

SUBMITTAL CHECKLIST

SPR 96-145

SITE PLAN REVIEW

Location: NE Corner 8th & Belford

Project Name: Office Building

ITEMS		DISTRIBUTION																				TOTAL REQ'D.							
DESCRIPTION	SSID REFERENCE	City Community Development	City Dev. Eng.	City Utility Eng.	City Property Agent	City Parks/Recreation	Police	City Fire Department	City Attorney	City Downtown Dev. Auth.	County Planning	County Bldg. Dept.	Irrigation District	Drainage District	Water District	Sewer District	U.S. West	Public Service	GVRP	CDOT	Corps of Engineers		Walker Field	Persigo WWT	Mesa County Health	State Environ. Health	City Sanitation	School Dist #51	
● Application Fee \$215	VII-1	1																											
● Submittal Checklist *	VII-3	1																											
● Review Agency Cover Sheet*	VII-3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Planning Clearance*	VII-3	1																											
● 11"x17" Reduction of Assessor's Map <i>8 1/2 x 11</i>	VII-1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Evidence of Title	VII-2	1			1			1																					
○ Deeds	VII-1	1			1			1																					
○ Easements	VII-2	1	1	1	1			1																					
○ Avigation Easement	VII-1	1			1			1																					
○ ROW	VII-2	1	1	1	1			1																					
○ Improvements Agreement/Guarantee*	VII-2	1	1	1				1																					
○ CDOT Access Permit	VII-3	1	1																										
○ Industrial Pretreatment Sign-off	VII-4	1		1																									
● General Project Report	X-7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Elevation Drawing	IX-13	1	1																										
● Site Plan	IX-29	2	2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
○ 11"x17" Reduction of Site Plan	IX-29					1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
● Grading and Drainage Plan	IX-16	1	2											1							1								
○ Storm Drainage Plan and Profile	IX-30	1	2											1			1	1	1										
○ Water and Sewer Plan and Profile	IX-34	1	2	1				1						1	1	1	1	1											
○ Roadway Plan and Profile	IX-28	1	2											1															
○ Road Cross-Sections	IX-27	1	2																										
○ Detail Sheet	IX-12	1	2																										
● Landscape Plan	IX-20	2	1	1																									
○ Geotechnical Report	X-8	1	1									1																	
● Final Drainage Report - <i>calculations</i>	X-5,6	1	2											1															
○ Stormwater Management Plan	X-14	1	2											1							1								
○ Phase I and II Environmental Rerpot	X-10,11	1	1																										
○ Traffic Impact Study	X-15	1	2																		1								

NOTES: * An asterisk in the item description column indicates that a form is supplied by the City.

PRE-APPLICATION CONFERENCE

Date: 1/18/96
Conference Attendance: Kristen Ashbeck, Kreg Obergfell
Proposal: Office Building
Location: NE corner 8th & Belford

Tax Parcel Number:
Review Fee:

(Fee is due at the time of submittal. Make check payable to the City of Grand Junction.)

Additional ROW required?
Adjacent road improvements required?
Area identified as a need in the Master Plan of Parks and Recreation?
Parks and Open Space fees required? Estimated Amount:
Recording fees required? Estimated Amount:
Half street improvement fees/TCP required? Estimated Amount:
Revocable Permit required?
State Highway Access Permit required?
On-site detention/retention or Drainage fee required?

Applicable Plans, Policies and Guidelines

Located in identified floodplain? FIRM panel #
Located in other geohazard area?

Located in established Airport Zone? Clear Zone, Critical Zone, Area of Influence?
Avigation Easement required?

While all factors in a development proposal require careful thought, preparation and design, the following "checked" items are brought to the petitioner's attention as needing special attention or consideration. Other items of special concern may be identified during the review process.

- Access/Parking, Drainage, Floodplain/Wetlands Mitigation, Other, Screening/Buffering, Landscaping, Availability of Utilities, Land Use Compatibility, Traffic Generation, Geologic Hazards/Soils

Related Files:

It is recommended that the applicant inform the neighboring property owners and tenants of the proposal prior to the public hearing and preferably prior to submittal to the City.

PRE-APPLICATION CONFERENCE

WE RECOGNIZE that we, ourselves, or our representative(s) must be present at all hearings relative to this proposal and it is our responsibility to know when and where those hearings are.

In the event that the petitioner is not represented, the proposed item will be dropped from the agenda, and an additional fee shall be charged to cover rescheduling expenses. Such fee must be paid before the proposed item can again be placed on the agenda. Any changes to the approved plan will require a re-review and approval by the Community Development Department prior to those changes being accepted.

WE UNDERSTAND that incomplete submittals will not be accepted and submittals with insufficient information, identified in the review process, which has not been addressed by the applicant, may be withdrawn from the agenda.

WE FURTHER UNDERSTAND that failure to meet any deadlines as identified by the Community Development Department for the review process may result in the project not being scheduled for hearing or being pulled from the agenda.

Signature(s) of Petitioner(s)

Signature(s) of Representative(s)

REVIEW COMMENTS

Page 1 of 2

FILE #SPR-96-145

TITLE HEADING: Site Plan Review - Cucchetti,
Baldwin Office Building

LOCATION: NE corner of 8th and Main Street

PETITIONER: Cucchetti, Baldwin & Company

PETITIONER'S ADDRESS/TELEPHONE: 1112 Belford Avenue
Grand Junction, CO 81501
241-1040

PETITIONER'S REPRESENTATIVE: Merritt Sixbey

STAFF REPRESENTATIVE: Kristen Ashbeck

NOTE: THE PETITIONER IS REQUIRED TO SUBMIT FOUR (4) COPIES OF WRITTEN RESPONSE AND REVISED DRAWINGS ADDRESSING ALL REVIEW COMMENTS.

CITY COMMUNITY DEVELOPMENT ENGINEER

6/28/96

Kristen Ashbeck

244-1437

CIRCULATION/PARKING

1. 16.5-foot parking stalls with overhang in turf area on west side of site is acceptable. Substandard stalls (less than 18.5-foot) that require vehicles to overhang on sidewalk are not acceptable (those on west and north sides of building). Either detach sidewalk from curb or provide a wider sidewalk.
2. Minimum parking requirement is 21 spaces which is exceeded on the plan.
3. An Improvements Agreement & Guarantee is required prior to Planning Clearance for a Building Permit for all public improvements (e.g. curb, gutter & sidewalk & removal of existing curb cut). See attached form.
4. A bicycle rack sufficient to hold 3 bicycles is required.
5. Suggest lighting in parking lot since it will be dark in the wintertime if hours extend until 5 pm. Refer to guidelines in section 5-5-1 F.2.i. in the Zoning and Development Code (Lighting Plan not required but show lighting locations on plan & provide detail of standard to be used).

LANDSCAPING

1. Minimum on-site landscape requirement of 1,300 sf is met with plan as proposed. Calculation of landscape area on Site Plan is not added correctly (totals 1,330, not 1,130).
2. Verify use of species and spacing of trees in the public right-of-way with City Parks & Recreation Department (Mike Vendegna 244-1549).
3. Provide a summary table/legend of species, planting size and number of landscaping proposed. Minimum size is 1-1/2" caliper trees and 5 gallon shrubs.
4. Add a note per Code: "An underground, pressurized irrigation system is required for all landscaped areas". This includes landscaping areas in the public rights-of-way.
5. An Improvements Agreement & Guarantee will be required for landscaping not completed prior to issuance of a Certificate of Occupancy for the proposed building.

OTHER SITE DETAILS

1. Two freestanding signs are allowed for this parcel, however, signage may not be located in the public rights-of-way.

CITY DEVELOPMENT ENGINEER

6/26/96

Jody Kliska

244-1591

1. Parking dimensions do not meet code requirements for 18.5' stall lengths and a 25' wide aisle.
2. The minimum width of a commercial curb cut is 20'.
3. A permit is required from City Engineering for any concrete work in the right of way including curb cuts and sidewalk.
4. TCP credit may be allowed for new sidewalk construction. TCP is calculated at \$2400.00.
5. A drainage fee of \$850.94 is payable when planning clearance is issued.

CITY POLICE DEPARTMENT

6/25/96

Dave Stassen

244-3587

A lighting plan would be helpful. As is, the building needs to be well lit on all 4 sides and in the parking areas.

CITY FIRE DEPARTMENT

6/24/96

Hank Masterson

244-1414

1. The Fire Department has no problems with this proposal.
2. Submit a complete sealed set of building plans to the fire department for our review and approval. A Building Permit clearance form will be issued upon completion of our review.

MESA COUNTY BUILDING DEPT.

6/20/96

Dan Davis

244-1656

To obtain a building permit we would need two sets of architect stamped plans for review. There may be a firewall requirement on one exterior wall. I do not foresee any other building problems at this time. If I can be of any assistance, please contact me.

U.S. WEST

6/21/96

Max Ward

244-4721

For timely telephone service, as soon as you have a plat and power drawing for your development, please.....

MAIL COPY TO:

U S West Communications
ATTN: Max Ward
p.O. Box 2688
Grand Junction, CO 81505

We need to hear from you at least 60 days prior to trenching.

CITY UTILITY ENGINEER

6/28/96

Trent Prall

244-1590

No objections. Good site plan.

TO DATE, NO COMMENTS RECEIVED FROM:

Public Service Company
City Solid Waste Management
City Attorney
City Property Agent

CITY DEVELOPMENT ENGINEER

6/26/96

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6/21/96

Max Ward

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CITY UTILITY ENGINEER

6/28/96

Trent Prall

244-1590

No objections. Good site plan.

LATE COMMENTS

PUBLIC SERVICE COMPANY

7/10/96

Jon Price

244-2693

Public Service Company has no requirements.

TO DATE, NO COMMENTS RECEIVED FROM:

City Solid Waste Management
City Attorney
City Property Agent

DKO-Architecture
Kreg Obergfell, Architect
336 Main Street, Suite 203
Grand Junction, CO 81501

May 31, 1996

Site Plan Review Submittal
General Project Report

Cucchetti/Baldwin Building
806 Belford
Grand Junction, CO 81501

The proposed Cucchetti/Baldwin Building is a 6,000 SF two-story office building at the northeast corner of the 8th and Belford intersection. The location is less than one block from North Avenue. Commercial uses exist to the north, land is vacant to the east and west, and there are residential uses across Belford Avenue to the south.

The office occupancy and scale of the project will benefit the surrounding land uses by easing the transition from commercial to residential. The current condition of the property is similar to a dirt parking lot. The proposed improvements will enhance the neighborhood. Missing sections of sidewalk will be provided and existing curb cuts with no planned use will be removed.

The area is zoned C-1 (light commercial). The building is designed to meet the Bulk Requirements (maximum height and setbacks). The site will be landscaped beyond Code requirements. Twenty off-street parking spaces are required, 26 parking spaces will be provided (two accessible). Existing traffic in the area is moderate, the impact of this development will be light. The site will be accessed from both adjacent streets. The utilities required are available and there is an existing fire hydrant nearby. The effect of this project on existing public facilities will be minimal.

A soils investigation was performed on the site. Man-placed fill was encountered to a depth of 1-3 feet with a silty and sandy clay to depths of over forty feet. There is a swell and consolidation potential in these soils. At building foundations and areas to be paved, poor quality soils will be removed and replaced with structural fill. Positive and rapid surface drainage will be provided adjacent to the building. Xeriscape landscaping concepts shall be used and irrigation water amounts will be controlled.

The anticipated hours for use of this building are 7:00 AM to 6 PM, Monday through Friday. Signage for the occupants will be discreet and located near entrances to the parking lot. Signage will conform to the Code requirements (submitted for pre-approval at a later date).

806 - 816 BELFORD AVENUE

SIGNAGE PLANS

We intend to construct low profile signs at the two locations noted on the site plan. We anticipate the signs will be free-standing, approximately five feet wide and four feet high. We will not be lighting the signs as the business hours will be 8:00 a.m. through 5:00 p.m.

DKO-Architecture
Kreg Obergfell, Architect
336 Main Street, Suite 203
Grand Junction, CO 81501

May 31, 1996

Site Plan Review Submittal
Drainage Report Information

Cucchetti/Baldwin Building
806 Belford
Grand Junction, CO 81501

There are existing paved areas on the site. New areas include:

Asphalt paving area #1	6627 sf
Asphalt paving area #2	981 sf
New sidewalks	1150 sf
Roof area	3713 sf

DKO-ARCHITECTURE

Kreg Obergfell, Architect
336 Main Street, Suite 203
Grand Junction, CO 81501

July 1, 1996

Ms. Kristen Ashbeck
City Community Development
250 North 5th Street
Grand Junction, CO 81501

Subject: Review Comments, Cucchetti/Baldwin Office Building

Dear Kris,

Thank you for your assistance with the Site Plan Review of the Cucchetti/Baldwin Building. This letter is in response to the Review Comments.

Jody Kliska, City Development Engineer

1. The parking stall depths were reduced to 16'-6" to allow the curbs to function as wheel stops. This was discussed with Kris on April 15. The aisle is 25' using 16'-6" deep stalls.
2. The curb cut at the south entry will be increased to 20'.
3. Contractor will apply for permit to work in ROW.
4. Please advise on possible credit on TCP for new sidewalk construction.
5. Drainage fee will be paid upon planning clearance.

Dave Stassen, City Police Department

1. The building will have security lighting on all sides, minimal parking lot lighting will be provided, (the anticipated hours of use are in daylight).

Hank Masterson, City Fire Department

1. A complete set of stamped drawings will be submitted to the Fire Department for review.

Dan Davis, Mesa County Building Department

1. Two complete sets of stamped drawings will be submitted to the Building Department for review. The east exterior wall of the building will be one-hour construction.

Max Ward, USWest

1. Contractor will coordinate utility service requirements with providers.

Please call if you have any other questions.

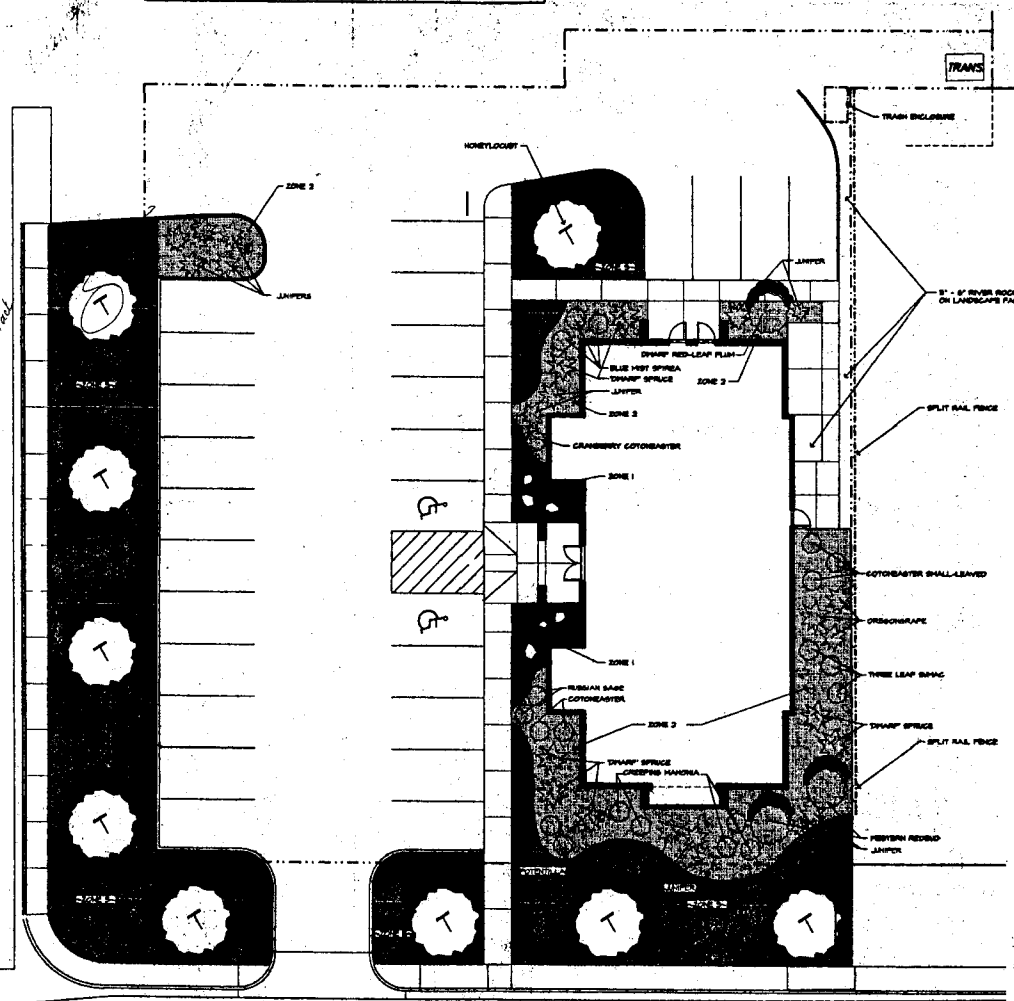
Kreg.



COMMUNITY DEVELOPMENT DEPARTMENT APPROVAL

 Date: _____

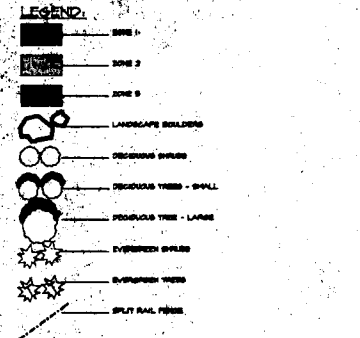
 Date: _____



Street
 Light Pole
 Water Pole

GENERAL NOTES

1. ALL PLANTINGS SHALL BE PROVIDED WITH DEPTH AND FERTILIZER AS SPECIFIED ON PLANTING SHEETS.
2. ALL PLANTINGS SHALL BE PROVIDED WITH SUFFICIENT SPACING PER SPECIFICATION.
3. ALL PLANTINGS SHALL BE PROVIDED WITH THE FOLLOWING ZONES:
4. ALL PLANTINGS SHALL BE PROVIDED WITH SUFFICIENT SPACING PER SPECIFICATION.
5. ALL PLANTINGS SHALL BE PROVIDED WITH SUFFICIENT SPACING PER SPECIFICATION.



PLANT NAMES	QUANTITY	SIZE	H. HEIGHT	NOTES
DECIDUOUS SHRUBS				
CORONILLA - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
COTONASTER ANGLICANA - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
COTONASTER GRACIOSA - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
COTONASTER HYBRIDA - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
DIWIDY SPICE - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
HAWKBIT - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
POZYDRINA - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
PRINER - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
RUSSIAN SAGE - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
SPRING PRUNELLA - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
TRIPLE LEAF SAGE - SMALL	10	3" DIA.	12" H.	NEEDS LITTLE WATER
DECIDUOUS TREES - LARGE				
AMERICAN ASH - LARGE	1	1 1/2" CALIBER	16' H.	NEEDS LITTLE WATER
ALBERTA TRACANTHUS BERRY - LARGE	1	1 1/2" CALIBER	16' H.	NEEDS LITTLE WATER
DECIDUOUS TREES - SMALL				
DIWIDY SPICE - SMALL	1	1 1/2" CALIBER	16' H.	NEEDS LITTLE WATER
TRIPLE LEAF SAGE - SMALL	1	1 1/2" CALIBER	16' H.	NEEDS LITTLE WATER
EVERGREEN TREES				
DIWIDY SPICE - EVERGREEN	1	1 1/2" CALIBER	16' H.	NEEDS LITTLE WATER
PERENNIALS				
DIWIDY SPICE - PERENNIAL	1	1 1/2" CALIBER	16' H.	NEEDS LITTLE WATER



CUCCHETTI/BALDWIN BUILDING
 806 Belford, Grand Junction, CO

1100
 9506





LANDSCAPE PLAN
 LANDSCAPE DESIGN BY TODD PICKFORD, GRAND JUNCTION NURSERY, INC.

REVIEWED AND APPROVED
 JUL 13 1988

COMMUNITY DEVELOPMENT DEPARTMENT APPROVAL

Justin S. Caldwell 7/22/96
 Planner

LANDSCAPE AREA REQUIRED:
 1. ENTIRE AREA WITHIN PUBLIC RIGHT-OF-WAY.
 2. 5% OF TOTAL PARKING LOT AREA 428 x 6708 SF = 3366 SF
 3. 10% OF THE FIRST FIVE FEET 23.8 x 27.2 x 238.2 x 256.2
 TOTAL PROVIDED ON SITE 28 x 286 x 444 = 1,800 SF
 4. TOTAL PROVIDED ON SITE 1400 + 428 + 448 + 870 = 3,146 SF

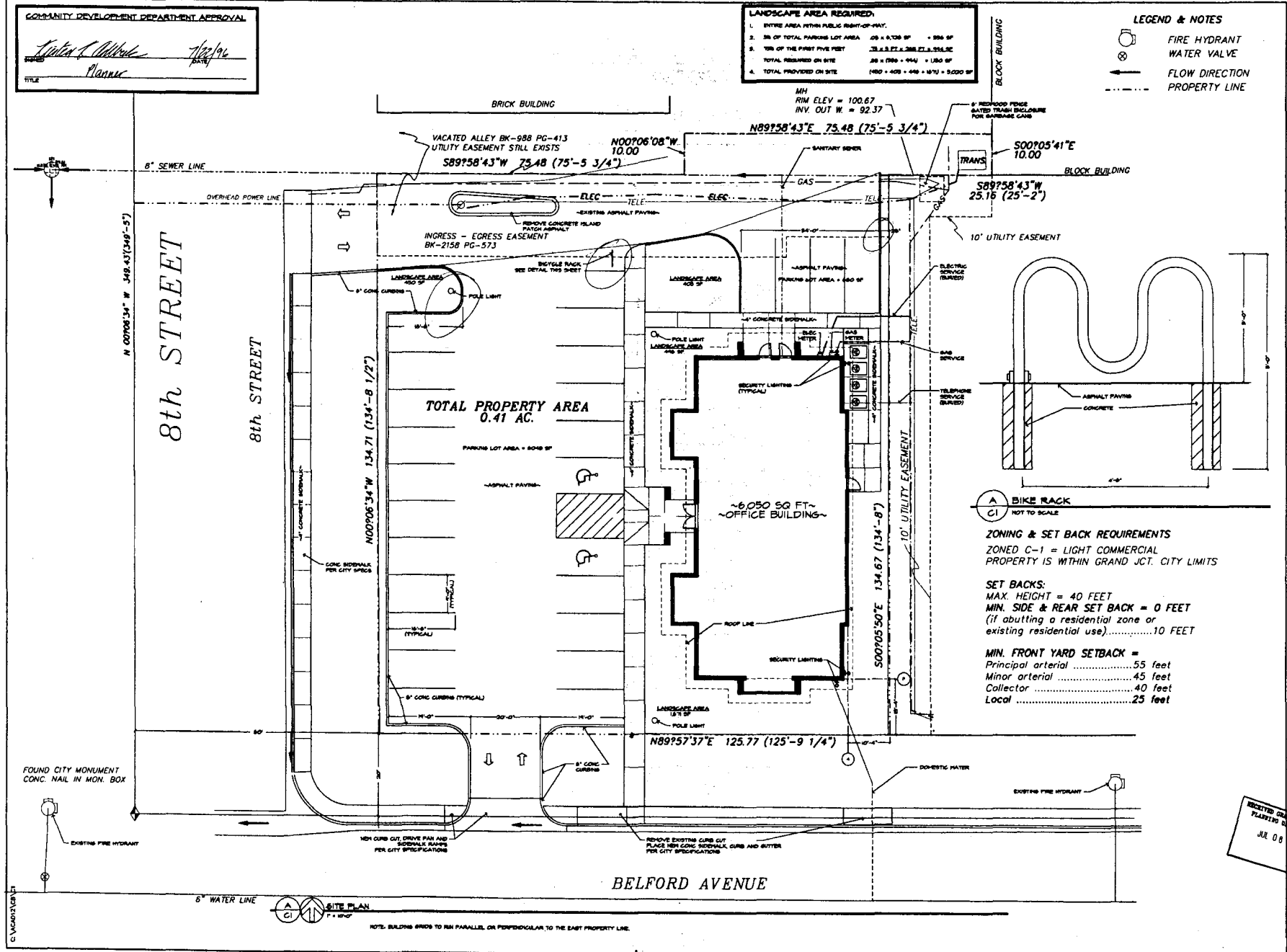
LEGEND & NOTES
 FIRE HYDRANT
 WATER VALVE
 FLOW DIRECTION
 PROPERTY LINE



CUCCHETTI/BALDWIN BUILDING
 806 Belford, Grand Junction, CO

Project #
9506
 Phase
 CD
 Issue Date
 08/02/98
 Revision
 07/08/98
 Sheet No.
C1

STR 1996-745



RECORDED GRAND JUNCTION
 PLANS & DEPARTMENT
 JUL 08 1998