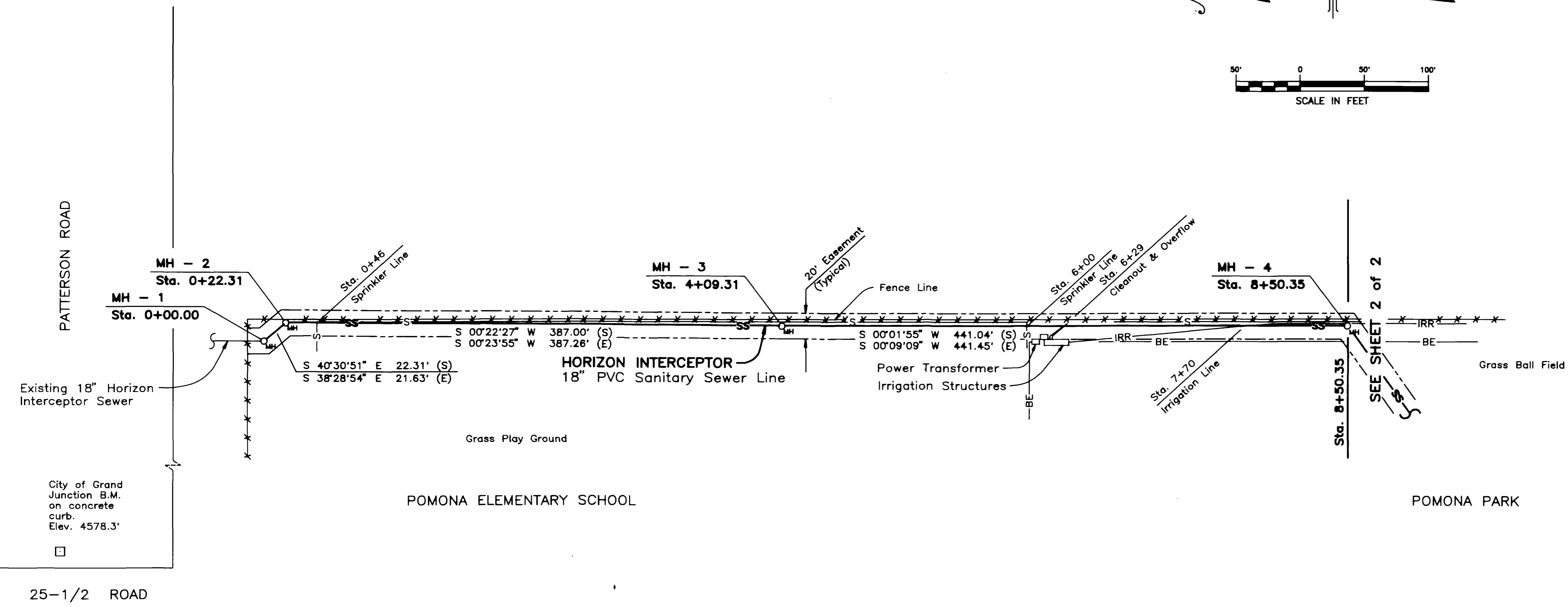


NOTES:

1. Assumed basis for bearing between Mesa County Survey Monuments, Center 1/4 and North 1/4 Corners of Section 10, T1S, R1W, UM, N 00°00'00" E 2,637.05'.
2. Elevation datum based on City of Grand Junction B.M. at 25-1/2 Road and Patterson Road. Chiselled box at NE corner, Elev. 4578.3.
3. Horizontal location by theodolite and EDM. Vertical location by differential elevations.
4. Date of As Built survey, July 23, 1990.
5. Utility locations transcribed from Vanderwood Associates Plans, "588 25-1/2 Road". Prepared for the U.S. Department of Energy, Grand Junction Projects Office.
6. Typical easement is 10' both sides of record centerline.

LEGEND:

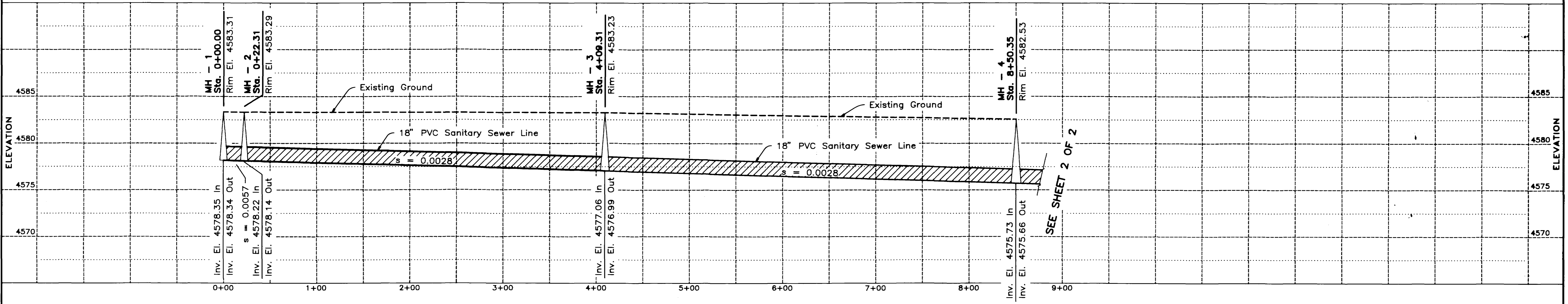
- Q_{MH} - MANHOLE
- SS - SANITARY SEWER LINE
- S - SPRINKLER SYSTEM
- IRR - IRRIGATION SYSTEM
- BE - BURIED ELECTRIC
- *--- CHAINLINK FENCE
- - - - - EASEMENT LINE
- (S) - CENTERLINE AS BUILT SEWER
- (E) - CENTERLINE RECORD EASEMENT



PLAN
SCALE: 1" = 50'

UTILITY LOCATIONS

Utility locations are approximate. Verify prior to any excavation, grading, or drilling. Utility Notification Center must be called two business days in advance, 1-800-922-1987. Contact Grand Junction Parks and Recreation Department for additional underground utility locations.



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

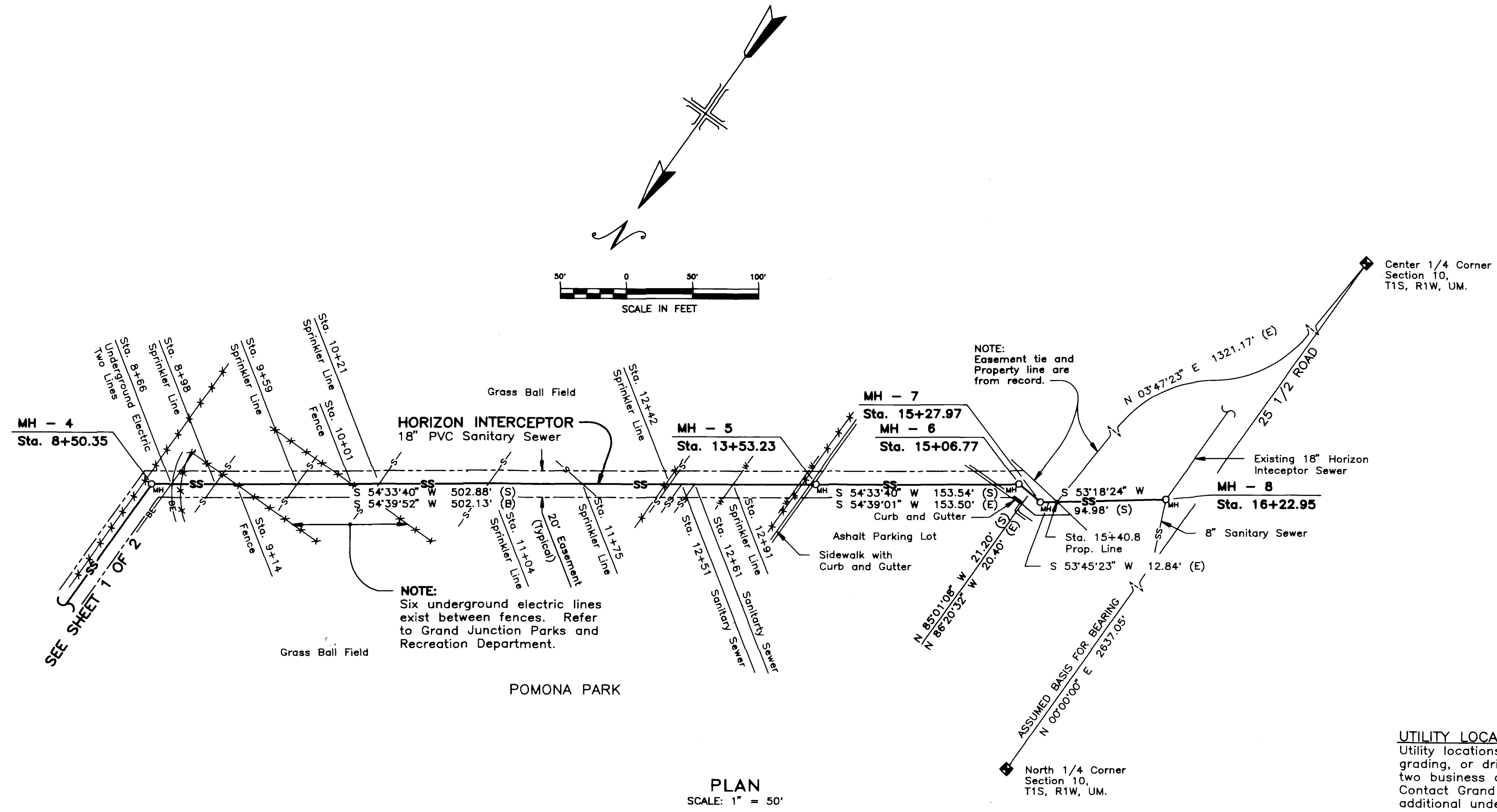
SHEET 1 OF 2

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

I certify that the survey represented by this plat was done by me, or under my direct supervision, and that the survey and the plat are correct to the best of my knowledge.
Richard A. Mason 12/7/90
Richard A. Mason Date



WESTERN CONSULTING ENGINEERS / LAND SURVEYORS			
MOUNTAIN REGION CONSTRUCTION			
AS BUILT HORIZON INTERCEPTOR			
POMONA PARK GRAND JUNCTION, COLORADO			
SURVEYED R.A.M.	DRAWN L.R.G.	CHECKED R.A.M.	
DATE 9-19-90	WEI DWG. NO. 2747-1106-2		

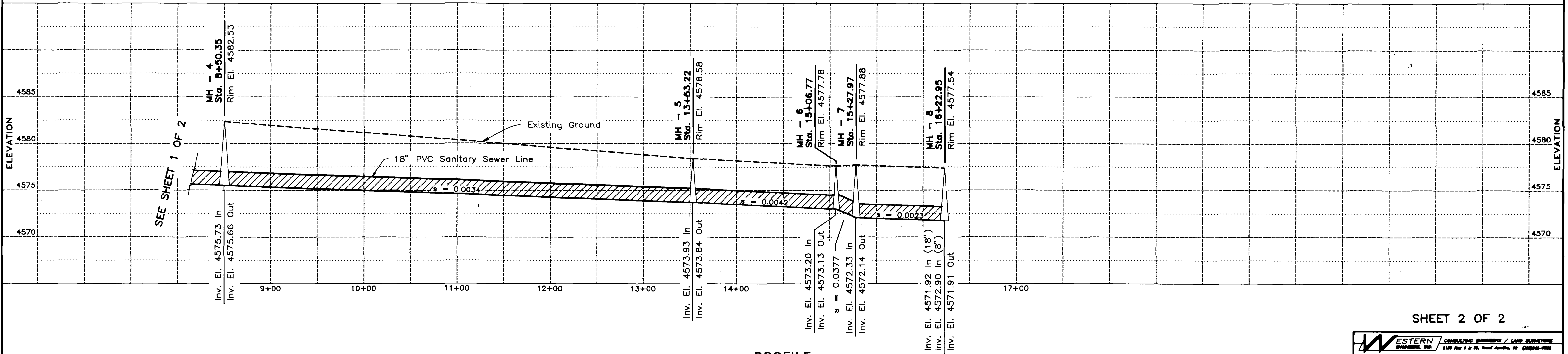


PLAN
SCALE: 1" = 50'

- NOTES:**
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 6. Typical easement is 10' both sides of record centerline.

- LEGEND:**
- Q_{MH} - MANHOLE
 - SS - SANITARY SEWER LINE
 - S - SPRINKLER SYSTEM
 - IRR - IRRIGATION SYSTEM
 - BE - BURIED ELECTRIC
 - CL - CHAINLINK FENCE
 - - EASEMENT LINE
 - (S) - CENTERLINE AS BUILT SEWER
 - (E) - CENTERLINE RECORD EASMENT
 - ◆ - MESA COUNTY SURVEY MONUMENT

UTILITY LOCATIONS
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PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

SHEET 2 OF 2

MOUNTAIN REGION CONSTRUCTION AS BUILT HORIZON INTERCEPTOR POMONA PARK GRAND JUNCTION, COLORADO			
SURVEYED	R.A.M.	DRAWN	L.R.G.
DATE	9-19-90	CHECKED	R.A.M.
		WEI DWG. NO.	2747-1106-2

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