

CITY OF GRAND JUNCTION, COLORADO
Ordinance No. 3088
ZONING A PARCEL OF LAND AT 652 24-1/2 ROAD

Recitals.

A rezone from Single Family Residential Rural (RSF-R) to Planned Residential 11.7 units per acre (PR-11.7) has been requested for the property located at 652 24-1/2 Road, known as the Hall property, for purposes of developing a residential project of mixed housing types as follows: 10 acres – Attached Single Family 8 units per acre; 12 acres – Attached Single Family 12 units per acre; and 8 acres – Multifamily units 16 units per acre (total 352 units). The City Council finds that the request meets the goals and policies and future land use set forth by the *Growth Plan* (8-11.9 units per acre). City Council also finds that the requirements for a rezone as set forth in Section 4-4-4 of the Zoning and Development Code have been satisfied.

The Grand Junction Planning Commission, at its December 8, 1998 hearing, recommended approval of the rezone request from RSF-R to PR-11.7 and approval of the Outline Development Plan (ODP) for the Hall Property project.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT THE PARCEL DESCRIBED BELOW IS HEREBY ZONED PLANNED RESIDENTIAL 11.7 UNITS PER ACRE (PR-11.7):

Lot 2, Hall Minor Subdivision

- 1) The uses allowed for this zone and property shall be single family, attached single family and multifamily residential.
- 2) The development standards for bulk requirements and internal private streets shall be as outlined and graphically depicted on Attachments A through E.
- 3) Development standards for public streets within this zone and property shall be as graphically depicted within the ODP for the main entry boulevard and current City standards for other public streets.
- 4) The quality and character of the proposed development shall be as depicted in the photographs and graphic exhibits contained within File Number RZO-1998- 192 of the Community Development Department records and as summarized on the attached exhibits (A through E) which includes the Outline Development Plan for the project.

INTRODUCED for FIRST READING and PUBLICATION this 6th day of January, 1999.

PASSED on SECOND READING this 20th day of January, 1999.

ATTEST:

/s/ Stephanie Nye
City Clerk

/s/ Janet L. Terry
President of Council

Hall Subdivision

Specific Density Outline Development Plan

Grand Junction, CO 81501

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REPRESENTATIVE PHOTOGRAPHS AND SITE PLANS	SHEET 5 OF 5

DESIGN STANDARDS

	Plan Area 'A' & 'B'	Plan Area 'C'
Minimum non garage door building setback from public street ROW from side	14' multi-purpose easement 20' from Blvd.	14' multi-purpose easement 20' from Blvd.
Minimum garage door setback from public street	20' **	20' **
Non garage door building setback from private drive	10'	5'
Garage door setback from private drive	20' at driveway 5' no driveway	20' at driveway 5' no driveway
Minimum building separation	10'	15'
Side to side minimum building separation	10'	15'
Side to rear building separation	20'	20'
Rear to rear building separation	25'	30'
Minimum building setback from perimeter property lines	15'	15'
Minimum building setback from 24" Road	20' Plan Area 'A' N/A in Plan Area 'B'	N/A
Minimum percentage of open space*	45%	45%
Maximum building height	35'	45' ***

* Open space includes all areas not covered by buildings or paving, except for sidewalks and decorative paving or recreational facilities, buildings, pools or other amenities.

** No garage access to entry boulevards.

*** Maximum 3 hours of living area.

PRIVATE STREET AND DRIVE STANDARDS

Private Street

Right of way width	none
Pavement width with on parking	20' asphalt mat excluding curb and gutter
Pavement width Flowline to flowline with parallel parking one side	26' w/ roll curb 28' w/ vertical curb
Pavement width Flowline to flowline with parallel parking on both sides	32' w/ roll curb
Minimum centerline radius	50'
Minimum tangent between reverse curves	none

Drive Standards

Minimum width Private shared drive	16' two units 20' three or more units
Minimum width driveway one car garage two car garage	12' 18'

Cunningham Investment CO., Inc.
620 25 1/2 Rd. Unit 20, Grand Junction, CO 81501



DATE: 11-24-98
PROJECT NUMBER: 981055
REVISED: 12/28/98
Sheet 1 of 5

1129 CHEVONEE STREET
DENVER, COLORADO 80204
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303.534.3388 (fax)
www.kopatz.com

Hall Subdivision / Specific Density Outline Development Plan

Grand Junction, CO 81501

LEGAL DESCRIPTION
LOT 2 A AND B HALL
MINOR SUBDIVISION
SW 1/4 NE 1/4 SECTION 4
T.15. R.1W. U.TE MERIDIAN

OPEN SPACE AND LANDSCAPE BUFFER AT 24 1/2 ROAD FRONTAGE WITH PEDESTRIAN TRAIL.

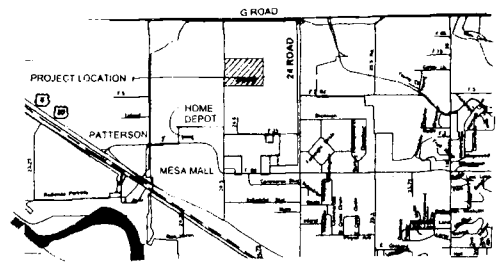
STORM WATER DETENTION TO BE INCORPORATED WITH 24 1/2 ROAD OPEN SPACES AND AT OTHER AREAS. FINAL DESIGN TO BE DETERMINED PER FUTURE PLANS.

THE EXISTING 24 FOOT WIDE 24 1/2 ROAD WILL BE WIDENED AN EXTRA 10 FEET ON THIS PROJECT SIDE OF THE CENTER LINE

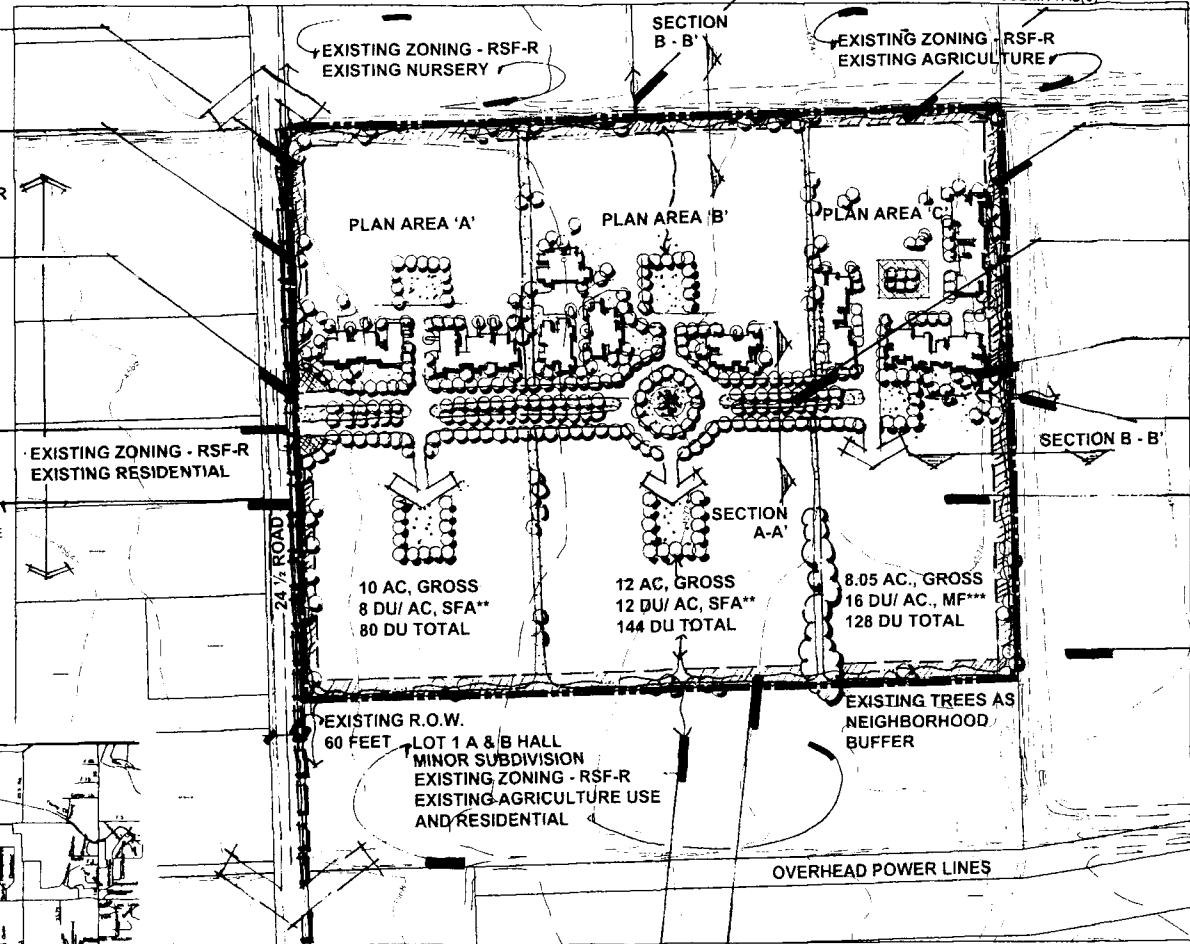
COMMUNITY ENTRY BOULEVARD WITH ESPLANADE

WATER AND SEWER WILL EXTEND FROM THE NORTH LINE OF D & G MINOR SUBDIVISION JUST NORTH OF HOME DEPOT. THE DISTANCE FROM THE NORTH LINE OF D & G TO THE SOUTH LINE IS APPROXIMATELY 985 FEET. UTILITIES WILL BE EXTENDED PAST THE COMMUNITY ENTRY TO THE NORTH PROPERTY LINE OF THE PROJECT.

VICINITY MAP



Cunningham Investment CO., Inc.
620 25 1/2 Rd. Unit 20, Grand Junction, CO 81501



POTENTIAL VEHICULAR CONNECTOR STREET TO ADJACENT PARCELS TO BE PROVIDED AT PRELIMINARY PLAN SUBMITTAL(S)

OPEN SPACE AND LANDSCAPE BUFFER WITH PEDESTRIAN TRAIL AT GRAND JUNCTION DRAINAGE DISTRICT DITCH

POTENTIAL USE OF IRRIGATION WATER FOR FEATURE WITHIN BOULEVARD AND ESPLANADE

INTERNAL OPEN SPACE POCKET PARKS WITHIN RESIDENTIAL CLUSTER

POTENTIAL VEHICULAR CONNECTOR STREET TO ADJACENT PARCELS TO BE PROVIDED AT PRELIMINARY PLAN SUBMITTAL(S)

HALL SUBDIVISION
EXISTING ZONING RSF-R
PROPOSED ZONING PD-R
GROWTH PLAN LAND USE DESIGNATION 8.0 - 11.9 DU/ AC.

EXISTING ZONING - RSF-R
EXISTING AGRICULTURE

LAND USE SUMMARY

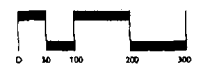
	ACRES*	DENSITY	UNITS
PLAN AREA 'A'	10.00	8.0 DU/ AC., SFA**	80
PLAN AREA 'B'	12.00	12.0 DU/ AC., SFA**	144
PLAN AREA 'C'	8.05	16.0 DU/ AC., MF***	128
TOTALS	30.05	11.7 DU/ AC., SFA**/ MF***	352

*ACREAGES AS INDICATED ARE GROSS ACRES, INCLUDING ALL R.O.W.'S, EASEMENTS AND OPEN SPACE AREAS.

**SFA: SINGLE FAMILY ATTACHED PRODUCT.

***MF: MULTI FAMILY PRODUCT

NOTE:
BUILDING LAYOUTS AS SHOWN ARE PROTOTYPICAL PROPOSED DENSITIES ONLY AND DO NOT REPRESENT DESIGN INTENT



DATE: 10-26-04
PROJECT NUMBER: 981055
REVISION PER STAFF COMMENTS: 11-23-04
Sheet 2 of 5

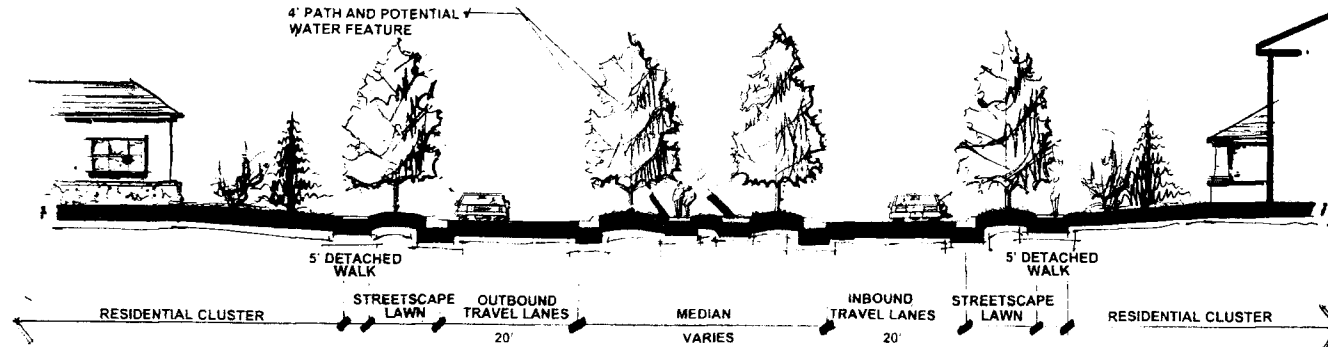
1129 CHERRY STREET
DENVER, COLORADO 80204
303.554.2881
303.554.2884 FAX
www.nuszerkopatz.com

Hall Subdivision / Outline Development Plan

Grand Junction, CO 81501

Section A - A' Community Entry Boulevard

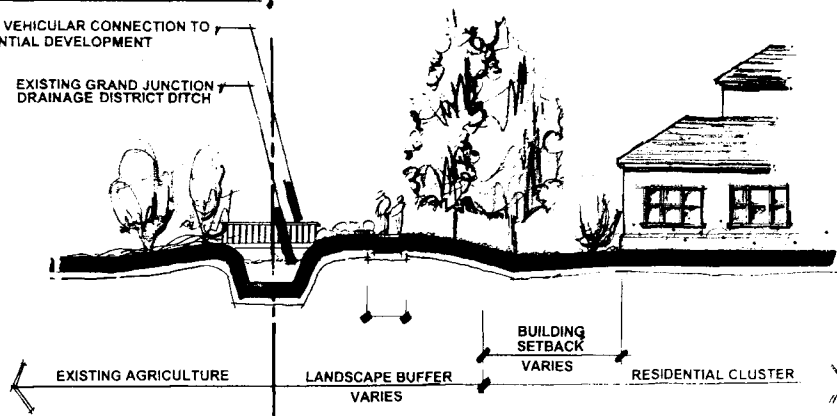
SCALE: 1/8" = 1'-0"



Section B - B' Perimeter Open Space and Landscape Buffer at Ditch

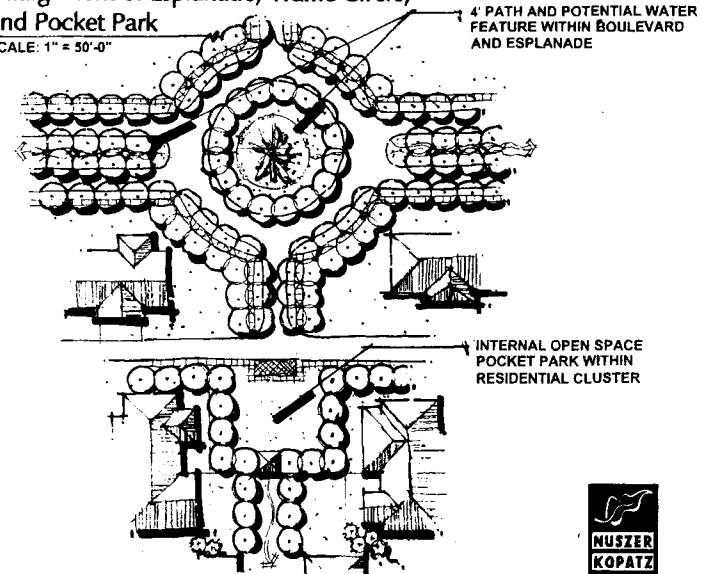
SCALE: 1/8" = 1'-0"

POTENTIAL NON VEHICULAR CONNECTION TO FUTURE RESIDENTIAL DEVELOPMENT



Enlargement of Esplanade, Traffic Circle, and Pocket Park

SCALE: 1" = 50'-0"



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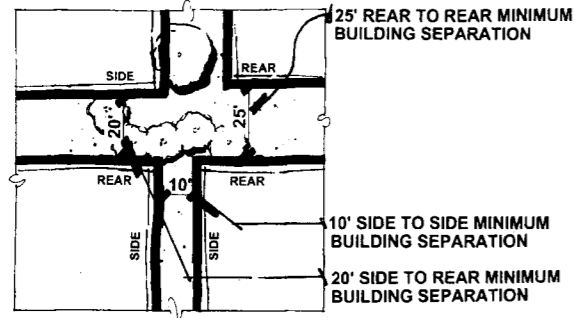
Hall Subdivision / Specific Density Outline Development Plan

ATTACHMENT D

Grand Junction, CO 81501

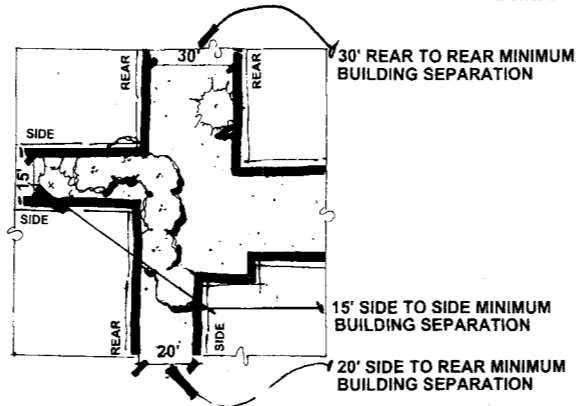
Building Setbacks

Plan Areas 'A', And 'B'



Plan Area 'C'

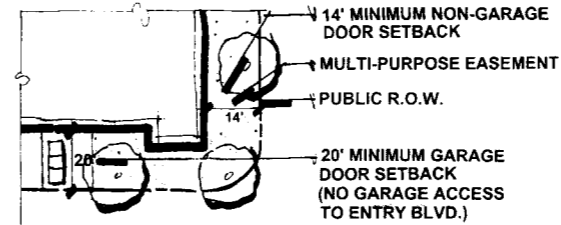
SCALE: 1" = 20'-0"



Setbacks at Public R.O.W.

From Public R.O.W. For Plan Areas 'A', 'B' And 'C'

SCALE: 1" = 20'-0"

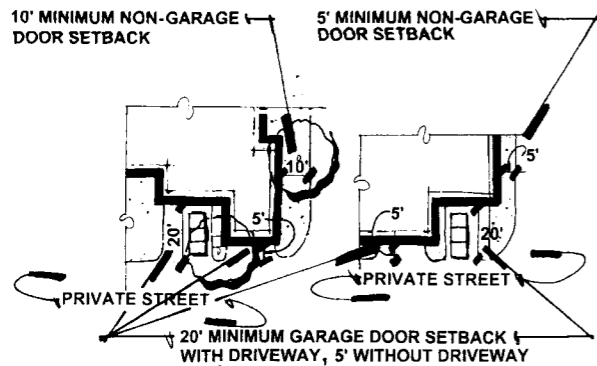


Private Street Setbacks

SCALE: 1" = 20'-0"

Plan Areas 'A', And 'B'

Plan Area 'C'



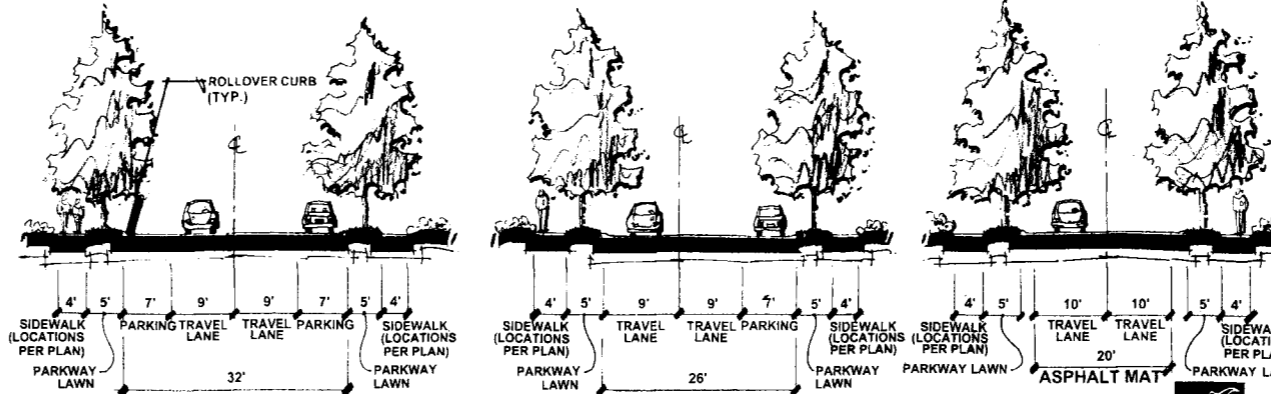
Private Street Sections

SCALE: 1/8" = 1'-0"

Parking Both Sides

Parking On One Side

No Parking



Cunningham Investment CO., Inc.

620 25 1/2 Rd. Unit 20, Grand Junction, CO 81501



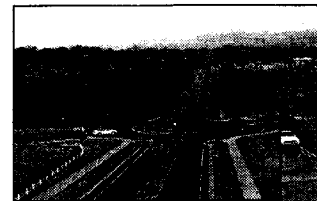
DATE: 11-24-99
PROJECT NUMBER: 981055
REVISED: 1-22-98

1128 CHARLOTTE STREET
DENVER, COLORADO 80202
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nuser.kopatz@nkdcs.com

Hall Subdivision/Specific Density Outline Development Plan

ATTACHMENT E

Grand Junction, CO 81501



1. Boulevard with traffic circle



2. Traffic circle with water feature



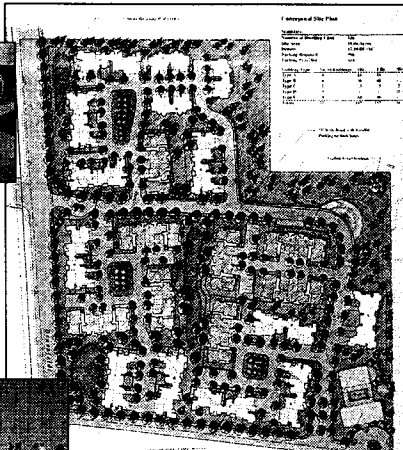
12. Sample architecture; Hunter's Glenn; 16 du/ac



4. Boulevard with signage, monumentation and artwork at community entry

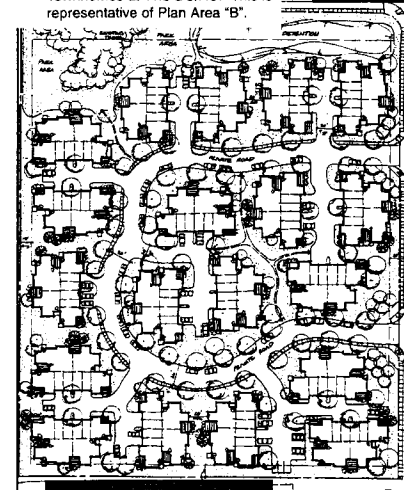


8. Clustered townhomes at 8 du/ac with water amenity

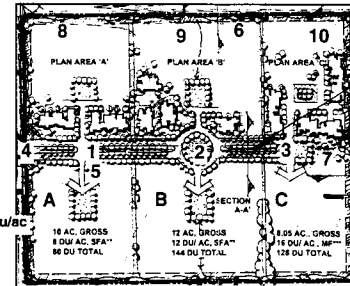


C. Echelon at Parker
Stacked flat apartments at 17.1 du/ac.
This is representative of Plan area "C".

B. Alton Park
Townhomes at 11.8 DU/AC. This is representative of Plan Area "B".



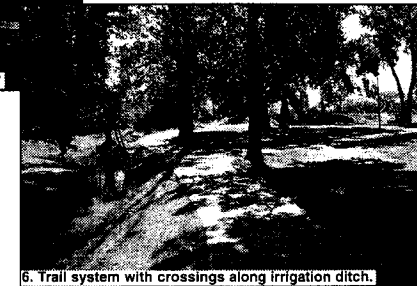
11. Sample architecture; Tindall Green; 8du/ac



3. Boulevard entry with gazebo terminating view



9. Clustered townhomes at 12 du/ac with water amenity.



6. Trail system with crossings along irrigation ditch.



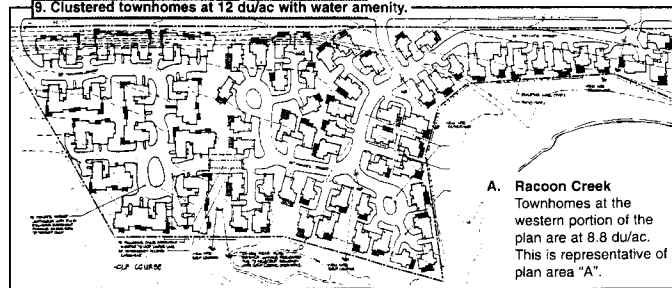
7. Linear open space with water amenity



10. Clustered multi-family stacked flats at 16 du/ac.



5. Pedestrian way along boulevard



A. Raccoon Creek
Townhomes at the western portion of the plan are at 8.8 du/ac.
This is representative of plan area "A".

Cunningham Investment Co., Inc.

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Images and plans as shown are representative of development densities, home types and design elements to be included in the development plan. They do not represent actual design of architecture or site plans.

Date: 11-24-98
Project Number: 981055
Revised: 12-28-98

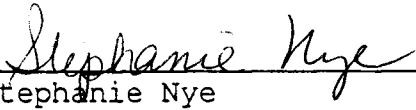
Sheet 5 of 5

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DENVER, COLORADO 80202
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303.534.3884 (FAX)
nuszer-kopatz@indra.com

I HEREBY CERTIFY THAT the foregoing ordinance, being Ordinance No. 3088, was introduced by the City Council of the City of Grand Junction, Colorado at a regular meeting of said body held on the 6th day of January, 1999 and that the same was published in The Daily Sentinel, a newspaper published and in general circulation in said City, at least ten days before its final passage.

I FURTHER CERTIFY THAT a Public Hearing was held on the 20th day of January, 1999 at which Ordinance No. 3088 was read, considered, adopted and ordered published in full by the Grand Junction City Council.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of said City this 21st day of January, 1999.


Stephanie Nye
City Clerk

Published: January 8, 1999
January 22, 1999

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Ordinance No. 3088
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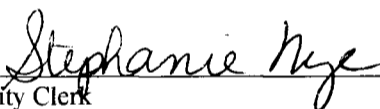
Lot 2, Hall Minor Subdivision

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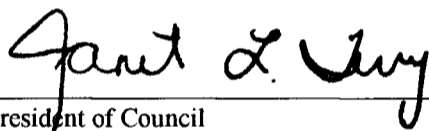
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PASSED on SECOND READING this 20th day of January, 1999.

ATTEST:



City Clerk



President of Council