

CITY OF GRAND JUNCTION, COLORADO
Ordinance No. 3089

ZONE OF ANNEXATION FOR PARCEL LOCATED AT 2992 F ROAD

Recitals.

The Rite Aid Drugstore recently constructed on the northwest corner of 30 and F Roads was annexed to the City of Grand Junction in October 1998. A rezone from the Mesa County zoning of Planned Unit Development (PUD) to the City future land use set forth by the *Growth Plan* (4-7.9 units per acre). City Council also finds that the requirements for a rezone and Zone of Annexation as set forth in Sections 4-4-4 and Section 4-11 of the Zoning and Development Code have been satisfied.

The Grand Junction Planning Commission, at its January 12, 1999 hearing, recommended approval of the rezone request from PUD to PB.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GRAND JUNCTION THAT THE PARCEL DESCRIBED BELOW IS HEREBY ZONED PLANNED BUSINESS (PB):

Beginning SE corner SEC 5 T1S R1E S89degrees 56'20"W 410' N00 degrees 11'40"W 300' N89 degrees 56'20"E 410' S00 degrees 11'40"E 300' to beginning; EXCEPT Road ROW AS PER Book 1363 Page 261 Mesa County Records.

- 1) The uses allowed for this zone and property shall be general retail sales and a drive-through pharmacy.
- 2) The bulk requirements for this zone and property shall be as follows:

Land Area	92,173 sf	
Building Area	13,678 sf	14.84%
Landscape Area	27,353 sf	29.67%
Parking Provided	90 spaces	
Parking Required	69 spaces	

Minimum Building Setbacks

F Road	101 ft
30 Road	157 ft
Rear	48 ft
Side	71 ft

Minimum Landscape Setbacks

F Road	29 ft
30 Road	20 ft
Rear	20 ft
Side	20 ft

Maximum Building Height 30 ft

- 3) The Site Plan (Exhibit A), Conditions of Approval (Exhibit B) and Signage (Exhibit C) approved by Mesa County shall apply to this zone and property.

INTRODUCED for FIRST READING and PUBLICATION this 20th day of January, 1999.

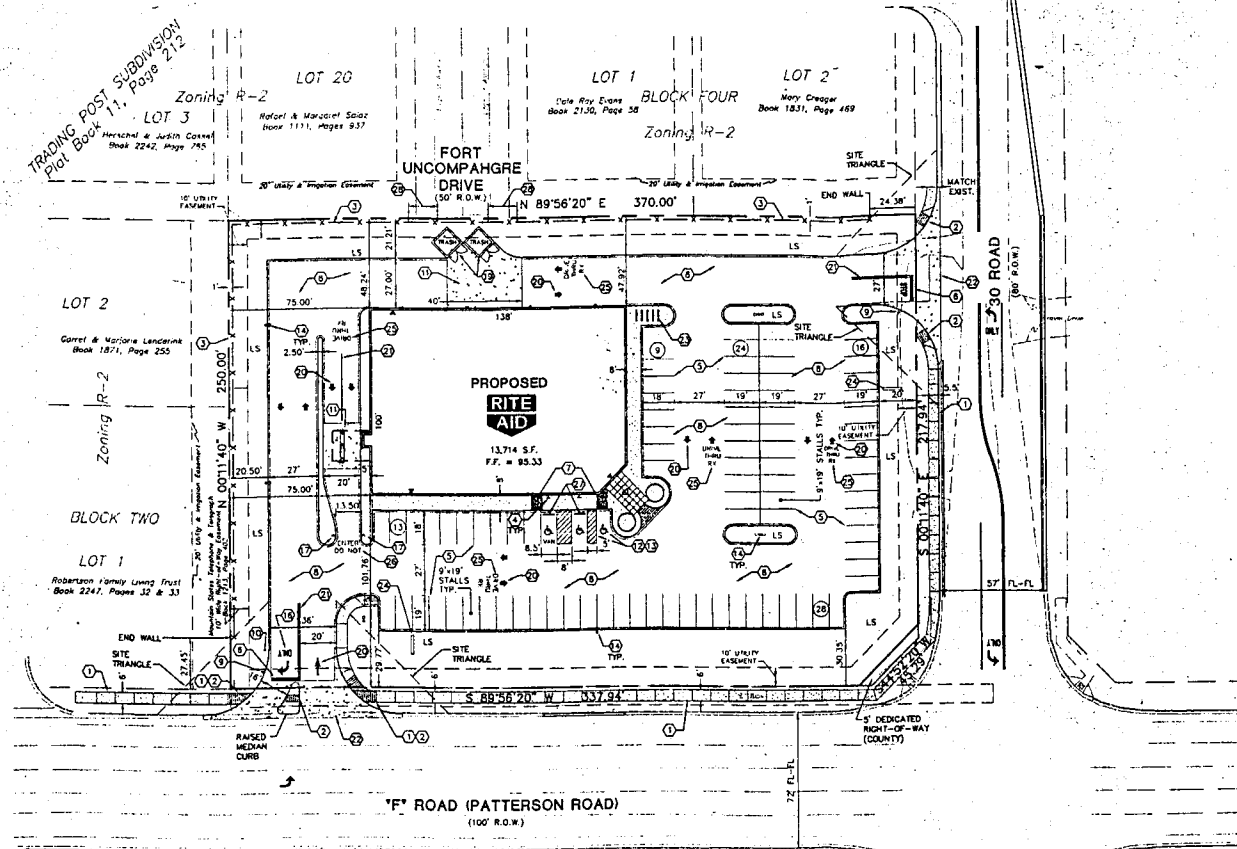
PASSED on SECOND READING this 3rd day of February, 1999.

ATTEST:

/s/ Stephanie Nye
City Clerk

/s/ Janet L. Terry
President of Council

Planning & Surveying, Inc.
 Engineering
 Architecture
 Landscape Architecture
 Land Surveying
 2401 E. Orchard Rd., Suite 2000
 Englewood, Colorado 80111
 Phone: (303) 776-2000
 Fax: (303) 776-2244



- GENERAL NOTES**
1. ALL SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND LOCAL CODES.
 2. CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF COT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
 3. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE ENGINEER FOR EXACT DIMENSIONS.
 4. THE CONTRACTOR SHALL NOTIFY PROPERTY OWNERS PRIOR TO THE REMOVAL OF THEIR FENCE.

- CONSTRUCTION NOTES**
1. CONSTRUCT CONCRETE SIDEWALK AT WIDTH SHOWN. RE: SHEET CD1, DETAIL B.
 2. CONSTRUCT CONCRETE HANDICAP RAMP. RE: SHEET CD1, DETAIL C.
 3. REMOVE EXISTING FENCE AND CONSTRUCT 7' MASONRY SCREEN WALL. RE: SHEET CD2, DETAIL D AND GENERAL NOTE 4.
 4. REINSTALL HANDICAP PARKING SIGNS. RE: SHEET CD1, DETAIL G.
 5. PAINT YELLOW PARKING STALL STRIPES AS SHOWN. RE: SPECIFICATIONS FOR PAINT MATERIALS.
 6. PAINT WHITE STOP BAR. RE: SHEET CD2, DETAIL A.
 7. CONSTRUCT HANDICAP RAMP. RE: SHEET CD1, DETAIL C.
 8. INSTALL HEAVY DUTY ASPHALT PAVEMENT. RE: SHEET CD1, DETAIL E.
 9. INSTALL "STOP" SIGN. RE: SHEET CD1, DETAIL G.
 10. INSTALL "RIGHT TURN ONLY" SIGN. RE: SHEET CD1, DETAIL G.
 11. INSTALL HEAVY DUTY CONCRETE PAVEMENT. RE: SHEET CD1, DETAIL E.
 12. PAINT HANDICAP SYMBOL. RE: SHEET CD1, DETAIL H.
 13. PAINT 4" YELLOW HANDICAP STRIPING AT 45° TO DRIVE ISLE 2' O.C. RE: SPECIFICATIONS FOR PAINT MATERIAL.
 14. LIGHT FIXTURE. RE: BUILDING PLANS.
 15. NOT USED.
 16. PAINT WHITE RIGHT TURN ARROW AND "ONLY". RE: SHEET CD2, DETAIL B AND SPECIFICATIONS FOR PAINT MATERIAL.
 17. INSTALL "ONE WAY DO NOT ENTER" SIGN. RE: SHEET CD1, DETAIL G.
 18. NOT USED.
 19. CONSTRUCT TRASH ENCLOSURE. RE: BUILDING PLANS.
 20. PAINT VEHICLE DIRECTIONAL ARROWS. RE: SHEET CD2, DETAIL H.
 21. PAINT 4" WIDE DOUBLE YELLOW CENTERLINE STRIPE.
 22. CONSTRUCT CONCRETE CROSS PAN. RE: SHEETS C10A AND C10B.
 23. INSTALL BIKE RACK. RE: SHEET CD4, DETAIL F.
 24. INSTALL ELECTRICAL CONDUIT AND PULL BOX TO MONUMENT SIGN. RE: ELECTRICAL PLANS.
 25. PAINT WHITE "TRX THRU DRIVE". RE: SHEET CD1, DETAIL L.
 26. PAINT WHITE "DO NOT ENTER". RE: SHEET CD1, DETAIL L.
 27. INSTALL CONCRETE WHEELSTOP. RE: SHEET CD2, DETAIL I.
 28. CONSTRUCT SCREEN WALL WITH DRAINAGE OPENINGS. RE: SHEET CD2, DETAIL D.

REVISIONS

Date	Revision
05/11/98	RE-ROUTE REVIEW

Project Number: 04/15/98
 97.207
 Drawn By: [Signature]
 Designed By: CRD
 Checked By: JMO

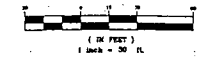
ACCEPTED FOR CONSTRUCTION
 FOR ONE YEAR FROM THIS DATE.
 As Engineer of these plans does not make the
 Engineer, contractor, or the engineer from
 responsible with Mesa County Board of
 Commissioners for Road and Bridge Construction.

[Signature]
 Mesa County Engineer / Bridge Representative
 Date: 7/13/97

REVISED OFFICIAL DEVELOPMENT PLAN
 / FINAL PLAN FOR PATTERSON POINT
RITE AID
 STORE #21402
 N.W. C. F. ROAD AND 30 ROAD
 MESA COUNTY, COLORADO

Sheet No. [Blank]
 SITE PLAN
 C3
 Sheet Number

- LEGEND**
- PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - HEAVY DUTY ASPHALT
 - CONCRETE PAD
 - PARKING COUNT PER ROW
 - CONSTRUCTION NOTE
 - ▽ BUILDING EXT
 - PROPOSED SIGN
 - LS LANDSCAPE AREA



CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

CAUTION - NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

K:\PROJECTS\97-001\UTILNOTIF.Plot Date: 04/15/98 15:33:24 1998 PLOTTED BY: CA



Planning
Engineering
Architecture
Landscape Architecture
Land Surveying

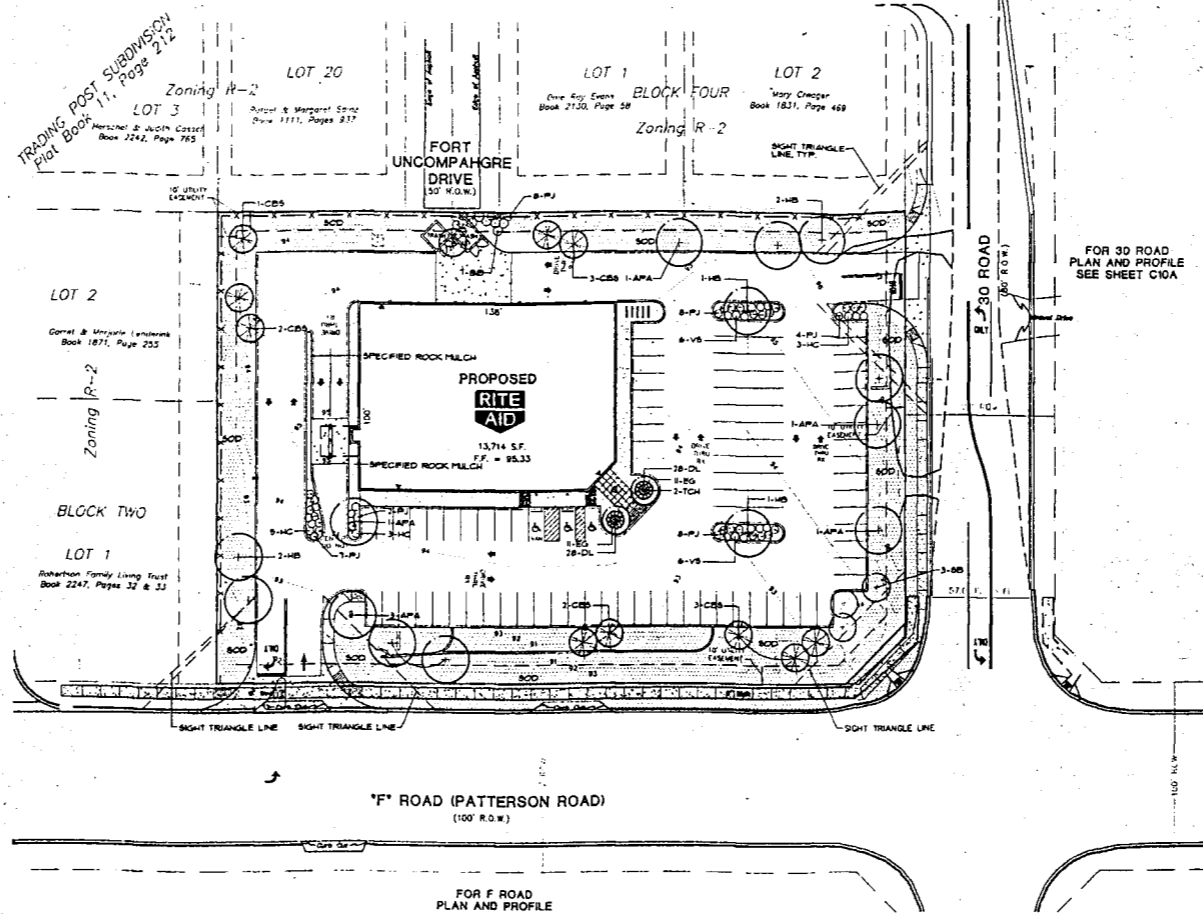
4400 E. Orchard Rd., Suite 200
 Englewood, Colorado 80111
 Phone: (303) 770-8000
 Fax: (303) 770-3249

PLANT LIST

QUANTITY	SYMBOL	COMMON/SCIENTIFIC NAME	SIZE	REMARKS
6	HD	WAGENERI Celtis occidentalis	1" CAL.	SPECIFY QUALITY FULL CROWN, 8"HS, STAKED
8	APA	ALBERTA PURPLE ASH Fraxinus pennsylvanica 'Purple Prince'	1" CAL.	SPECIFY QUALITY FULL CROWN, 8"HS, STAKED
2	TR	TRIFOLIUM COCCINEUM (WITCHAMOUNTAIN) Drainage tree - 1/2" x 1/2" trunk	6" HT.	PLANT IN 3 STRIPS, 8"HS SPECIFY QUALITY
3	BA	SHADBLOW BERRY (SWEETWOOD) Amelanchier canadensis	6" HT.	PLANT IN 3 STRIPS, 8"HS SPECIFY QUALITY
8	CB	COLORADO BLUE SPRUCE Picea canadensis	6" HT.	FULL FORM, 8"HS, STAKED SPECIFY QUALITY
18	PJ	PRINER JUNIPER Juniperus horizontalis 'Pfitzer'	5 GAL. 18"-24" SPREAD	SPACING 48" O.C.
8	HC	HAWKWOOD CORAL BERRY Symphoricarpos x oppositifolius 'Hawthorn'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES PER
1	SB	SUNPLOWBERRY Sagittaria canadensis	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES PER
6	VB	VAN HOUTTE SPURGE Saxifraga hypnoides	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES PER
22	DO	SPERDIAL GAZETT Saxifraga hypnoides 'Gazette'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES PER
80	DL	DARTLET YELLOW Hemerocallis 'Dartlet Yellow'	1 GAL.	SPACING 8" O.C.

NOTE: IF QUANTITIES LISTED IN SCHEDULE DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.

 IRRIGATED SOIL
 SPECIFIED COBBLE MULCH



CALL UTILITY NOTIFICATION
 CENTER OF COLORADO
1-800-922-1987
 CALL 2-BUSINESS DAYS IN ADVANCE
 BEFORE YOU DIG, GRADE, OR EXCAVATE
 FOR THE MARKING OF UNDERGROUND
 MEMBER UTILITIES.

ISSUED FOR CONSTRUCTION:

ISSUED FOR 90:

Date: _____ Revision: _____

Date: 02/20/08
 Project Number: 97.207
 Drawn By: JKS
 Designed By: JKS
 Checked By: JKS

REVISED OFFICIAL DEVELOPMENT PLAN
 / FINAL PLAN FOR PATTERSON POINT
RITE AID
 N.W.C. F. ROAD AND 30 ROAD
 MESA COUNTY, COLORADO

LANDSCAPE PLAN

1



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**CONDITIONS OF APPROVAL
PATTERSON POINT REVISED
OFFICIAL DEVELOPMENT PLAN C37-98**

1. A 7-foot high perimeter sandstone masonry wall shall be installed on the north and west boundaries of the site and shall be provided as an element of the submitted landscaping plan. The perimeter wall and all landscaping shall be in place at the time of occupancy of the building.
2. The maximum height of all interior parking lot light poles shall be 22 feet.
3. A pedestrian connection from the public sidewalks to the front of the building shall be incorporated into the approved Final Plan along with a bicycle parking stall for at least five bicycles.
4. The building facade shall be predominantly composed of 'earth tone' color schemes and shall be displayed on the approved building elevation profiles submitted and approved with a building permit.
5. The approved Final Plan shall correct the angled alignment between the drive-through window and the F Road ingress/egress location and shall include a trash receptacle area to be located at the south terminus of Fort Uncompaghre Drive.
6. The sign allowance for this site shall be the Code provision for commercial development except that no free-standing or pylon signs shall be placed on the site. Two monument signs, one for each road frontage, shall be allowed.
7. A five-foot dedication of land at the southwest corner of the site shall be provided for the future relocation or upgrade of the existing signal control box and traffic signal bases.
8. The Final Plan shall resolve the issues addressed by the Grand Junction Drainage District, the Central Grand Valley Sanitation District, Ute Water, and Public Service of Colorado, including the provision of requested easements.

**ATTACHMENT C
RITE AID SIGN PLAN – 2992 F ROAD**

FREESTANDING SIGNS

2 Illuminated signs allowed, 1 on each street frontage
Maximum Total Square Footage for Both Signs = 100 sf
Maximum Height of Freestanding Signs = 10 ft

WALL SIGNS

NORTH-FACING FAÇADE

Illuminated Directional Sign Above Drive-Through (B) – 21 sf

SOUTH-FACING FAÇADE

Illuminated Canopy Sign Above Entry (A) – 115 sf
Non-Illuminated Do Not Enter Sign at Drive-Through (F) – 4 sf
Illuminated Pharmacy Sign (D) – 33 sf

EAST-FACING FAÇADE

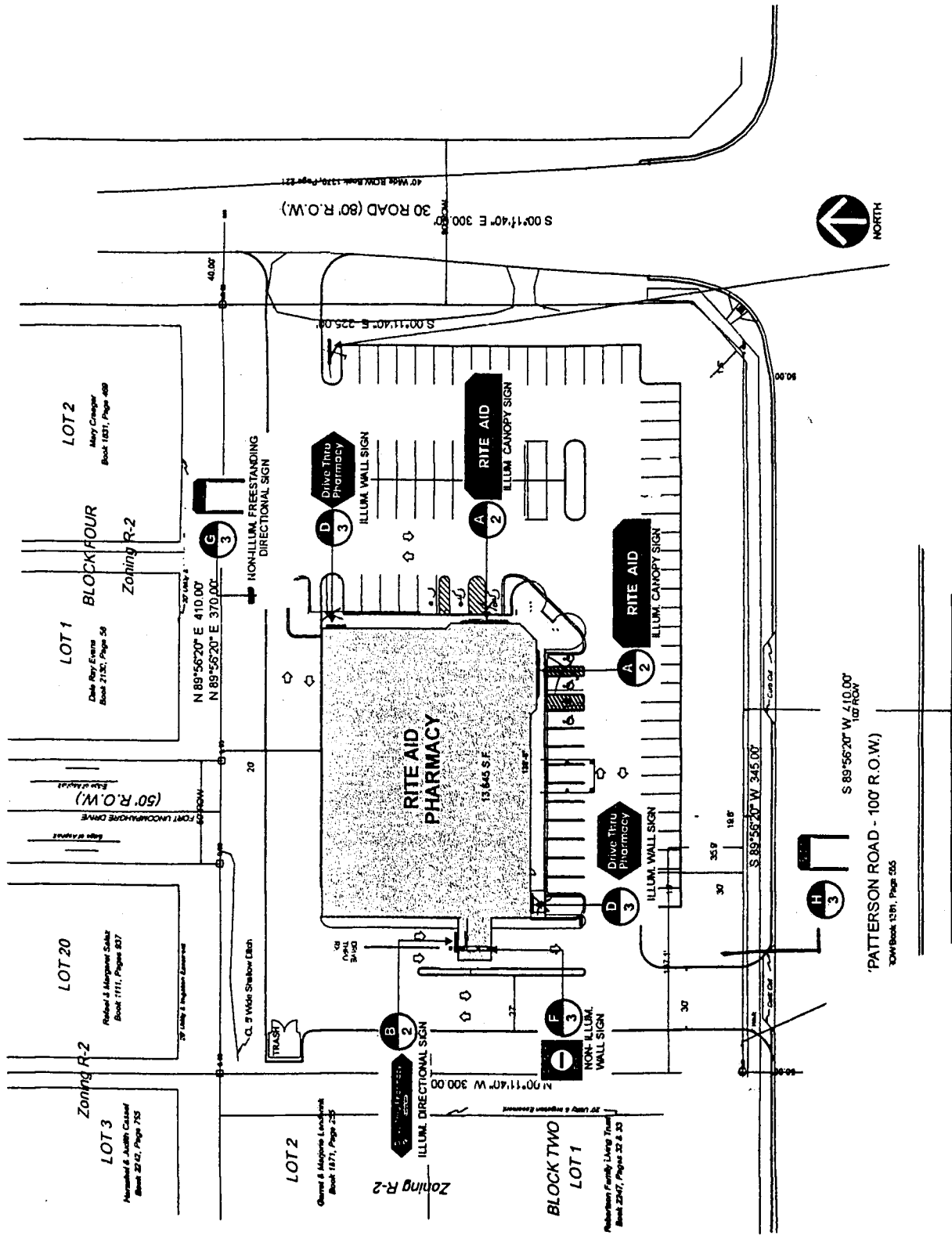
Illuminated Canopy Sign Above Entry (A) – 115 sf
Illuminated Pharmacy Sign (D) – 33 sf

WEST-FACING FAÇADE – No Signage

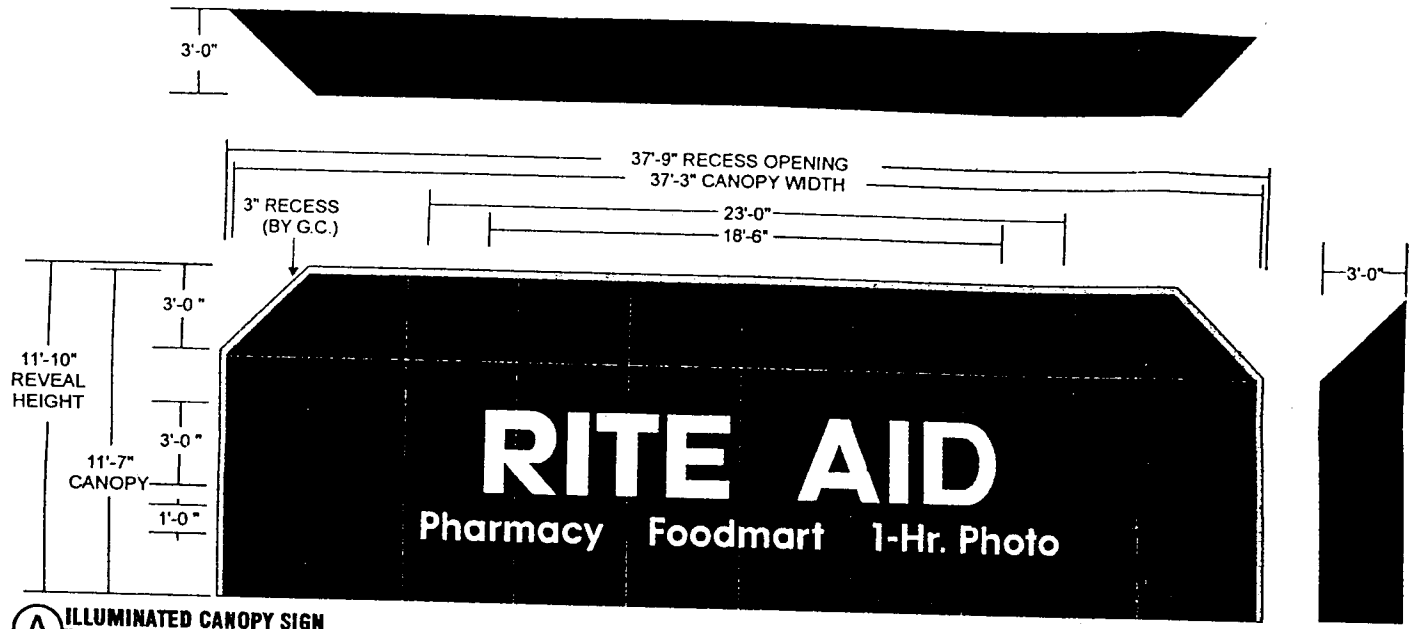
INFORMATIONAL SIGNS

1 Non-Illuminated Drive-Through Pharmacy Sign In Landscape Strip
along Northern Property Line (G) – 5 sf

1 Non-Illuminated Thank-You Sign in Landscape Strip Near F Road
Entrance (H) – 5 sf



PATTERSON ROAD - 100' R.O.W.
 TOWNSHIP 131N, PAGE 255

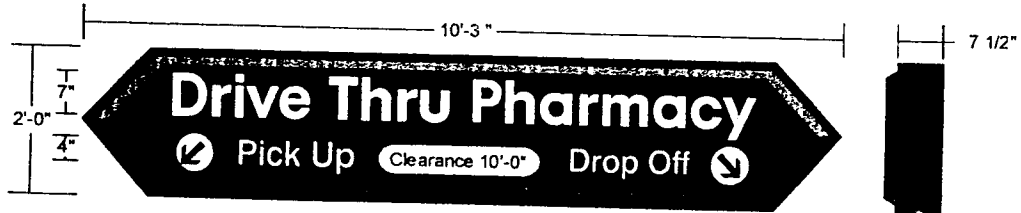


A ILLUMINATED CANOPY SIGN
SCALE: 3/16" = 1'-0"

115 SQ. FT. AREA
QUANTITY: TWO (2)

ILLUMINATED CANOPY SIGNS:

- * 1" X 2" aluminum framing
- * Signtech eradicatable flex face, #2870 Royal Blue with White copy
- * Glasskote FX Protective coating
- * 800 MA HO Fluorescent lamp illumination, spaced 12" OC
- * 3" reveal painted PMS #401C Gray (by General Contractor, not part of canopy)
- * 120 Volt ballast, Three 120 Volt 20 Amp circuit reqd.
- * Confirm wall reinforcement for attachment

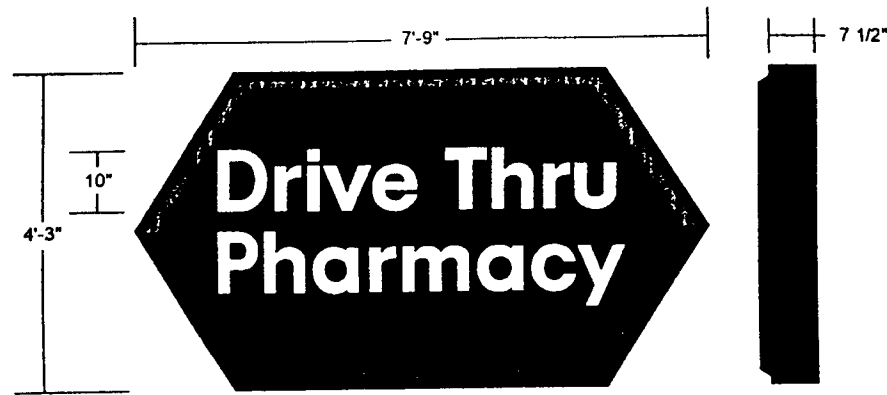


B ILLUMINATED DIRECTIONAL SIGN
SCALE: 1/2" = 1'-0"

20.6 SQ. FT. AREA
QUANTITY: ONE (1)

ILLUMINATED DIRECTIONAL CAPSULE SIGN:

- * Face 3/16" White Acrysteel pan formed 2.5" draft
- * Second surface 3M Scotchcal 230-36 deep blue translucent vinyl on face (to match PMS 281blue).
- * Vinyl applied second surface prior to forming
- * Aluminum cabinet painted to match PMS 281 blue.
- * 800 MA HO Fluorescent lamp illumination 12" OC
- * Interior cabinet painted reflective white
- * 120 Volt ballast, One 120 Volt 20 Amp circuit reqd.

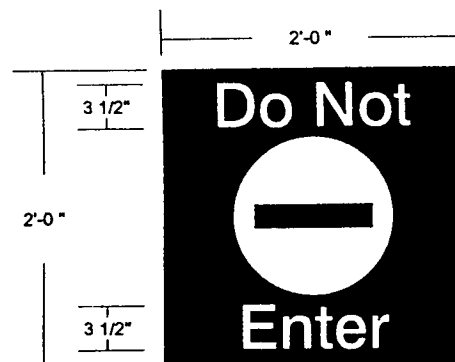


D ILLUMINATED WALL SIGN
SCALE: 1/2"=1'-0"

32.9 SQ. FT. AREA
QUANTITY: TWO (2)

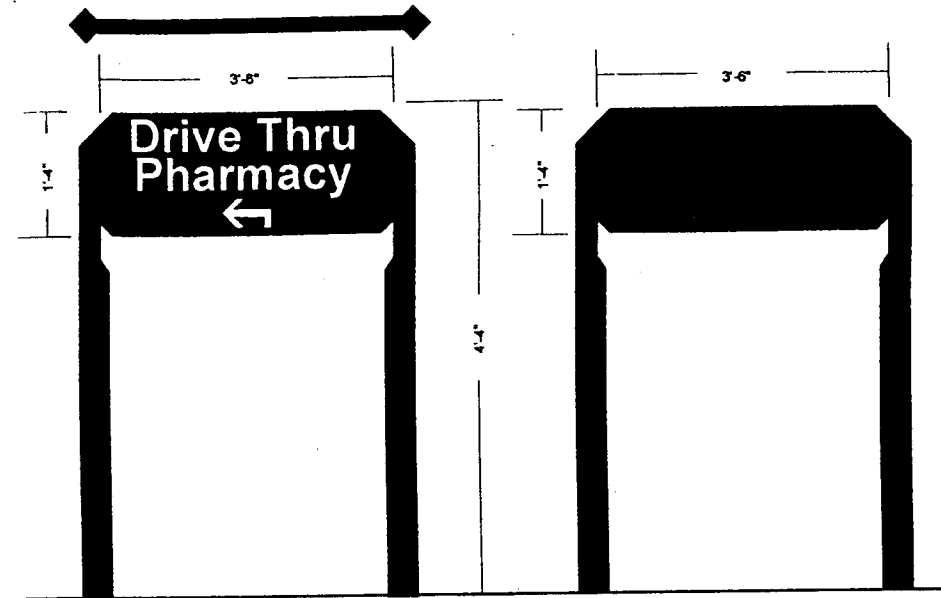
ILLUMINATED WALL DIRECTIONAL SIGN:

- * Face 3/16" White Acrysteel pan formed 2.5" draft
- * Second surface 3M Scotchcal 230-36 deep blue translucent vinyl on face (to match PMS 281 blue).
- * Vinyl applied second surface prior to forming
- * Aluminum cabinet painted to match PMS 281 blue.
- * 800 MA HO Fluorescent lamp illumination 12" OC
- * Interior cabinet painted reflective white
- * 120 Volt ballast, One 120 Volt 20 Amp circuit reqd.



F NON-ILLUMINATED WALL SIGN 4 SQ. FT. AREA
SCALE: 1/2"=1'-0" QUANTITY: ONE (1)

FLAT .090 ALUMINUM PANEL WITH REFLECTIVE VINYL

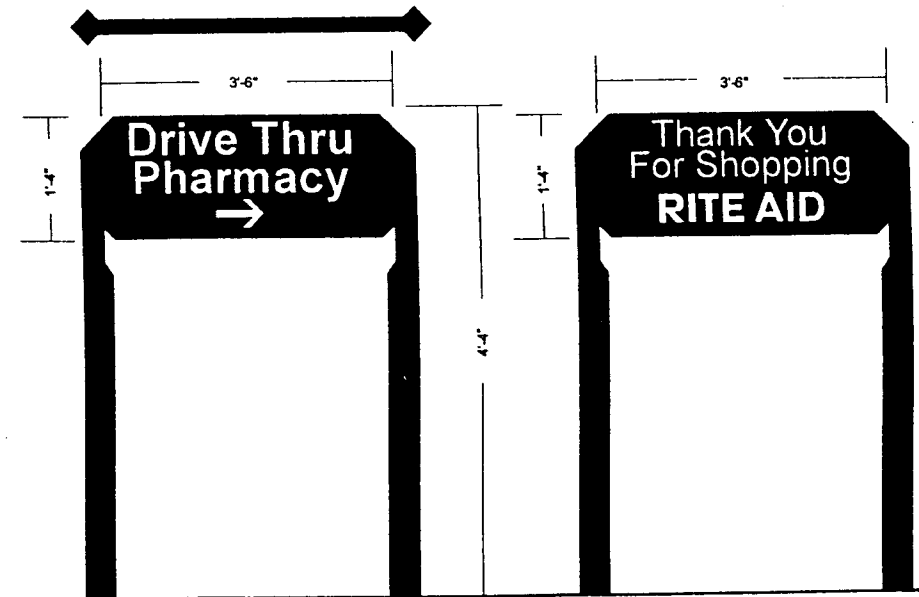


G NON-ILLUMINATED FREESTANDING DIRECTIONAL SIGN
SCALE: 3/4"=1'-0"

4.65 SQ. FT. AREA
QUANTITY: ONE (1)

ILLUMINATED DIRECTIONAL SIGN:

- * Aluminum cabinet painted to match PMS 281 blue.
- * 3M White vinyl copy on faces
- * Supports to be 2 1/2" x 2 1/2" x 1/4" square aluminum tube
- * Face to be .030" aluminum on a 1" channel



H NON-ILLUMINATED FREESTANDING REGULATORY SIGN
SCALE: 3/4"=1'-0"

4.65 SQ. FT. AREA
QUANTITY: ONE (1)

NON-ILLUMINATED REGULATORY SIGN:

- * Aluminum cabinet painted to match PMS 281 blue.
- * 3M White vinyl copy on faces
- * Supports to be 2 1/2" x 2 1/2" x 1/4" square aluminum tube
- * Face to be .030" aluminum on a 1" channel