

SUBMITTAL CHECKLIST

SITE PLAN REVIEW

Location: Rear of 330 North Ave

Project Name: Hockey Stop

ITEMS		DISTRIBUTION																		TOTAL REQ'D								
DESCRIPTION	SSID REFERENCE	<input checked="" type="checkbox"/> City Community Development	<input checked="" type="checkbox"/> City Dev. Eng.	<input checked="" type="checkbox"/> City Utility Eng.	<input type="checkbox"/> City Property Agent	<input checked="" type="checkbox"/> City Parks/Recreation	<input checked="" type="checkbox"/> City Fire Department	<input checked="" type="checkbox"/> City Attorney	<input type="checkbox"/> City Downtown Dev. Auth.	<input type="checkbox"/> County Planning	<input checked="" type="checkbox"/> County Bldg. Dept.	<input type="checkbox"/> Irrigation District	<input type="checkbox"/> Drainage District	<input type="checkbox"/> Water District	<input type="checkbox"/> Sewer District	<input checked="" type="checkbox"/> U.S. West	<input checked="" type="checkbox"/> Public Service	<input type="checkbox"/> GVRP	<input checked="" type="checkbox"/> CDOT		<input type="checkbox"/> Corps of Engineers	<input type="checkbox"/> Walker Field	<input type="checkbox"/> Persigo WWT	<input type="checkbox"/> Mesa County Health	<input type="checkbox"/> State Environ. Health	<input type="checkbox"/> City Sanitation	<input type="checkbox"/> School Dist #51	
• Application Fee \$100	VII-1	1																										
• Submittal Checklist *	VII-3	1																										
• Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Planning Clearance*	VII-3	1																										
• WWW Reduction of Assessor's Map	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	
• Evidence of Title	VII-2	1		1		1																						
○ Deeds	VII-1	1		1		1																						
○ Easements	VII-2	1	1	1	1		1																					
○ Avigation Easement	VII-1	1		1		1																						
○ ROW	VII-2	1	1	1	1		1																					
○ Improvements Agreement/Guarantee*	VII-2	1	1	1		1																						
• CDOT Access Permit <i>Don't Need</i>	VII-3	1	1																									
○ Industrial Pretreatment Sign-off	VII-4	1	1																									
• General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ Elevation Drawing	IX-13	1	1																									
• Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29				1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
• Grading and Drainage Plan	IX-16	1	2										1						1									
○ Storm Drainage Plan and Profile	IX-30	1	2										1		1	1	1											
○ Water and Sewer Plan and Profile	IX-34	1	2	1		1							1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2										1															
○ Road Cross-Sections	IX-27	1	2																									
○ Detail Sheet	IX-12	1	2																									
• Landscape Plan <i>ON Site Plan</i>	IX-20	2	1	1																								
○ Geotechnical Report	X-8	1	1							1																		
○ Final Drainage Report	X-5,6	1	2										1															
○ Stormwater Management Plan	X-14	1	2										1						1									
○ Phase I and II Environmental Rerpot	X-10,1	1	1																									
○ Traffic Impact Study	X-15	1	2																1									

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 2-26-96

Conference Attendance: R. Manchester ; M. Drollinger

Proposal:

Location: 330 NORTH AVE (rear)

Tax Parcel Number: 2945-113-19-001 & 002

Review Fee: \$ 100

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required? -

Adjacent road improvements required? As per eng.

Area identified as a need in the Master Plan of Parks and Recreation? No

Parks and Open Space fees required? No Estimated Amount:

Recording fees required? No Estimated Amount:

Half street improvement fees/TCP required? As per eng. Estimated Amount:

Revocable Permit required? No

State Highway Access Permit required? No

On-site detention/retention or Drainage fee required? Drainage Fee

Applicable Plans, Policies and Guidelines Jevl. Code

Located in identified floodplain? FIRM panel # -

Located in other geohazard area? -

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence? -

Avigation Easement required? -

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Drainage, Floodplain/Wetlands Mitigation, Other, Screening/Buffering, Landscaping, Availability of Utilities, Land Use Compatibility, Traffic Generation, Geologic Hazards/Soils

Related Files: -

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature of Petitioner(s)

Signature of Representative(s)

29 5-113-16-003 RONALD D VINCENT TERRY LOUISE VINCENT 306 GLENWOOD AVE GRAND JUNCTION, CO 81501-7532	2945-113-19-005 AMORA L BLEY W J CORTESE-ETAL C/OR A RASO 3350 STAR CT GRAND JUNCTION, CO 81506-1944	2945-142-03-011 KIMBERLY L KELLAR CLAUDIA S & RICHARD L 340 BELFORD AVE KELLAR GRAND JUNCTION, CO 81501-2428
2945-113-16-007 818 EIGHTY-EIGHT COMPANY 1250 N 3RD ST GRAND JUNCTION, CO 81501-7515	2945-113-19-007 QUALITY MEAT CO INC 340 NORTH AVE GRAND JUNCTION, CO 81501-7541	2945-142-03-012 ROBERT G DEVINE 334 BELFORD AVE GRAND JUNCTION, CO 81501-2428
2945-113-16-008 GERALD A JOHNSTON C/O WAKEFIELD MGNT CO PO BOX 2206 GRAND JUNCTION, CO 81502-2206	2945-113-19-009 B A JOHNSON GJ LENDERMAN TRUSTEESFOR EPBP PO BOX 1829 GRAND JUNCTION, CO 81502-1829	2945-142-03-013 LOIS K PRICHARD 330 BELFORD AVE GRAND JUNCTION, CO 81501-2428
2945-113-16-009 JOHN A HART DORIS L 1551 17 RD FRUITA, CO 81521	2945-113-19-010 B JOHNSON ETAL TRSTS FOR 6 JOHNSONS PO BOX 1829 EPBP GRAND JUNCTION, CO 81502-1829	2945-142-03-014 MARY LOUISE VANDENBERG 320 BELFORD AVE GRAND JUNCTION, CO 81501-2428
2945-113-17-007 HENRY Q VADEN DOROTHY L 1317 N 3RD ST GRAND JUNCTION, CO 81501-7516	2945-142-02-002 DAVID E TRIMM KATHERINE N 261 NORTH AVE GRAND JUNCTION, CO 81501-7509	2945-142-03-015 SHIRLEY A CHAMBERS 310 BELFORD AVE GRAND JUNCTION, CO 81501-2428
2945-113-17-008 DAVID W MAVES MAXINE J MAVES 1873 L RD FRUITA, CO 81521-9025	2945-142-02-003 DAVID E TRIMM KATHERINE N 261 NORTH AVE GRAND JUNCTION, CO 81501-7509	2945-142-03-018 EARL M SHORT 302 BELFORD AVE GRAND JUNCTION, CO 81501-2428
2945-113-17-014 JOHN DUNNING BETTY W 1251 N 3RD ST GRAND JUNCTION, CO 81501-7568	2945-142-02-014 MICHAEL W GREGG SUSAN L 241 NORTH AVE GRAND JUNCTION, CO 81501-7509	2945-142-03-001 WILLIAM D KURTZ JAMES R WOOTEN 2601 MESA AVE GRAND JUNCTION, CO 81501-6253
2945-113-17-015 JOHN DUNNING BETTY W 1251 N 3RD ST GRAND JUNCTION, CO 81501-7568	2945-142-02-004 PAUL R BAINTE E B PO BOX 984 GRAND JUNCTION, CO 81502-0984	2945-142-03-002 JAMES R WOOTEN W DOUGLAS KURTZ 2601 MESA AVE GRAND JUNCTION, CO 81501-6253
2945-113-16-981 SALVATION ARMY PO BOX 578 GRAND JUNCTION, +CO 81502-0578	2945-142-02-010 STEPHEN M BARNES 246 BELFORD AVE APT 20A GRAND JUNCTION, CO 81501-2335	2945-142-03-006 MESA COUNTY FARM BUREAU 1025 N 4TH ST GRAND JUNCTION, CO 81501-7502
2945-113-19-001 RICHARD MANCHESTER LINDA 2698 LANAI CT GRAND JUNCTION, CO 81506-8615	2945-142-03-009 MARVIN E TOLMAN JOANNE V 350 BELFORD AVE GRAND JUNCTION, CO 81501-2428	2945-142-03-007 CARMELLA SANTY REECE 1015 N 4TH ST GRAND JUNCTION, CO 81501-7502

2945-142-03-003
WILLOW BEA SANTY
ANTHONY C SANTY
315 NORTH AVE
GRAND JUNCTION, CO
81501-7510

2945-142-03-004
ANDREJ CZERWONKA
ELIZABETH CZERWONKA
333 NORTH AVE
GRAND JUNCTION, CO
81501-7510

2945-142-03-010
MARY K GUSTAFSON
JAMES L
337 NORTH AVE
GRAND JUNCTION, CO
81501-7510

2945-142-03-017
DALE L DUMONT
241 27 1/4 RD STE 2
GRAND JUNCTION, CO
81503-3217

2945-142-03-019
ERNEST W HALL
BETTY J
663 24 1/2 RD
GRAND JUNCTION, CO
81505-1246

2945-142-03-020
ERNEST W HALL
BETTY J
663 24 1/2 RD
GRAND JUNCTION, CO
81505-1246

2945-142-03-008
TRINIDAD A SILVA
PO BOX 791
CLIFTON, CO 81520-0791

PROJECT REPORT
FOR
THE HOCKEY STOP

This project is an Inline Skating Rink to be used for hockey and skating. The project will accommodate age groups ranging from elementary school age through adults. We plan to organize hockey leagues for each age group, provide skating lessons and clinics, and open skate time. This will be a controlled and supervised facility. It will be enclosed with a nine feet high fence for safety and security. There will be a fifteen feet by 125 feet area of green belt of grass and trees for spectator use. There will be staff on duty during operating hours.

This facility is centrally located near residential neighborhoods and schools for easy access and use. Grand Junction High School is three blocks away; Sherwood Park is one block away; and West Middle School is five blocks away. Our plan is turn this vacant 100ft x 200ft lot from an empty "dust bowl" to an attractive, neighborhood facility.

It is our desire to provide adults and children with a safe, organized place to play hockey. This will hopefully draw the players off the streets into a more suitable skating environment.

REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-82

TITLE HEADING: Hockey Stop

LOCATION: 330 North Avenue

PETITIONER: Richard Manchester

PETITIONER'S ADDRESS/TELEPHONE: 304 North Avenue
Grand Junction, CO 81501
242-8414

PETITIONER'S REPRESENTATIVE: Richard Manchester

STAFF REPRESENTATIVE: Michael Drollinger

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

MESA COUNTY BUILDING DEPARTMENT 4/5/96
Bob Lee 244-1656

A building permit is required for the office building and the 9' high fence. Need to provide restroom facilities and handicapped accessibility. Licensed contractors are required for the work.

PUBLIC SERVICE COMPANY 4/10/96
John Salazar 244-2781

Public Service Company has no requirements at this time.

CITY UTILITY ENGINEER 4/11/96
Trent Prall 244-1590

If restroom facilities are proposed for the site, please contact Utility Billing at 244-1580 for potential changes in plant investment fees for this proposal.

CITY DEVELOPMENT ENGINEER 4/10/96
Jody Kliska 244-1591

1. Please see the attached SSID checklist for a site plan. The site plan submitted does not meet the criteria.
2. Please provide additional information about hours of operation, anticipated numbers of people using the facility in order to calculate the Transportation Capacity Payment.
3. Drainage fee is calculated at \$935.58. Please clarify where the proposed curb along the est side will drain to. Is this going across private property?
4. A building permit is required for the fencing.

U.S. WEST 4/11/96
Max Ward 244-4721

Okay.

CITY FIRE DEPARTMENT

4/15/96

Hank Masterson

244-1414

The Fire Department has no problem with this proposal.

CITY PARKS & RECREATION

4/16/96

Shawn Cooper

244-3869

No comments.

COMMUNITY DEVELOPMENT DEPARTMENT

5/1/96

Michael Drollinger

244-1439

See attached.

STAFF REVIEW

FILE: #SPR-96-082
DATE: May 1, 1996
STAFF: Michael T. Drollinger
REQUEST: Site Plan Review - Hockey Stop
LOCATION: Rear of 330 N. 3rd Street
ZONING: C-2

STAFF COMMENTS:

1. SITE PLAN AND LANDSCAPE PLAN ARE INCOMPLETE. Please see the attached checklists for deficient items. We highly recommend that you schedule a meeting with your staff planner to review the deficiencies. A complete review of the project will take place when a complete set of plans is submitted.
-

PLEASE TAKE NOTE OF THE FOLLOWING:

1. ALL SIGNS TO BE ERECTED ON THE SITE WILL REQUIRE A SIGN PERMIT PRIOR TO INSTALLATION OF THE SIGN.
2. SITE IMPROVEMENTS (INCLUDING LANDSCAPING) MUST BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS. ANY MODIFICATIONS MUST BE APPROVED, IN WRITING AND/OR WITH REVISED PLANS, BY THE COMMUNITY DEVELOPMENT DEPARTMENT. FAILURE TO INSTALL SITE IMPROVEMENTS AS PER THE APPROVED PLANS MAY DELAY THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
3. SITE IMPROVEMENTS (E.G. LANDSCAPING, SIDEWALK, ETC.) NOT COMPLETED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY MUST BE GUARANTEED.

You are urged to contact the Community Development Department if you require clarification or further explanation of any items.

DRAWING STANDARDS CHECKLIST

SITE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA
SECTION VIII	A Scale: 1" = 20', 30', 40', or 50'		
	B Sheet size: 24" x 36"		
	C Primary features consist only of proposed facilities except those related to drainage		
	D Notation: All non-construction text, and also construction notation for all primary features		
	E Line weights of existing and proposed (secondary and primary) features per City standards		
	F Location: All primary facilities are fully located horizontally (See Comment 1)		
	I Orientation and north arrow		
	J Stamped and sealed drawings by registered professional competent in the work		
	K Title block with names, titles, preparation and revision dates		
	L Reference to City Standard Drawings and Specifications		
	M Legend of symbols used		
	N List of abbreviations used		
	P Multiple sheets provided with overall graphical key and match lines		
	R Neatness and legibility		

ITEM	FEATURES	OK	NA
1	Site boundary, and adjacent property lines, land use, and zoning		
2	Total site acreage and proposed land use breakdown		
3	All existing and proposed easements, streets, and ROWs		
4	Identify utility vendors to the site		
5	Identify existing and proposed utilities, including fire hydrants, meters, and service taps		
6	Show existing and proposed drainage inlets, pipes, channels, and manholes		
7	Top and toe of slopes for retention/detention basins or other embankments		
8	Traffic ingress, egress, traffic flow patterns, and traffic control features		
9	All paving and concrete walks, pads, ramps, wheel chocks		
10	Building footprint, roof line, exterior doorways, and roof drain location		
11	Parking areas, striping, stalls, lighting		
12	Areas to receive gravel		
13	Signage, trash collection areas, bike racks and paths, crosswalks, fire lanes		
14	Miscellaneous structures, fences, walls		
15	Other non-landscaping surface facilities		
16	Do not show existing or proposed contours		
17	For perimeter streets, show roadway width from curb to curb or edge of pavement to edge of pavement, ROW width, and the monument or section line.		
18	When applicable, identify the maximum delivery or service truck size and turning radius, hours of anticipated deliveries, and show truck turning radii on the plan to show adequacy of entry/exit and on-site design.		
19	Identify trash dumpster type, anticipated pick-up time, and accessibility		
20	Space for signature approval by City Engineering with date and title		
21	Space for signature of County Clerk and Recorder (when required)		

COMMENTS

1. All angle, curvature, tangency, grade break and change, and other primary features must be fully located horizontally. However, these may be identified on the Grading and Drainage Plan, or may be put on a separate "Staking Plan"
2. If the scale is 1" = 10' or 20', instead of preparing a separate Landscaping Plan, that information may be provided hereon if it will not be too cluttered and confusing. Also, add space for signature approval by Community Development with date and title.

Hockey Shop

DRAWING STANDARDS CHECKLIST

SITE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA	
SECTION VIII	A	Scale: 1" = 20', 30', 40', or 50'		
	(B)	Sheet size: 24" x 36"		
	C	Primary features consist only of proposed facilities except those related to drainage		
	D	Notation: All non-construction text, and also construction notation for all primary features		
	E	Line weights of existing and proposed (secondary and primary) features per City standards		
	F	Location: All primary facilities are fully located horizontally (See Comment 1)		
	(I)	Orientation and north arrow		
	J	Stamped and sealed drawings by registered professional competent in the work		
	K	Title block with names, titles, preparation and revision dates		
	L	Reference to City Standard Drawings and Specifications		
	M	Legend of symbols used		
	N	List of abbreviations used		
	P	Multiple sheets provided with overall graphical key and match lines		
	R	Neatness and legibility		
ITEM	FEATURES	OK	NA	
(1)	Site boundary, and adjacent property lines, land use, and zoning			
(2)	Total site acreage and proposed land use breakdown			
(3)	All existing and proposed easements, streets, and ROWs LABEL			
4	Identify utility vendors to the site			
5	Identify existing and proposed utilities, including fire hydrants, meters, and service taps			
6	Show existing and proposed drainage inlets, pipes, channels, and manholes			
7	Top and toe of slopes for retention/detention basins or other embankments			
8	Traffic ingress, egress, traffic flow patterns, and traffic control features			
(9)	All paving and concrete walks, pads, ramps, wheel chocks			
10	Building footprint, roof line, exterior doorways, and roof drain location			
(11)	Parking areas, striping, stalls, lighting WHAT ARE HOURS OF OPERATION?			
12	Areas to receive gravel			
(13)	Signage, trash collection areas, bike racks and paths, crosswalks, fire lanes			
(14)	Miscellaneous structures, fences, walls			
15	Other non-landscaping surface facilities			
16	Do not show existing or proposed contours			
17	For perimeter streets, show roadway width from curb to curb or edge of pavement to edge of pavement, ROW width, and the monument or section line.			
18	When applicable, identify the maximum delivery or service truck size and turning radius, hours of anticipated deliveries, and show truck turning radii on the plan to show adequacy of entry/exit and on-site design.			
(19)	Identify trash dumpster type, anticipated pick-up time, and accessibility			
(20)	Space for signature approval by City Engineering with date and title			
21	Space for signature of County Clerk and Recorder (when required)			

COMMENTS

- All angle, curvature, tangency, grade break and change, and other primary features must be fully located horizontally. However, these may be identified on the Grading and Drainage Plan, or may be put on a separate "Staking Plan"
- If the scale is 1" = 10' or 20', instead of preparing a separate Landscaping Plan, that information may be provided hereon if it will not be too cluttered and confusing. Also, add space for signature approval by Community Development with date and title.

DRAWING STANDARDS CHECKLIST

SITE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA
SECTION VIII	A Scale: 1" = 20', 30', 40', or 50'		
	B Sheet size: 24" x 36"		
	C Primary features consist only of proposed facilities except those related to drainage		
	D Notation: All non-construction text, and also construction notation for all primary features		
	E Line weights of existing and proposed (secondary and primary) features per City standards		
	F Location: All primary facilities are fully located horizontally (See Comment 1)		
	I Orientation and north arrow		
	J Stamped and sealed drawings by registered professional competent in the work		
	K Title block with names, titles, preparation and revision dates		
	L Reference to City Standard Drawings and Specifications		
	M Legend of symbols used		
	N List of abbreviations used		
	P Multiple sheets provided with overall graphical key and match lines		
	R Neatness and legibility		

ITEM	FEATURES	OK	NA
1	Site boundary, and adjacent property lines, land use, and zoning		
2	Total site acreage and proposed land use breakdown		
3	All existing and proposed easements, streets, and ROWs		
4	Identify utility vendors to the site		
5	Identify existing and proposed utilities, including fire hydrants, meters, and service taps		
6	Show existing and proposed drainage inlets, pipes, channels, and manholes		
7	Top and toe of slopes for retention/detention basins or other embankments		
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10	Building footprint, roof line, exterior doorways, and roof drain location		
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12	Areas to receive gravel		
13	Signage, trash collection areas, bike racks and paths, crosswalks, fire lanes		
14	Miscellaneous structures, fences, walls		
15	Other non-landscaping surface facilities		
16	Do not show existing or proposed contours		
17	For perimeter streets, show roadway width from curb to curb or edge of pavement to edge of pavement, ROW width, and the monument or section line.		
18	When applicable, identify the maximum delivery or service truck size and turning radius, hours of anticipated deliveries, and show truck turning radii on the plan to show adequacy of entry/exit and on-site design.		
19	Identify trash dumpster type, anticipated pick-up time, and accessibility		
20	Space for signature approval by City Engineering with date and title		
21	Space for signature of County Clerk and Recorder (when required)		

COMMENTS

1. All angle, curvature, tangency, grade break and change, and other primary features must be fully located horizontally. However, these may be identified on the Grading and Drainage Plan, or may be put on a separate "Staking Plan"
2. If the scale is 1" = 10' or 20', instead of preparing a separate Landscaping Plan, that information may be provided hereon if it will not be too cluttered and confusing. Also, add space for signature approval by Community Development with date and title.

DRAWING STANDARDS CHECKLIST

LANDSCAPE PLAN

ITEM	GRAPHIC STANDARDS	OK	NA
SECTION VIII	A Scale: 1" = 10' or 20'		
	B Sheet size: 24"x36"		
	C Primary features consist only of landscape features		
	D Notation: All non-construction text, and also construction notation for all primary features		
	E Line weights of existing and proposed (secondary and primary) features per City standards		
	H Vertical control: Benchmarks on U.S.G.S. datum if public facilities other than SW are proposed		
	I Orientation and north arrow		
	K Title block with names, titles, preparation and revision dates		
	M Legend of symbols used		
	N List of abbreviations used		
	P Multiple sheets provided with overall graphical key and match lines		
	Q Contouring interval and extent		
	R Neatness and legibility		

ITEM	FEATURES	OK	NA
-	(1) Use the Site Plan as a base map		
	(2) Identify areas to be covered with specific landscaping materials		
	3 Boulders, mounds, swales, water courses, rock outcroppings		
	(4) Planting Material Legend includes common and botanical names, quantities, minimum purchase sizes, mature height, groundcover/perennial spacing, types of soil, and other remarks		
	5 Specification of soil type and preparation		
	6 Landscape irrigation layout, design, materials, and details (if requested by City staff)		
	7 Planting/staking and other details as required		
	(8) Required note on Plan: "An underground, pressurized irrigation system will be provided"		
	(9) Space for approval signature by Community Development with date and title		

COMMENTS

1. This drawing may be eliminated if information may be put on the Site Plan. See Note (2) on the Site Plan Checklist.

M E M O R A N D U M

DATE: May 15, 1996

TO: Richard Manchester

FROM: Michael T. Drollinger, City Community
Development Department

RE: Hockey Stop Draft Plan

I have done a quick review of the draft plan submitted for the Hockey Stop and offer the following comments which should be incorporated into the plan prior to resubmittal for review by all review agencies. When officially resubmitting, please provide 12 copies of the plans and the written response to comments. We will review the plans and advise make a decision on the application within about 5 working days of resubmittal. The comments are as follows:

- ⇒ Fencing along the alley boundary is not clearly delineated.
- ⇒ Please identify the drawing as a "Site and Landscape Plan" if that is what it is.
- ⇒ Please carefully review the Site Plan and Landscape Plan checklists which were forwarded to you with the original set of comments since it appears a number of items are still missing (e.g. location of utilities which will serve the proposed CMU building, planting material legend, space for approval signature by Community Development with date and title.)
- ⇒ Please provide the attached bicycle rack detail or similar on the plan.

I am returning the draft plans and written response you submitted with this memo. Overall, it appears that most of the project details are reflected on the plans. Please do not hesitate to contact me if you should have any questions or require additional information.

The Hockey Stop

May 23, 1996

MESA COUNTY BUILDING DEPARTMENT

Bob Lee in regard to your comments concerning the need for permits, we will be sure to acquire the proper permits. We have also planned for a handicapped accessible restroom in our plans. As far as a licensed contractor, David Hoffman will be doing the construction (243-9564).

CITY DEVELOPMENT ENGINEER

Jody Kliska you were concerned first with the hours of operation, we plan to operate for normal hours from 4:00 p.m. to 10:00 p.m. during school months and as needed in the summer months, for league play. We do not plan to stay open past 10:00p.m. in the summer. We anticipated that there will be 10-16 players at a time with no more than 10 players on the rink skating at a time. Second you were interested in drainage, please note the grass area on the west side of the rink, this is a drainage area to help absorb some of the water. The east side drainage doesn't cross private property. It will drain to North Avenue between existing buildings (see drainage plan).

CITY COMMUNITY DEVELOPMENT DEPARTMENT

Michael T. Drollinger the landscaping will consist of the following: two planters in parking area planter one is 15'x10' and will have two american red rose bushes, two paracanthia, and 36 pansies, planter two is 20'x10' and will have three american red rose bushes, two paracanthia, and 36 pansies. We will have a grassed area 110'x10' on west side of rink that will also have two large elm trees. An underwater sprinkler system will be installed to cover landscaping.

LANDSCAPING LEGEND

Rose Bush = 1 gallon size = Rosaceae

Pansies = flats = Viola = Violaceae

Paracanthia = 5 gallon size = Cinquefoil

We will also use a high grade potting soil.

You had questions about the bike rack it is 9'8" long x 21" wide x 16" high, has room for eight bikes and is made out of galvanized steel.

Thank you

Richard Marchetti

1" = 20'

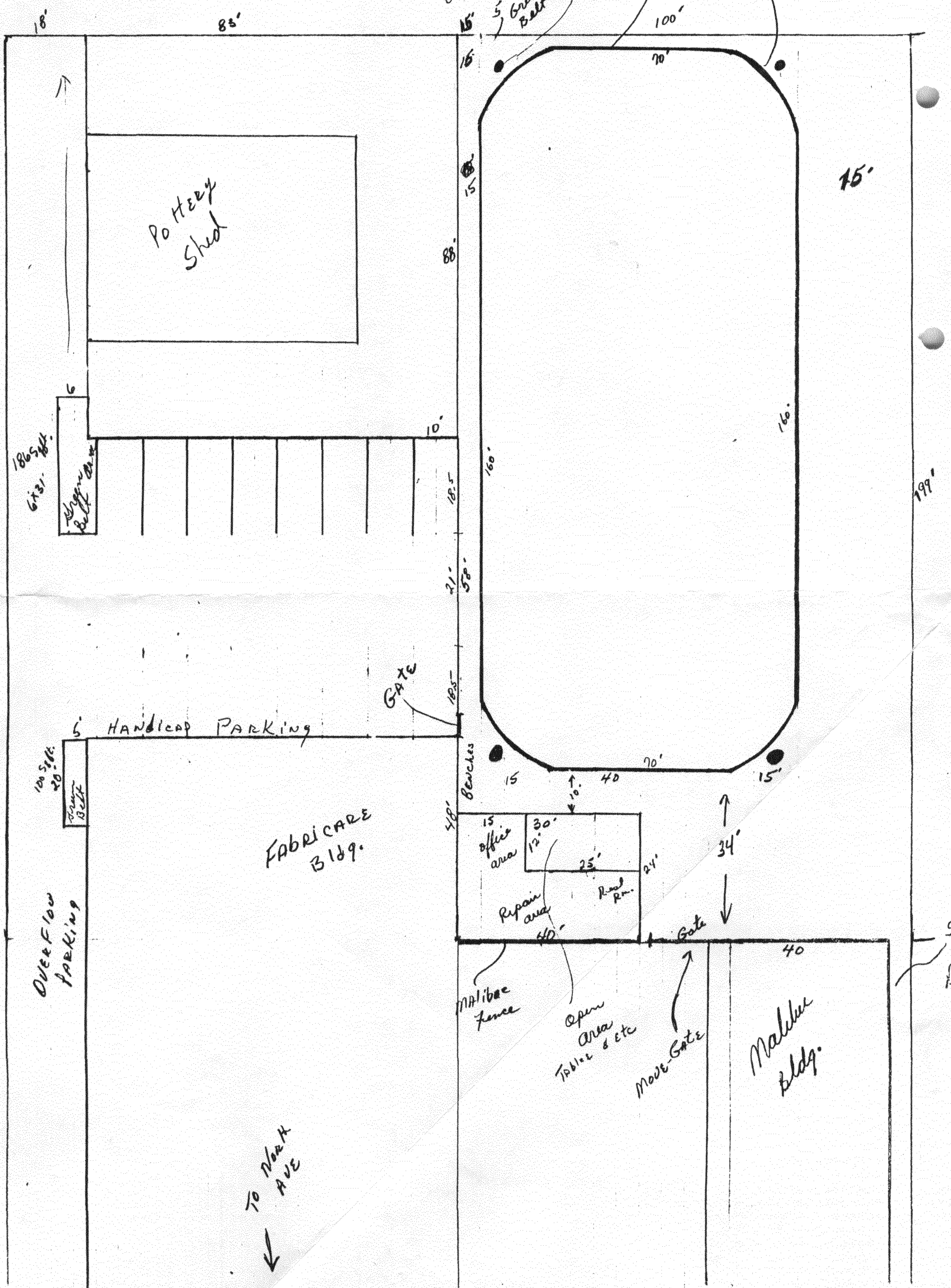
Hockey Boards
& fence around
arena

Grass
Belt

5' Grass
Belt

Light
Poles

Stream
area



Pottery
Shed

15'

GATE

HANDICAP PARKING

FABRIC CARE
Bldg.

OVERFLOW
PARKING

Malibu
fence

Open
Area
Tables & etc

More Gate

Malibu
Bldg.

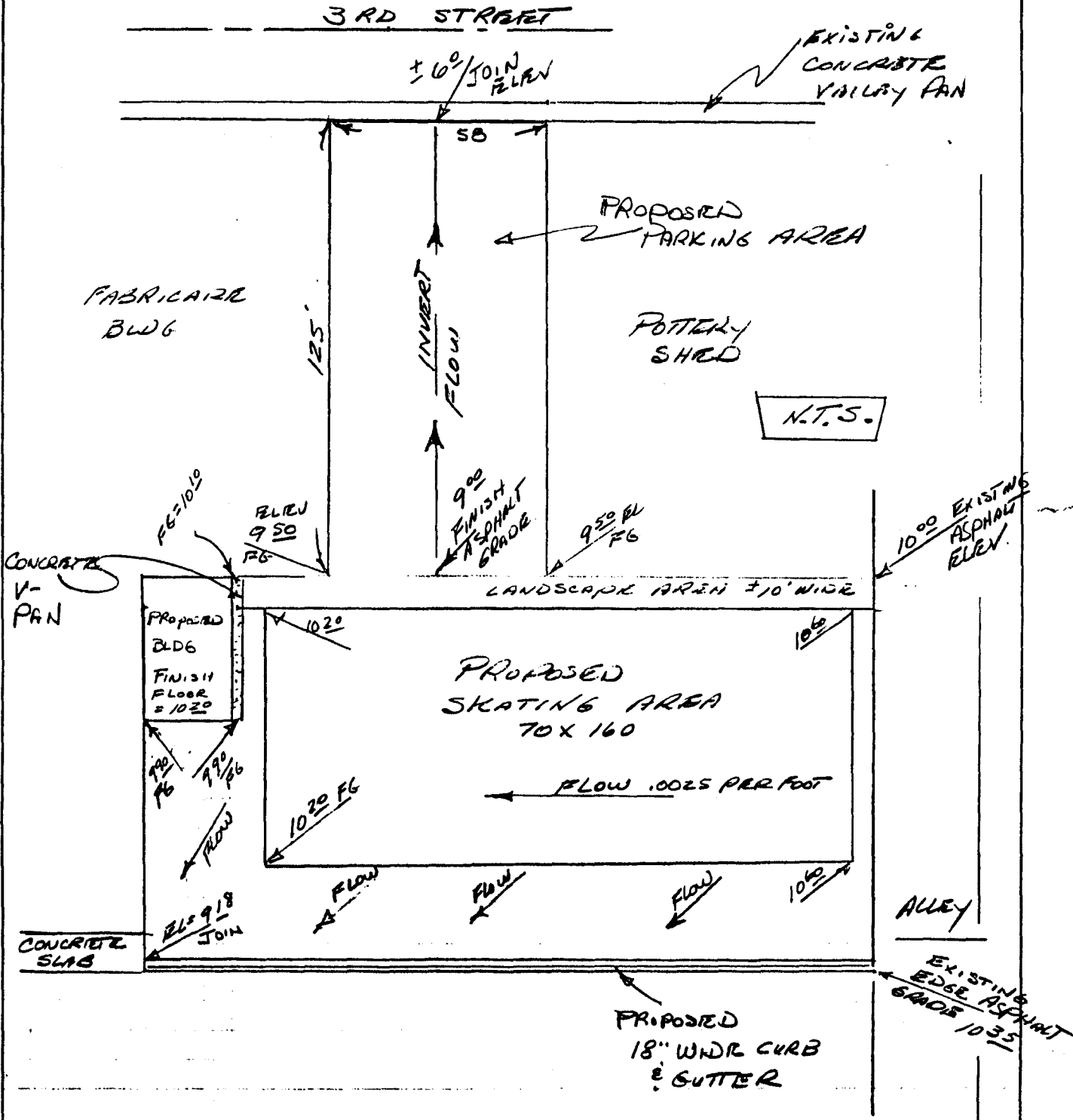
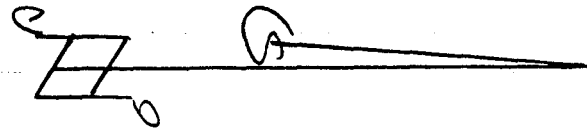
TO NORTH
AVE

5'
D

- 3-0235 — 50 SHEETS — 5 SQUARES
- 3-0236 — 100 SHEETS — 5 SQUARES
- 3-0237 — 200 SHEETS — 5 SQUARES
- 3-0137 — 200 SHEETS — FILLER

COMET

UNITED CO.
BOB MATHER



← TO NORTH AVE

Mallory Bldg.

Mod-Gate

Open area
Tables & etc

Multibee fence

Over flow parking

2000 sq ft

100 sq ft

Fabric area 3189.

Repair area
12.30.
25.
24.
15

Gate
34'

5 Handicap Parking

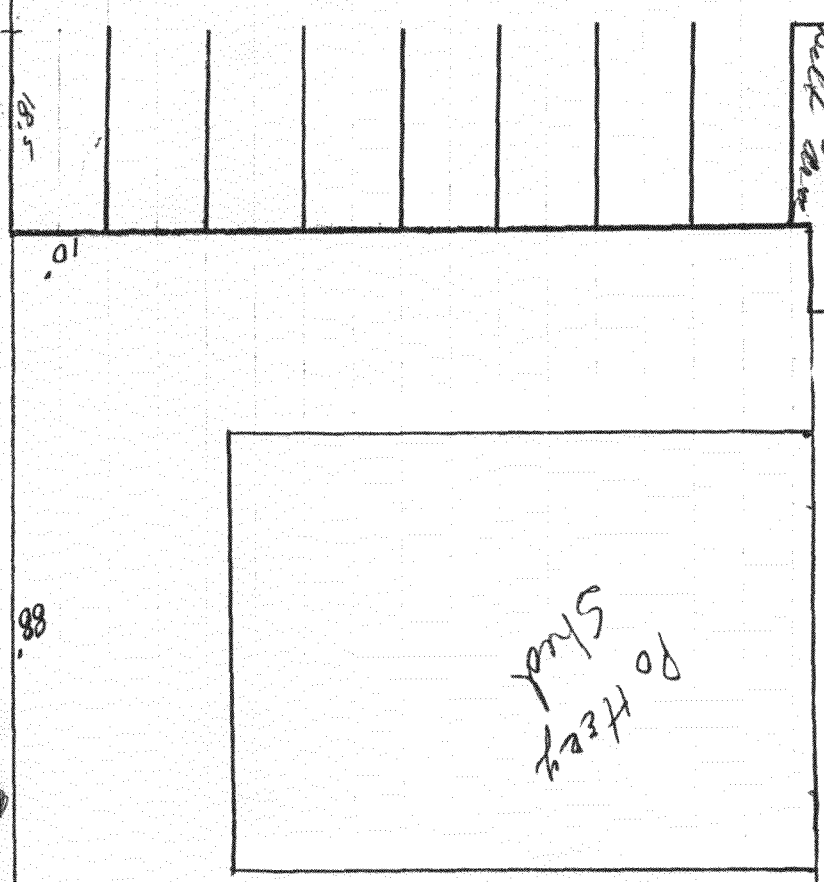
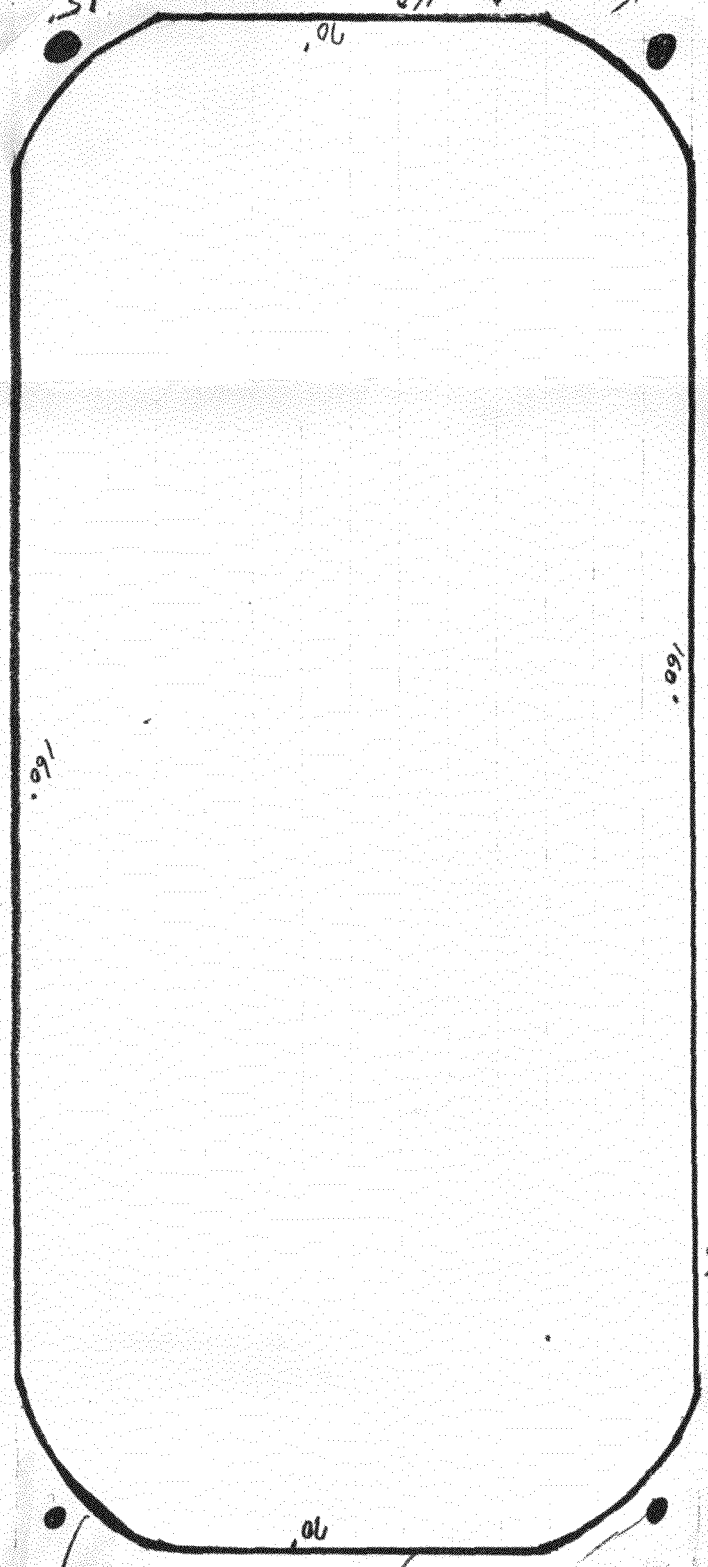
GATE

Benches

1865 sq ft

6x31. sq ft

PO Heavy Shed



Thorn area

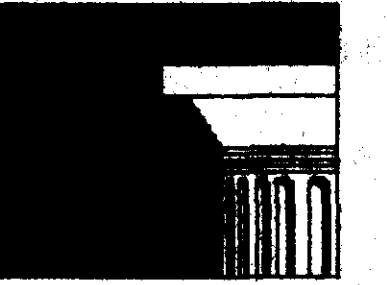
Light Gate

5' Green Belt

Gate

Hockey Boards & fence around

1" = 20'



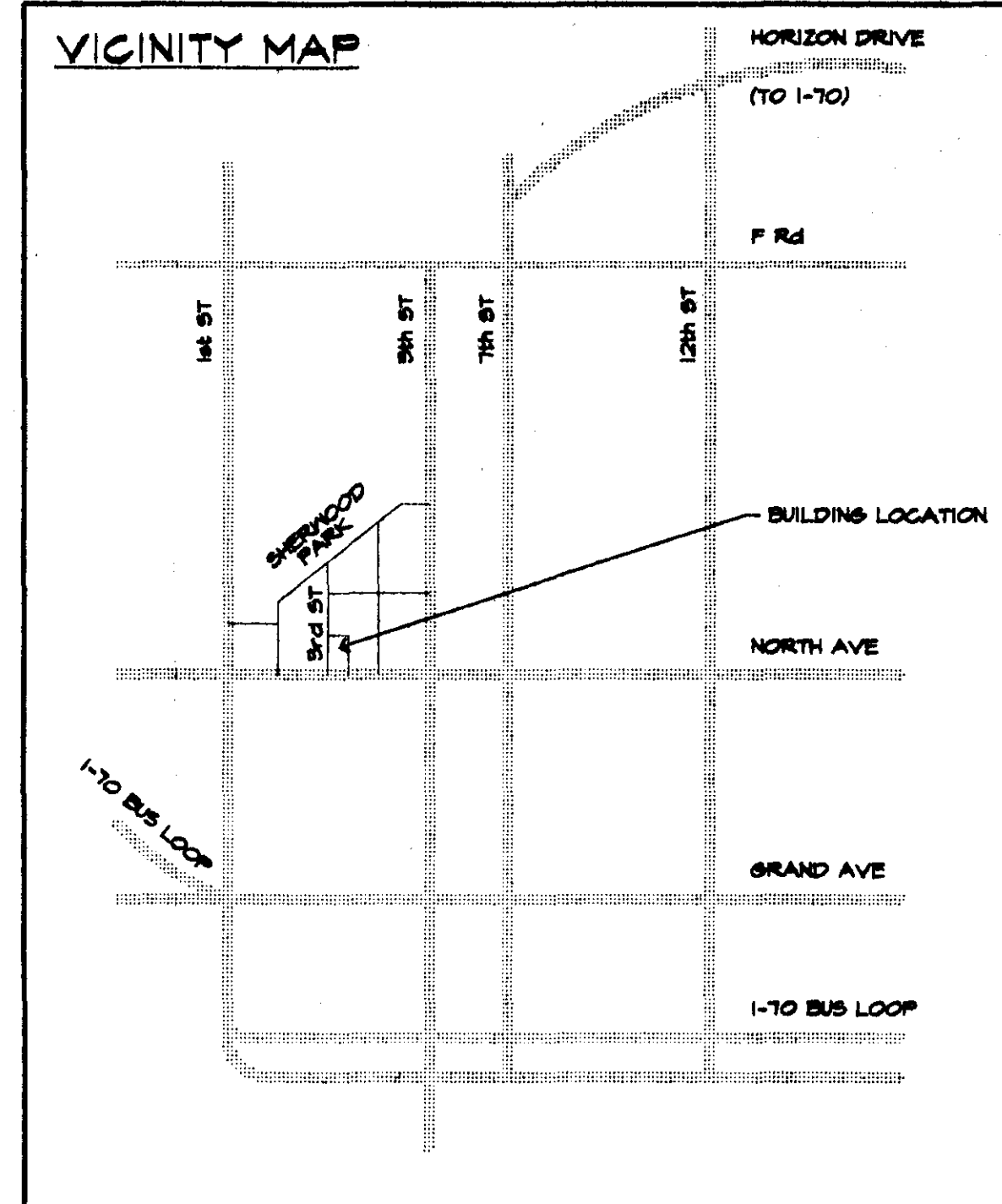
DKO
ARCHITECTURE
KREG OBERGFELL, ARCHITECT
336 MAIN STREET, SUITE 300
GRAND JUNCTION, CO 81501
(970)256-9798

THE HOCKEY STOP
330 NORTH AVENUE, GRAND JUNCTION, CO

Project #
9611

Phase
CD
Issue Date
05/22/96
Revisions

Sheet No.
CI



PROJECT DATA:

GROSS FLOOR AREA: 960 SF
 CODE DATA: GOVERNING BUILDING CODE: U.S.C. 1994 EDITION
 OCCUPANCY: M
 CONSTRUCTION TYPE: VN
 CODE NOTES: FIRE RESISTANCE OF EXTERIOR WALLS WITHIN 20 FEET OF THE PROPERTY LINE SHALL NOT BE LESS THAN ONE HOUR (TABLE SA, 503.2). OPENINGS IN THESE WALLS ARE NOT PERMITTED LESS THAN 5 FEET, PROTECTED LESS THAN 10 FEET.

GENERAL NOTES:

COMPLY WITH ALL FEDERAL, STATE, COUNTY AND LOCAL BUILDING CODES, ORDINANCES AND REGULATIONS. IN THE EVENT OF A CONFLICT BETWEEN APPLICABLE CODE, ORDINANCE OR REGULATION AND THE REFERENCE STANDARDS OF THESE DESIGN DOCUMENTS, THE MORE STRINGENT PROVISIONS SHALL GOVERN.

CONCRETE:
 ALL POURED IN PLACE CONCRETE SHALL HAVE A 28-DAY MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI. REINFORCING BARS SHALL CONFORM TO ASTM A63, TIE WIRE ASTM A62 AT GAUGE MINIMUM.

FURNISH READY-MIXED CONCRETE MIXED AND DELIVERED PER ASTM C94. DELIVERY TICKETS SHALL INDICATE NAME OF CONCRETE SUPPLY COMPANY, TIME OF BATCH, TIME OF PLACEMENT, AMOUNT OF WATER ADDED, SPECIFIC MIX AND CONCRETE STRENGTH, SLUMP, AND OTHER RELEVANT INFORMATION.

CONSTRUCT FORMS COMPLYING WITH ACI 347. PLACE CONCRETE IN COMPLIANCE WITH THE PRACTICES AND RECOMMENDATIONS OF ACI 304R-94. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COOL AND HOT TEMPERATURES. START INITIAL CURING AS SOON AS FREE MOISTURE HAS DISAPPEARED FROM THE CONCRETE SURFACE AFTER PLACING AND FINISHING. WEATHER PERMITTING, KEEP CONTINUOUSLY MOIST FOR NOT LESS THAN 72 HOURS. CONTINUE FINAL CURING FOR AT LEAST SEVEN DAYS AND IN ACCORDANCE WITH ACI 301 PROCEDURES.

MASONRY:
 OBTAIN CONCRETE MASONRY UNITS (CMU) FROM ONE MANUFACTURER OF UNIFORM TEXTURE AND COLOR. CONFORM TO ASTM GRADE 80. PROVIDE WITH FACE BRICK THICKNESS FOR ONE-HOUR FIRE RESISTING. MORTAR MIXES SHALL CONFORM WITH ASTM C270, PROPORTION SPECIFICATION, TYPE S. MASONRY REINFORCING SHALL INCLUDE CONTINUOUS WIRE REINFORCING AND TIES. PROVIDE WELDED WIRE UNITS PRE-FABRICATED IN LENGTHS OF NOT LESS THAN 10 FEET WITH MATCHING CORNER AND TEE UNITS. FABRICATE UNITS WITH WIRE COMPLYING WITH ASTM A63. REINFORCING BARS SHALL BE DEFORMED STEEL, ASTM A63, GRADE 60.

WOOD FRAMING:
 ALL SAWN LUMBER SHALL BE HEM-FIR (HF) OR DOUGLAS FIR (DF), STAMPED BY NPPA OR APPROVED TESTING AGENCY.

TRUSS DESIGN ENGINEERING AND PLANS SHALL BE PROVIDED BY TRUSS MANUFACTURER.
 ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR SOIL SHALL BE PRESERVED WITH A WATER SOURCE PRESERVATIVE.

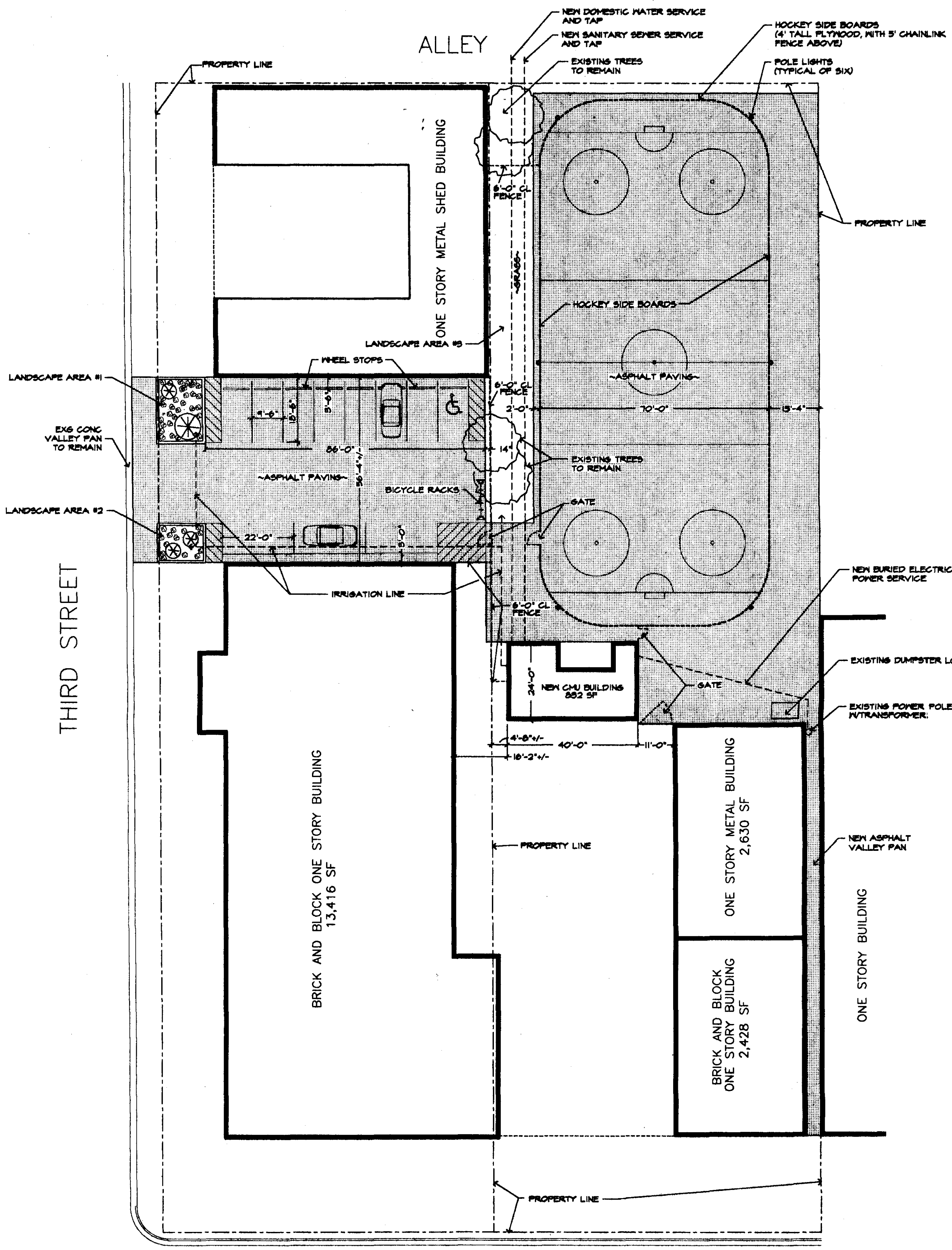
PROVIDE ATTIC ACCESS AND VENTILATION PER SECTION 1505 OF THE 1994 UNIFORM BUILDING CODE.

PREFORMED METAL ROOF AND WALL PANELS:
 PROVIDE ROOF AND WALL PANELS COMPLETE WITH FASCIA, ACCESSORIES AND ASSOCIATED TRIM. INSTALL SYSTEM TO ALLOW MOVEMENT OF COMPONENTS WITHOUT CAUSING BUCKLING, FAILURE OF JOINT SEALS, UNDER STRESS ON FASTENERS OR OTHER DETRIMENTAL EFFECT. NOT SUBJECT TO SEASONAL TEMPERATURE RANGES, EXCEPT AS RECOMMENDED BY PANEL MANUFACTURER. COMPLY WITH APPLICABLE RECOMMENDATIONS AND DETAILS OF "ARCHITECTURAL SHEET METAL MANUAL" BY SMACNA. COMPLY WITH PANEL MANUFACTURER'S INSTRUCTIONS FOR ASSEMBLY, INSTALLATION AND ERECTION. APPLY A COAT OF BRUSHABLE PAINT. CONCEALED, WHEREEVER DISSIMILAR METALS WOULD OTHERWISE BE IN CONTACT, USE BASKETED FASTENERS WHERE NEEDED TO ELIMINATE THE POSSIBILITY OF CORROSION OR ELECTROLYTIC ACTION BETWEEN METALS.

MECHANICAL/PLUMBING:
 PLUMBING SYSTEM AND FIXTURES SHALL BE APPROVED BY THE OWNER. ALL WATER SUPPLY PIPING, MATERIALS AND INSTALLATION PER LOCAL CODES. ALL WASTE AND VENT PIPING, MATERIALS AND INSTALLATION PER LOCAL CODES.

HEATING AND COOLING SYSTEM AND FIXTURES SHALL BE APPROVED BY THE OWNER. HEATING/COOLING DUCT DIAGRAMS SHALL BE PROVIDED BY THE HEATING/COOLING CONTRACTOR. EXHAUST FANS SHALL VENT TO THE OUTSIDE THROUGH SHEET METAL DUCTS. PROVIDE WEATHERPROOF SEAL AT ALL PENETRATIONS THROUGH THE EXTERIOR ENVELOPE.

ELECTRICAL:
 ELECTRICAL SYSTEM AND FIXTURES TO BE APPROVED BY OWNER. INSTALL ELECTRICAL SYSTEM AND FIXTURES PER THE CURRENT LOCAL CODES.



SITE AND LANDSCAPE PLAN
 1" = 20'-0"



- NOTES:**
- AN UNDERGROUND PRESSURIZED IRRIGATION SYSTEM IS TO BE PROVIDED AT ALL LANDSCAPED AREAS. CIVIL ENGINEERING AND SITE DETAILS ARE TO BE PROVIDED BY THE PAVING CONTRACTOR.
 - HOCKEY SIDE BOARD AND FENCE ENGINEERING AND DETAILS ARE TO BE PROVIDED BY THE FENCING CONTRACTOR.
 - BICYCLE RACK IS GALVANIZED STEEL, 4'-8" LONG BY 21" WIDE BY 16" HIGH, WITH SPACES FOR EIGHT.

COMMUNITY DEVELOPMENT DEPARTMENT APPROVAL
 Signed: [Signature] DATE: 6-3-96
 Senior Planner

LANDSCAPING MATERIALS LEGEND AND NOTES:
 AREA I: 2 EA ROSE BUSH (ROSACEAE) 1 GAL
 42 EA FANSIES (VIOLA, VIOLACEAE)
 2 EA PONATILA (CINCQUEFOIL) 5 GAL
 AREA 2: 2 EA ROSE BUSH (ROSACEAE) 1 GAL
 50 EA FANSIES (VIOLA, VIOLACEAE)
 2 EA PONATILA (CINCQUEFOIL) 5 GAL
 AREA 3: DROUGHT RESISTANT GRASS SEED MIX
 GENERAL: PROVIDE 6" INCHES (MINIMUM) OF ENRICHED TOPSOIL AT ALL LANDSCAPED AREAS.

MAN/C1

SPR-1996-017