1'-0"

DRAIN PIPE OUTLET DETAIL
 A-1A 1/2" = 1'-0"



SITE AND UTILITY PLAN
 1" = 20'



ACCEPTED 4-17-96
 CITY ENGINEER ACTUAL

DATE 4-17-96

ALPINE BANK - HORIZON DRIVE
 709 HORIZON DRIVE
 GRAND JUNCTION, CO 81502
 ARCHITECT: SUNDESIGNS - GREENWOOD SPRING 970-945-2201
 CONTRACTOR: SINKING - GRAND JUNCTION 970-245-9173

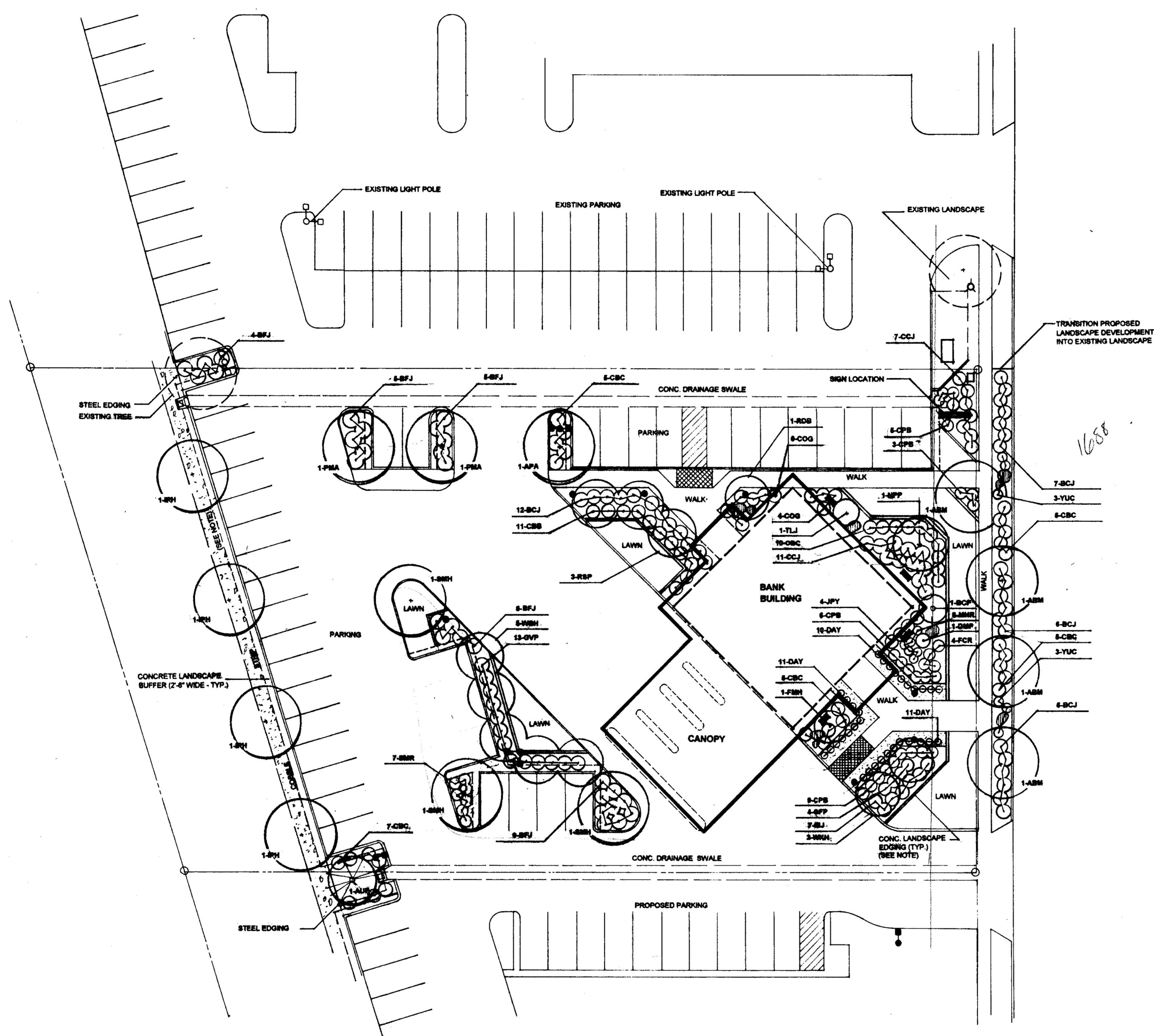
revisions 4-12-96
 project no. 00000
 date 3-25-96
 drawn WMD
 checked BEM

ALPINE BANK - HORIZON DRIVE
 709 HORIZON DRIVE
 GRAND JUNCTION, COLORADO 81506
 GENERAL CONTRACTOR - SUN KING MANAGEMENT CORP. 970-245-9173

SUNDESIGNS ARCHITECTS
 ARCHITECTS PLANNERS SOLAR CONSULTANTS
 901 BLAKE AVENUE GREENWOOD SPRING COLORADO 81601 303/442-2201

sheet A-1A of

REVISIONS	BY
4/17/96	M.G.



PLANT LIST:

KEY	COMMON NAME	BOTANICAL NAME	NO.	SIZE
TREES:				
ABM	AUTUMN BLAZE MAPLE	ACER X FRENANI 'AUTUMN BLAZE'	4	2-1/2" CAL.
APA	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	1	2" CAL.
AUP	AUSTRIAN PINE	PRINUS NIRA	1	4'-8" HT.
BCP	BIRBLECKIE PINE	PRINUS ARISTATA	1	4" HT.
BH	IMPERIAL HONEYLOCUST	GLEDITSIA TRIACANTHOS 'IMPERIAL'	4	2" CAL.
NPP	NEWPORT PLUM	PRUNUS CERAMFERA	1	2" CAL.
PMA	PATMORE ASH	FRAXINUS PENNSYLVANICA 'PATMORE'	2	2-1/2" CAL.
RDB	REDSBURD	CERCIS CANADENSIS	1	2" CAL.
RSP	REDSPIRE PEAR	PYRUS CALLERYANA 'REDSPIRE'	1	2-1/2" CAL.
SMH	SHADEMASTER HONEYLOCUST	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	3	2-1/2" CAL.
WKH	WINTER KING HAWTHORN	CRATAEGUS VIRIDIS 'WINTER KING'	1	2" CAL.
WSH	WASHINGTON HAWTHORN	CRATAEGUS PHAENOPYRUM	1	2" CAL.
SHRUBS:				
BCJ	BLUE CHIP JUNIPER	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	21	5 GAL.
BFJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	28	5 GAL.
CBC	COMPACT BURNING BUSH	EUONYMUS ALATA 'COMPACTA'	11	5 GAL.
CMB	CRANBERRY COTONEASTER	COTONEASTER APICULATA	37	5 GAL.
CCJ	CALGARY CARPET JUNIPER	JUNIPERUS SABINA 'CALGARY CARPET'	18	5 GAL.
COG	COMPACT OREGON GRAPE HOLLY	MAHONIA AQUIFOLIUM 'COMPACTA'	18	5 GAL.
CPS	CRIMSON PYGMY BARBERRY	Berberis thunbergii 'ATROPURPUREA NAM'	23	5 GAL.
CHP	DWARF MUGO PINE	PRINUS MUGO MUGUS	1	24"-30" SP.
FCR	FLOWER CARPET ROSE	ROSA x FLOWER CARPET	4	2 GAL.
FMH	FT. MCNAIR HORSECHESTNUT	ABSCULUS x CARRERA 'FT. MCNAIR'	1	1 GAL.
GFP	GOLDFINGER POTENTILLA	POTENTILLA FRUTICOSA 'GOLDFINGER'	4	5 GAL.
GVV	GOLDEN VICARY PRIVET	LIGUSTRUM x VICARYI	13	5 GAL.
HLJ	ICEE BLUE JUNIPER	JUNIPERUS HORIZONTALIS 'ICEE BLUE'	7	5 GAL.
JPY	JAPANESE SPREADING YEW	TAXUS CUSPIDATA DENSIFORMIS	4	5 GAL.
MR	SCARLET MIDDLAND ROSE	ROSA SPP.	7	5 GAL.
TLJ	TOLLESONS BLUE WEEPING JUNIPER	JUNIPERUS SCOPULORUM 'TOLLESONS'	1	5 GAL.
YUC	YUCCA	YUCCA BACCATA	1	5 GAL.
PERENNIAL FLOWERS & GROUNDCOVERS:				
DAY	DAYLILLY	HEMEROCALLIS SPP.	21	1 GAL.
MHR	CREeping MAHONIA	MAHONIA REPENS	6	1 GAL.

- LEGEND:**
- UTILITY PEDESTALS
 - LIGHT POLE FIXTURES
 - PROPOSED SIGN LOCATION
 - SHREDDED BARK MULCH
 - GROUND LIGHT FIXTURE
 - ROCK BOULDERS
 - BOLLARD
 - LARGE COBBLE ROCK

- NOTES:**
- UNLESS OTHERWISE NOTED, ALL PLANTING BED AREAS SHALL BE INSTALLED WITH CLOTH TYPE WEED FABRIC AND TOPDRESS WITH AN MIN. 2" MIN. DEPTH OF PINK SHALE FINES MULCH MATERIAL.
 - CONCRETE LANDSCAPE EDGE SHALL BE "CURB-CO" RECTANGULAR EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS AS SHOWN ON PLAN. USE MIN. 14 GA. STEEL EDGER TO SEPARATE SHREDDED BARK MULCH IN PERENNIAL BED FROM ADJOINING SHRUB BEDS IN FRONT ENTRY AREA.
 - COBBLE STRIP NOTED ON PLAN SHALL BE INSTALLED WITH CLOTH TYPE WEED FABRIC AND TOPDRESS WITH LARGE SIZE COBBLE ROCK (SIZES: 6" - 10").
 - AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM WILL BE PROVIDED.

LANDSCAPE PLAN

ACCEPTED 4-17-96
NORTH



ALPINE BANK - HORIZON DRIVE
709 HORIZON DRIVE
GRAND JUNCTION, COLORADO 81506

DRAWN	M.J.G.
CHECKED	M.J.G.
DATE	3-25-96
SCALE	1" = 20'-0"
JOB NO.	
SHEET	1
OF 1 SHEETS	