



# SUBMITTAL CHECKLIST

## SITE PLAN REVIEW

Location: Mesa Mall

Project Name: Taco Bell

ITEMS		DISTRIBUTION																				TOTAL REQ'D.							
DESCRIPTION	SSID REFERENCE	● City Community Development	● City Dev. Eng.	● City Utility Eng.	● City Property Agent - Police	○ City Parks/Recreation	● City Fire Department	● City Attorney	○ City Downtown Dev. Auth.	○ County Planning	● County Bldg. Dept.	○ Irrigation District	○ Drainage District	○ Water District	○ Sewer District	○ U.S. West	○ Public Service	○ GVRP	○ CDOT	○ Corps of Engineers	○ Walker Field		○ Persigo WWT	○ Mesa County Health	○ State Environ. Health	○ City Sanitation	○ School Dist #51		
● Application Fee <u>135.00</u>	VII-1	1																											
● Submittal Checklist *	VII-3	1																											
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Planning Clearance*	VII-3	1																											
● 11"x17" Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Evidence of Title	VII-2	1		1			1																						
○ Deeds	VII-1	1		1			1																						
○ Easements	VII-2	1	1	1	1		1																						
○ Avigation Easement	VII-1	1		1			1																						
○ ROW	VII-2	1	1	1	1		1																						
○ Improvements Agreement/Guarantee*	VII-2	1	1	1			1																						
○ CDOT Access Permit	VII-3	1	1																										
○ Industrial Pretreatment Sign-off	VII-4	1	1																										
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Elevation Drawing	IX-13	1	1																										
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
● Grading and Drainage Plan	IX-16	1	2									1								1									
○ Storm Drainage Plan and Profile	IX-30	1	2									1			1	1	1												
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1							1	1	1	1	1												
○ Roadway Plan and Profile	IX-28	1	2									1																	
○ Road Cross-Sections	IX-27	1	2																										
○ Detail Sheet	IX-12	1	2																										
● Landscape Plan	IX-20	2	1	1																									
○ Geotechnical Report	X-8	1	1							1																			
● Final Drainage Report - <u>Floodplain Permit</u>	X-5,6	1	2										1																
○ Stormwater Management Plan	X-14	1	2										1							1									
○ Phase I and II Environmental Rerpot	X-10,1	1	1																										
○ Traffic Impact Study	X-15	1	2																	1									

NOTES: \* An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 11/30/95
Conference Attendance: Kathy P., Michael Sadens
Proposal: Rebuild Tapp Bill
Location: Muse Mall

Tax Parcel Number:

Review Fee:

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required?

Adjacent road improvements required?

Area identified as a need in the Master Plan of Parks and Recreation?

Parks and Open Space fees required? NO Estimated Amount:

Recording fees required? NO Estimated Amount:

Half street improvement fees/TCP required? TTP for additional 59 parking Estimated Amount:

Revocable Permit required?

State Highway Access Permit required? possibly

On-site detention/retention or Drainage fee required?

Applicable Plans, Policies and Guidelines

Located in identified floodplain? FIRM panel #

Located in other geohazard area?

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?

Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Drainage, Floodplain/Wetlands Mitigation, Other, Screening/Buffering, Landscaping, Availability of Utilities, Land Use Compatibility, Traffic Generation, Geologic Hazards/Soils

Related Files:

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s)

Signature(s) of Representative(s)

GENERAL PROJECT REPORT

Moss Inc. (Taco Bell) proposes to construct a new and larger Taco Bell drive-thru restaurant on the subject property located at 2428 Hwy 6 & 50 Grand Junction, Colorado.

There is an existing Taco Bell located on said Property which will be demolished before beginning of new construction. We hope to begin construction no later than June 1, 1996, and complete construction within 60 days.

The new Taco Bell will seat 70 people inside, and 24 on the outside patio. It will have excellent access and wide drive-thru isles. The new restaurant will be the most modern design used by Taco Bell Corporation. It will also allow us to utilize the newest equipment and operational updates.

We will do extensive landscaping, so the new restaurant will be a very attractive and a modern addition to the Mesa Mall shopping center.

94

32 spaces

# REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-81

TITLE HEADING: Taco Bell

LOCATION: 2428 Highway 6 & 50

PETITIONER: Moss Inc.

PETITIONER'S ADDRESS/TELEPHONE: 715 Horizon Drive, #380  
Grand Junction, CO 81506  
245-0898

PETITIONER'S REPRESENTATIVE: Michael Saelens

STAFF REPRESENTATIVE: Kristen Ashbeck

---

**NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.**

---

**MESA COUNTY BUILDING DEPARTMENT** 4/4/96  
**Bob Lee** 244-1656

---

No comments.

**CITY FIRE DEPARTMENT** 4/11/96  
**Hank Masterson** 244-1414

---

1. The Fire Department has no problems with this proposal.
2. A Building Permit Clearance Form is required. Submit complete sealed building plans to the Fire Department for our plan review. Upon completion of our plan review, the clearance form will be issued.

**CITY COMMUNITY DEVELOPMENT** 4/12/96  
**Kristen Ashbeck** 244-1437

---

See attached comments & drawings.

**CITY DEVELOPMENT ENGINEER** 4/16/96  
**Jody Kliska** 244-1591

---

1. Please provide the existing building size for comparison to calculate the Transportation Capacity Payment.
2. The driveway on the mall entrance drive shows two side by side exit lanes and it appears the only way vehicles can exit is a right turn. This will cause some operational difficulties. The driveway needs to be redesigned for one exit lane.

**CITY POLICE DEPARTMENT** 4/16/96  
**Dave Stassen** 244-3587

---

The Police Department has no concerns.

**CITY UTILITY ENGINEER**

**4/16/96**

**Trent Prall**

**244-1590**

---

Please contact Dan Tonello with the Industrial Pretreatment section (244-1489) at the Persigo Sewer Treatment Plant for industrial waste review.

Please contact Utility Billing at 244-1580 for potential changes in plant investment fees for this proposal. all applicable fees must be paid prior to issuance of a building permit.

### **PARKING / CIRCULATION**

Parking is adequate as proposed.

Total Seating Capacity = 98 (74 indoor, 24 outdoor)

Parking Required = 33 spaces (1 per 3 seats); 47 spaces provided

Provide detail of bicycle rack and lighting standard (see enclosed detail sheet)

### **LANDSCAPING / SITE DETAILS**

Amount and design of landscaping is adequate as proposed.

Label Irrigation Plan

Irrigation is required for the landscaping in the right-of-way. Revise irrigation plan as required.

Provide detail of dumpster enclosure (see enclosed detail sheet)

### **SIGNAGE**

Please provide information regarding all signage on the existing building and site. Per Section 4-6-2 of the Zoning and Development Code, the existing signage was approved as an integral part of the Conditional Use Permit (CUP) and is binding for this proposal since a new CUP was not required. Any changes proposed to signage may be considered a minor change to the CUP and processed administratively. Therefore, we need to know any proposed differences in signage (square footage, location, etc) from that existing.

Based on precedent from other recent projects in the area (Red Lobster, Toys "R" Us), covenants/restrictions of Mesa Mall may not allow pole signs. Please review signage plans with Mesa Mall personnel for verification.

Directional signs may be a maximum of 3 sf, 36" in height, and may not have any advertisement (e.g bell logo). Please revise signage sheet per that attached.

### **FLOODPLAIN PERMIT**

Documentation required for Floodplain Permit is adequate for approval with Planning Clearance. Prior to issuance of a Certificate of Occupancy, a Floodproofing Certificate must be completed and submitted to the Community Development Department (see enclosed form).

WRITTEN RESPONE TO REVIEW COMMENTS

PAGE 1

FILE #SPR-96-81

LOCATION: 2428 HIGHWAY 6&50

PETITIONER: MOSS INC.

PETITIONER ADDRESS & TELEPHONE: 715 HORIZON DRIVE #380  
GRAND JUNCTION, COLORADO 81506  
PH. (970) 245-0898

PETITIONERS REPRESENTATIVE: MICHAEL SAELENS

STAFF REPRESENTATIVE: KRISTEN ASHBECK

MESA COUNTY BUILDING DEPARTMENT: BOB LEE  
NO COMMENTS NECESSARY

CITY FIRE DEPARTMENT: HANK MASTERSON  
I HAVE SUBMITTED SEALED BUILDING PLANS TO FIRE DEPARTMENT AND RECEIVED  
A BUILDING PERMIT CLEARANCE.

CITY DEVELOPMENT ENGINEER: JODY KLISKA  
I MET PERSONALLY WITH JODY AND HAVE ARRIVED AT CHANGES TO THE ENTRANCE  
THAT WERE ACCEPTABLE TO HER. (SEE ENCLOSED REVISED COPY SHEET A1A)  
THE EXISTING BUILDING IS 2,135 SQ. FT. THE NEW BUILDING IS 2,232 SQ.FT

CITY POLICE DEPARTMENT: DAVE STASSEN  
NO COMMENT NECESSARY

CITY COMMUNITY DEVELOPMENT: KRISTEN ASHBECK  
PARKING/CIRCULATION:  
DETAIL OF BICYCLE RACK & LIGHTING STANDARD. (SEE ENCLOSED DETAIN SN)

LANSCAPE/SITE DETAILS:  
IRRIGATION PLAN IS LABLED.

WE HAVE REDESIGNED LANDSCAPE PLAN TO INCLUDE NEW GRASS AREA IN RIGHT  
OF WAY, AND ALSO REVISED IRRIGATION PLAN. (SEE REVISED L1 & L2)  
THE REMAINDER OF RIGHT-OF-WAY IS HISTORIC DRAINAGE EASEMENT.

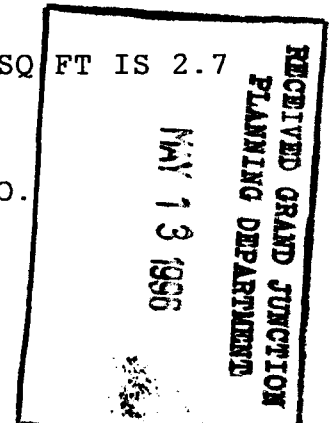
HAVE DETAIL OF DUMPSTER ENCLOSURE. (SEE DETAIL ENCLOSED A1C).

SIGNAGE:  
SEE ENCLOSED DETAIL OF BUILDING SIGNAGE. SN

WE ARE NOT INSTALLING A POLE SIGN. WE WILL ERECT A MONUMENT SIGN.  
THIS IS WHAT WAS ON SITE BEFORE. (SEE DETAIL SHEET SN).

WE WILL INSTALL DIRECTIONAL SIGNS WITH NO LOGO. MAXIMUM SQ FT IS 2.7  
FEET. (SEE DETAIL SHEET SN).

FLOODPLAIN PERMIT:  
WE HAVE A COPY OF FORM AND WILL SUBMIT BEFORE ISSUE OF CO.





WRITTEN RESPONSE TO REVIEW COMMENTS

PAGE 2

CITY UTILITY ENGINEER: TRENT PRALL

I HAVE TALKED WITH TRENT AT PERSIGO SEWER TREATMENT PLANT AND WILL PICK UP TL APPLICATION.

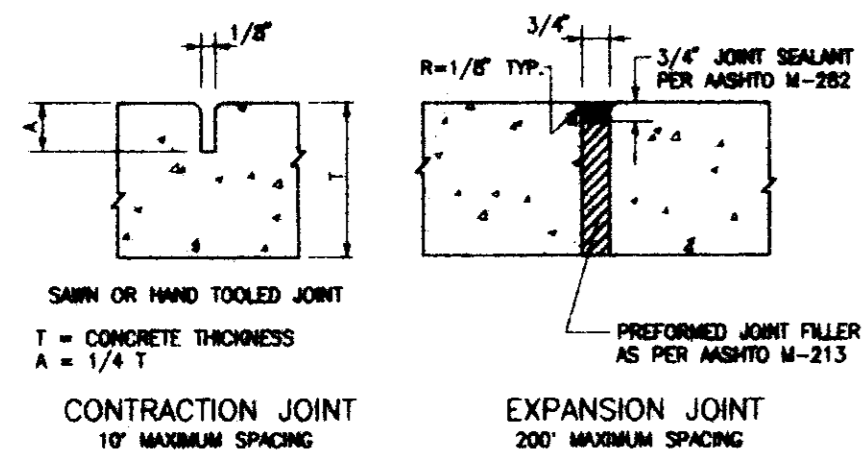
I WILL ALSO CONTACT UTILITY BILLING FOR CHANGES IN PLANT INVESTMENT FEE.

APPROVED FOR CONSTRUCTION

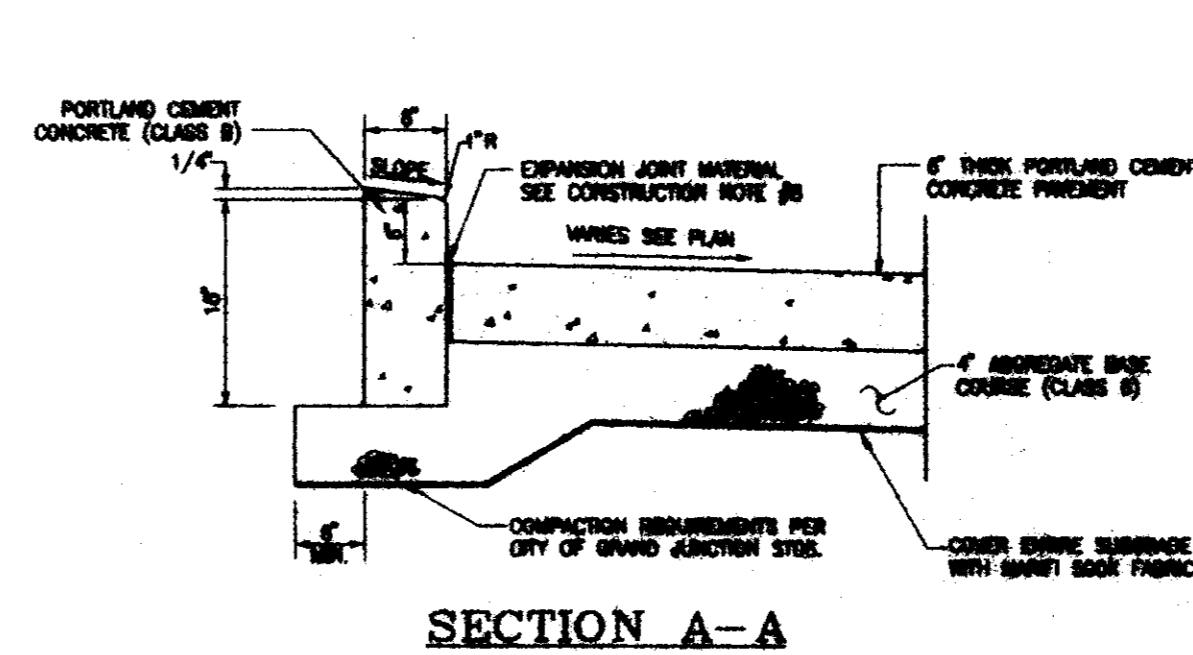
ACCEPTED AS CONSTRUCTED

CITY OF GRAND JUNCTION  
6-13-96  
DATE

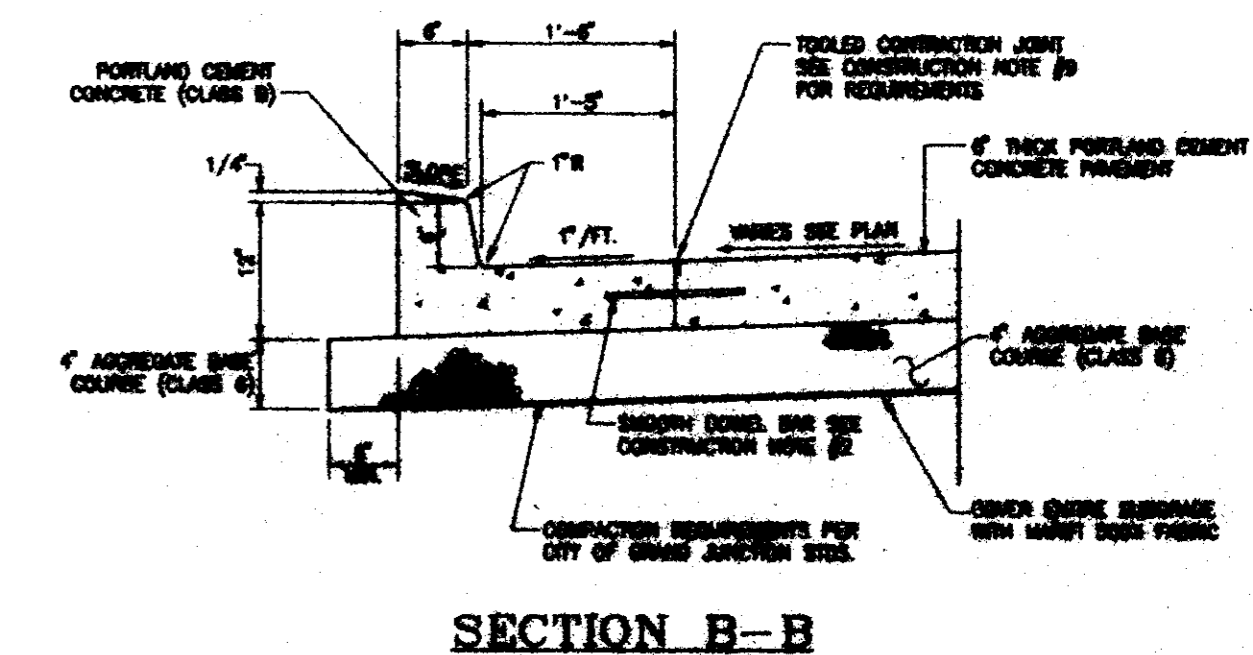
CITY OF GRAND JUNCTION  
DATE



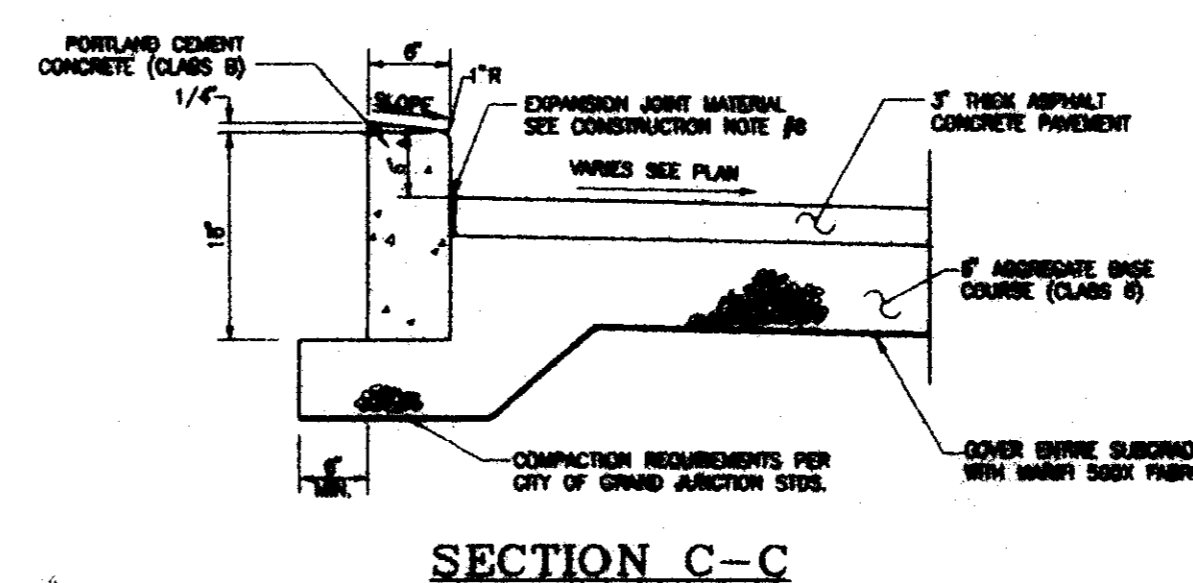
CONCRETE JOINT DETAILS



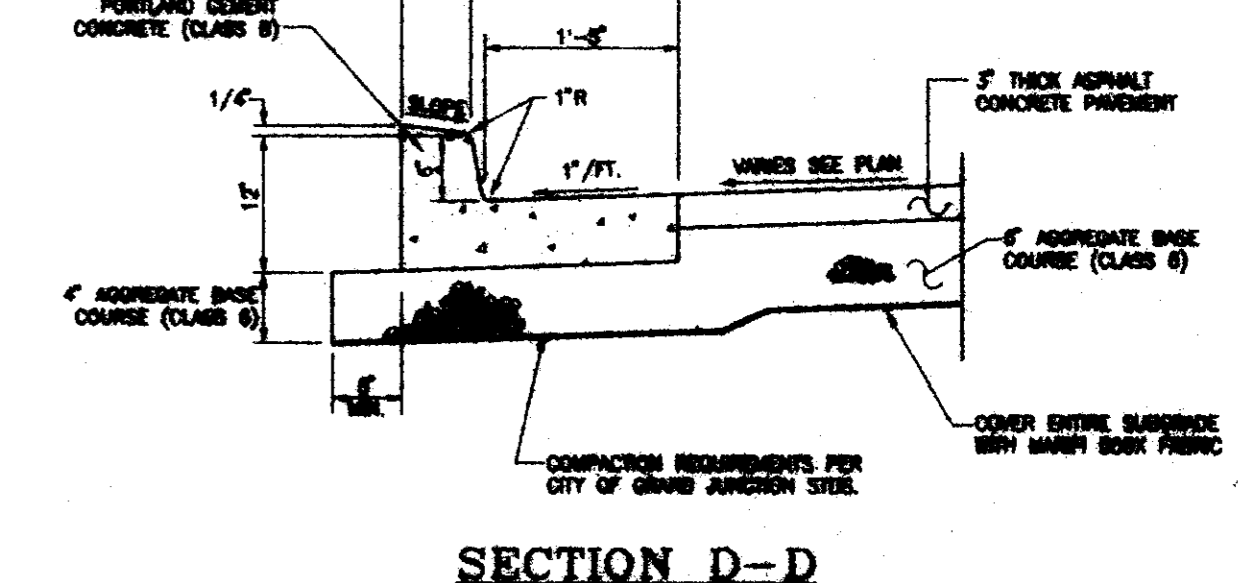
SECTION A-A



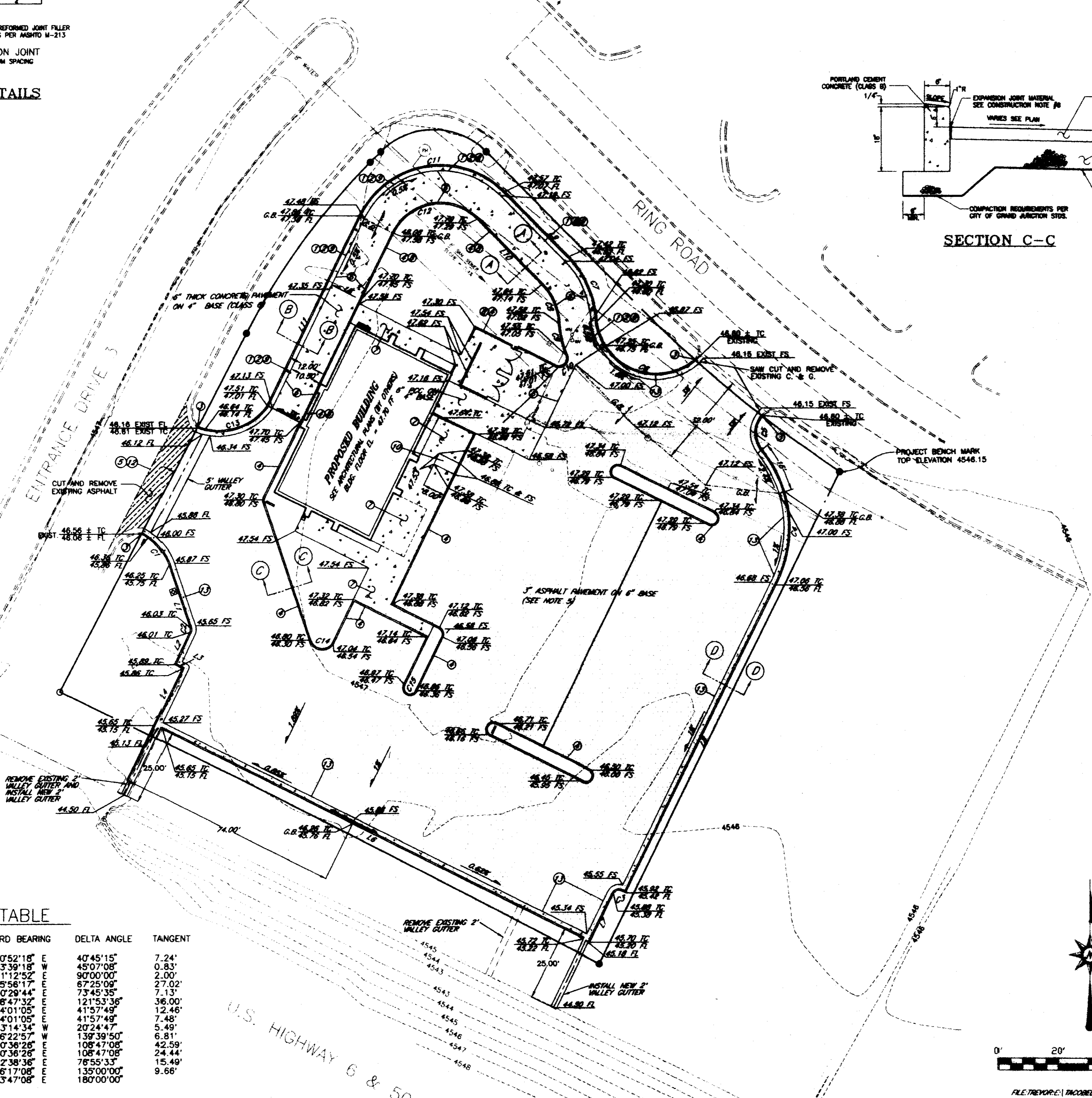
SECTION B-B



SECTION C-C



SECTION D-D



CONSTRUCTION NOTES

- 1. CONSTRUCT 6" CURB AND GUTTER AS PER SECTION B-B.
2. CONSTRUCT AN ISOLATION JOINT WITH 5/8" DIAMETER SMOOTH DOWEL BAR 12" LONG SPACED AT 12" CENTERS.
3. JOIN EXISTING CONCRETE CURB SMOOTHLY WITH 1/2" EXPANSION MATERIAL.
4. CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE CURB, 18" DEEP.
5. CONSTRUCT 3" THICK HOT BITUMINOUS PAVEMENT GRADE C OVER 6" THICK AGGREGATE BASE COURSE CLASS B.
6. CONSTRUCT 6" THICK PORTLAND CEMENT CONCRETE PAVEMENT CLASS B OVER 4" THICK AGGREGATE BASE COURSE CLASS B.
7. CONSTRUCT 4" THICK PORTLAND CEMENT CONCRETE SIDEWALK CLASS B.
8. CONSTRUCT AN EXPANSION JOINT WITH 1/2" EXPANSION MATERIAL.
9. TOOLED CONTRACTION JOINT 1/4" (MINIMUM) WIDE BY 1 1/4" (MINIMUM) DEEP AND PLACE SEALANT IN RESERVOIR AND SEAL.
10. CONSTRUCT PORTLAND CEMENT CONCRETE HANDICAP RAMP PER CITY OF GRAND JUNCTION STANDARDS.
11. REMOVE EXISTING CONCRETE CURB AND CONSTRUCT NEW 6" CURB ONLY (18" DEEP) TO LIMITS SHOWN ON THIS PLAN.
12. CUT AND REMOVE EXISTING ASPHALT TO A NEAT LINE AS SHOWN ON THIS PLAN. TACK VERTICAL EDGE PRIOR TO PAVING.
13. CONSTRUCT 6" CURB AND GUTTER AS PER SECTION D-D.

GENERAL NOTES

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE PERFORMING AND WORK AFFECTING THEM.
2. PRIOR TO ANY DIGGING THE CONTRACTOR SHALL NOTIFY THE UTILITY LOCATOR SERVICE AT 1-800-922-1987 (48 HOURS MINIMUM) TO HAVE ANY EXISTING UNDERGROUND UTILITIES LOCATED.
3. PLEASE REFER TO THE ARCHITECTURAL SITE PLAN FOR ADDITIONAL INFORMATION PERTAINING TO SITE IMPROVEMENTS.
4. ALL WORKMANSHIP, MATERIALS, AND COMPACTION REQUIREMENTS SHALL BE IN COMPLIANCE WITH THE CITY OF GRAND JUNCTION CONSTRUCTION STDS.
5. SEE ARCHITECTURAL SITE PLAN FOR ADDITIONAL DIMENSIONS.

LEGEND

TC = TOP OF CURB
FS = FINISHED SURFACE (CONC. OR ASPH.)
FL = FLOW LINE
GB = GRADE BREAK
FF = FINISHED FLOOR

SURVEY MONUMENT LEGEND

O DENOTES 5/8-INCH REBAR SET WITH ALUMINUM CAP
● FOUND 5/8" REBAR BY OTHERS.

LINE TABLE

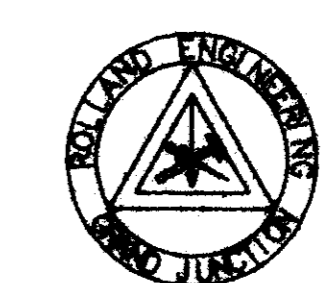
Table with columns: LINE#, BEARING, DISTANCE. Lists line segments L1 through L11 with their respective bearings and distances.

CURVE DATA TABLE

Table with columns: CURVE#, RADIUS, LENGTH, CHORD, CHORD BEARING, DELTA ANGLE, TANGENT. Lists curve data for curves C1 through C15.



FILE:TRVORP.E\TACO\BELL\MALL\DRN\DWG



MOSS INC./SIERRA BELLS INC.
TACO BELL
GRADING & DRAINAGE PLAN
MESA MALL @ HWY 6 & 50
GRAND JUNCTION, COLORADO

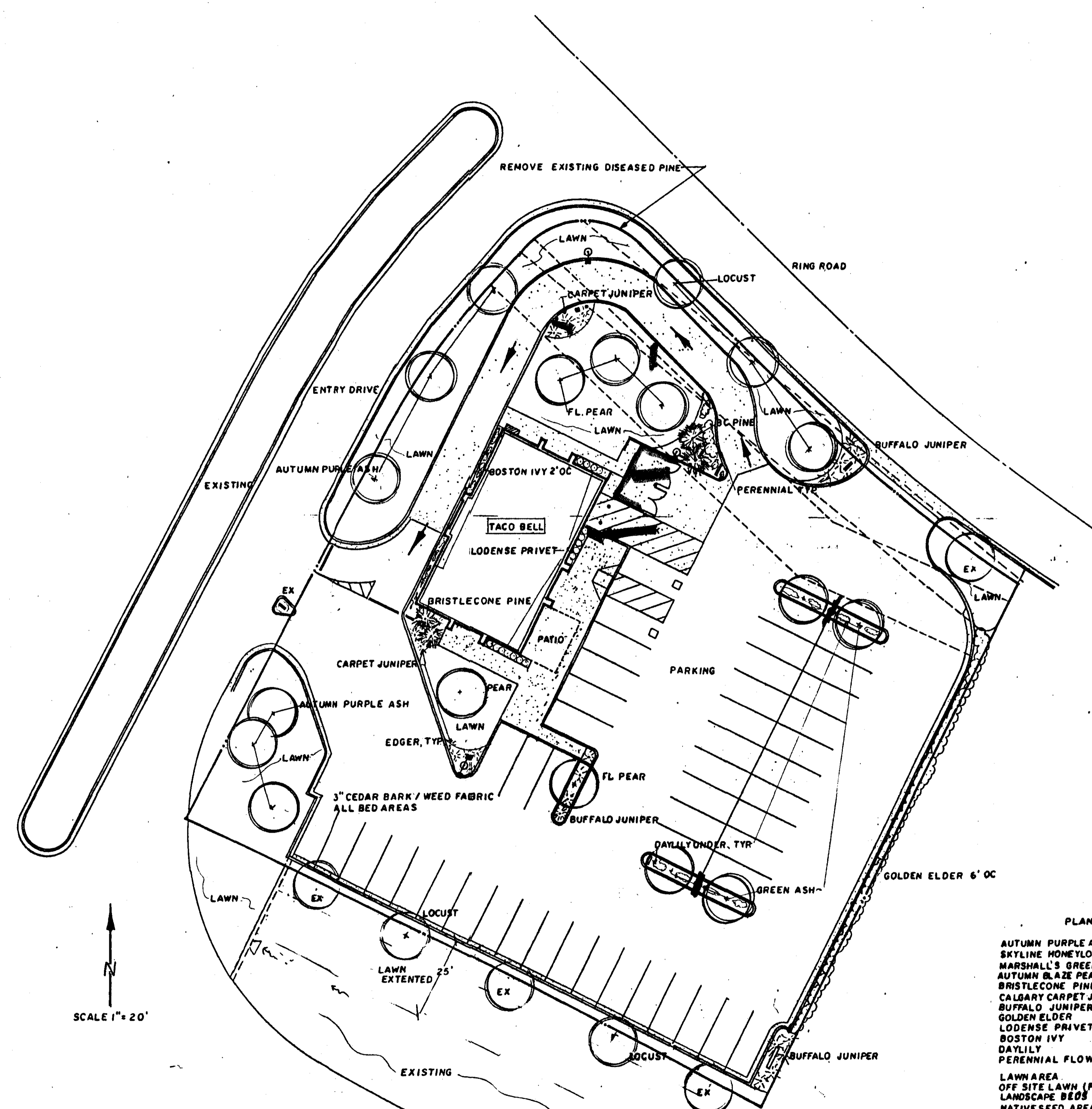
ROLLAND ENGINEERING
405 RIDGES BLVD
GRAND JCT, CO 81503
(970) 243-8300

Revision table with columns: Design, TDR, Checked, Date, Rev, Description, Sheet.

SPR-1996-081

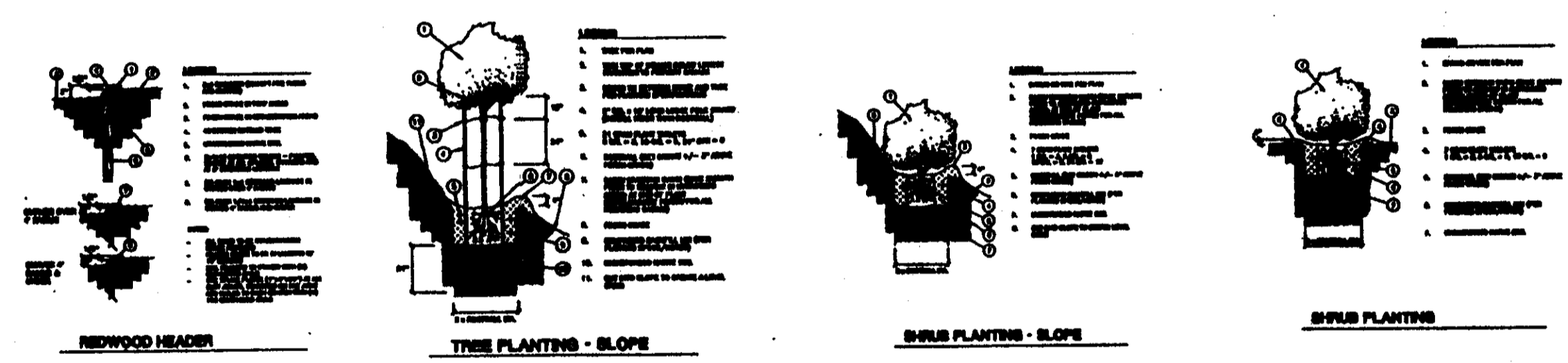
REVISIONS	

Issued to	
Plan check	
Permit issued	
Permit Number	



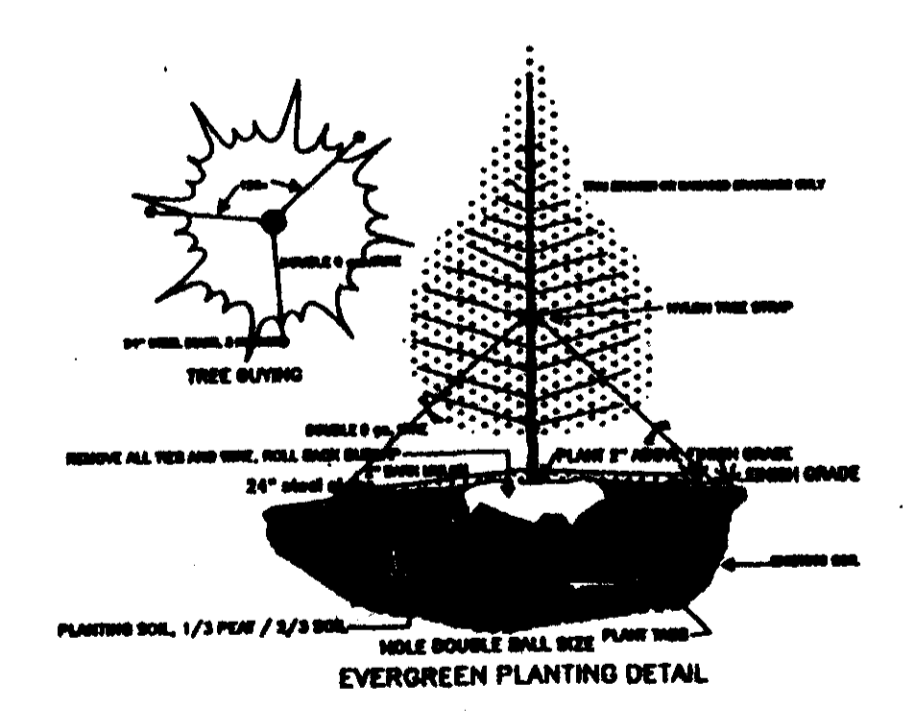
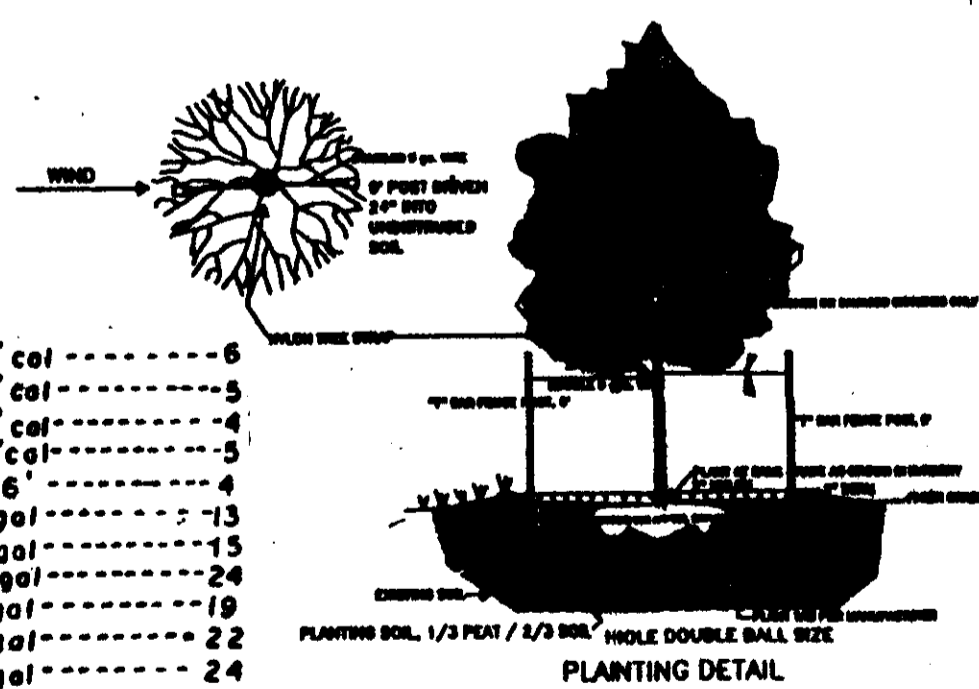
SCALE 1" = 20'

HIGHWAY 6 and 50



**PLANT LIST**

AUTUMN PURPLE ASH	2" cal	6
SKYLINE HONEYLOCUST	2" cal	5
MARSHALL'S GREEN ASH	2" cal	4
AUTUMN BLAZE PEAR	2" cal	5
BRISTLECONE PINE	5/6'	4
CALGARY CARPET JUNIPER	5 gal	13
BUFFALO JUNIPER	5 gal	15
GOLDEN ELDER	5 gal	24
LODENSE PRIVET	1 gal	19
BOSTON IVY	1 gal	22
DAYLILY	1 gal	24
PERENNIAL FLOWERS	1 gal	20
LAWN AREA		7550 SF
OFF SITE LAWN (FRONT)		2400 SF
LANDSCAPE BEDS		2925 SF
NATIVESEED AREA (FRONT)		6800 SF



A PRESSURIZED UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR LANDSCAPE AREAS.

- LEGEND:**
- DECIDUOUS TREES
  - EVERGREEN TREES
  - DECIDUOUS SHRUBS
  - EVERGREEN SHRUBS
  - PERENNIAL

PROJECT: TACO BELL	SHEET DESCRIPTION: PLANTING DETAILS	CLARKE & CO 2001 N. MESA, PHOENIX, AZ 85015 LANDSCAPE DESIGN / CONSTRUCTION
--------------------	-------------------------------------	---

APPROVED BY CITY PLANNING:

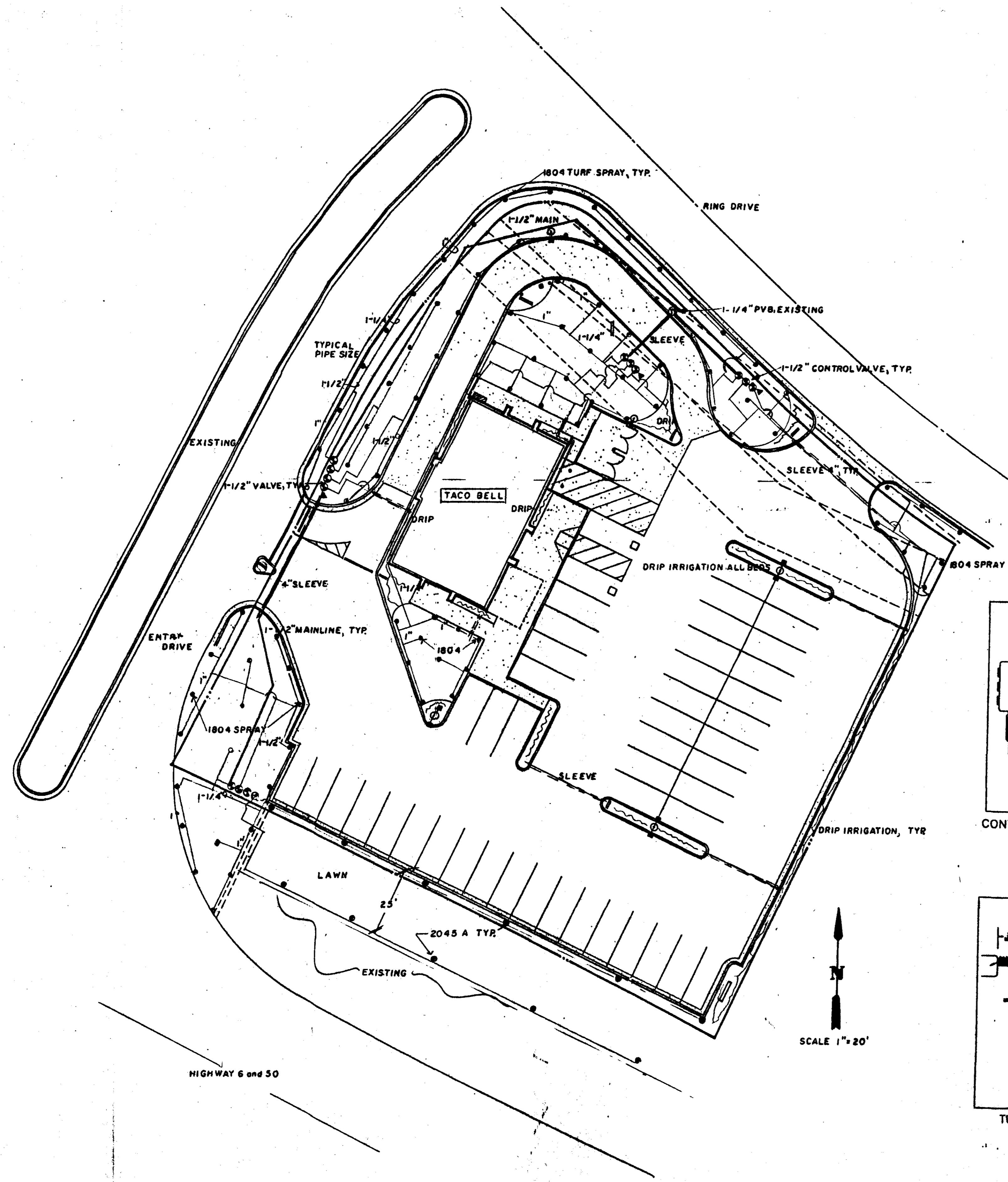
NAME: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 SIGNATURE: *[Signature]*  
 DATE: 6/13/96

MOSS INC./SIERRA BELLS INC.  
 715 HORIZON DRIVE, STE. 380  
 GRAND JUNCTION, CO. 81506  
 PH. (970) 245-0899  
 SITE ADDRESS:  
 MESA MALL @ HWY 6 & 50  
 GRAND JUNCTION, CO

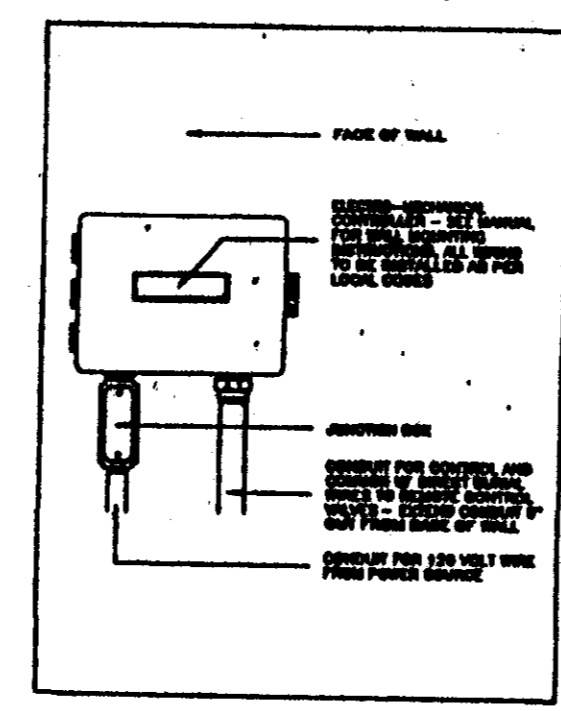
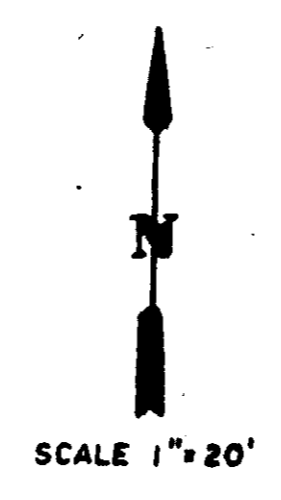


Sheet Content	
Document Status	
Plan ck	
S bddg	
Date:	02/01/96
Drawn by:	
Checked by:	
Project:	95-419,164
Sheet Number	
Of	

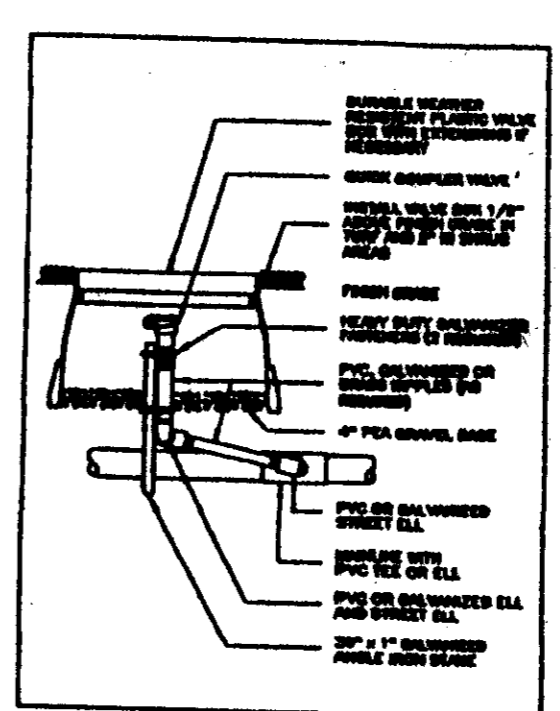
SR-96-081



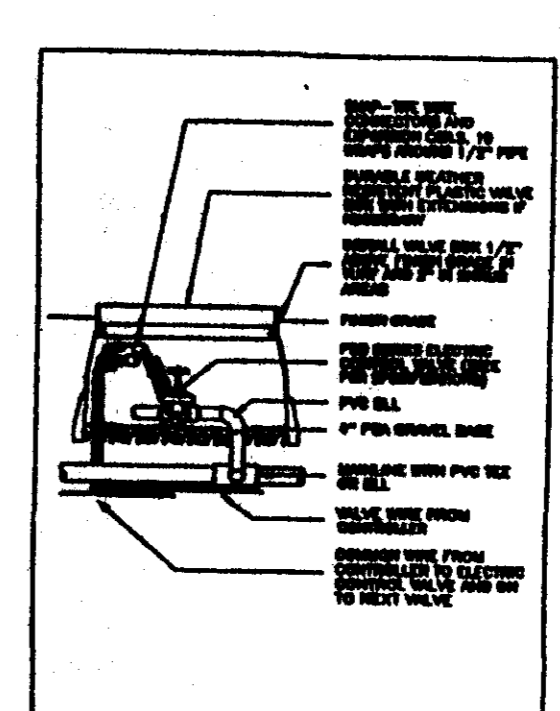
HIGHWAY 6 and 50



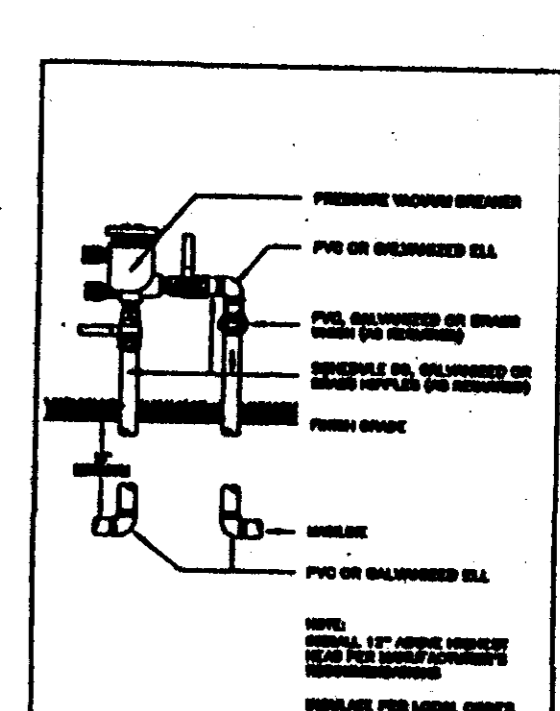
CONTROLLER - WALL MOUNT



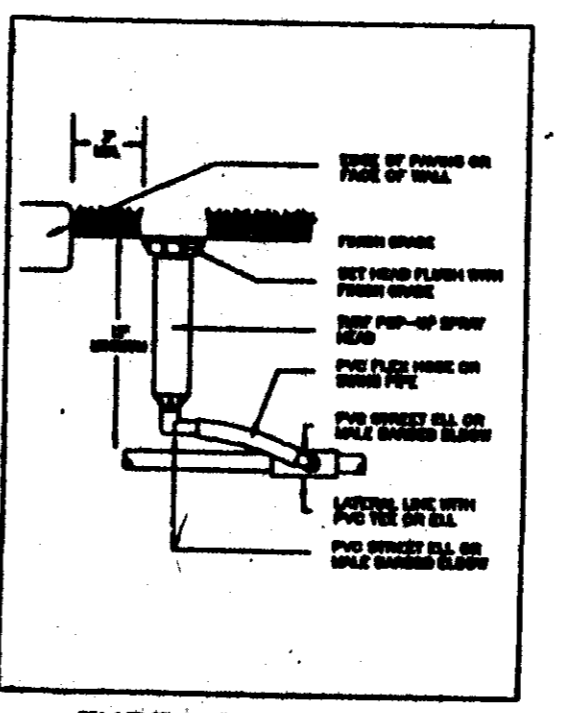
QUICK COUPLER VALVE



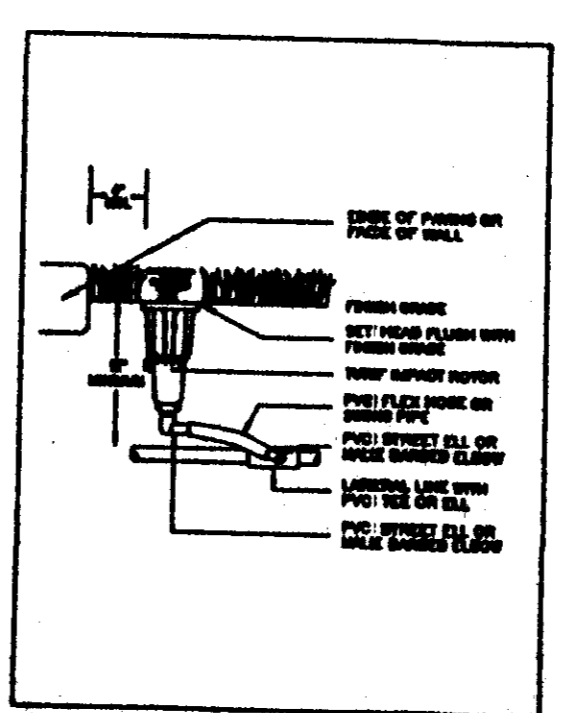
FEB SERIES CONTROL VALVE



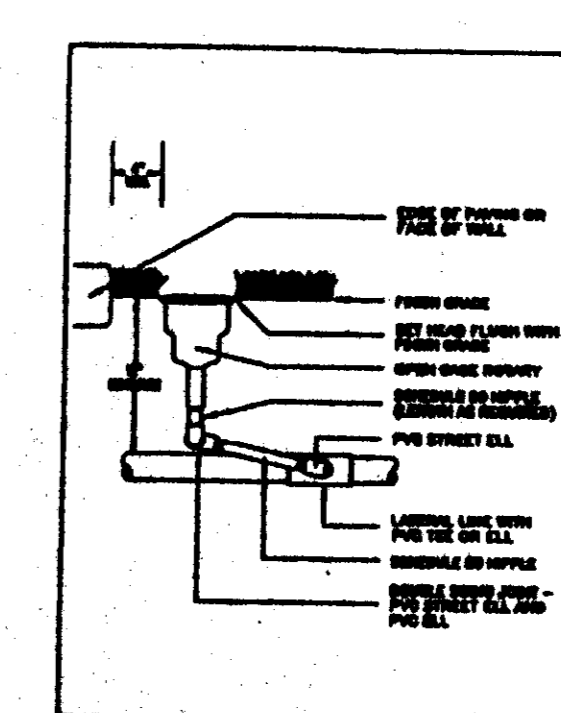
PRESSURE VACUUM BREAKER



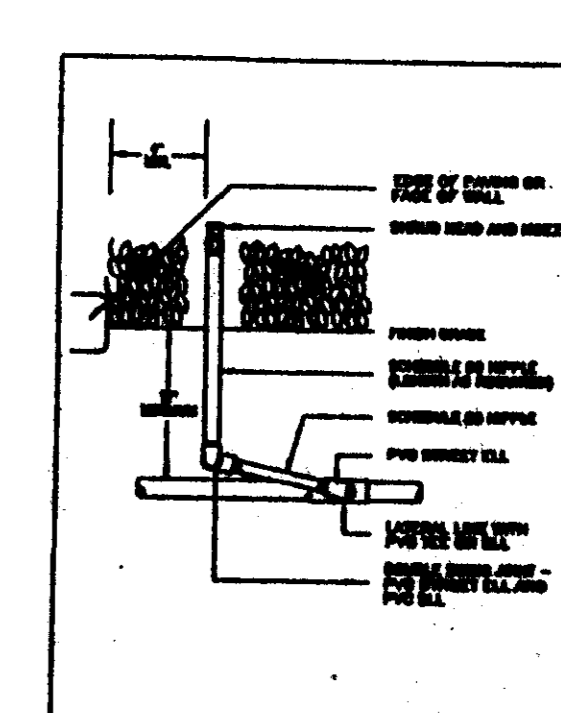
TURF HEAD POP-UP



TURF IMPACT ROTOR



OPEN CASE ROTARY



SHRUB HEAD ON RISER

NO.	DATE	DESCRIPTION

ISSUED TO  
Plan Check

PERMIT  
ISSUED

PERMIT  
NUMBER

---

SHEET DESCRIPTION  
IRRIGATION DESIGN / DETAILS

**CLARKE & CO**

---

MOSS INC./SIERRA BELLS INC.

MOSS INC./SIERRA BELLS INC.  
715 HORIZON DRIVE, STE. 380  
GRAND JUNCTION, CO 81506  
PH: (970) 245-0899

SITE ADDRESS:  
MESA MALL @ HWY 6 & 50  
GRAND JUNCTION, CO



NO.	DATE	DESCRIPTION

Sheet Content

---

Document Status

Revised:  /  /

Date: 02/01/96

Drawn by:

Checked by:

Project: 95-419.164

Sheet Number

SPE 1996-081

Of      Sheets